

Statement of Environmental Effects

In support of DA submission for

Alterations and Additions to existing Residential Dwelling for new Secondary Dwelling

at

12 Hillslope Road Newport NSW

7th September 2023

Prepared by



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1.0 Introduction

This report is a 'Statement of Environmental Effects' accompanying the development application to Northern Beaches Council, for alterations and additions at 12 Hillslope Road Newport, for a new secondary dwelling.

The report is to be read in conjunction with Architectural drawings DA00- D09, prepared by HighHouse Design, a Survey drawing by Hammond Smealie & Co, and a geotechnical report by Crozier engineers. Refer also to the Notification plans, Sediment and Erosion control plan, Waste management plan and BASIX certificate prepared by High House Design.

This DA has been prepared as part of remedial work to the site which was affected by a major flooding event, with subsequent land slippage to the front of the studio and front of the property on Hillslope Road. As part of the urgent remedial work, new footings and a concrete slab have been built to the existing studio and within existing retaining walls that remain. This proposed DA is for an extension of the existing studio over the new and existing retaining walls for a secondary dwelling.

2.0 Property Description

The Property at 12 Hillslope Road, is located on the Northern high side of Hillslope Road, which has a steep slope upwards towards the North from the street.

The site is 827sqm and is rectangular in shape, being approximately 45m long and 18.3m wide.

The existing two storey house sits below the existing private access road and double carport to the rear. To the front of the house is a terrace looking out to the view towards to SE, with an existing studio below the terrace which looks out over the existing landscaped front yard.

The existing house is brick veneer with a metal deck roof. The existing front terrace is concrete, and the lower studio is also brick with a concrete terrace, located under the terrace above.

The property had an access pathway from the street below to the studio terrace and house. This pathway has become unusable due to the site slippage due to major rain events.

Since the flooding event, a new concrete slab has had to be built over the existing retaining walls, with new concrete footings pierced to the rock below. This work was undertaken with Geotechnical and structural engineering advice. Please refer to the geotechnical report with this DA, due to the site being in a landslip zone.

The property is in a residential area, and is surrounded by other residential properties.

3.0 Outline of Proposal

The existing house and carport is to remain unchanged. The existing concrete terrace to the living spaces on the Southern side of the house is to remain over the existing studio. The alteration and addition is to the existing studio under this terrace, which is to be extended over its existing concrete terrace to become a secondary dwelling.

The extension to the studio will have a concrete planted roof that aligns with the existing terrace above. New aluminium windows and doors will look out over the existing landscaped front yard, and the studio clad with insulation and steel cladding.

A new steel framed stair from the secondary dwelling's terrace will be built to replace the existing stair to the house, and a new stair built to the landscaped front garden below from the secondary dwelling.

New landscaped stairs are proposed to the existing garden, to replace the existing stairs which have been removed due to site slippage on the South Eastern side of the site. This will provide access to the street where plenty of street carparking exists.

4.0 Compliance Table

<u>LEP and DCP compliance Table</u>			
Pittwater LEP 2014			
2.1	Zoning	C4	
4.3	Building height	8.5m	Complies
7.1	Acid Sulphate Soils	Class 5	Complies
7.7	Geotechnical Hazard	H1	refer Geotech report
Pittwater 21 DCP			
Site Area	827 sqm		
Private Open Space	House- upper terrace 46.7sqm Proposed Sec.dwelling- 44sqm	Complies	
Front Building Line	6.5m To New deck- 11.3m	Complies	
Side Building Line	1m, 2.5m Existing - 2.5m, 2.3m Proposed Sec. Dwelling- 4.5m	Complies	
Rear Building Line	6.5m Existing to garage 6.5m	No change	
Building envelope	3.5m , 45 deg	Complies	
Landscaped Area			
Existing hard surface	335 sqm	No OSD required	
New hard surface	48 sqm		
Proposed new hard surface	384 sqm		
Existing LA	444sqm	Complies	
New LA	12sqm		
Proposed landscape area	456sqm		
Impervious area	50 sqm		
Total LA	505sqm (61%)		
Floor Area			
Ground level Existing	128 sqm	Complies (secon.dwelling <25% of dwelling area= 53sqm, or 60sqm)	
Upper level Existing	68 sqm		
Existing Studio	18 sqm		
TOTAL existing floor area	214sqm		
Existing house	128+68= 196sqm		
New area secondary dwelling	21 sqm		
Area secondary dwelling	23+21 new= 44 sqm		
TOTAL new Floor area	240 sqm		

5.0 Development Controls

Pittwater Local Environment Plan 2014

2.1 Land use Zones

The current zoning is Zone C4- Conservation Zone.

4.3 Height of Buildings

The maximum building height is 8.5m.

The existing and proposed new work is well under the 8.5m. The extended studio to make a secondary dwelling is under an existing terrace, with the extension being the same height.

5.4 Controls relating to miscellaneous permissible uses

7.1 Acid sulphate Soils

There is no excavation greater than 5m, so this proposal meets the requirements of Class 5.

7.2 Earthworks

Refer to the geotechnical report with this DA.

7.6 Biodiversity Area

There is no extension to the building footprint. The extension and new terrace to the secondary dwelling is over existing concrete slabs, retaining walls and lawn. Therefore, no existing trees or vegetated area is removed, and the biodiversity requirements are not impacted.

7.7 Geotechnical Hazards

The site is in a geotechnical hazard H1 zone. Refer to the geotechnical report by Crozier engineers.

Pittwater 21 Development Control Plan

Part A- Localities

A4.10 Newport Beach Locality

The existing house and carport is remaining unchanged. The extension to the studio for the secondary dwelling is under the existing house, with a planted roof that aligns with the existing terrace. The new stairs are replacing existing stairs within the existing landscaped front yard.

Therefore the alterations and additions to the existing house will not noticeably alter the existing form or landscape of the site. The large amount of existing trees and landscape remains unchanged.

The proposal will enhance the character of Hillslope road and the Newport Locality, with a sensitive design that is in keeping with the existing home and the landscape.

Part B- DCP: General Controls

B3 Hazards

B3.1 Landslip Hazard

This site is in a landslip area, geotechnical hazard -H1. A geotechnical report by Crozier engineers accompanies this DA.

B4 Controls relating to the Natural Environment

B4.3 Flora and Fauna conservation Category 1 and Wildlife corridor

The existing site includes steep sections of landscaped land. There are no trees or existing landscape being removed or impacted. The new stairs are built around and clear of existing trees. No new fences or structures are being built that would affect a wildlife corridor.

B4.17 Littoral rainforest – Endangered Ecological Community

The Northern section to the private roadway is part of the littoral rainforest at Newport. There is no change to the existing landscape.

B5- Water Management

B5.15 Stormwater

The new downpipes to the extended studio will connect to the existing stormwater system. Refer to the roof and stormwater plan DA02.

The new hard surface is 48sqm, and under 50sqm, so no on-site detention of rainwater required.

The proposal therefore meets council's Water Management for Development Policy.

A new rainwater tank will be installed on the Eastern side of the secondary dwelling to meet BASIX requirements.

B6 Access and Parking**B6.3 Off Street Vehicle parking requirements**

There is no change to the existing access or car parking. An existing private driveway and double carport is to remain on the Northern side of the site. Carparking for the secondary dwelling will be on Hillslope Road, accessed by the new stair.

B8 Site works Management**B8.1 Construction and Demolition - Excavation and Landfill**

The proposed work for the extended studio, will be built over existing retaining walls and footings. The new slab and concrete footings have been completed due to the urgency of remedial works. Therefore, there is no large excavation required for that work.

B8.2 Construction and Demolition - Erosion and Sediment Management

Refer to the Erosion and Sediment Control plan submitted with his DA.

B8.3 Construction and Demolition - Waste Minimisation

Please refer to the Waste management plan submitted with this DA.

Part C- DCP: Development Type Controls**C1.1- Landscaping**

There is no change to the existing landscape or trees on site, therefore no landscape plan is required.

A new planted roof is proposed to the extended studio/secondary dwelling. It will a low weight, thin layer of growing medium, type of 'extensive green roof'.

C1.2 Safety and Security

The existing entry, safety and security does not change.

C1.3- View Sharing

The proposed work does not affect views from adjacent properties. This is due to the extension being built with a flat roof, and at the centre of the site, away from neighbouring properties. Views from neighbouring properties are towards the South and South East over trees, not across this proposed site. All views are preserved.

C1.4- Solar Access

The dwelling will have plentiful natural daylight due to the narrow building footprint, and number of windows and doors. The extension is to a single level dwelling, therefore no shadow diagrams are required. Neighbouring properties will not lose any solar access from this proposal.

The open space to the secondary dwelling is to the West, and will get some midday to evening sun, therefore more than 3 hours of sunlight.

C1.5- Visual Privacy

Refer to the Site analysis on DA01.

The location of the extended studio and terrace is the same as the existing open terrace & lawn space. Therefore there is no change to the existing use. It is also well setback from the existing property to the West, and well below its floor level. Existing landscape is also retained, so no visual privacy is affected to neighbouring dwellings.

The new stairs are below existing houses, and also do not affect privacy to neighbouring dwellings.

C1.6- Acoustic Privacy

The small extension to the existing outdoor space doesn't change the use as private open space, or the acoustic privacy which currently exists.

Therefore there is no increased noise to surrounding properties with this proposal.

C1.7- Private Open Space

The secondary dwelling achieves more than 40sqm of private open space, with the new terrace to the Southern side overlooking the garden. This extended deck is needed to achieve the private open space required for a secondary dwelling.

C1.11 Secondary Dwellings and Rural workers Dwellings

A secondary dwelling is proposed to the extended studio. Only 2 dwellings result on the site. Only one storey is proposed, with only 1 bedroom and bathroom for the secondary dwelling.

C1.12- Waste and Recycling Facilities

Refer to the waste management report with this DA.

C1.23 Eaves

There is no change to the existing roof. The eaves to the extended secondary dwelling are created by the concrete planted roof and terrace over.

Part D- DCP: Locality Specific Development Controls.**D10.1 Newport Beach Locality****D10.1 Character as viewed from a public place**

The existing house does not change. The minor extension to the existing studio and existing terrace does not alter the existing view from the street.

The new stair at the road is similar to existing stairs along Hillslope Road.

D10.3 Scenic Protection - General

The landscape remains unchanged, retaining a bushland landscape as the predominant feature of the site.

D10.4 Building Colours and Materials

Refer to the Schedule of colours and finishes on drawing DA00.

The works will be in earthy and natural building materials and colours.

D10.7 Front Building Line

The house is sited at an established setback along the back Northern side of the site, well clear of the front setback of 6.5m. This is due to the steeply sloping sites along the Southern side of Hillslope road requiring houses to be on the high Northern side for views and for access to the private road.

The council reserve forms part of the front yards of this and neighbouring properties, due to the slope of the land.

The council reserve and front of the house is heavily landscaped which forms the front yard to this property. The landscaping and the steepness of the site makes the house look high and well setback from the street.

The desired character of the street will not change, with landscaping not being affected to the front of the property.

D10.8 Side and Rear Building Line

The side and rear setbacks do not change, due to the extension of the studio being within the existing footprint of existing retaining walls.

D10.11 Building Envelope

The new roof to the extended dwelling is well within the building envelope, as it is single level.

D10.13 Landscaped Area- Environmentally Sensitive Land

There is no change to the building footprint due to the work being over existing retaining walls. The extension to the studio is over an existing concrete terrace and is over previously existing lawn.

Other landscaped areas around the house and to the front remain unchanged. The reduction in landscaped area is for the private open space to the secondary dwelling, which is counted in 6% of impervious area allowed in landscape calculations. Stairs are less than 1m in width, and within landscaped space. Existing stairs to the carport are cantilevered with existing landscape underneath.

To note is the planted roof to the secondary dwelling extension, which adds more landscaped area to the site.

D10.15 Fences- Flora and Fauna Conservation Areas

There are no existing or proposed new fences to the site.

D10.17 Construction, Retaining walls, terracing and undercroft areas

The existing house foundations and existing retaining walls are to remain. New concrete footings have been built as part of the urgent remedial work that needed to be completed after the major flooding event, and subsequent land slippage.

Refer to the geotechnical report.

D10.18 Scenic Protection Category One Areas

The existing landscape and tree canopy is to remain. The existing form and scale of the house is to remain, with the built form being a secondary component.

The colours and materials are meeting the DCP requirements and will recede into the vegetated natural environment.

Therefore, the scenic protection of this area is kept.

6.0 Energy Efficiency

A Basix Report is included in the application. To be noted is that the existing house is self sufficient with a 30w solar panel system and Tesla battery.

7.0 Conclusion

The proposed alterations and additions to the existing house are to create a secondary dwelling to the front of the existing house. This is a change of use from studio to secondary dwelling, so is minor in nature as the built form does not change noticeably. The work for this Development application also needed to be done as part of the remediation work after the flooding event.

New stairs need to be built urgently to provide access to the property from the street. The proposed new lightweight steel & timber stair replaces the original stair.

As described in this Statement, the proposal meets with the objectives of Pittwater LEP 2014, and Pittwater's 21 DCP.

It is hoped this Development application is approved as soon as possible so this work can be carried out as part of the remediation work on site.