SYDNEY BUILDING APPROVALS CENTRE

- Principle Certifying Authority
- Building Regulation Consultation
- NatHERS Certifications
- BASIX
- Building Approvals
- Inspections

SYDNEY BUILDING APPROVALS CENTRE PTY LTD
ABN 96 081 945 904
Unit 34/25-33 Alfred Road, Chipping Norton NSW 2170
Phone: 9724 4404
Fax: 9724 4180
DX 5037 LIVERPOOL
www.sbac.com.au

RESIDENTIAL • INDUSTRIAL • COMMERCIAL

Date: 30 August 2007

Pittwater Council
DX 9018, MONA VALE

PREMISES:Lot 72, DP 6248, 369 Barrenjoey Rd Newport
CONSTRUCTION CERTIFICATE: CC180/07

Dear Sir/Madam,

Please find enclosed a Construction Certificate, Notification of work to commence (Form 7), Plans, Engineers details & specification for the above premises.

Should you require any further assistance to the matter please do not hesitate to contact Sydney Building Approvals Centre on Tel: 9724 4404.

Yours Faithfully

Joe Krinelos
Building Surveyor

R-224048
$36.00 10/9/07

RECEIVED
10 SEP 2007
PITTWATER COUNCIL

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RESIDENTIAL • INDUSTRIAL • COMMERCIAL

CONSTRUCTION CERTIFICATE No.CC180/07

Environmental Planning and Assessment Act 1979 (as amended)

Date of determination: 30 August 2007

Attachments: Hydraulic details, structural details, specifications

Development address: Part Lot 72, DP 6248, 369 Barrenjoey Road
NEWPORT NSW

Applicant: Denis Leach & Associates Pty.Ltd.
Suite 4, 9 Foamcrest Ave
NEWPORT BEACH NSW 2106

Plans and specifications approved

Plans, drawings & Specifications
Commercial/Residential (3 Units) Building
Class 6 & 2

Certificate

The work completed in accordance with documentation accompanying the application for the certificate will comply with the requirements of this Regulation as are referred to in Section 81A(5) of the Act.

Signature:

Date of endorsement: 30 August 2007

Certificate no: CC180/07

Certifying Authority

Name of certifying authority: Joe Krinelos
Accreditation no.: BPB 0217

Development consent

Number and date of Determination: N0361/05
7 July 2006

home warranty insurance

Lumley General

Lumley General Insurance Limited ABN 24 000 036 279
Lumley House, Level 9, 309 Kent Street Sydney NSW 2000
Tel 02 9248 1111 Fax 02 9248 1122

Home Building Act 1989 (New South Wales)

Section 92

Certificate in respect of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with Section 92 of the Home Building Act 1989, namely -

Home Warranty Insurance Policy No.:	SYBW-0064-3459
Has been issued by:	Lumley General Insurance Limited
In respect of:	New Residential Dwelling – Unit
At:	Unit 1 369 Barrenjoey Road NEWPORT, NSW 2106
Contract Value:	$333,333.33
Carried Out By:	Amador Holdings Pty Ltd
For:	T & E Cimino Holding Pty Ltd

Subject to the Act and the *Home Building Regulation 2004* and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract, and successors in title to the beneficiary.

Date of Issue: 19/03/2007

Signed for and on behalf of **Lumley General Insurance Limited**

home warranty insurance

Lumley General

Lumley General Insurance Limited ABN 24 000 036 279
Lumley House, Level 9, 309 Kent Street Sydney NSW 2000
Tel 02 9248 1111 Fax 02 9248 1122

Home Building Act 1989 (New South Wales)

Section 92

Certificate in respect of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with Section 92 of the Home Building Act 1989, namely -

Home Warranty Insurance Policy No.:	SYBW-0064-3980
Has been issued by:	Lumley General Insurance Limited
In respect of:	New Residential Dwelling ~ Unit
At:	Unit 2 369 Barrenjoey Road NEWPORT, NSW 2106
Contract Value:	$333,333.33
Carried Out By:	Amador Holdings Pty Ltd
For:	T & E Cimino Holding Pty Ltd

Subject to the Act and the *Home Building Regulation 2004* and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract, and successors in title to the beneficiary.

Date of Issue: 19/03/2007

Signed for and on behalf of **Lumley General Insurance Limited**

home warranty insurance

Lumley General

Lumley General Insurance Limited ABN 24 000 036 279
Lumley House, Level 9, 309 Kent Street Sydney NSW 2000
Tel 02 9248 1111 Fax 02 9248 1122

Home Building Act 1989 (New South Wales)

Section 92

Certificate in respect of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with Section 92 of the Home Building Act 1989, namely -

Home Warranty Insurance Policy No.:	SYBW-0064-3998
Has been issued by:	Lumley General Insurance Limited
In respect of:	New Residential Dwelling – Unit
At:	Unit 3 369 Barrenjoey Road NEWPORT, NSW 2106
Contract Value:	$333,333.33
Carried Out By:	Amador Holdings Pty Ltd
For:	T & E Cimino Holding Pty Ltd

Subject to the Act and the *Home Building Regulation 2004* and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract, and successors in title to the beneficiary.

Date of Issue: 19/03/2007

Signed for and on behalf of **Lumley General Insurance Limited**

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

...ICE USE ONLY

...verse of form for instructions

PART A – DETAILS OF PERSON/COMPANY/ORGANISATION LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person) or Company/Organisation name: T & E CIMINO HOLDINGS PTY LTD

Given names (if person):

ABN (if applicable): 19 675 825 376

POSTAL ADDRESS No. and street or PO Box: 44 Vineyard St

~~Mona Vale~~

Town/suburb: Mona Vale

State: NSW Postcode: 2103 Bus. hours phone: 02 9997 2097

PART B – ADDRESS OF BUILDING/CONSTRUCTION WORK

Number and street: 369 Barrenjoey Road

Town/suburb: Newport

State: NSW Postcode: 2106

Estimated start date: D 26 M 06 Y 2007 Estimated finish date: D 31 M 01 Y 2008

PART C – DETAILS OF WORK – To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area: Pittwater Council

[1] DA/CC/CDC No.: N0361/05

Estimated value of work (see note on back): $ 1,000,000.00 Levy payable $ 3,500.00

[1] If you have provided a CC above, please provide DA number here:

Signature of Officer/Private Certifier: Chris Lummas Date: D 25 M 06 Y 2007

Name of Officer/Private Certifier: Business hours phone: 9970-1111

PART D – DETAILS – To be completed by Dept/Authority where applicable – see reverse

Department/Authority:

Contract/DA No (circle which): Contract amount $ .00

Levy payable $ .00

Contact person (Print): Phone number:

Contact person (Signature): Date: D M Y

PART E – DECLARATION – To be signed by person liable to pay levy or authorised officer if company/organisation

Any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name: Fiona Cimino Signature: Date: D 25 M 06 Y 2007

PART F – TO BE COMPLETED WHERE APPLICABLE – SEE REVERSE

Exemption Approval Certificate No.

Building and Construction Industry Long Service Payments Corporation, Locked Bag 3000, Central Coast MC NSW 2252
Tel: 13 14 41 Fax: (02) 9287 5685 Email: levy@lspc.nsw.gov.au www.lspc.nsw.gov.au ABN 93 646 090 808

Jan06/180

Rec # 218016 25.6.07

Sydney Building Approvals Centre

Application for a construction certificate

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system), you need a construction certificate before you can start work. You can use this form to apply to us for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. **To minimise delay in receiving a decision about your application, please ensure you submit all relevant information.**

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other

First name:

Family name:

Company/Organisation: Denis Beach + Associates

Unit/street no.: Suite 4

Street name: 9 Foamcrest Ave.

Suburb or town: Newport Beach

State: NSW

Postcode: 2106

Daytime telephone: 99977288

Fax: 9997 3169

Mobile:

Email:

Unit/street no.: 369

Street name: Barrenjoey Rd.

Suburb or town: Newport Beach.

Postcode: 2106

Lot no.: Part 72

Section:

DP/MPS no.: 6248

Volume/folio:

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

$ 1,000,000.00 including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☑

Subdivision work ☐

Describe the work

New Retail Residential Development.

For building work, what is the class of the building under the Building Code of Australia?

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☐ > What is the development application no.?

N0361/05

What date was development consent granted?

7/7/06

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐:

1. If you are going to carry out **building work:**

☐ a copy of any compliance certificates on which you rely

☐ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

☐ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

☐ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist us to assess whether the work will reduce the fire protection capacity of the building.

5 continued

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
  - a list of the performance requirements you will meet by using the alternative solution
  - the details of the assessment methods you will use to meet those performance requirements
  - a copy of any compliance certificates on which you rely
- ☐ evidence of any accredited component, process or design on which you seek to rely

  Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.
- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
  - a list of any fire safety measures you propose to include in the building or on the land
  - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land

  The lists must describe the extent, capability and the basis of design of each measure.
- ☐ the attached schedule, completed for the development

  The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.

You may also need to pay a long service levy under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments, the first instalment of the levy) before we can issue a certificate to you.

5 continued

3. If you are going to **change the use of a building** or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):
   - ☐ a list of any fire safety measures you propose to include in the building or on the land
   - ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
   - ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

   The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

6 Signatures

The owner(s) of the land must sign this application if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application:

Signature	Signature
Name	Name
T C INLAC	E. Cowin
Date 28/06	Date 28-6-07

The applicant, or the applicant's agent, must sign the application.

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors) ☐
- Gross floor area of new building (m²) ☐
- Gross site area (m²) ☐

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed ☐
- Number of pre-existing dwellings on site ☐
- Number of dwellings to be demolished ☐
- Will the new dwelling(s) be attached to other new buildings? Yes ☐ No ☐
- Will the new building(s) be attached to existing buildings? Yes ☐ No ☐
- Does the site contain a dual occupancy? (NB dual occupancy = two dwellings on the same site) Yes ☐ No ☐

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls		Code	Roof		Code	Floor		Code	Frame		Code
Brick (double)	☐	11	Tiles	☐	10	Concrete or slate	☐	20	Timber	☐	40
Brick (veneer)	☐	12	Concrete or slate	☐	20	Timber	☐	40	Steel	☐	60
Concrete or stone	☐	20	Fibre cement	☐	30	Other	☐	80	Aluminium	☐	70
Fibre cement	☐	30	Steel	☐	60	Not specified	☐	90	Other	☐	80
Timber	☐	40	Aluminium	☐	70				Not specified	☐	90
Curtain glass	☐	50	Other	☐	80						
Steel	☐	60	Not specified	☐	90						
Aluminium	☐	70									
Other	☐	80									
Not specified	☐	90									

Sydney Building Approvals Centre

Notice to commence building or subdivision work and appointment of a principal certifying authority

This form can be used to:

- notify the council that you intend to commence building or subdivision work
- notify the council and us, if the Minister of Urban Affairs and Planning granted development consent or a complying development certificate, that you have appointed a principal certifying authority.

To complete this form, please place a cross in the boxes ☐ and fill out the white sections as appropriate.

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name:
Family name:
Company/Organisation: T & E Cimino Holdings

Unit/street no.: 44
Street name: Vineyard St

Suburb or town: Newport Beach
State: NSW
Postcode: 2106

Daytime telephone:
Fax:
Mobile:

Email:

2. Details of the land to be developed

Unit/street no.: 369
Street name: Barrenjoey Road

Suburb or town: Newport
Postcode: 2106

Lot no.:
Section:

DP/MPS no.:
Volume/folio:

3. Description of the work proposed

Type of work proposed:

Building ☑
Subdivision ☐

Description of the work

New Retail & Residential Development.

4. Details of the development approvals granted

Details of the development consent:

Development application no.: N0361/05

Date the consent was granted: 7/7/06

OR

Complying development certificate no.:

Date the certificate was issued:

Where a construction certificate has been issued for the building:

Construction certificate no.: CC180/7

Date the certificate was issued: 14/8/07

5. Steps taken by the applicant

Indicate the steps you have taken by placing a cross in the appropriate boxes ☐.

☐ I have met all the conditions in the development consent or the complying development certificate required to be satisfied before I can begin work

☐ I have appointed a principal certifying authority

Name of the principal certifying authority

SYDNEY BUILDING APPROVALS CENTRE

Address of the principal certifying authority

SYDNEY BUILDING APPROVALS CENTRE
UNIT 24, 25, 33 ALFRED RD.
CHIPPING NORTON NSW 2170

Telephone no. of the principal certifying authority: 9724 4404

Where the principal certifying authority is an accredited certifier:

Accreditation body of the certifier: BPB 0217

Accreditation no. of the certifier: 0217

6. Residential building work

1. Are you going to build a house or other dwelling or alter or add to a dwelling?

   No ☐

   Yes ☐ ➤ Please complete part 2 below

2. Are you an owner-builder?

   Yes ☐ ➤ What is your owner-builder permit no.?

   No ☐ ➤ Will the work be carried out by someone who is licensed to do so?

   Yes ☐ ➤ What is the name of the builder?

   What is the telephone no. of the builder?

   What is the contractor licence no. of the builder?

6. continued

Have you attached to this notice evidence that the licensed person is insured to carry out this type of work?

Yes ☐

No ☐

No ☐ ➤ Have you attached to this notice a declaration (signed by each owner of the land) that the reasonable market cost of the labour and materials to be used is less than $3000?

Yes ☐

No ☐

7. Date the work will commence

5/9/07

8. Signatures

The principal certifying authority must sign the notice.

I acknowledge that I have seen evidence that the builder is licensed and insured, or that I have seen evidence that the building works are to be undertaken by a person with an owner-builder permit.

I acknowledge that I have been appointed by the applicant to carry out the role of the Principal Certifying Authority for this development.

Signature

JK

Name

Joe Knikelos

Date

30/8/07

The applicant, or the applicant's agent, must sign the notice.

Signature

X

Name, if you are not the applicant

In what capacity are you signing if you are not the applicant

Date

9. Privacy policy

The information you provide in this notice is required under *the Environmental Planning and Assessment Act 1979* if you are going to erect a building or carry out subdivision work. If you do not provide the information you cannot commence the work. The information will be held by us and by the council. Please let us know if the information you have provided in this notice is incorrect or changes.

RAFELETOS ZANUTTINI Pty Ltd
CONSULTING ENGINEERS

Level 2, 103 Vanessa St.
Kingsgrove NSW 2208

ABN 35 079 047 466
Telephone: (02) 9554 9311
Facsimile: (02) 9554 9764

Date	***10/08/2007***
Our Reference	***7272PC***
Client	***T & E CIMINO HOLDINGS PTY LTD***
Location	***369 BARRENJOEY ROAD NEWPORT***

HYDRAULIC CERTIFICATE

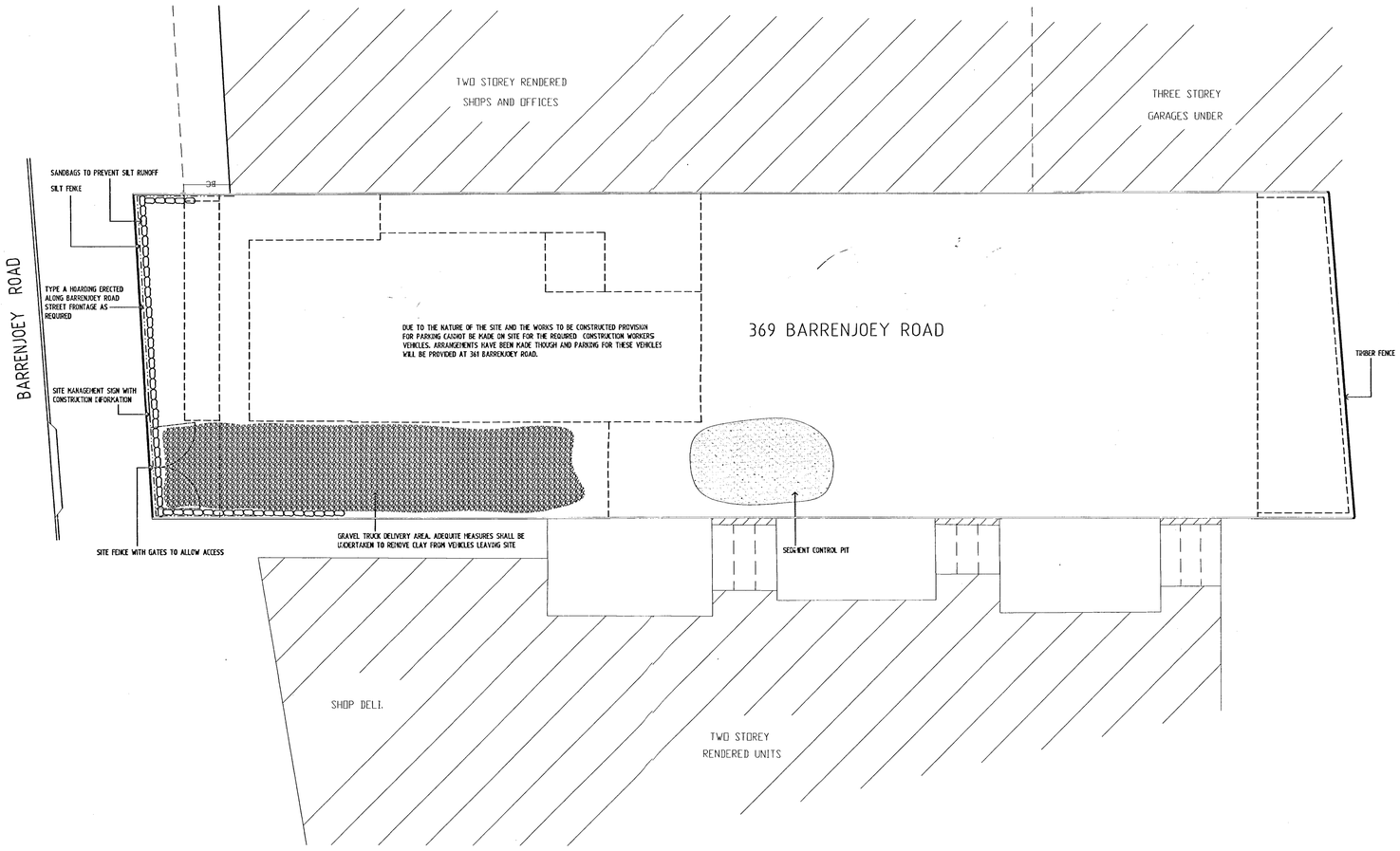
This is to certify that the hand notations made by Kolnis Plumbing Services Pty Ltd placed over the architectural details compiled by Dennis Leech & Associates Pty Ltd for the abovementioned property detailing the proposed stormwater system.

1. Satisfies condition B4 in that it notes a 4000 litre rainwater tank for non-potable purposes is to be installed and used in association with the development.
2. Satisfies condition B5 in that it notes that the stormwater overflow from the rainwater tank and or on site detention tank is to be discharged to the public drainage system either directly to the kerb and gutter, natural water course or piped drainage system or via an inter-allotment drainage easement within adjacent private property.
3. Satisfies condition C20 is that it shows where stormwater drainage is required to access Council's gutter stormwater system, all underground pipes to be galvanized steel flat section pipes connecting to gutter.

Yours faithfully

David Zanuttini
B.E., M.I.E Aust.

SYDNEY BUILDING APPROVALS CERTIFIER PTY LTD ACN 001 370 004
DETAILS NOTED



COUNCIL BUILDING APPROVAL
DETAILS NOTED

DENIS LEECH AND ASSOCIATES PTY LIMITED ARCHITECTS

NEW RETAIL/RESIDENTIAL DEVELOPMENT
369 BARRENJOEY ROAD, NEWPORT
FOR
T & E CIMINO HOLDINGS Pty Ltd

SITE MANAGEMENT PLAN

1:100 JULY 2007

DENIS LEECH AND ASSOCIATES PTY LIMITED
INCORPORATED IN NSW. ACN 003 317 870
SUITE 4, 2 FOLKESTONE AVENUE, NEWPORT BEACH, NSW 2106
TELEPHONE (02) 9997 7288 FACSIMILE (02) 9997 3169

WD-04

DRAWING

NEW RETAIL / RESIDENTIAL DEVELOPMENT
369 BARRENJOEY Rd – NEWPORT
For T & E CIMINO HOLDINGS Pty Ltd

STRUCTURAL DRAWINGS

CONSTRUCTION NOTES

GENERAL

G1 This drawing shall be read in conjunction with all other working drawings and specifications and with such other written instructions as may be issued during the course of construction. All discrepancies and variations shall be referred to the Engineer before proceeding with the work.

G2 All work shall be in accordance with the requirements of all relevant and current SAA Codes.

G3 All dimensions relevant to setting out and off–site work shall be verified before construction and fabrication is commenced.

G4 Dimensions shall not be obtained by scaling the structural drawings.

G5 During construction the structure shall be maintained in a stable condition and no part of the structure shall be overstressed.

G6 The structural elements shown on these drawings have been designed for the following superimposed loads : Deck live load = ...
Internal floor load = ...
Wind load = ...

CONCRETE

C1 All workmanship and materials shall be in accordance with current editions of AS3600 except as varied by contract documents.

C2 Cement shall be Type "A" unless specified otherwise. Concrete components and quality shall be as follows:

Structural Element	F'c MPa	Slump mm	Agge. size	Density (kg/m3)
Footings, levelling strips	20	80	20	2400
Slab on ground	25	80	20	2400
Suspended slab	40	80	20	2400

C3 Clear concrete cover to reinforcement unless shown otherwise shall be:

Element	Formed Not exposed	Formed exposed soil or rain	Poured against membrane
Slabs	20	40	30
Walls	30	40	n/a
Beams	40	40	n/a
Columns	40	40	n/a
Pedestals	50	50	n/a
Footings	50	65	40

C4 Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer.

C5 No holes, chases or embedment of pipes , other than those shown on the structural drawings , shall be made without the written prior approval of the Engineer.

C6 Splices in reinforcement shall be made only in the positions shown on the Structural drawings, or as otherwise approved by the Engineer.

CONCRETE

C7 Lapped fabric splices shall be so made that the overlap, measured between the outermost wires of each sheet of fabric, is not less than the wire spacing plus 25mm.

C8 Reinforcement is shown diagrammatically, it is not necessarily shown in true projection.

C9 All reinforcement fabric shall be to AS1304
All reinforcement bars shall be to AS1302.
Symbols: F: wire reinforcing fabric.
W: Grade 450 deformed wire
S: Grade 200 deformed bar
N: Grade 500 deformed bar.
Example of designation code for reinforciong bars :–
No of bars in group¬ ┌──── bar grade and type
17N20–350
nominal bar size in mm┘ └─ spacing in mm.
UNO stands for unless noted otherwise".

C10 Where transverse tie bars are not shown, provide Y12–400. Splice where necessary and lap with main bars for 400mm.

C11 All concrete shall be placed and "cured" in accordance with AS3600. Where curing compound is used it must applied (a) onto slabs within 2 hours of finishing the concrete surface, (b) onto walls and columns immediately after removal of formwork.

C12 Horizontal formwork shall be stripped when approved by the Engineer.

C13 Slabs and beams shall bear only onto the beams, walls and other types of support as shown on the structural drawings. All other building elements shall be kept 15mm clear from soffits of structure.

C14 During concrete placing the builder shall have on site rain protecting plastic sheeting and supports to keep it clear of wet concrete, and also aliphatic alcohol sprays to prevent plastic cracking in hot or windy conditions.

BRICK MASONRY

M1 Where slabs or beams bear on masonry, the top course shall be level, smooth and covered with two layers of three–ply malthoid unless noted otherwise.

M2 Masonry walls shall not be erected on suspended slabs or beams until all propping has been removed.

M3 Bricks used in load bearing construction shall have a minimum compressive strength of 20 MPa unless otherwise noted.

M4 All masonry shall comply with AS3700 and Australian Standards referenced within AS3700.

M5 Masonry shall be articulated.

EPOXY AND MECHANICAL ANCHORS

A1 After drilling holes for epoxy and mechanical anchors, remove all debris from hole using a combination of 'bottle' type stiff brushes and air pumps as specified by manufacturer.

BLOCKWORK

B1 Blockwork shall be in accordance with AS2733

B2 Concrete in base shall be Grade 20

B3 Reinforcement symbol S requires bars as Note C9

B4 Construct retaining walls with double–U blocks

B5 Blocks shall be Grade 12 to AS2733

B6 Clean out openings shall be used in all cores and cleaned out before grout filling.

B7 Use recessed blocks for horizontal bars.

B8 Grout shall be Grade 20 with 10mm aggregate and 230 slump

B9 All cores shall be filled with grout

B10 All mortar shall be 1 part cement to 1/2 part lime and 4–1/2 parts sand. (1 : 0.5 : 4.5)

B11 Mortar dags and concrete fins shall be removed by rodding and cleaned out before grouting cores.

B12 Where horizontal bars are specified in both faces they shall be in staggered courses.

B13 Where vertical bars are shown lapped, tthe bar may be in one length to suit double–U blocks iin stack bond

STRUCTURAL STEELWORK

S1 All workmanship and materials shall be in accordance with AS4100, AS1554, AS3679 and AS1163 as applicable.

S2 Unless otherwise noted all structural steel shall be Grade 300 (Grade 350 for hollow sections)

S3 All bolts shall be high strength, galvanissed.

S4 Provide 25 thick cement mortar pad under steelwork supported on masonry.

S5 Steel shall be painted with primer unless noted.

S6 Lintels, beams columns partly exposed to the weather shall be hot dip galvanised to AS 4680 U.N.O.

S7 All welds shall be 6mm continuous fillett all round U.N.O.

TIMBER FRAMING

T1 All workmanship and materials shall be in accordance with AS1684 and AS1720 as applicable.

T2 Use treated timber where required for durability.

T3 Do not use timber unsuitable for exposure to moisture in exposed locations.

T4 Provide structure bracing in accordance with AS1684

T5 Provide structure tie down in accordance with AS1684

T6 Use galvanised fixings where exposed to weather

T7 Design is based on roof material shown on the drawings

FOUNDATIONS

F1 The building is designed to be supported by piled footings. Working loads shown must be achieved and verified by a geotechnical engineer. All footing reinforcement is to be inspected and approved by the structural engineer prior to concrete placement.

F2 Compact sub–grade to 95% SDD (standard dry density) in accordance with AS 1289. Sub–grade soft spots observed during compaction shall be removed and replaced wtih select fill, placed and compacted to 95% SDD.

DRAWING LIST

S00 /0 COVER SHEET
S01 /0 FOOTING AND GROUND FLOOR PLANS
S02 /0 FIRST FLOOR PLANS
S03 /0 SECOND FLOOR PLANS
S04 /0 ROOF PLAN
S05 /0 CONCRETE DETAILS
S06 /0 WALL ELEVATIONS AND DETAILS

SYDNEY BUILDING ACCREDITATION SCHEME
DETAILS NOTED
25 May 2007

CONSTRUCTION CERTIFICATE

DATE	ISSUE	DESCRIPTION	DATE	ISSUE	DESCRIPTION
23/03/07	A	PRELIMINARY ISSUE. NOT FOR TENDER OR CONSTRUCTION.			
7/04/07	0	CONSTRUCTION CERTIFICATE ISSUE.			

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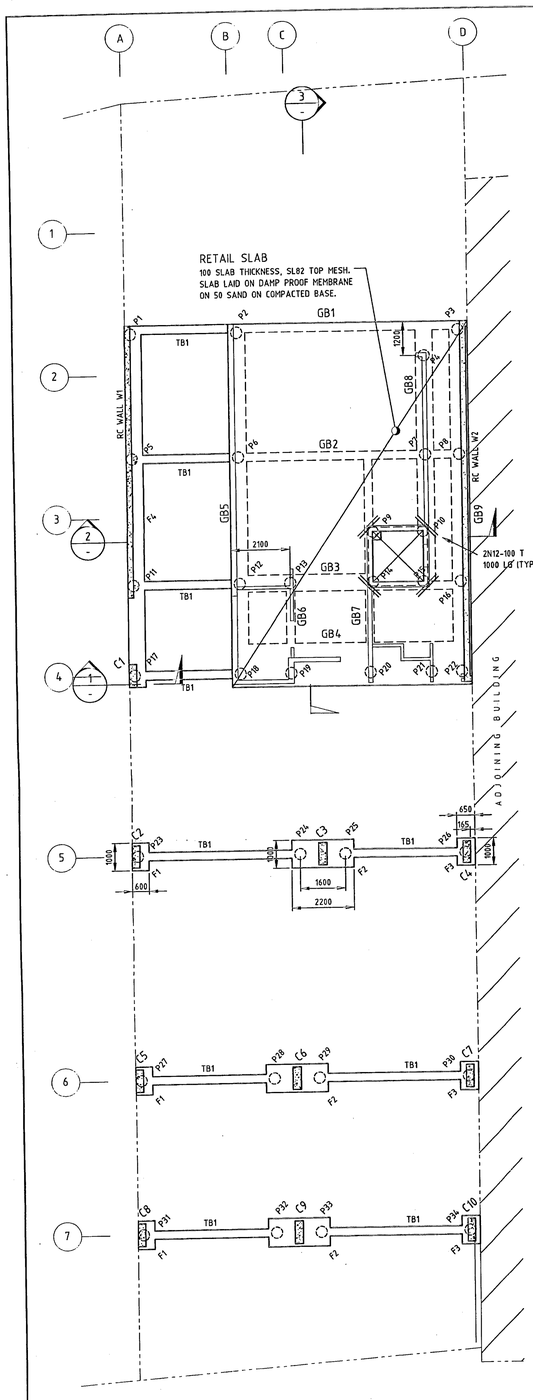
Kyle Docherty BE ME PEng
Docherty Consulting Engineers Pty Ltd

DOCHERTY CONSULTING ENGINEERS
Structural & Civil
Docherty Consulting Engineers Pty Ltd ABN 74 105 101 540 ACN 105 101 540
12 Collaroy Street, Collaroy Beach, NSW 2097 ph/fax 02 9944 0662 email: krdocherty@optusnet.com.au

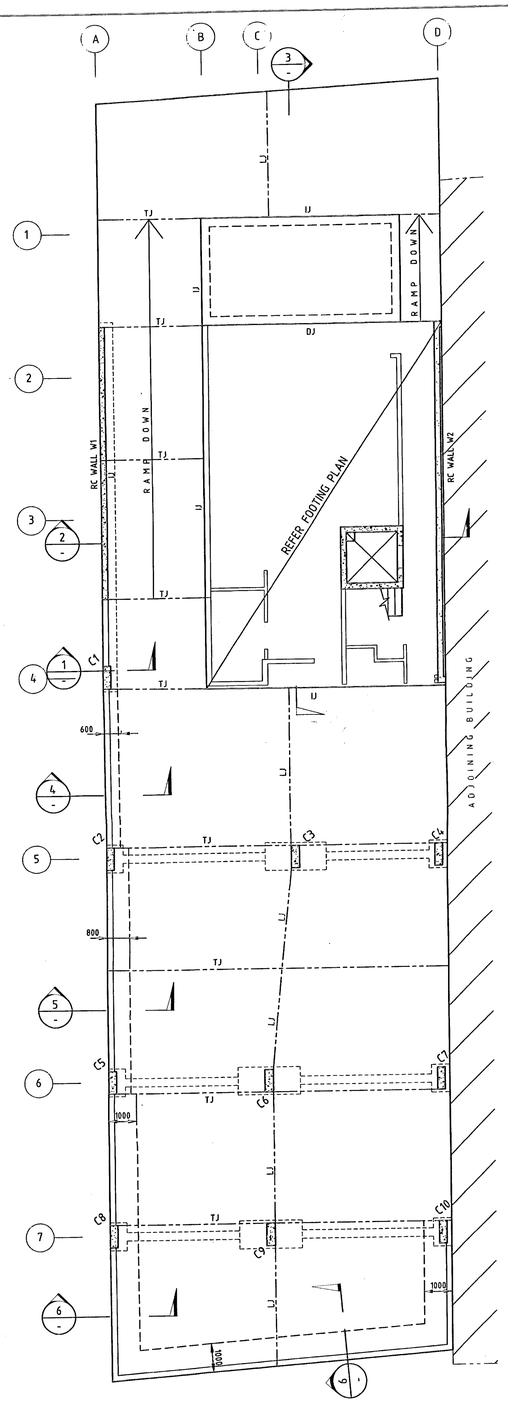
Project: NEW RETAIL / RESIDENTIAL DEVELOPMENT 369 BARRENJOEY Rd – NEWPORT For T & E CIMINO HOLDINGS Pty Ltd	Drawn: RP	Approved:			
	Date: 7.04.07	Purpose of Issue: CONSTRUCTION CERT.			
Drawing Title: COVER SHEET AND GENERAL NOTES	Scale: SHOWN	Sheet: A1	Project No: 70203	Drg No: S00	Rev: 0

PILE SCHEDULE

PILE No.	WORKING LOADS (UNFACTORED) DEAD (kN)	LIVE (kN)	PILE No.	WORKING LOADS (UNFACTORED) DEAD (kN)	LIVE (kN)	PILE No.	WORKING LOADS (UNFACTORED) DEAD (kN)	LIVE (kN)	PILE No.	WORKING LOADS (UNFACTORED) DEAD (kN)	LIVE (kN)	PILE No.	WORKING LOADS (UNFACTORED) DEAD (kN)	LIVE (kN)
P1	800	100	P8	500	50	P15	300	30	P22	500	50	P29	750	90
P2	600	100	P9	300	30	P16	500	50	P23	400	50	P30	750	70
P3	1000	100	P10	300	30	P17	250	30	P24	600	65	P31	200	30
P4	200	30	P11	400	50	P18	600	100	P25	600	65	P32	200	30
P5	400	50	P12	600	100	P19	200	30	P26	900	65	P33	200	30
P6	600	100	P13	200	30	P20	200	30	P27	500	60	P34	250	30
P7	200	30	P14	300	30	P21	200	30	P28	750	90			

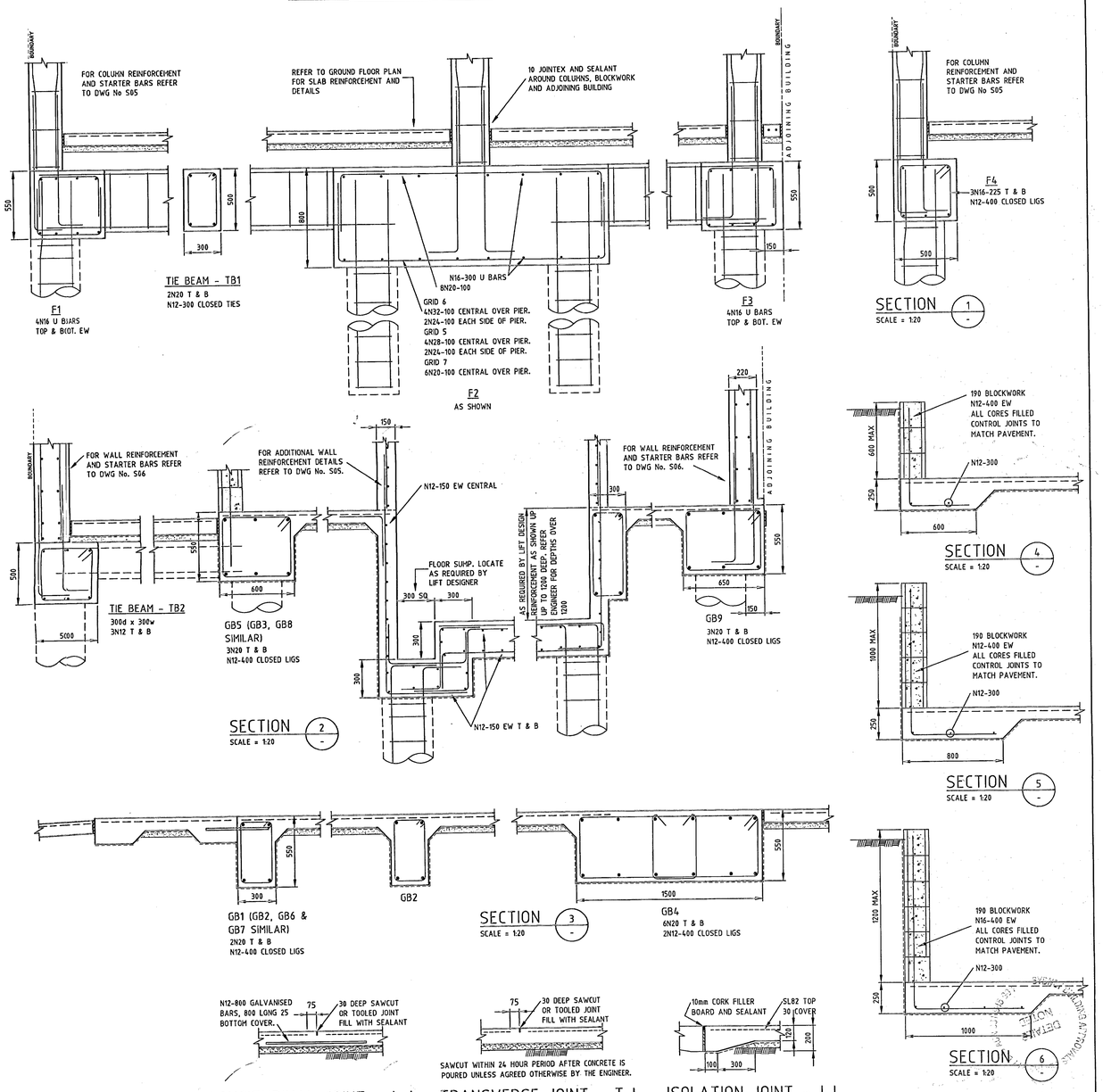


FOOTING PLAN
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100

DRIVEWAY/PAVEMENT SLAB TO BE 120 THICK (UNO(, SL82 TOP MESH ON COMPACTED SUB-GRADE TO 95% SDD IN ACCORDANCE WITH AS1289.



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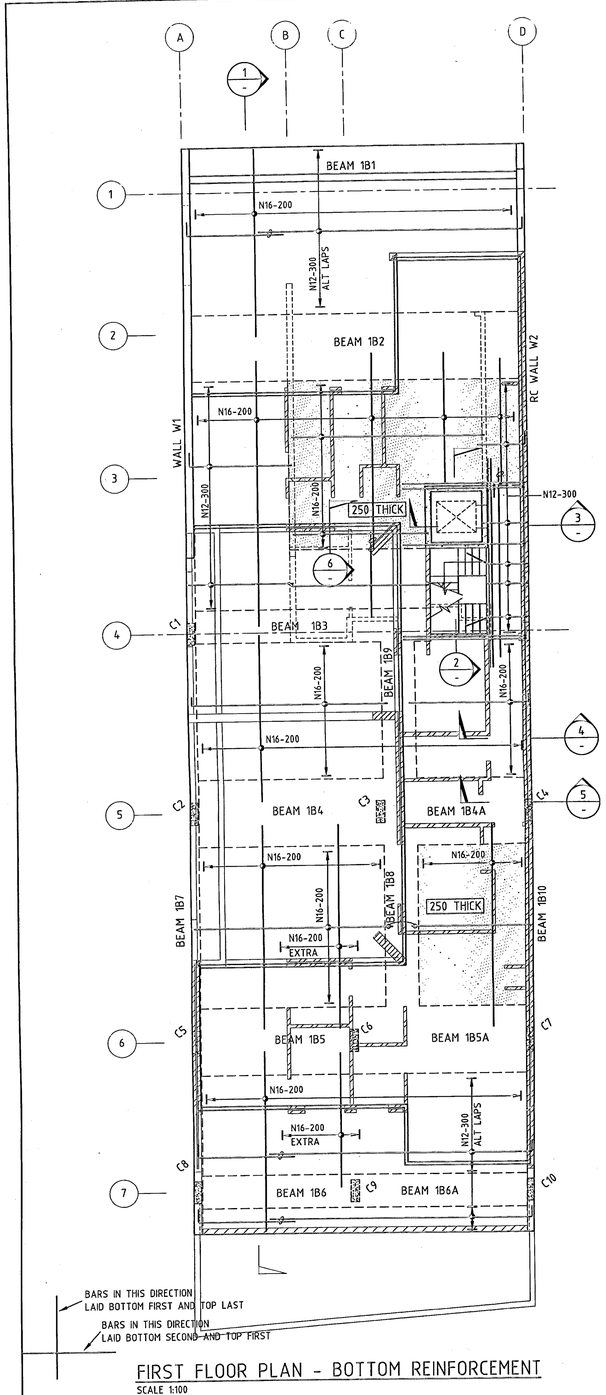
Project
NEW RETAIL / RESIDENTIAL DEVELOPMENT
369 BARRENJOEY Rd – NEWPORT
For T & E CIMINO HOLDINGS Pty Ltd

Drawing Title
FOOTING AND GROUND FLOOR PLANS

Drawn	Approved			
RP	KRDocherty			
Date 7.04.07	Purpose of Issue CONSTRUCTION CERT.			
Scale SHOWN	Sheet A1	Project No 70203	Drg No S01	Rev 0

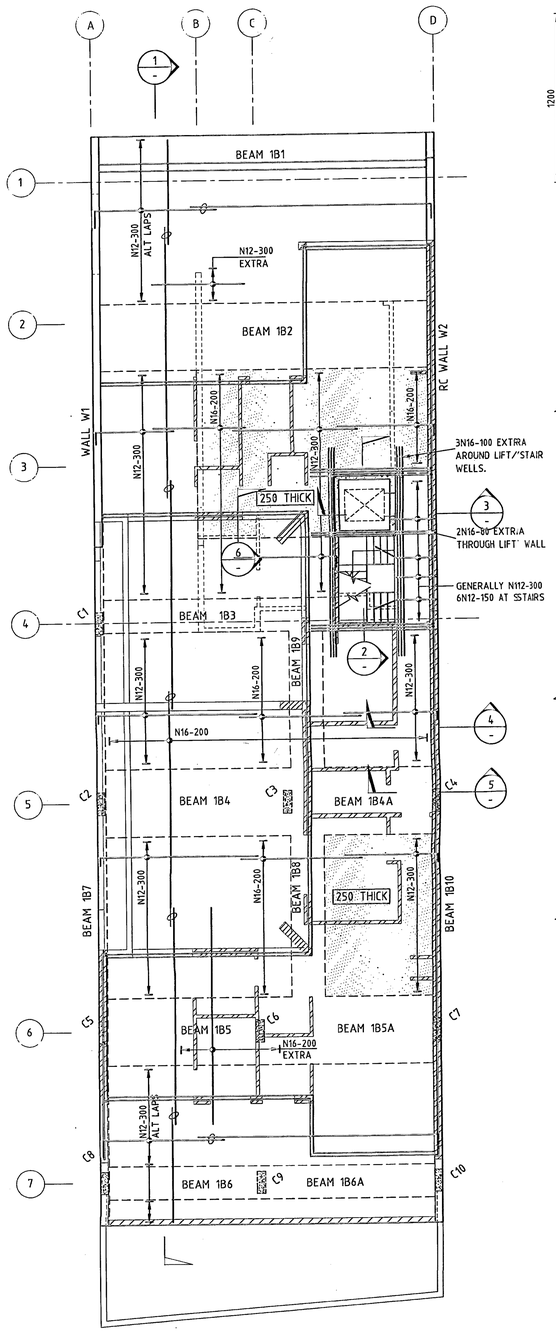


FIRST FLOOR PLAN - BOTTOM REINFORCEMENT

SCALE 1:100

SLAB TO BE 220 THICK UNO. REINFORCED AS SHOWN ON PLAN

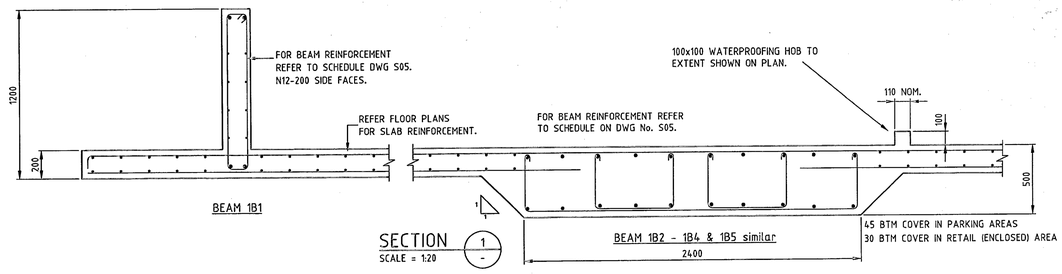
REFER TO DRAWING S05 FOR BEAM SCHEDULE



FIRST FLOOR PLAN - TOP REINFORCEMENT

SCALE 1:100

REFER TO DRAWING S05 FOR BEAM SCHEDULE



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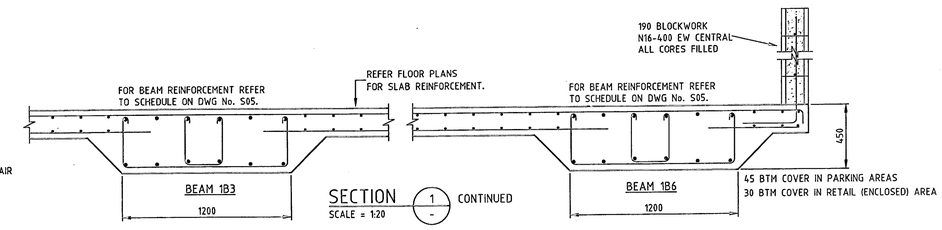

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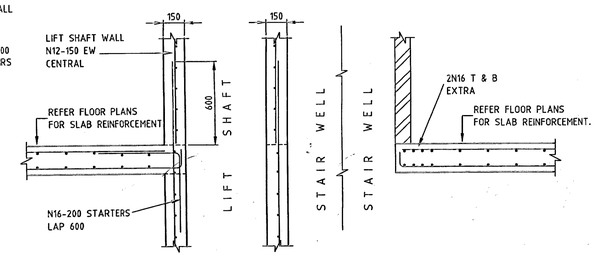

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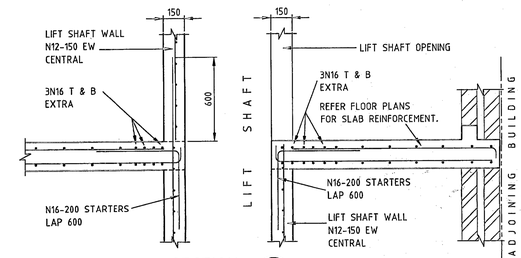

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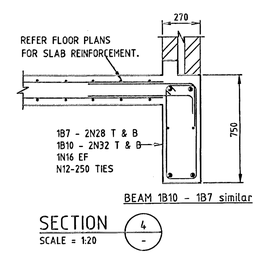

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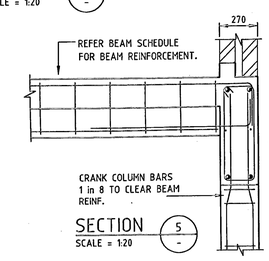

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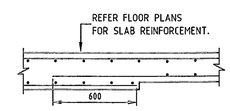

SECTION 6 / -
SCALE = 1:20

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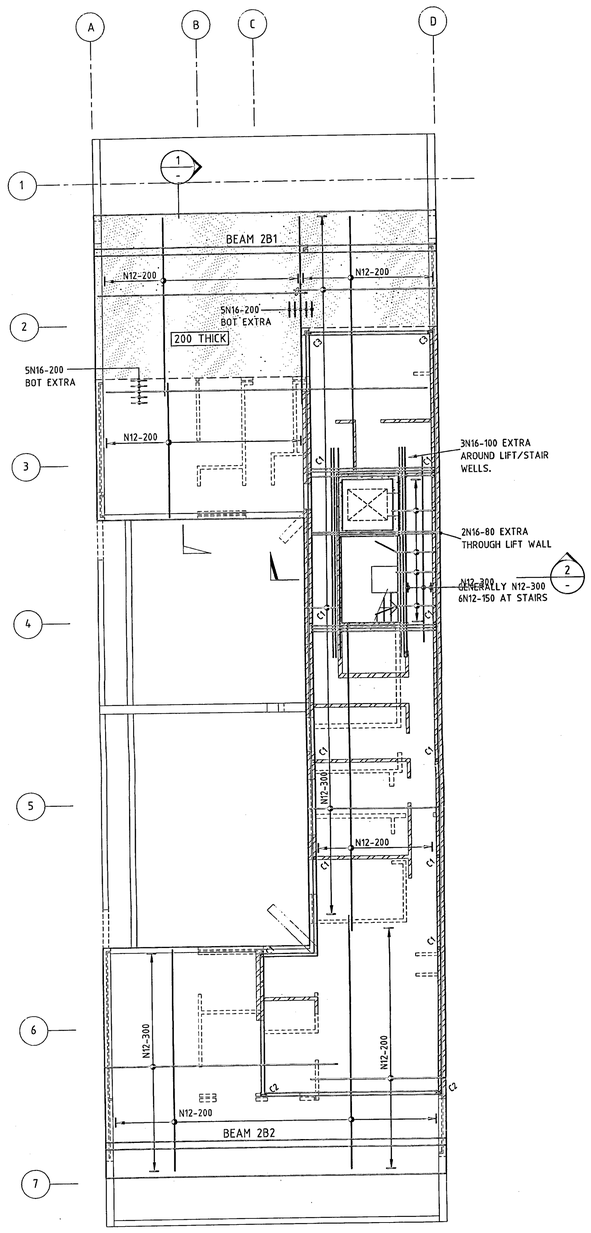
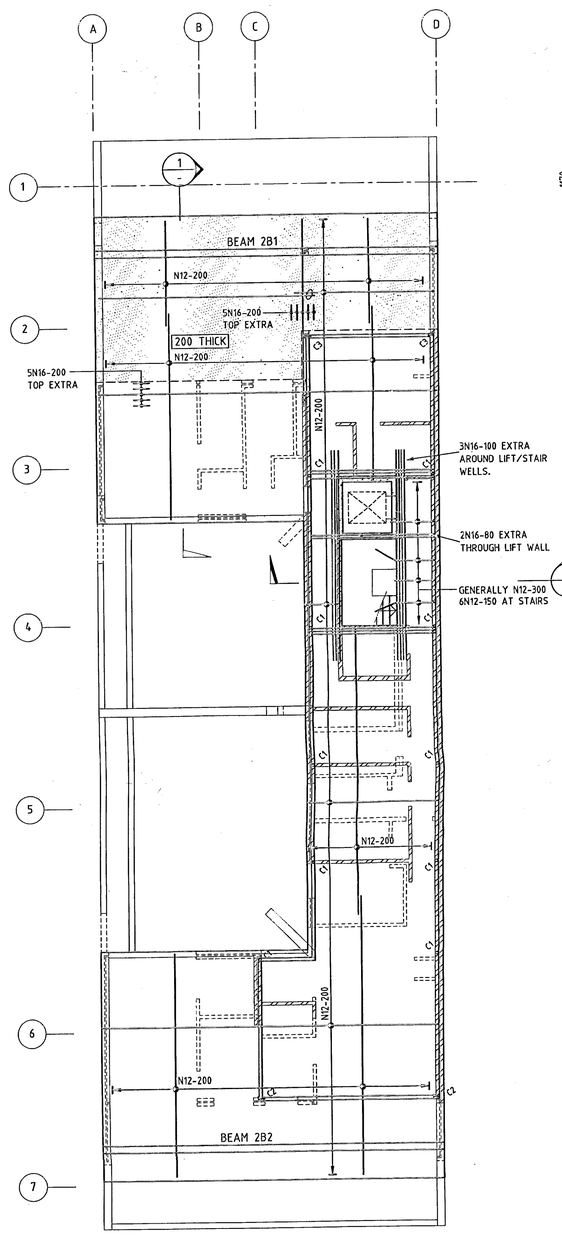
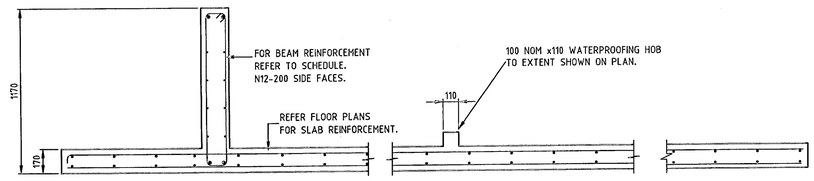
Project	NEW RETAIL / RESIDENTIAL DEVELOPMENT 369 BARRENJOEY Rd - NEWPORT For T & E CIMINO HOLDINGS Pty Ltd
Drawing Title	FIRST FLOOR PLANS

Drawn	Approved		
RP	KRDocherty		
Date	Purpose of Issue		
7.04.07	CONSTRUCTION CERT.		
Scale	Sheet	Project No	Drg No	Rev
SHOWN	A1	70203	S02	0







BEAM 2B1

SECTION 1 / -
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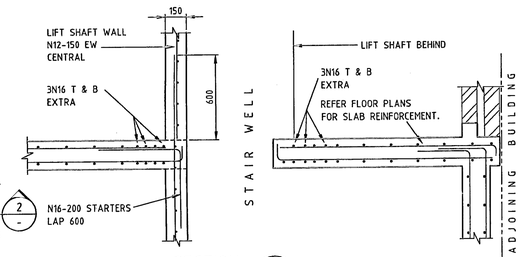

SECTION 2 / -
SCALE = 1:20

BARS IN THIS DIRECTION
LAID BOTTOM FIRST AND TOP LAST

BARS IN THIS DIRECTION
LAID BOTTOM SECOND AND TOP FIRST

SECOND FLOOR PLAN - BOTTOM REINFORCEMENT

SCALE 1:100

SLAB TO BE 170 THICK UNO. REINFORCED AS SHOWN ON PLAN

REFER TO DRAWING S05 FOR BEAM SCHEDULE

SECOND FLOOR PLAN - TOP REINFORCEMENT

SCALE 1:100

REFER TO DRAWING S05 FOR BEAM SCHEDULE

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Drawing Title
SECOND FLOOR PLANS

Drawn	Approved		
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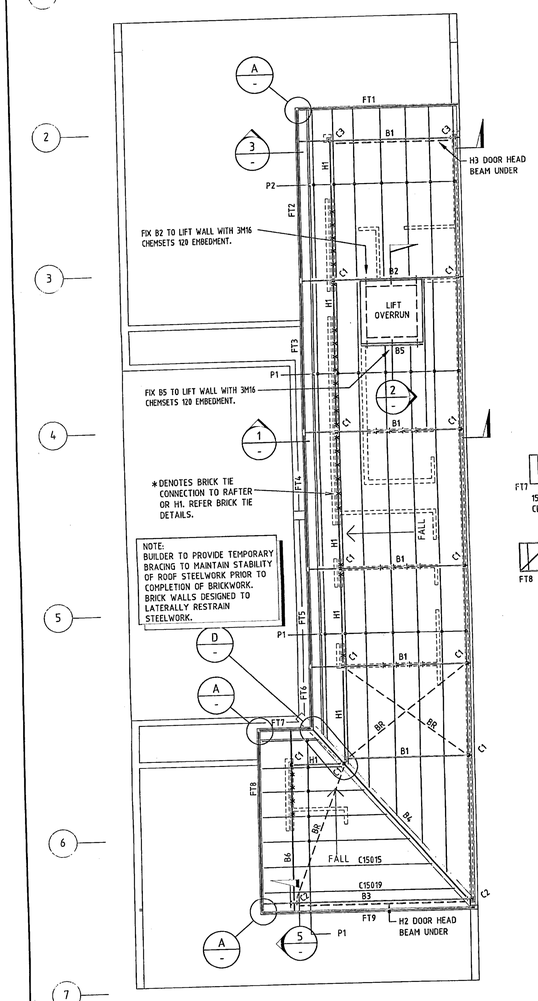
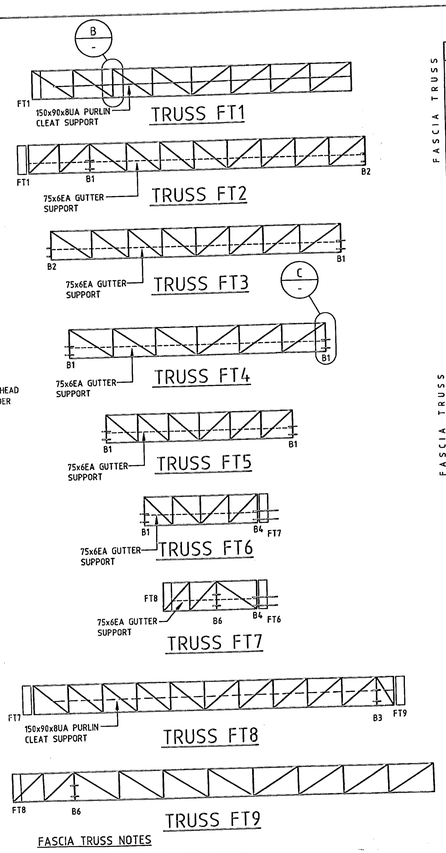
SHOWN	A1	70203	S03	0

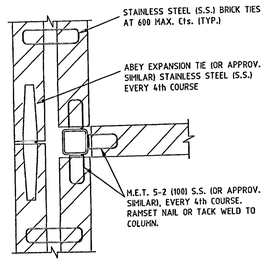


ROOF FRAMING PLAN
SCALE 1:100



TRUSS FT1
TRUSS FT2
TRUSS FT3
TRUSS FT4
TRUSS FT5
TRUSS FT6
TRUSS FT7
TRUSS FT8
TRUSS FT9

FASCIA TRUSS NOTES
ALL FASCIA TRUSS MEMBERS TO BE C15024. TYPICAL.
COLD GALVANISE ALL FASCIA TRUSS WELDS AFTER FABRICATION



TYPICAL BRICK TIE DETAILS - PLAN
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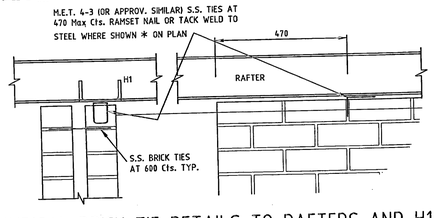

TYPICAL BRICK TIE DETAILS TO RAFTERS AND H1
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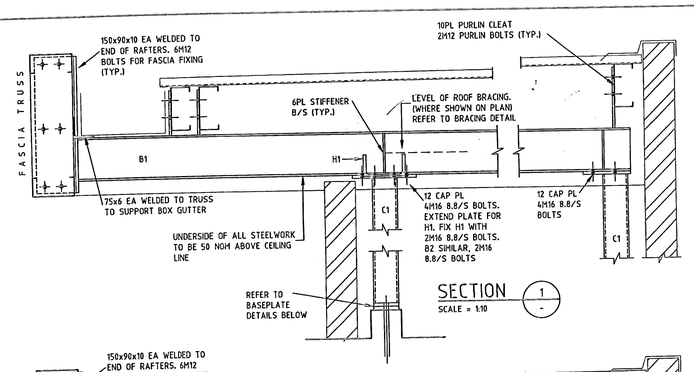

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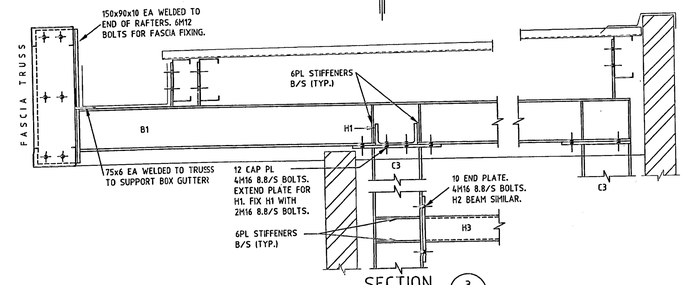
SCALE = 1:10



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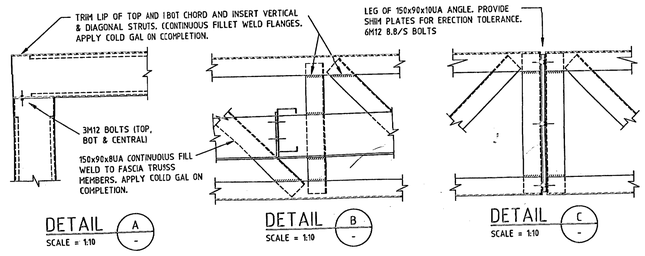
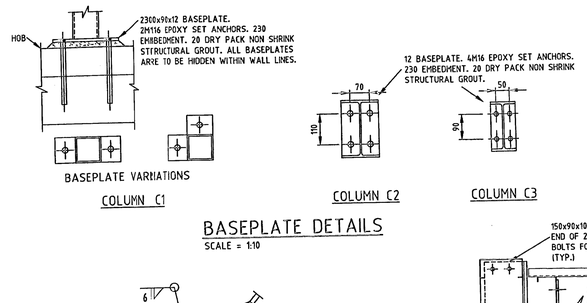
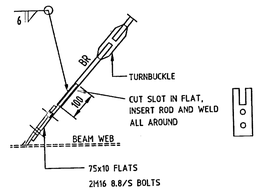


DETAIL A SCALE = 1:10
DETAIL B SCALE = 1:10
DETAIL C SCALE = 1:10

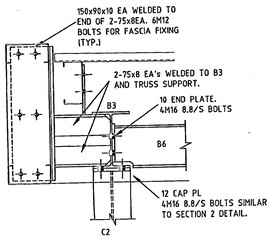


BASEPLATE VARIATIONS
COLUMN C1 COLUMN C2 COLUMN C3

BASEPLATE DETAILS
SCALE = 1:10



TYPICAL ROOF BRACING DETAIL
SCALE 1:10
SUPPORT ROD BRACING WITH 'J' BOLTS FROM EVERY PURLIN



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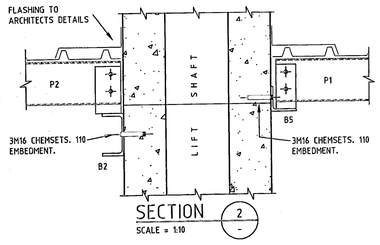

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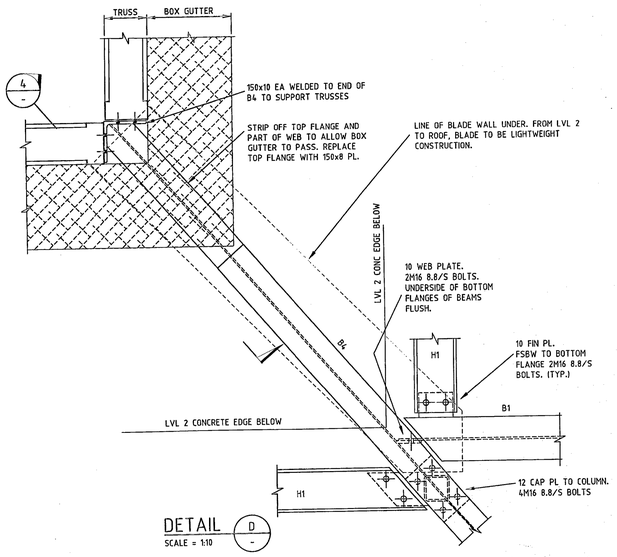

DETAIL D
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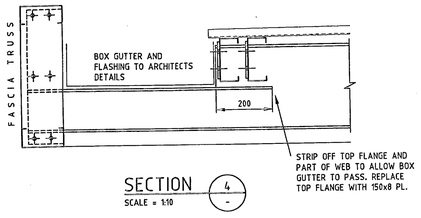

SECTION 4
SCALE = 1:10

STEELWORK SCHEDULE

B1	150UC23	H3	90x6 SHS
B2	150PFC	C1	90x6 SHS
B3	200UB22	C2	200UB22
B4	310UB32	C3	180UB18
B5	90x8 EA	BR	Ø16 ROD AND TURNBUCKLE
B6	150UC30	P1	C15012 PURLINS @ 900 Max Cts, CONTINUOUS SPAN, 1 ROW BRIDGING.
H1	150PFC	P2	C15015 PURLINS @ 900 Max Cts, 1 ROW BRIDGING.
H2	125x6SHS		

BRICKWORK JOINT NOTES:
1. REINFORCED CONCRETE SLAB AND BEAM DESIGN IS BASED ON ARTICULATED BRICKWORK.
2. ARTICULATION JOINTS ARE TO BE A MINIMUM OF 10mm WIDE AND MUST BE SEALED WITH POLYSTRENE BACKER ROD AND SELECT GUNNED SEALANT TO PREVENT MOISTURE. THE JOINT MUST BE FREE OF BRIDGING MORTAR OR RENDER.
3. JOINTS ARE TO LOCATED FROM ALL CORNERS NOT LESS THAN 0.5m AND 3.0m, AND 6m SPACINGS FOR STRAIGHT LENGTHS OF WALL. JOINT LOCATIONS SHOULD COINCIDE WITH OPENING AND BE APPROVED BY ARCHITECT.
4. ALL MATERIALS AND WORKMANSHIP IS TO BE STRICTLY IN ACCORDANCE WITH AS3700.

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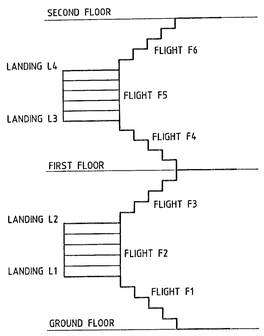
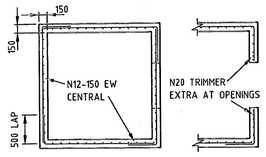
Rev	0



STAIR KEY DIAGRAM

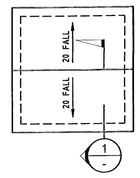
SCALE 1:50

FOR STAIR LAYOUT, RISER AND TREAD DIMENSIONS REFER TO ARCHITECTS DETAILS.



LIFT CORE WALL PLANS

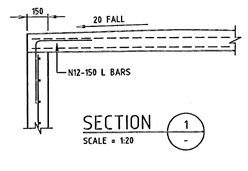
SCALE 1:50



LIFT CORE ROOF PLAN

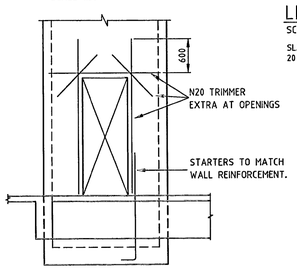
SCALE 1:50

SLAB 130 THICK MIN. SL82 MESH TOP AND BOT.
20 BOT COVER, 40 TOP COVER



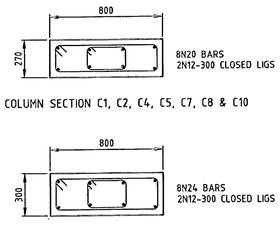
SECTION 1

SCALE = 1:20



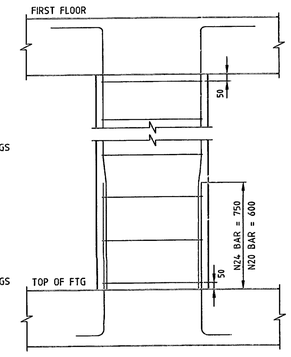
PART WALL ELEVATION

SCALE 1:50



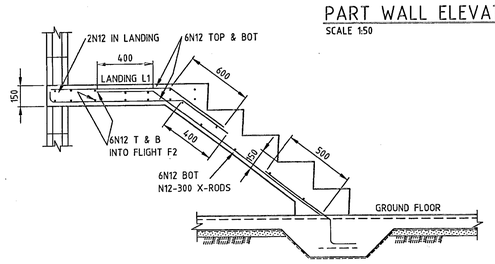
COLUMN SECTION C1, C2, C4, C5, C7, C8 & C10

COLUMN SECTION C3, C6 & C9.



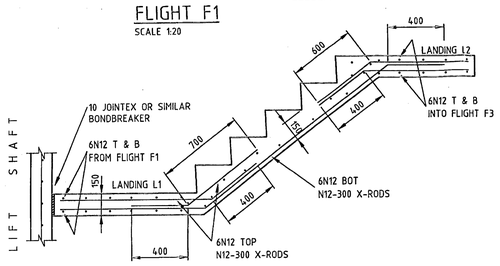
COLUMN DETAILS

SCALE 1:20



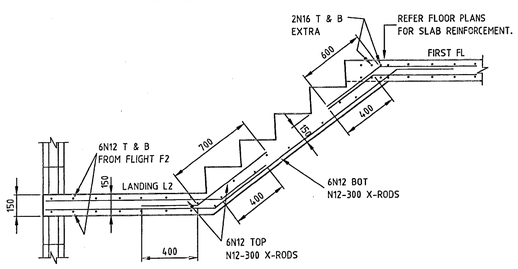
FLIGHT F1

SCALE 1:20



FLIGHT F2 - F5 SIMILAR

SCALE 1:20



FLIGHT F3 - F4, F6 SIMILAR

SCALE 1:20

MARK	MAIN REINFORCEMENT SUPPORT			SUPPORT	LIGATURE SPACING TYPE	LEFT	REMAINDER	RIGHT	LIG COVER	REMARKS
1B1 1200 x 250	4N28	2N20	4N28	2N20	N12		at 200		40	
1B2 500 x 2400	10N20	10N20	10N20	10N20	3N12		at 300		40	
1B3 400 x 1200	6N20	6N20	6N20	6N20	2N12		at 300		40	
1B4 500 x 2400		10N24	10N24	10N32	3N12		at 300		40	
1B4A 500 x 2400			10N24	10N24	3N12		at 300		40	
1B5 500 x 2400		10N24	10N24	10N28	3N12		at 300		40	
1B5A 500 x 2400			10N24	10N24	3N12		at 300		40	
1B6 450 x 1200		6N20	6N20	6N24	3N12		at 300		40	
1B6A 450 x 1200			6N20	6N20	3N12		at 300		40	
1B7,10 750x270		REFER SECTIONS					REFER SECTIONS			
1B8 450x1200	1000 INTO BEAM	7N24	7N24	7N24	1000 INTO BEAM	2N12		at 300		40
1B9 450x1200	1000 INTO BEAM	6N24	6N24	6N24	1000 INTO BEAM	2N12		at 300		40
2B1 1200 x 250		2N20	2N28	2N20		N12		at 250		40
2B2 1200 x 250		2N20	2N24	2N20		N12		at 250		40
2B3,4,5 1200 x 270		REFER SECTIONS					REFER SECTIONS			

CONSTRUCTION CERTIFICATE

'07	A	PRELIMINARY ISSUE. NOT FOR TENDER OR CONSTRUCTION.			
	0	CONSTRUCTION CERTIFICATE ISSUE.			
		DESCRIPTION	DATE	ISSUE	DESCRIPTION

PLAN CERTIFICATION

I am a Structural Engineer holding the qualification of BE (Civil) and ME (Structural) and I am appropriately qualified to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

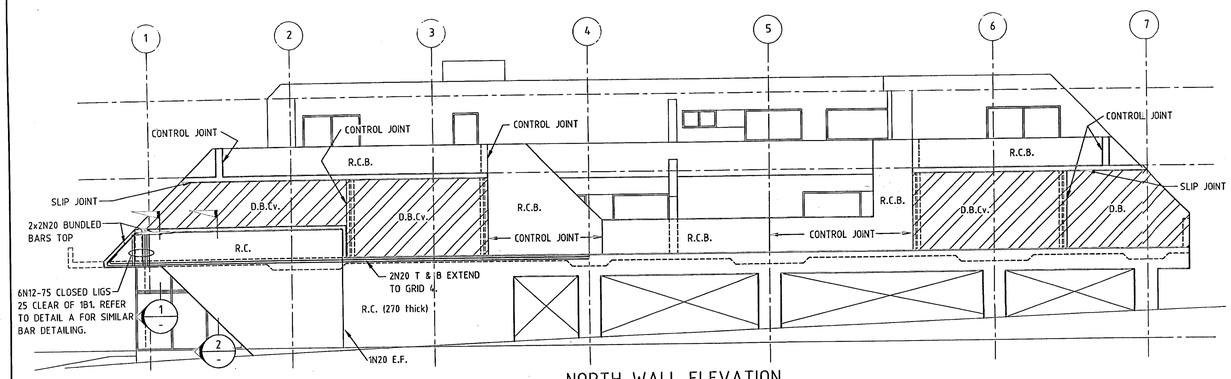
Kyle Docherty BE ME PEng
Docherty Consulting Engineers Pty Ltd

DOCHERTY CONSULTING ENGINEERS
Structural & Civil
Docherty Consulting Engineers Pty Ltd ABN 74 105 101 540 ACN 105 101 540
12 Collaroy Street, Collaroy Beach, NSW 2097 ph/fax 02 9944 0662 email: kndocherty@optusnet.com.au

Project
NEW RETAIL / RESIDENTIAL DEVELOPMENT
369 BARRENJOEY Rd – NEWPORT
For T & E CIMINO HOLDINGS Pty Ltd

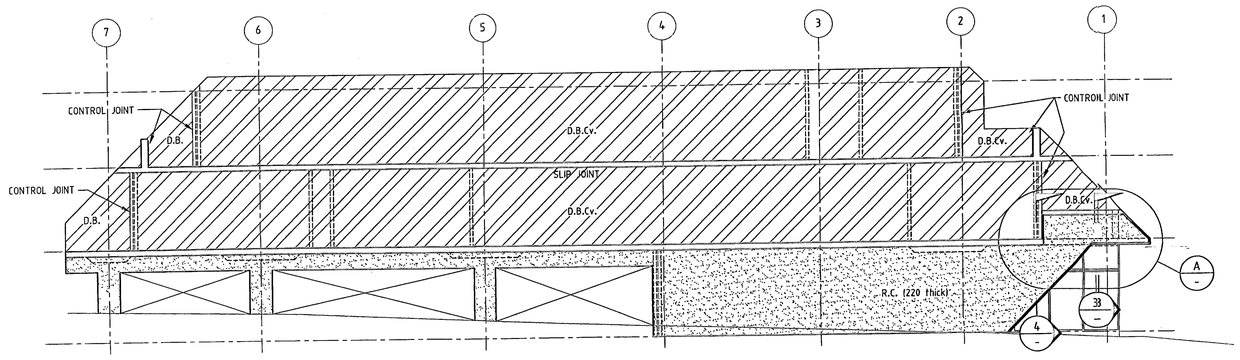
Drawing Title
CONCRETE DETAILS

Drawn	Approved			
RP	K.N.Docherty			
Date	Purpose of Issue			
7.04.07	CONSTRUCTION CERT.			
Scale	Sheet	Project No	Drg No	Rev
SHOWN	A1	70203	S05	0



NORTH WALL ELEVATION

SCALE 1:100



SOUTH WALL ELEVATION

SCALE 1:100

LEGEND

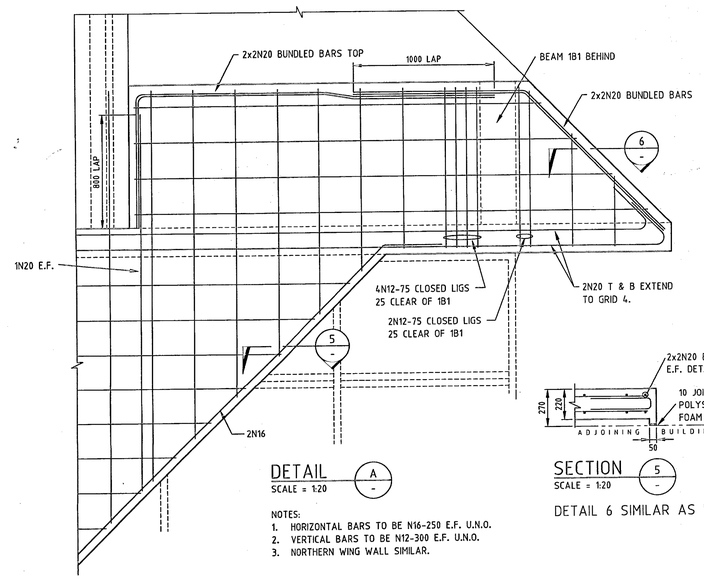
R.C. REINFORCED IN-SITU CONCRETE. N16-250 HORIZONTAL BARS EACH FACE (E.F.). N12-300 VERTICAL BARS E.F. EXTRA BARS AS SHOWN.

R.C.B. 190 BLOCKWORK REINF' WITH N16-400 E.W. CENTRAL. ALL CORES FILLED. ENGINEER TO INSPECT CLEANOUT BLOCKS.

D.B.Cv. DOUBLE BRICK CAVITY WALL.

D.B. DOUBLE BRICK ENGAGED WALL.

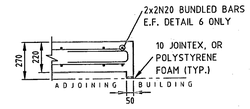
(NOTE: REFER TO DWG S04 FOR BRICK WALL NOTES FOR ARTICULATION JOINTS & DWG S00 FOR GENERAL MASONRY NOTES.)



DETAIL A

SCALE = 1:20

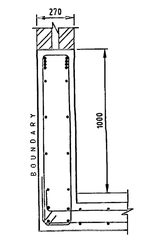
NOTES:
1. HORIZONTAL BARS TO BE N16-250 E.F. U.N.O.
2. VERTICAL BARS TO BE N12-300 E.F. U.N.O.
3. NORTHERN WING WALL SIMILAR.



SECTION 5

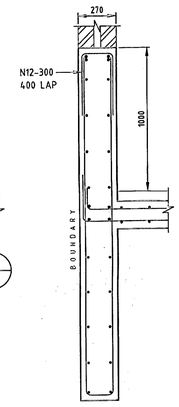
SCALE = 1:20

DETAIL 6 SIMILAR AS NOTED



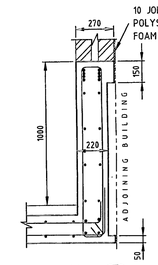
SECTION 1

SCALE = 1:20



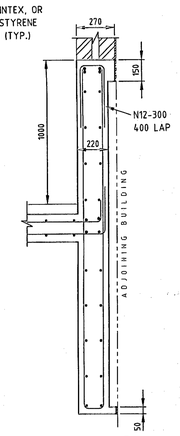
SECTION 2

SCALE = 1:20



SECTION 3

SCALE = 1:20



SECTION 4

SCALE = 1:20

CONSTRUCTION CERTIFICATE

DATE	ISSUE	DESCRIPTION	DATE	ISSUE	DESCRIPTION
23/03/07	A	PRELIMINARY ISSUE. NOT FOR TENDER OR CONSTRUCTION.			
7/04/07	0	CONSTRUCTION CERTIFICATE ISSUE.			

PLAN CERTIFICATION

I am a Structural Engineer holding the qualification of BE (Civil) and ME (Structural) and I am appropriately qualified to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

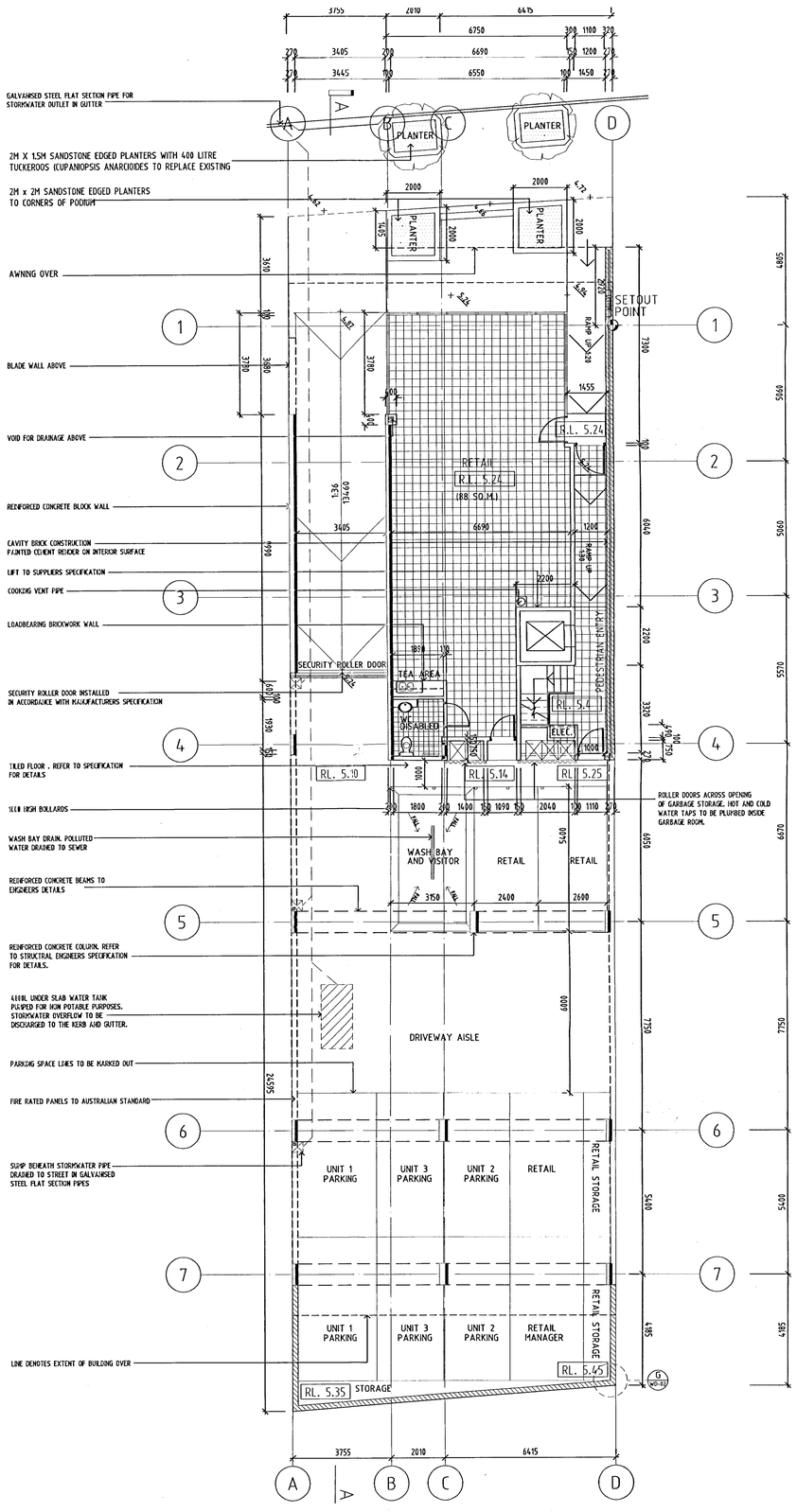
Kyle Docherty BE ME PEng
Docherty Consulting Engineers Pty Ltd

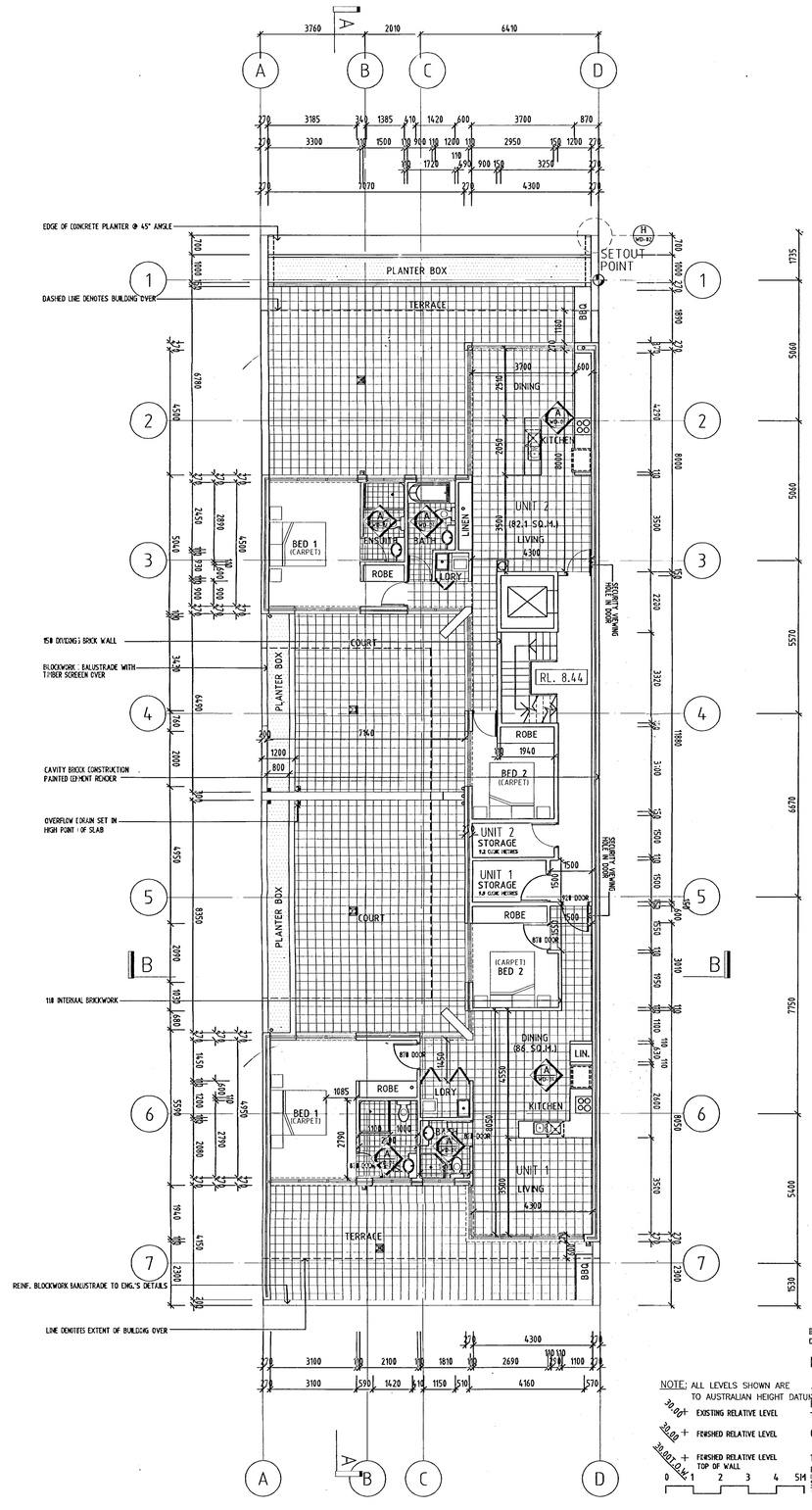
DOCHERTY CONSULTING ENGINEERS
Structural & Civil
Docherty Consulting Engineers Pty Ltd ABN 74 105 101 540 ACN 105 101 540
12 Collaroy Street, Collaroy Beach, NSW 2097 ph/fax 02 9944 0662 email: krdocherty@optusnet.com.au

Project
NEW RETAIL / RESIDENTIAL DEVELOPMENT
369 BARRENJOEY Rd – NEWPORT
For T & E CIMINO HOLDINGS Pty Ltd

Drawing Title
WALL ELEVATIONS AND DETAILS

Drawn	Approved			
RP				
Date	Purpose of Issue			
7.04.07	CONSTRUCTION CERT.			
Scale	Sheet	Project No	Drg No	Rev
SHOWN	A1	70203	S06	0





No.	REVISION	DATE
-	ISSUE TO COUNCIL	JUNE 05
B	AMENDMENT FOR COUNCIL CONSTRUCTION CERTIFICATE PLANS AMENDED	28/09 JULY 07

Recommendations

PART J1 – BUILDING FABRIC : Details on how the following recommendation will be achieved are to be demonstrated on the Construction certificate plans. Final certification to be provided to the certifier when applying for an occupation certificate.

1. Where required by this report and approved plans, Insulation must be installed to comply with the requirements set out in Section J1.2 of the Building Code of Australia (BCA) 2007. Stage inspection will be required to be carried out by the certifier & an installation certificate must be provided by the installer to state compliance with section J1.2 of the BCA & AS/NZ 4859.1

2. Insulation must be provided to the roof / ceiling of the envelope (exposed concrete roof) of the **class 6 part** of the building. Total R-Value must be **R3.2 Upwards.** Insulation company to provide a specification on how this total system (including insulation) can achieve this R-Value.

3. The external wall of the class 6 bounding the driveway to the basement must either:
   - Achieve a minimum Total R-Value of 1.8 **OR**
   - Achieve a surface density of not less than 220kg/m2 with masonry that has a thermal conductivity of less than 0.8 (this method can be used for this wall as it is shaded more than 30 degrees)

PART J2 – GLAZING:

4. Glazing and supporting frames for the class 6 (retail) part of the building must achieve a **U-Value of 6.7 (NFRC) or less and a SHGC of 1.0 (NFRC) or less** so that section J2 is satisfied. If another glazing system is to be used that doesn't comply with the above figures, it must be brought back to BECA for re-calculation. **WERS (window energy rating scheme) certificate** to be provided at completion of job stating compliance with the above figures.

PART J3 – BUILDING SEALING: The recommendations below do not apply if the only means of air conditioning is by using an evaporative cooler & to a ventilation opening that is necessary for the safe operation of a gas appliance. Details of the following recommendations to be documented on the Construction Certificate plans.

5. A foam or rubber compressible strip, fibrous seal or the like is to be provided to restrict air infiltration. Must be fitted to each edge of an external door and open-able window. This requirement does not apply if windows comply with AS 2047 and to a fire door.

6. The main entrance door to the retail area must have a self closer.

7. Exhaust fans located in the bathrooms & domestic kitchens shall be fitted with self closing dampers.

8. Roofs, floors and external walls to the conditioned spaces should be enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions or sealed by caulking, skirting, architraves, cornices or the like. (these requirements do not apply to openings, grilles and the like required for smoke hazard management)

9. If an evaporative cooler is installed, it must be fitted with a self-closing damper or the like when serving a heated space.

PART J5 - AIR-CONDITIONING & VENTILATION SYSTEMS: Upon completion, when applying for an occupation certificate, a certificate is to be provided from the manufacturer/designer & installer demonstrating compliance with the following recommendations. Details of compliance to be provided to the certifier or notes to be provided on the Construction certificate plans indicating that Section J5 will comply.

10. No details have been provided for proposed air conditioning systems, therefore all requirements for this building in climate zone 5 have been nominated. Proposed air conditioning system is to be designed to comply with section J5.2 of this report.

11. Mechanical ventilation systems to be certified by a mechanical engineer in accordance with Part J5.2 (b) of this report.

12. A time switch in accordance with **Specification J6** must be provided if one of the following is applicable: (refer to "Attachment A" for Spec J6)
    (a) Air-conditioning system of more than 10 kW.
    (b) Ventilation system with an air flow rate of more than 1000 L/s.
    (c) Heating systems of more than 10 kWheating.

PART J6 – ARTIFICIAL LIGHTING & POWER: Upon completion, when applying for an occupation certificate, certification is to provided from a licensed electrician stating compliance with the following recommendations. Details of the following recommendations to be documented on the Construction Certificate plans.

13. A detailed electrical plan was not provided, therefore compliance with J6.2 cannot be stated. The aggregate design illumination power load for the carpark **must not exceed 4990.6 Watts** & the aggregate design illumination power load for the retail part of the building **must not exceed 2708.33 Watts.**

14. Lighting switches in the retail part of the building comply. Lighting switches in the capark to be changed so that 1 lighting switch does not operate more than 250m2 in floor area.

15. As the total floor area of the carpark exceeds 250m², artificial lighting must be controlled either by a time switch or occupant sensing device as per **Specification J6 (see attachment "A").**

16 Artificial lighting around the perimeter of the building must comply with Section J6.5 of this report.

PART J7 – HOT WATER SUPPLY: Certification to be provided from a licensed plumber. Documentation to be provided on the Construction certificate plans.

17. All hot water supply systems for the residential units for food preparation and sanitary purposes, must be designed and installed in accordance with Section 8 of AS/NZS 3500.4.

PART J8 – ACCESS FOR MAINTENANCE: Documentation to be provided on the construction certificate plans.

12. Access for maintenance must be provided to all services and their component as per section J8.2.

SYDNEY BUILDING APPROVALS CENTRE PTY LTD
CONSTRUCTION CERTIFICATE No. 5118/7
Certifier : KRINELOS Accreditation No. BPS 0217
Date 4/9/7

DENIS LEECH AND ASSOCIATES PTY LIMITED ARCHITECTS

NEW RETAIL/RESIDENTIAL DEVELOPMENT

369 BARRENJOEY RD, NEWPORT
FOR
T & E CIMINO HOLDINGS Pty Ltd

GF AND 1F FLOOR PLANS

1:100

JULY 2007

NOTE: ALL LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM
30.00 + EXISTING RELATIVE LEVEL
30.00 + FINISHED RELATIVE LEVEL
30.00 + FINISHED RELATIVE LEVEL TOP OF WALL

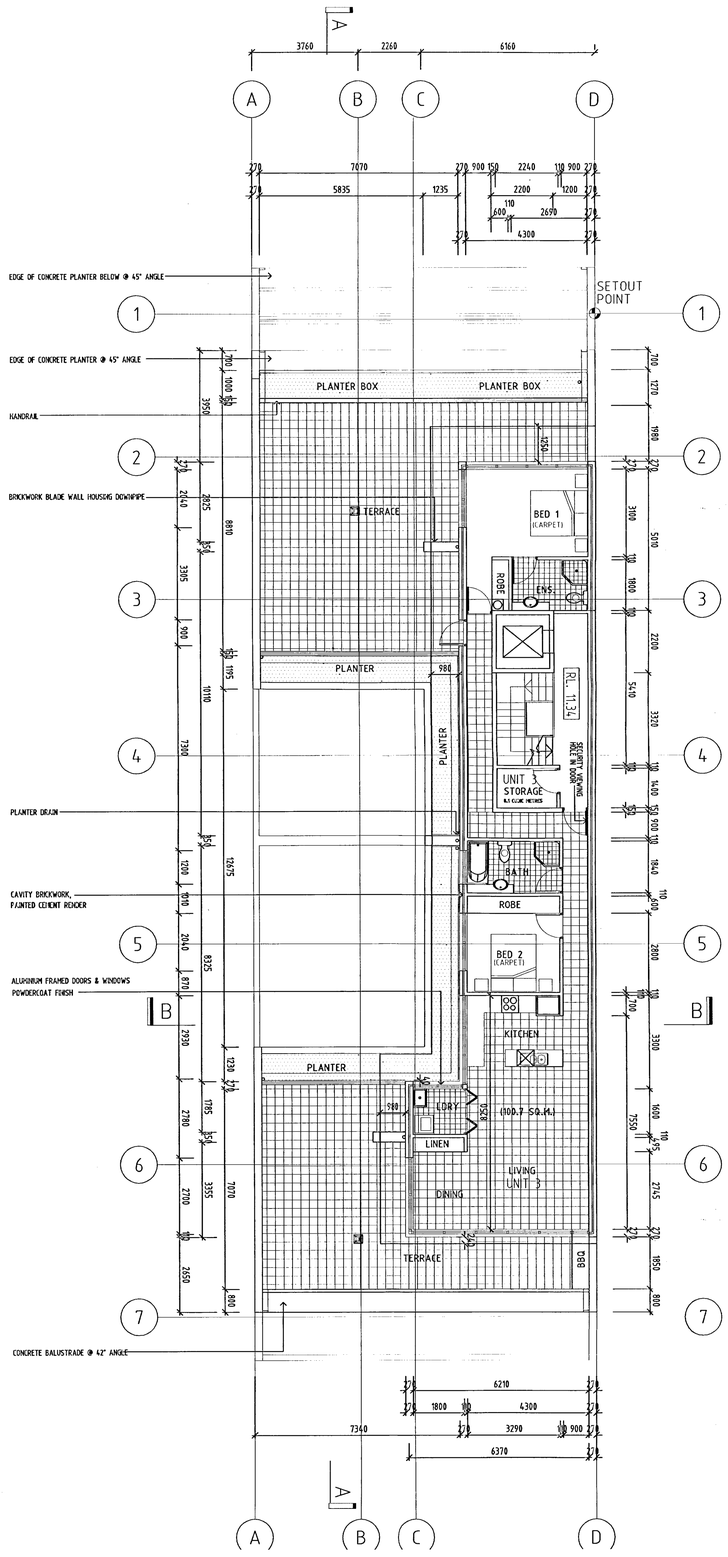
0 1 2 3 4 5M

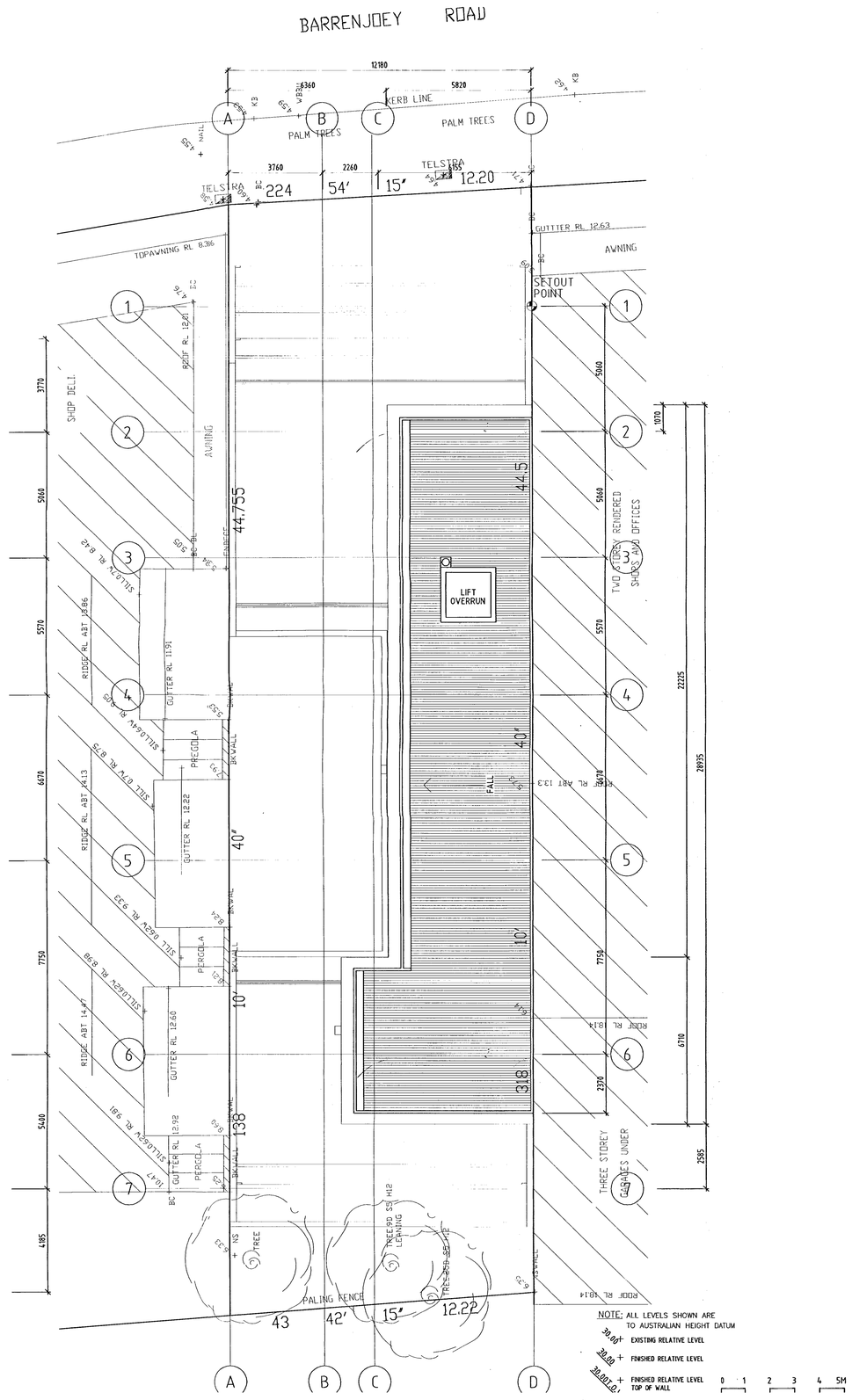
DENIS LEECH AND ASSOCIATES PTY LIMITED
INCORPORATED IN NSW. ACN 002 517 825
SUITE 4, 9 FORMOREST AVENUE, NEWPORT BEACH NSW 2106
TELEPHONE: (02) 9997 7288 FACSIMILE: (02) 9997 3169

WD-01 B

DRAWING

No.	REVISION	DATE
-	ISSUE TO COUNCIL.	JUNE 05
B	AMENDMENT FOR COUNCIL CONSTRUCTION CERTIFICATE PLANS AMENDED	28/09 JULY 07





NOTE: ALL LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM

30.00 + EXISTING RELATIVE LEVEL

30.00 + FINISHED RELATIVE LEVEL

30.00 T.O.W. + FINISHED RELATIVE LEVEL TOP OF WALL

0 1 2 3 4 5M

SYDNEY BUILDING APPROVALS CENTRE PTY LTD CONSTRUCTION CERTIFICATE No. CC18/7 Certifier J. KRINELOS Accreditation No. BPB 021 Date 4/9/7

DENIS LEECH AND ASSOCIATES PTY LIMITED ARCHITECTS

NEW RETAIL/RESIDENTIAL DEVELOPMENT

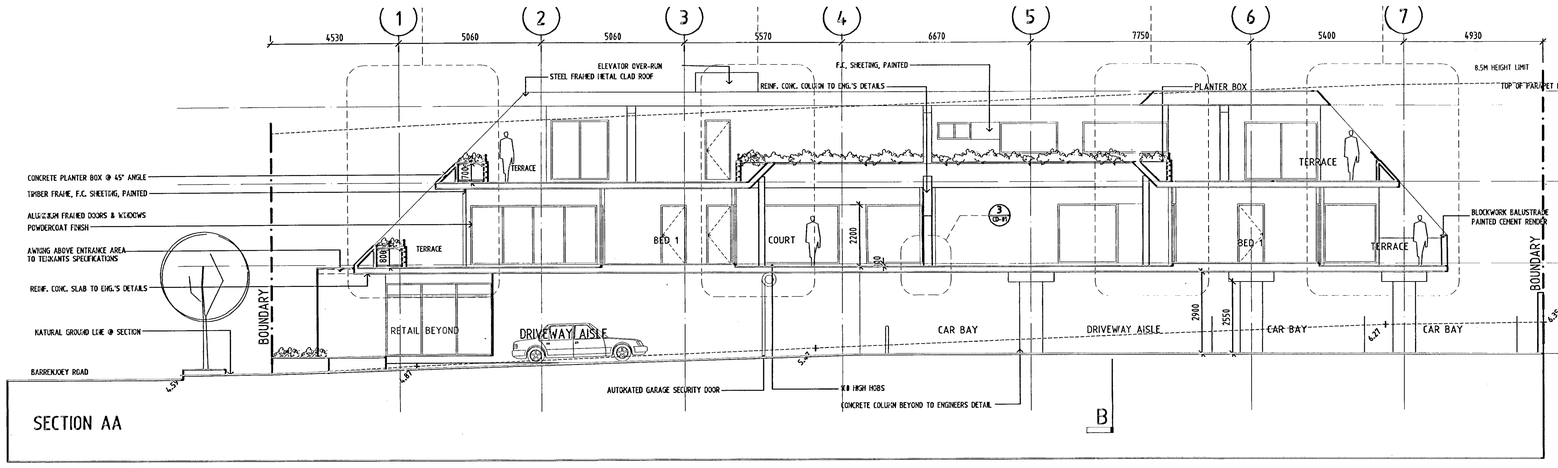
369 BARRENJOEY RD, NEWPORT
FOR
T & E CIMINO HOLDINGS Pty Ltd

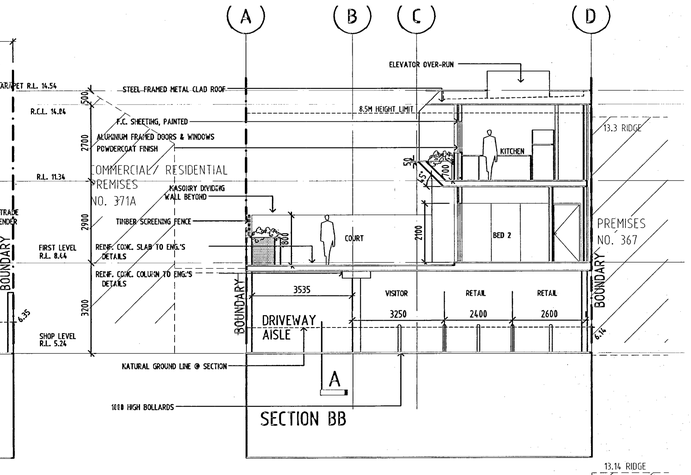
2F AND ROOF PLANS

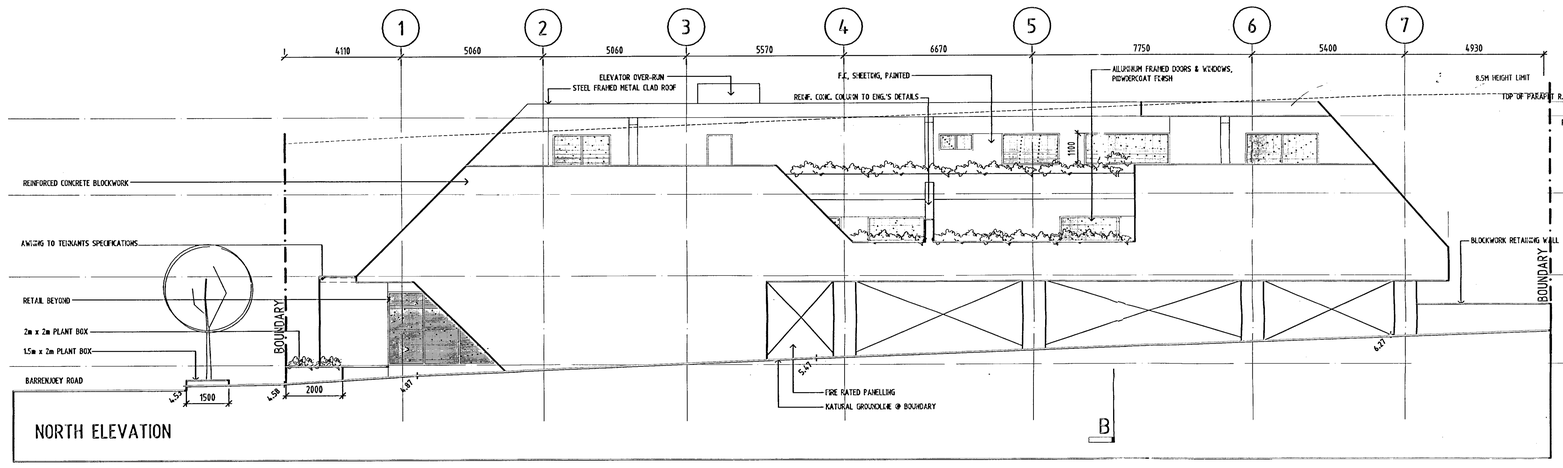
1:100 JULY 2007

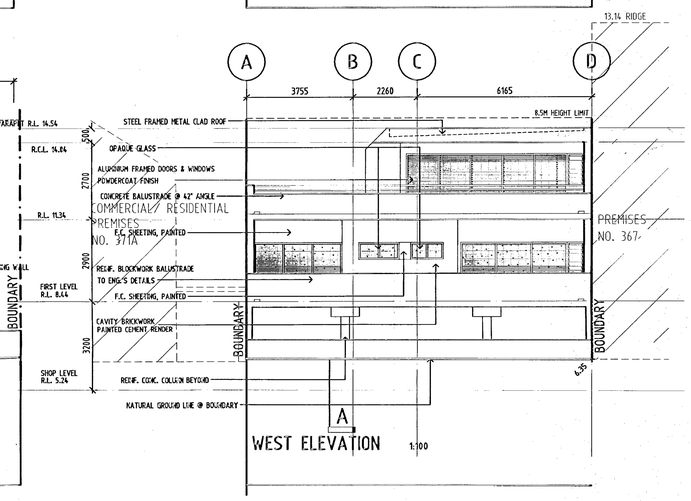
DENIS LEECH AND ASSOCIATES PTY LIMITED
INCORPORATED IN NSW ACN 002 517 825
SUITE 4, 9 FOAMCREST AVENUE, NEWPORT BEACH NSW 2106
TELEPHONE: (02) 9997 7288 FACSIMILE: (02) 9997 3169

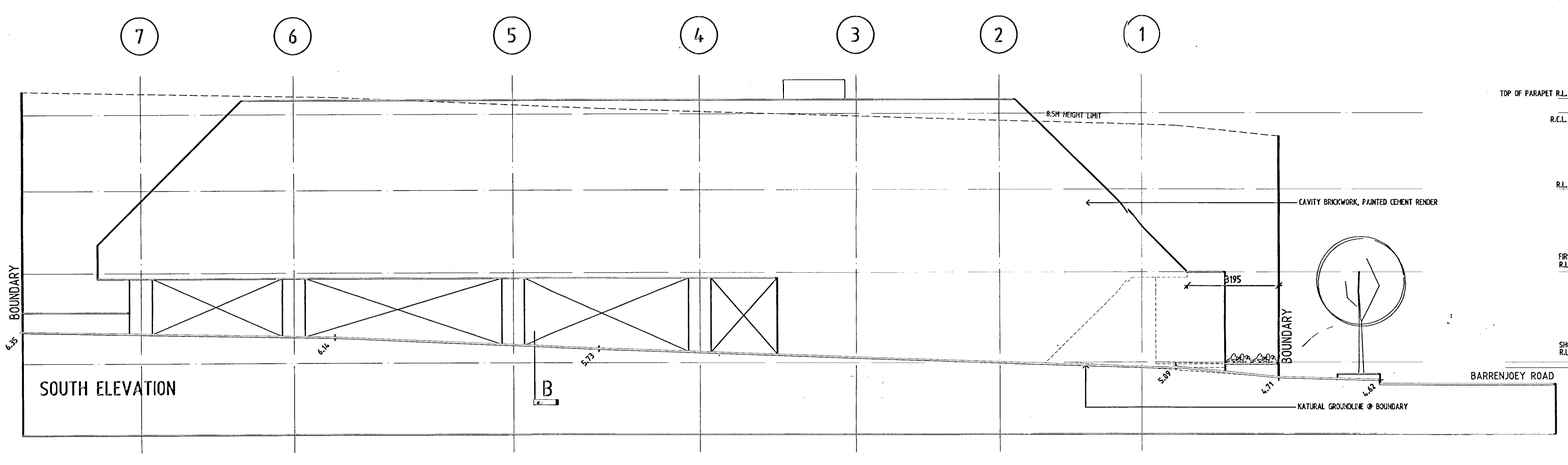
WD-02 B DRAWING

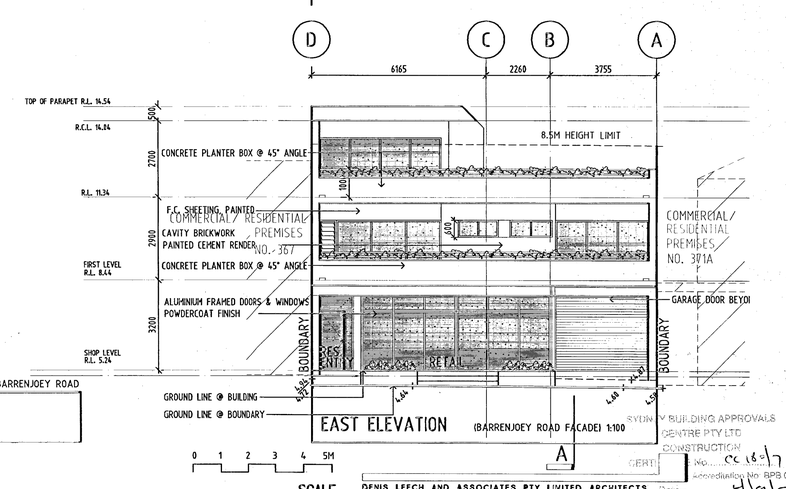












SCALE

No.	REVISION	DATE
-	ISSUE TO COUNCIL. AMENDED DESIGN CONSTRUCTION CERTIFICATE PLANS AMENDED	JUNE 05 OCT 05 JULY 07

DENIS LEECH AND ASSOCIATES PTY LIMITED ARCHITECTS

NEW RETAIL/RESIDENTIAL DEVELOPMENT

369 BARRENJOEY RD, NEWPORT
FOR
T & E CIMINO HOLDINGS Pty Ltd

ELEVATIONS AND SECTION
1:100

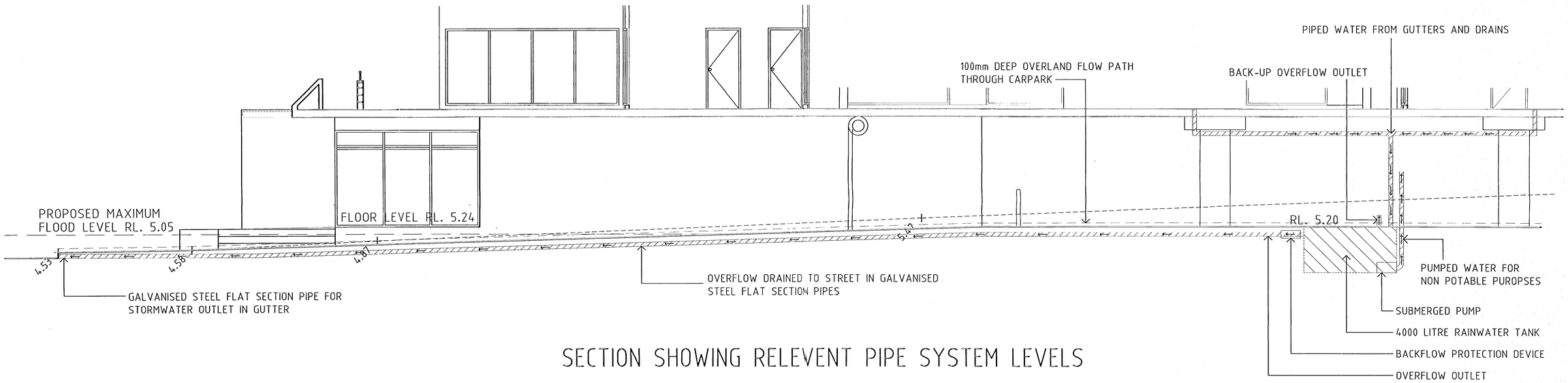
JULY 2007

DENIS LEECH AND ASSOCIATES PTY LIMITED
INCORPORATED IN NSW ACN 002 517 835
SUITE 4, 8 FISHERMENS AVENUE, NEWPORT BEACH NSW 2106
TELEPHONE: (02) 9997 7288 FACSIMILE: (02) 9997 3169

WD-03 B

DRAWING

SYDNEY BUILDING APPROVALS CENTRE PTY LTD
CONSTRUCTION CERT.
No. CC 18/7
Accreditation No. BPB 0217
4/9/7



SECTION SHOWING RELEVENT PIPE SYSTEM LEVELS

SYDNEY BUILDING APPROVALS (BCA) PTY LTD ACN 097 945 804
DETAILS NOTED

DENIS LEECH AND ASSOCIATES PTY LIMITED ARCHITECTS

NEW RESIDENTIAL UNITS
369 BARRENJOEY RD, NEWPORT
FOR
T & E CIMINO HOLDINGS Pty Ltd

HYDRAULIC DETAILS
—
1:50

JULY 2007

DENIS LEECH AND ASSOCIATES PTY LIMITED
INCORPORATED IN NSW ACN 002 517 975
SUITE 4, 8 PITTWATER AVENUE, NEWPORT BEACH NSW 2106
TELEPHONE (02) 9997 7208 FACSIMILE (02) 9997 3169

CD–05

DRAWING