

ACTION PLANS

m: 0403957518
e: design@actionplans.com.au
w: www.actionplans.com.au

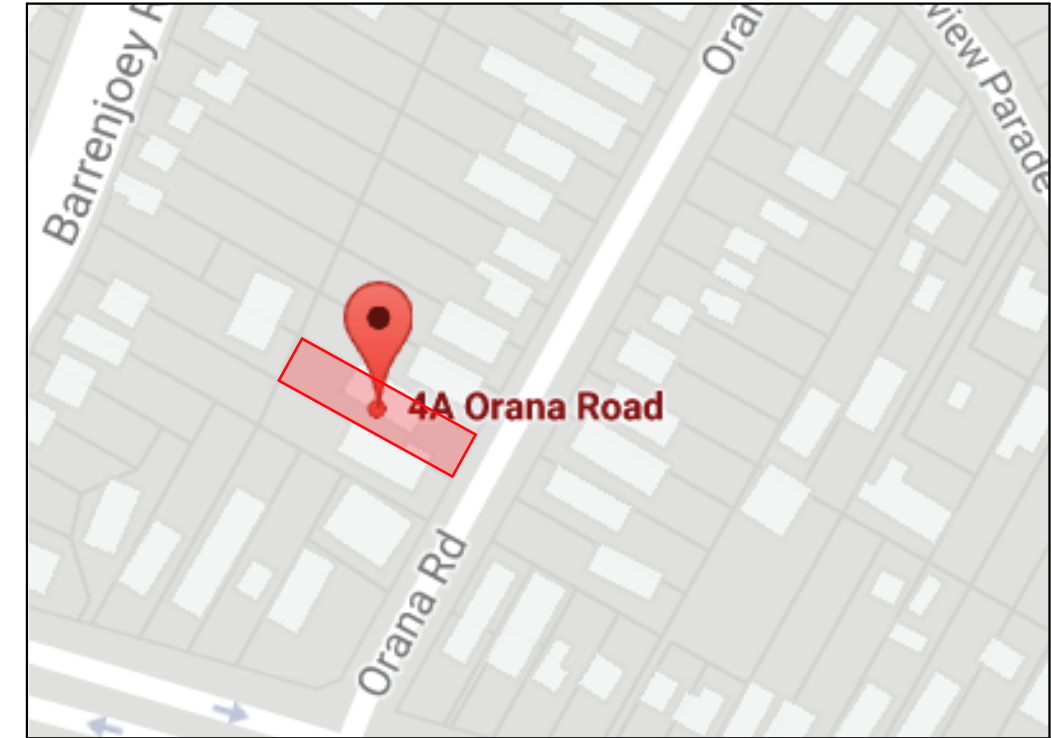
4A Orana Rd, Mona Vale NSW 2103

ITEM DETAILS

LOT SEC E LOT 30 DP 6195
SITE AREA : 954.8m²
FRONTAGE : 15.24m

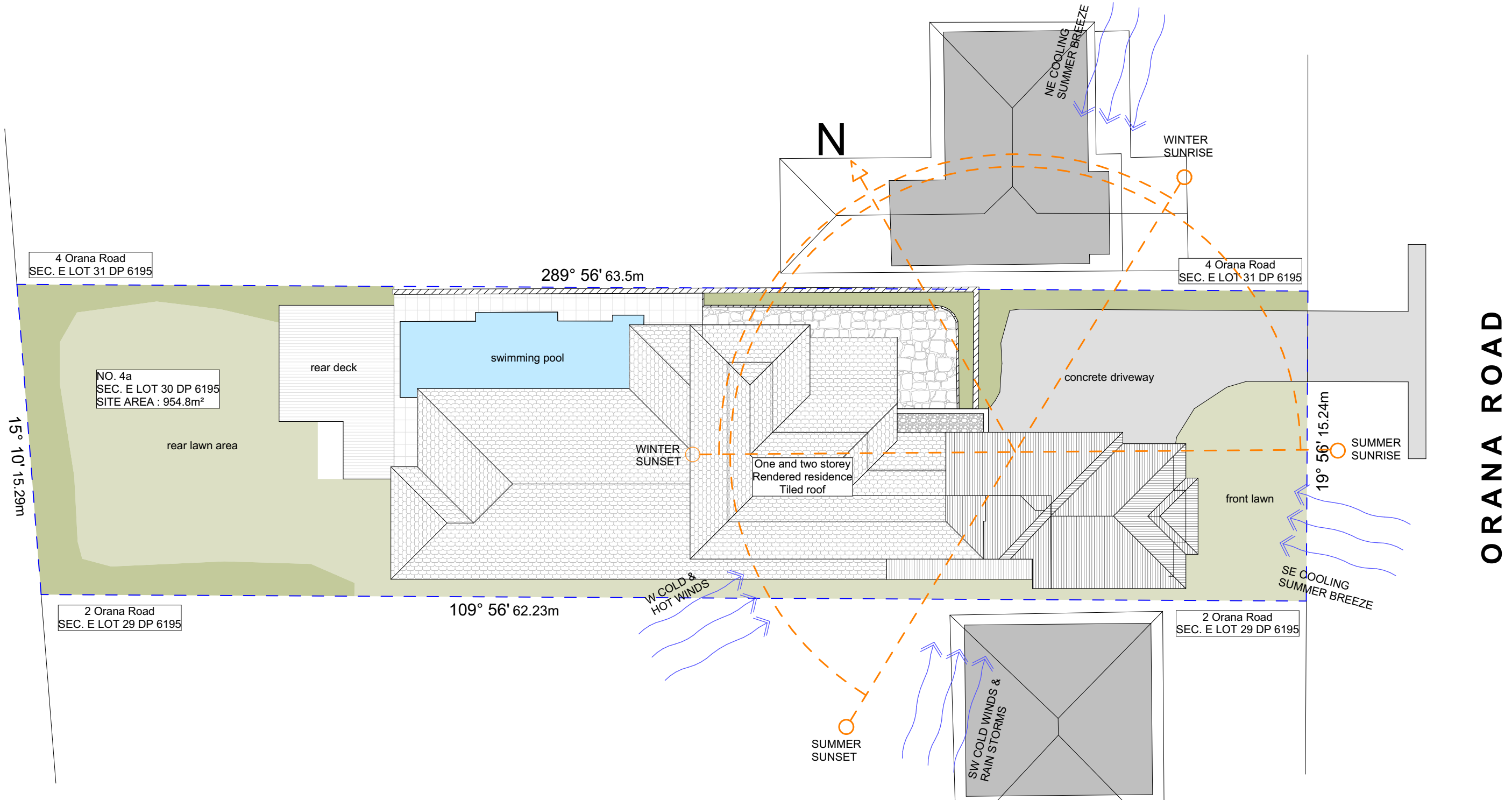
LEP	CONTROL	EXISTING	PROPOSED	COMPLIANCE
LAND ZONING	R2			
MIN. LOT SIZE	700m ²	954.8m ²		
MAX. BUILDING HEIGHT	8.5m	7.5m	unchanged	YES
ACID SULFATE	CLASS 5			
WITHIN OVERLAND FLOW PATH	MAJOR			
DCP				
LANDSCAPED AREA:	50% (477.4m ²)	46% (440.17m ²)	unchanged	YES
PRIVATE OPEN SPACE:	80m ²	98.1m ²	unchanged	YES
FRONT BUILDING LINE:	6.5m	5.95m	unchanged	YES
REAR BUILDING LINE:	6.5m	17.9m	unchanged	YES
SIDE BUILDING LINE:	S: 1m	S: 1m	unchanged	YES
	N: 2.5m	N: 2.36m	unchanged	YES
HARD SURFACE AREA		466.44m ²		

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
S96.00	COVER	22/11/2018
S96.01	SITE ANALYSIS	22/11/2018
S96.02	SITE / ROOF / SEDIMENT EROSION PLAN	22/11/2018
S96.03	EXISTING DA GROUND FLOOR PLAN	22/11/2018
S96.04	EXISTING DA FIRST FLOOR PLAN	22/11/2018
S96.05	PROPOSED S96 GROUND FLOOR	22/11/2018
S96.06	PROPOSED S96 FIRST FLOOR PLAN	22/11/2018
S96.07	NORTH ELEVATION	22/11/2018
S96.08	SOUTH ELEVATION	22/11/2018
S96.09	WEST ELEVATION	22/11/2018
S96.10	EAST ELEVATION	22/11/2018
S96.11	LONG SECTION	22/11/2018
S96.12	CROSS SECTION	22/11/2018
S96.13	AREA CALCULATIONS / SAMPLE BOARD	22/11/2018
S96.14	WINTER SOLSTICE 9 AM	22/11/2018
S96.15	WINTER SOLSTICE 12 PM	22/11/2018
S96.16	WINTER SOLSTICE 3 PM	22/11/2018
S96.17	BASIX COMMITMENTS	22/11/2018



NCC & AS COMPLIANCES SPECIFICATIONS

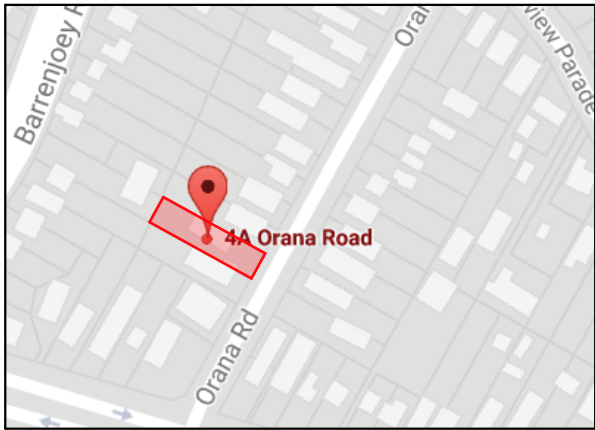
- EARTHWORKS: METHOD OF EXCAVATION AND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991



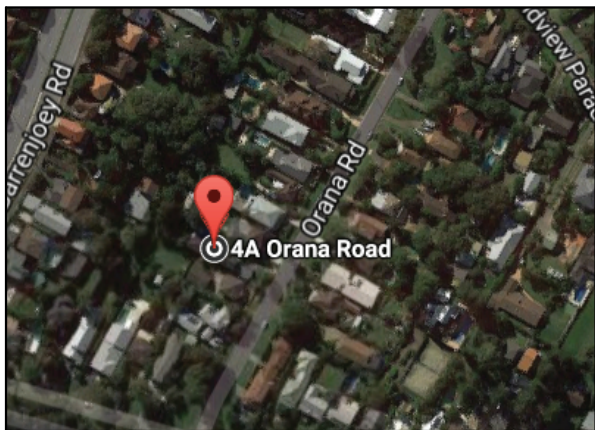
site analysis
1:100 @ A3



STREET VIEW



LOCATION



AERIAL VIEW



ACTION PLANS

m: 0403957518
e: design@actionplans.com.au
w: www.actionplans.com.au

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of compnents.
Do no scale on drawings. Use figured dimensions.

LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		EXISTING WALLS
	TIMBER		DEMOLISHED
	BRICKWORK		
	METAL		

CLIENT

Annie Pogson & Wayne Garnier

PROJECT ADDRESS

4A Orana Rd, Mona Vale
NSW 2103

DRAWING NO.

S96.01

DATE

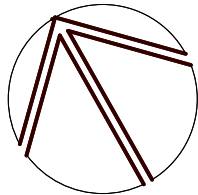
Thursday, 22
November 2018

DRAWING NAME

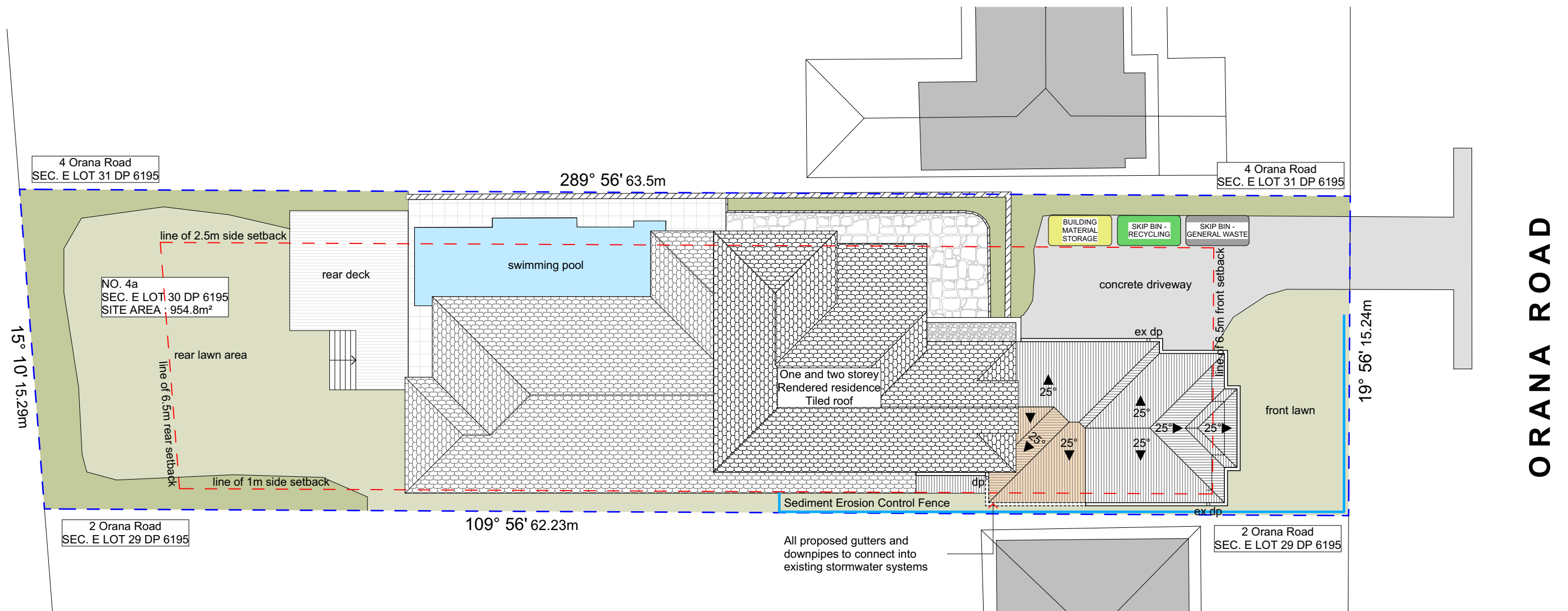
SITE ANALYSIS

SCALE

1:200 @A3



Note: Proposed stormwater is to connect into the existing stormwater system.



site / roof / sediment erosion / waste management / stormwater concept plan

1:200 @ A3

DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :

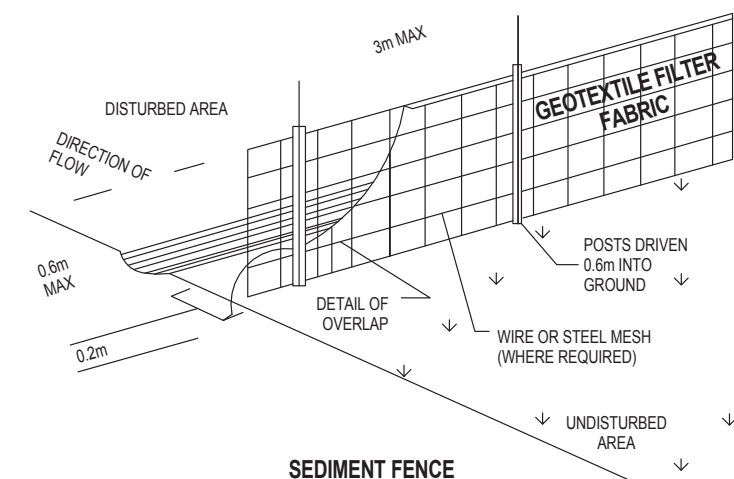
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.

ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.

IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.



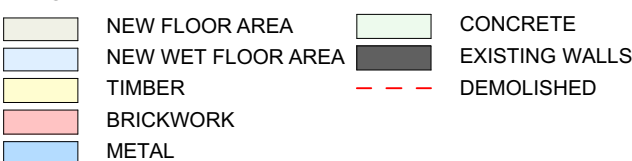
ACTION PLANS

m: 0403957518
e: design@actionplans.com.au
w: www.actionplans.com.au

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND



CLIENT

Annie Pogson & Wayne Garnier

PROJECT ADDRESS

4A Orana Rd, Mona Vale
NSW 2103

DRAWING NO.

S96.02

DATE _____

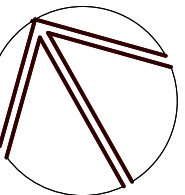
Thursday, 22
November 2018

DRAWING NAME

SITE / ROOF /
SEDIMENT EROSION
PLAN

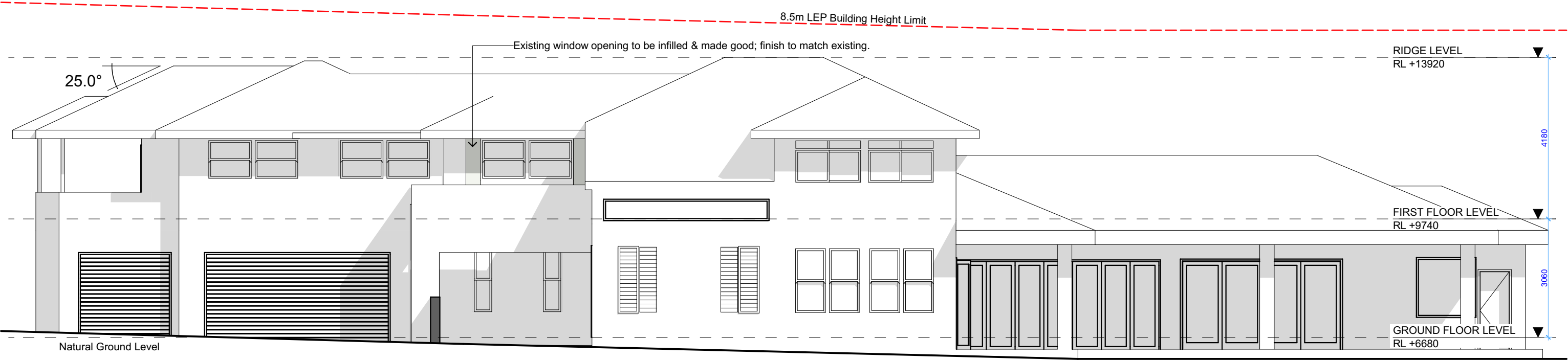
SCALE

1:200 @A3

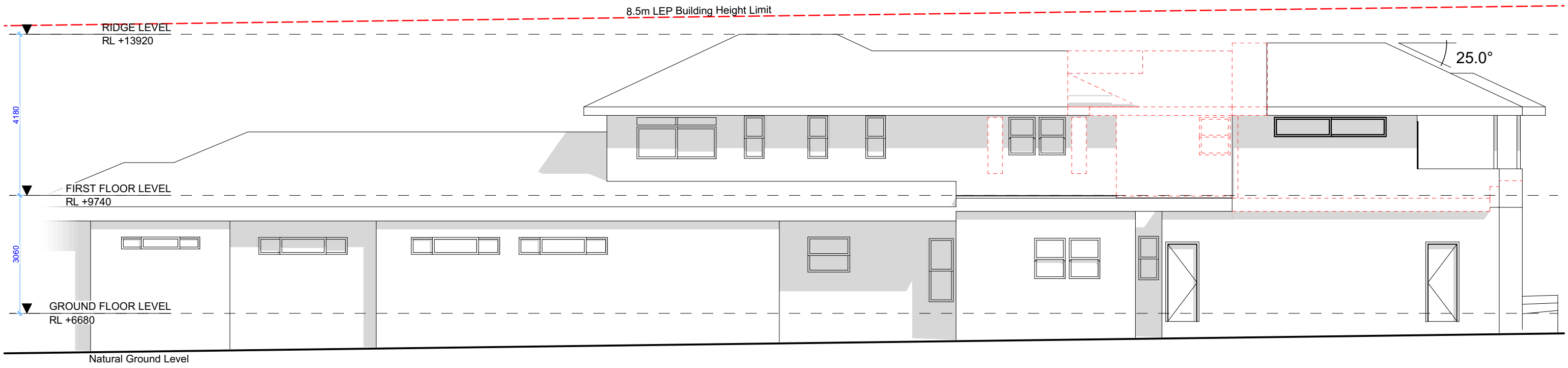




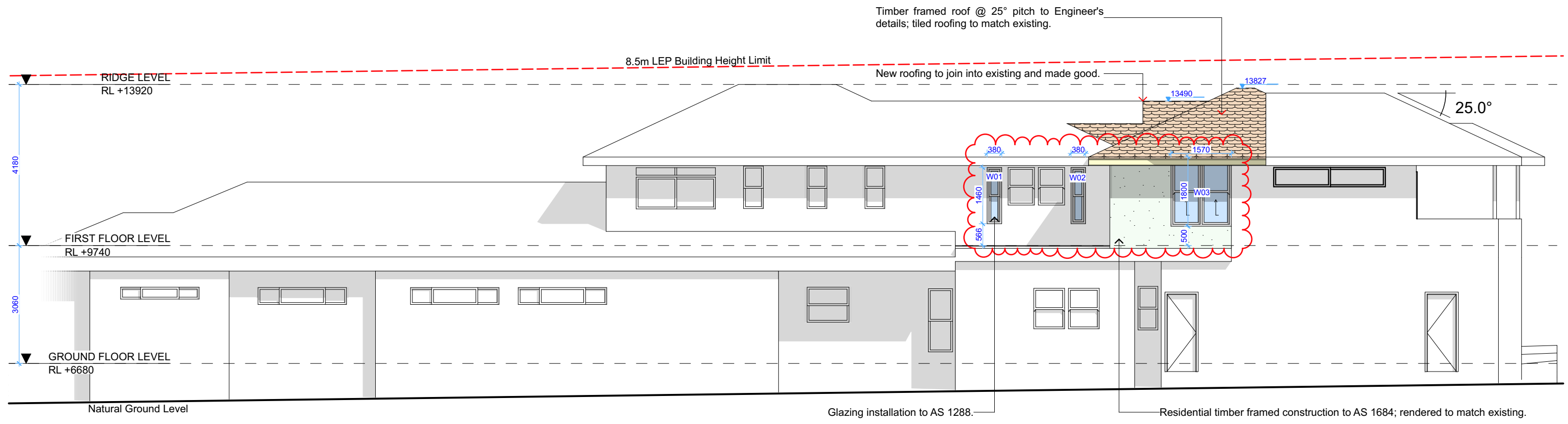
existing DA north elevation
1:100 @A3



proposed S96 north elevation
1:100 @A3



existing DA south elevation
1:100 @A3



proposd S96 south elevation
1:100 @A3



ACTION PLANS

m: 0403957518
e: design@actionplans.com.au
w: www.actionplans.com.au

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of compnents. Do no scale on drawings. Use figured dimensions.

LEGEND

TIMBER

GLASS

BRICKWORK

METAL

TERRACOTTA ROOF TILES

CONCRETE

TILES

EXISTING WALLS

CLIENT

Annie Pogson & Wayne Garnier

PROJECT ADDRESS

4A Orana Rd, Mona Vale NSW 2103

DRAWING NO.

S96.08

DATE

Thursday, 22 November 2018

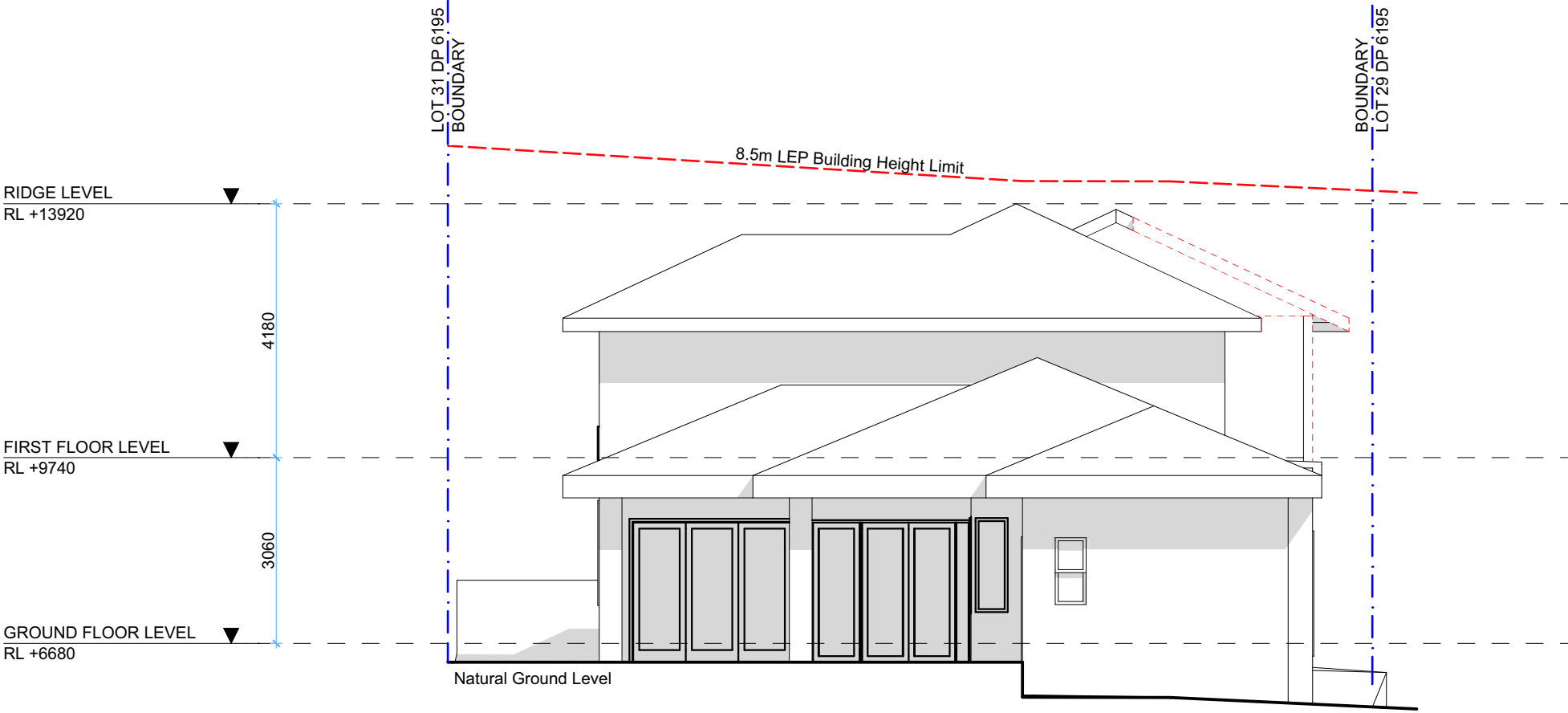
DRAWING NAME

SOUTH ELEVATION

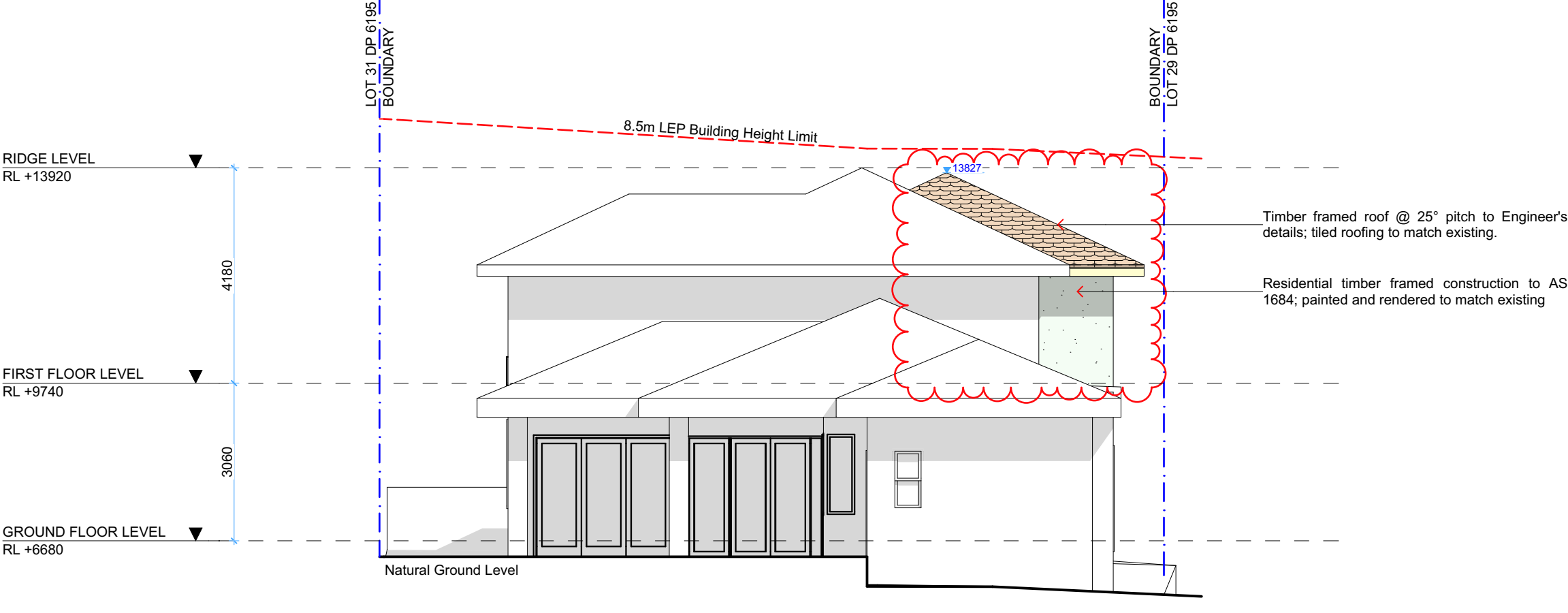
SCALE

1:100 @A3

existing DA west elevation
1:100 @A3



proposed S96 west elevation
1:100 @A3



ACTION PLANS

m: 0403957518
e: design@actionplans.com.au
w: www.actionplans.com.au

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of compnents.
Do no scale on drawings. Use figured dimensions.

LEGEND			
	TIMBER		TERRACOTTA ROOF TILES
	GLASS		CONCRETE
	BRICKWORK		TILES
	METAL		EXISTING WALLS

CLIENT
Annie Pogson & Wayne
Garnier

PROJECT ADDRESS
4A Orana Rd, Mona Vale NSW 2103

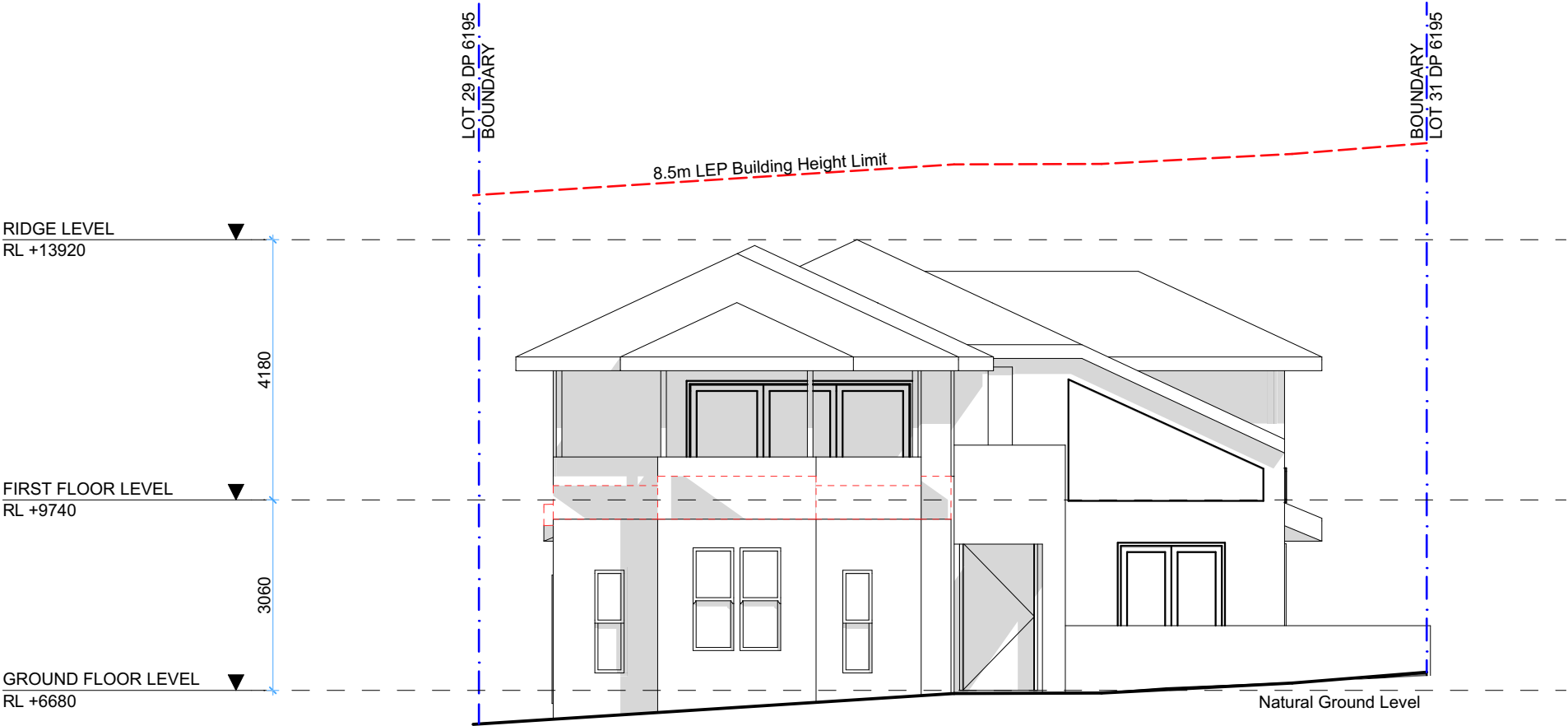
DRAWING NO.
S96.09

DATE
Thursday, 22
November 2018

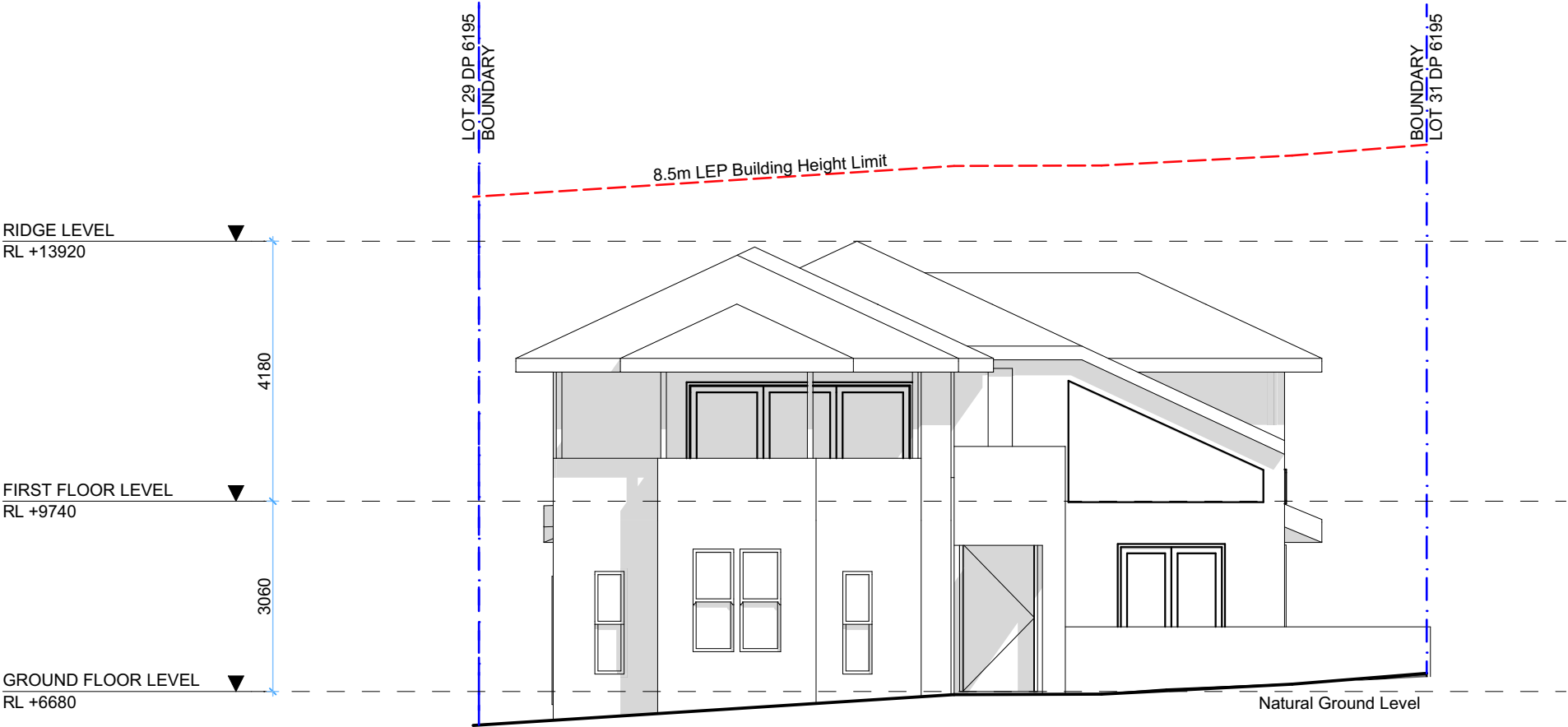
DRAWING NAME
WEST ELEVATION

SCALE
1:100 @A3

existing DA east elevation
1:100 @A3



proposed S96 east elevation
1:100 @A3



ACTION PLANS
m: 0403957518
e: design@actionplans.com.au
w: www.actionplans.com.au

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of compnents.
Do no scale on drawings. Use figured dimensions.

LEGEND			
	TIMBER		TERRACOTTA ROOF TILES
	GLASS		CONCRETE
	BRICKWORK		TILES
	METAL		EXISTING WALLS

CLIENT
Annie Pogson & Wayne Garnier

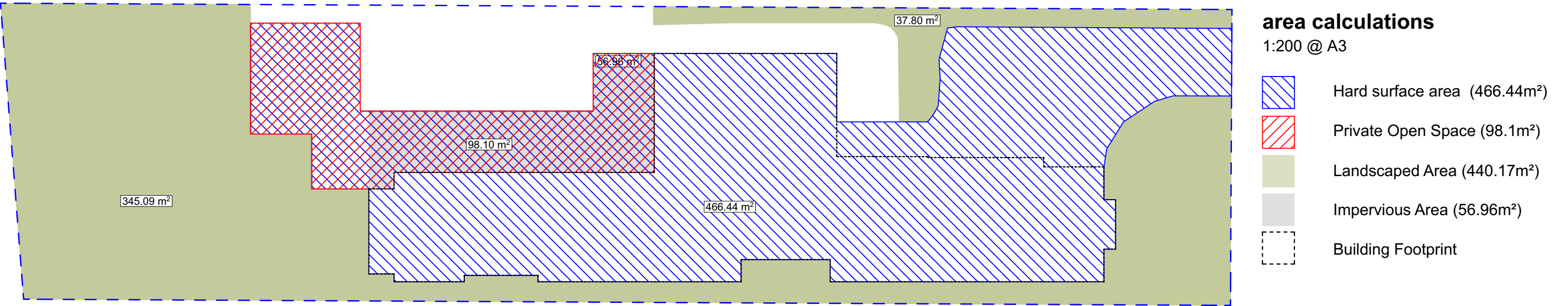
PROJECT ADDRESS
4A Orana Rd, Mona Vale NSW 2103

DRAWING NO.
S96.10

DATE
Thursday, 22 November 2018

DRAWING NAME
EAST ELEVATION

SCALE
1:100 @A3



Note: No changes to area calculation from original DA application.

schedule of external finishes and colours



external cladding to be painted and rendered to match existing



new roofing to match existing



aluminium framed windows

Alterations and Additions

Certificate number: A287131_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 21, November 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	4a Orana Road_03
Street address	4a Orana Road Mona Vale 2103
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 6195
Lot number	30
Section number	E
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W01	S	0.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W02	S	0.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W03	S	2.82	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check												
Insulation requirements															
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓												
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>suspended floor above garage: framed (R0.7).</td><td>nil</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>flat ceiling, pitched roof</td><td>ceiling: R2.50 (up), roof: foil/sarking</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>	Construction	Additional insulation required (R-value)	Other specifications	suspended floor above garage: framed (R0.7).	nil		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			
Construction	Additional insulation required (R-value)	Other specifications													
suspended floor above garage: framed (R0.7).	nil														
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)														
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)													