



5.7

**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME

56.6
MWh/m²

www.nathers.gov.au

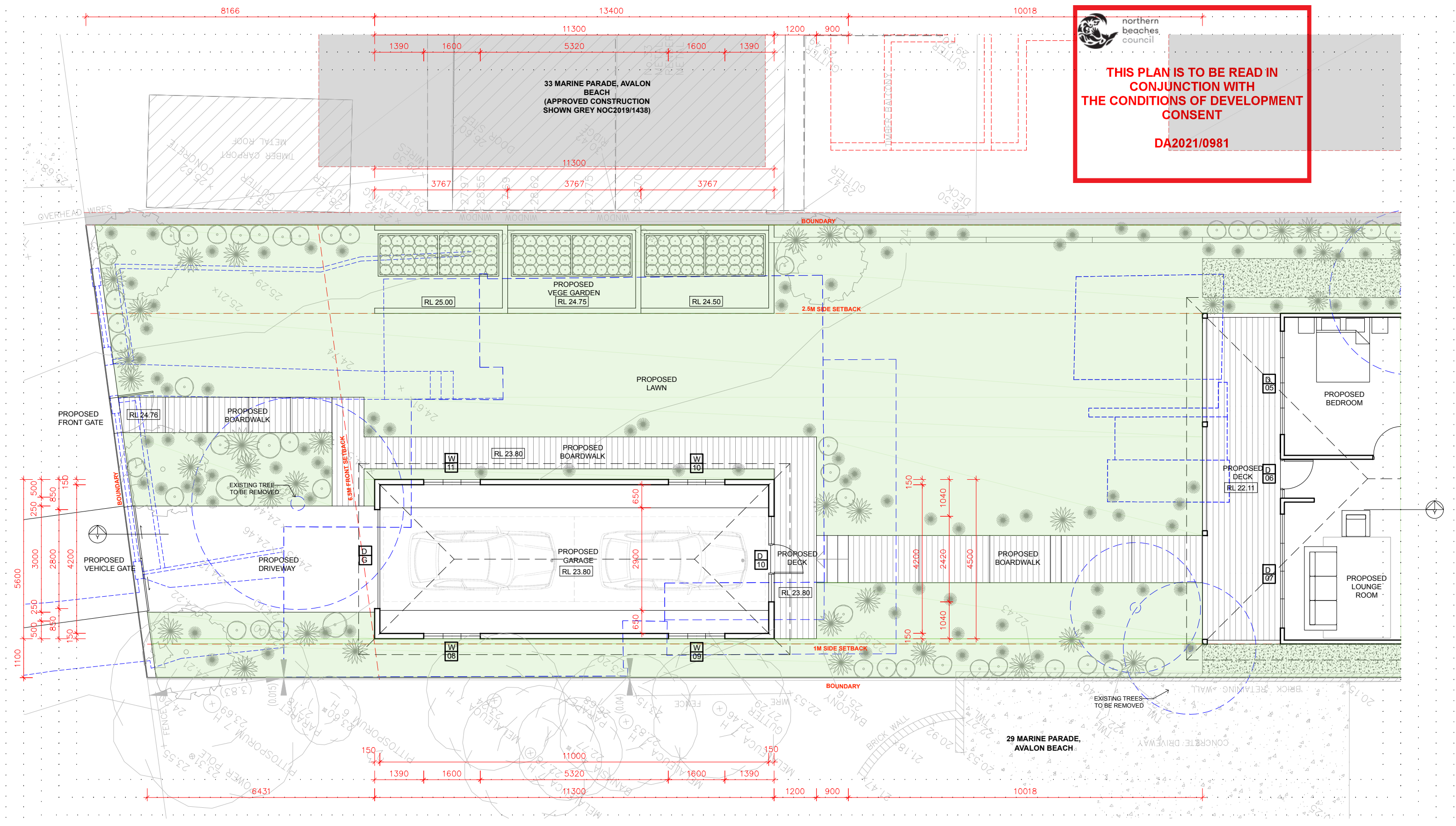
0005532734-02 18 Jun 2021

Assessor Scott Douglass
Accreditation No. 13/1547
Address
 31 Marine Parade, Avalon
 Beach, NSW, 2107



hstar.com.au





GARAGE GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @ A3

	LEGEND: 7.03 DENOTES EXISTING SPOT LEVEL RL 7.10 DENOTES PROPOSED LEVEL NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS	KEY: — DENOTES PROPOSED WALLS - - - DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED ■ DENOTES AREA OF PROPOSED LANDSCAPING ■ DENOTES AREA OF PROPOSED DEMOLITION 0005532734-02 18 Jun 2021 Assessor: Scott Douglass Accreditation No: 13/1547 Address: 31 Marine Parade, Avalon Beach, NSW, 2107 56.6 Mm www.nbh.com.au hstar.com.au	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: DEVELOPMENT APPLICATION DRAWING TITLE: GARAGE GENERAL ARRANGEMENT PLAN SCALE: 1:100 @ A3	DATE OF ISSUE: 24.05.2021 DRAWING NO. DA-101 REVISION: B	rama daniel raymond architect nsw reg. #9788 thomas martin architect nsw reg. #10383 1/18 WAKATAH ST. MONA VALE, NSW 2103 www.ramaarchitects.com e: info@ramaarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
--	--	---	---	--	---	--



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0981

5.7

NATIONWIDE HOUSE

56.6

www.nathers.gov.au

0005532734-02

18 Jun 2021

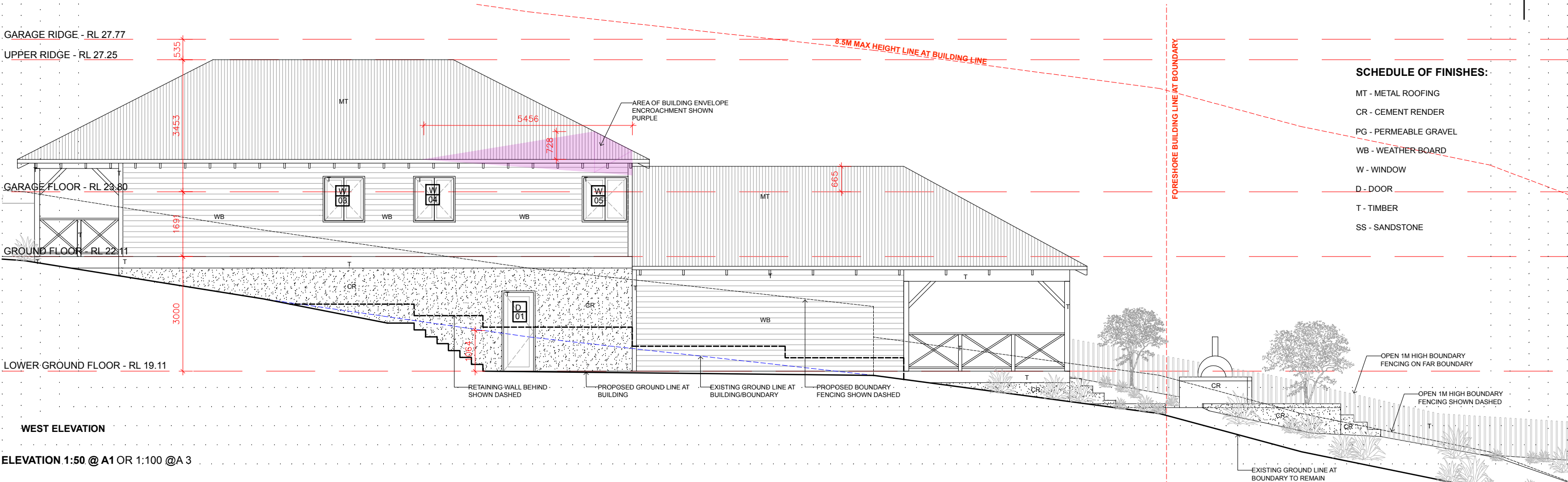
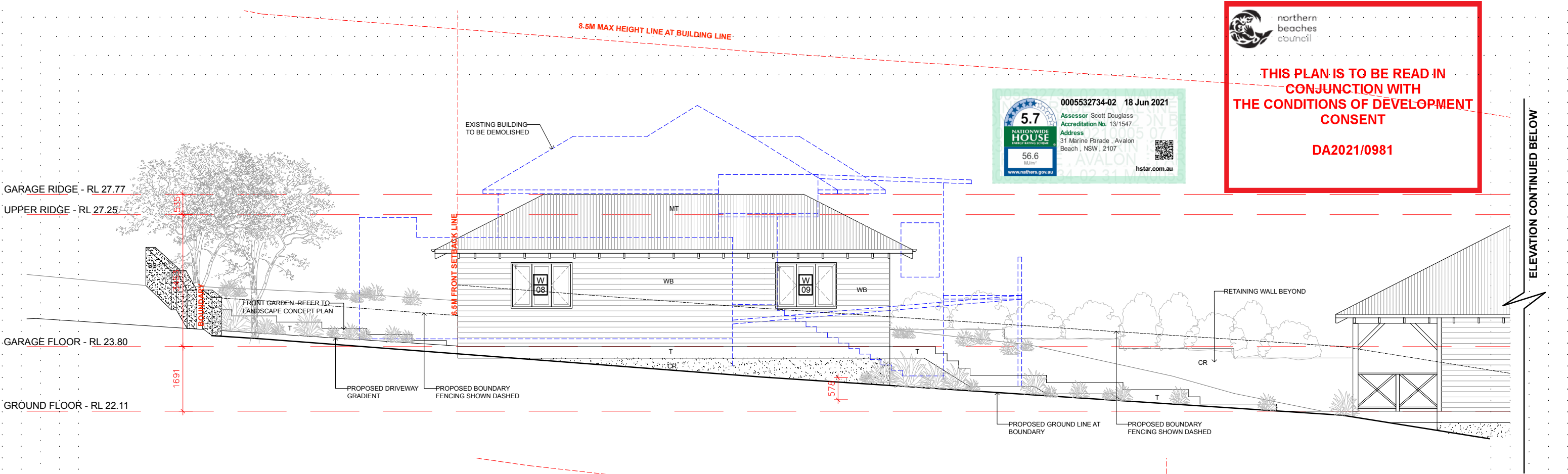
Assessor: Scott Douglass

Accreditation No. 13/1547

Address

31 Marine Parade, Avalon Beach, NSW, 2107

hstar.com.au



SCHEDULE OF FINISHES:

- MT - METAL ROOFING
- CR - CEMENT RENDER
- PG - PERMEABLE GRAVEL
- WB - WEATHER BOARD
- W - WINDOW
- D - DOOR
- T - TIMBER
- SS - SANDSTONE

LEGEND:

-  DENOTES EXISTING SPOT LEVEL
-  DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DAAPPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS

KEY:

-  DENOTES PROPOSED WALLS
-  DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED
-  DENOTES AREA OF PROPOSED LANDSCAPING
-  DENOTES AREA OF PROPOSED DEMOLITION

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
ELEVATION SHEET 01

SCALE:
1:100 @ A3

DATE OF ISSUE:
24.05.2021

DRAWING NO.
DA-300

REVISION:
B

rama

daniel reynold
architect
nsw reg. #97688
thomas martin
architect
nsw reg. #10383
1 / 6 WARATAH ST.
MONA VALE, NSW, 2103
www.ramaarchitects.com
e. info@ramaarchitects.com
ABN 612 713 425

COPYRIGHT OF RAMA ARCHITECTS PTY LTD.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

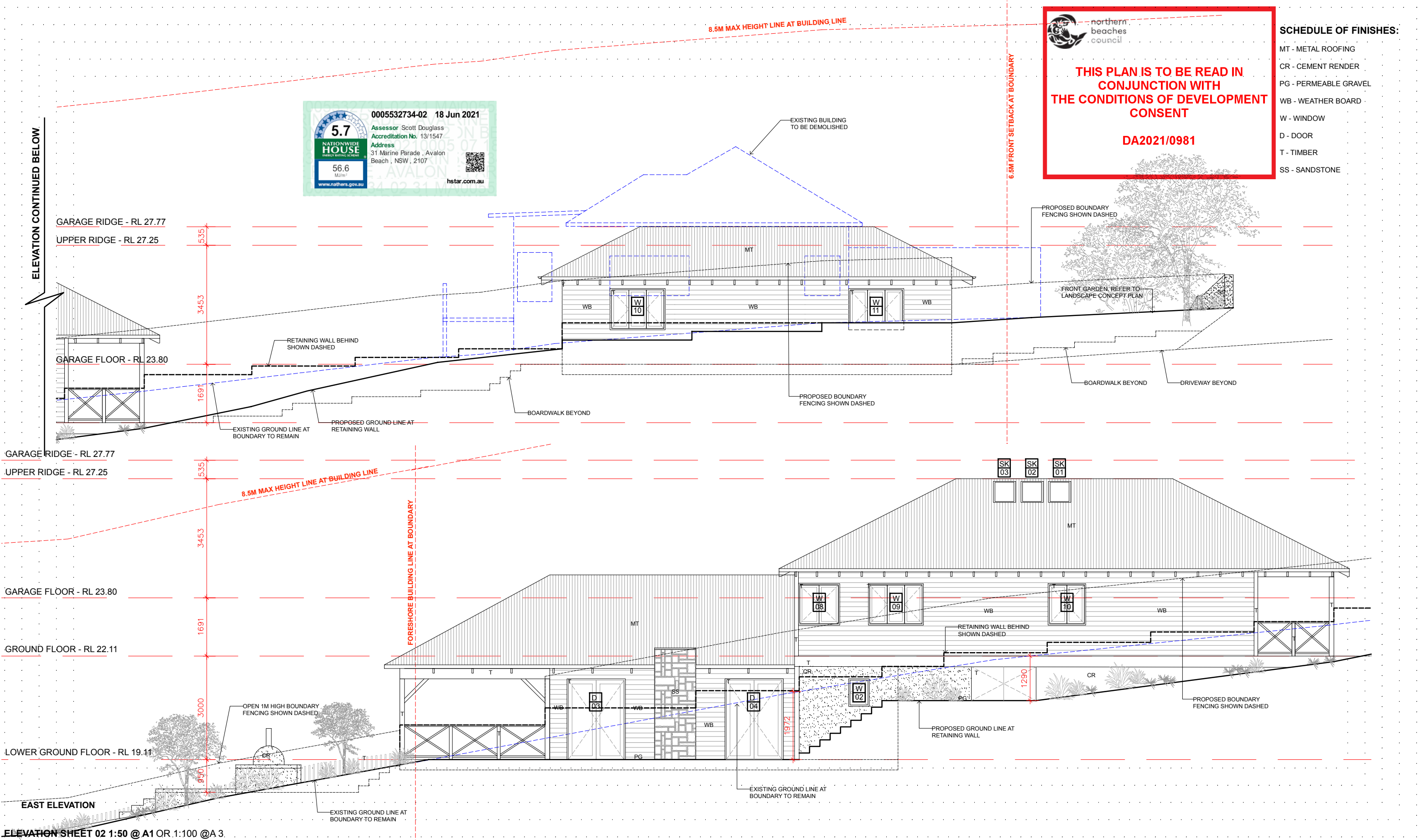
 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0981



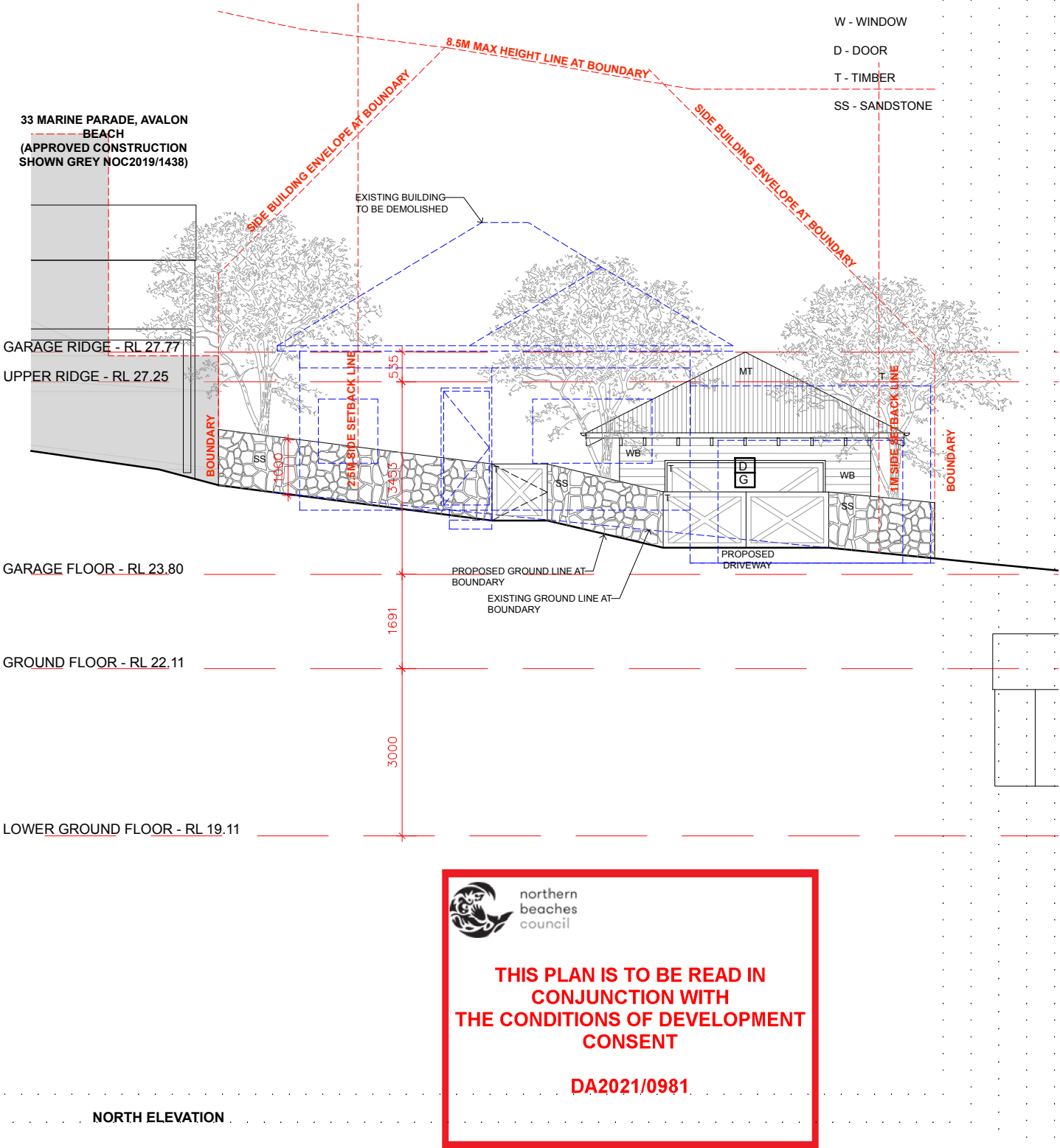
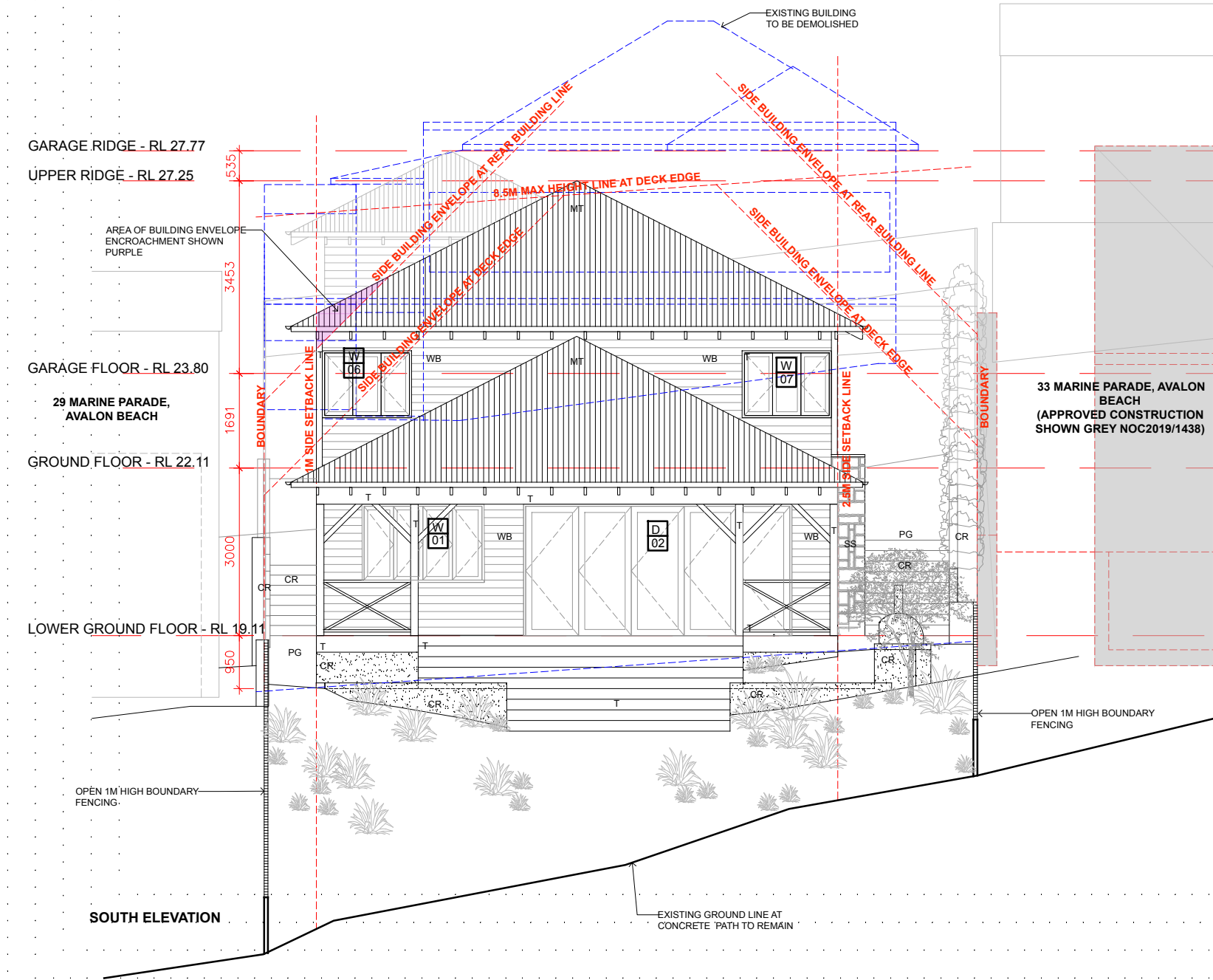
- ## SCHEDULE OF FINISHES:
- MT - METAL ROOFING
CR - CEMENT RENDER
PG - PERMEABLE GRAVEL
WB - WEATHER BOARD
W - WINDOW
D - DOOR
T - TIMBER
SS - SANDSTONE



	LEGEND: DENOTES EXISTING SPOT LEVEL DENOTES PROPOSED LEVEL NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS	KEY: DENOTES PROPOSED WALLS DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED DENOTES AREA OF PROPOSED LANDSCAPING DENOTES AREA OF PROPOSED DEMOLITION	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: DEVELOPMENT APPLICATION DRAWING TITLE: ELEVATION SHEET 02 SCALE: 1:100 @ A3	DATE OF ISSUE: 24.05.2021 DRAWING NO. DA-301 REVISION: B	r a m a daniel raymond architect nsw reg. #9768 thomas martin enrolled nsw reg. #10383 1 / 8 WARRADAH ST. MONA VALE, NSW, 2103 www.ramaarchitects.com e. info@ramaarchitects.com ABN 612 713 425 COPYRIGHT © RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
--	---	---	---	---	---	--

SCHEDULE OF FINISHES:

- MT - METAL ROOFING
CR - CEMENT RENDER
PG - PERMEABLE GRAVEL
WB - WEATHER BOARD
W - WINDOW
D - DOOR
T - TIMBER
SS - SANDSTONE

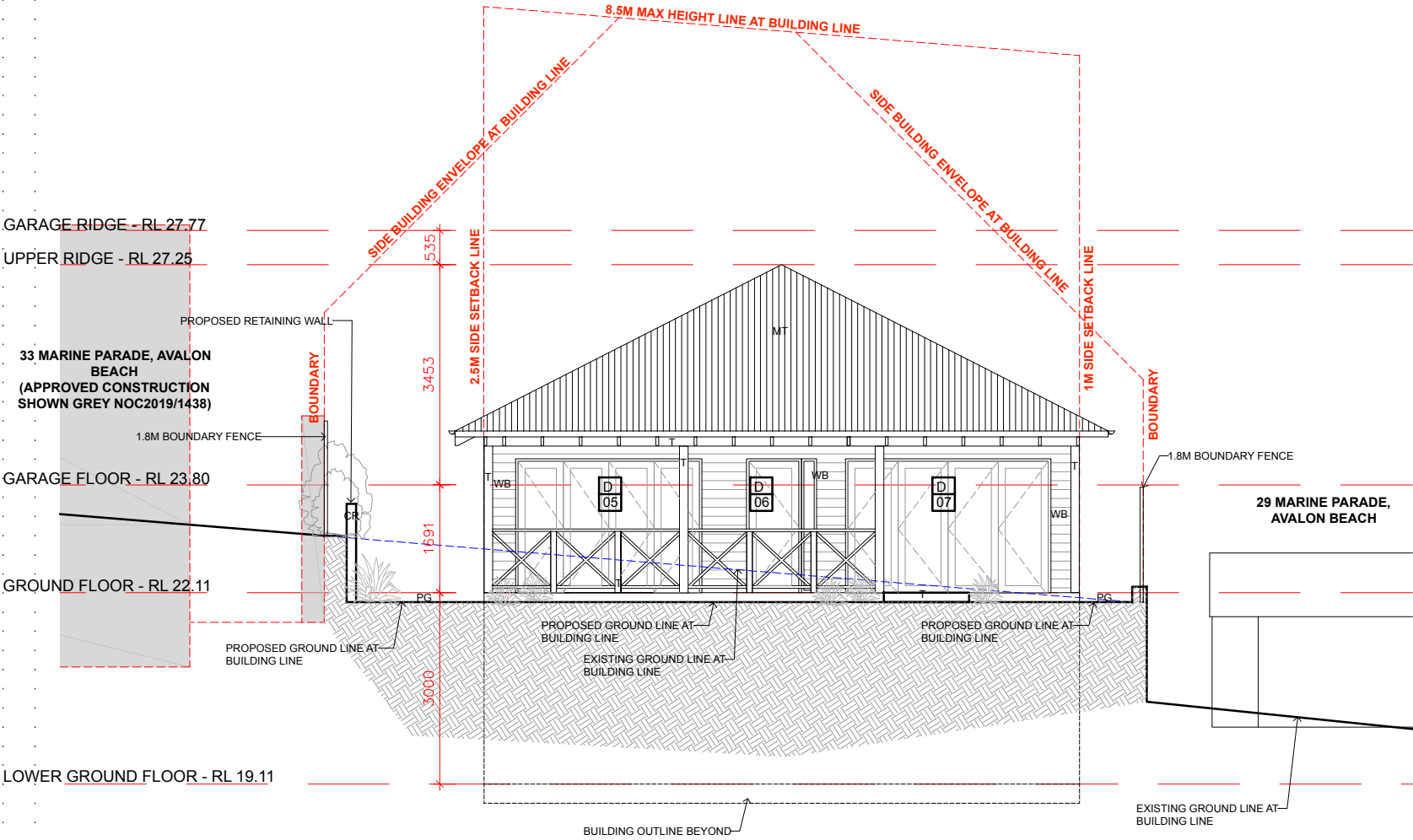


ELEVATION SHEET 03 1:50 @ A1 OR 1:100 @ A3

LEGEND: 7.03 DENOTES EXISTING SPOT LEVEL RL 7.10 DENOTES PROPOSED LEVEL NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS	KEY: DENOTES PROPOSED WALLS DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED DENOTES AREA OF PROPOSED LANDSCAPING DENOTES AREA OF PROPOSED DEMOLITION	PROJECT: PROPOSED NEW RESIDENTIAL DWELLING CLIENT: SHAUN TIMBRELL & SARAH PARKER LOCATION: 31 MARINE PARADE, NORTH AVALON, NSW	PROJECT STAGE: DEVELOPMENT APPLICATION DRAWING TITLE: ELEVATION SHEET 03 SCALE: 1:100 @ A3	DATE OF ISSUE: 24.05.2021 DRAWING NO. DA-302 REVISION: B	rama daniel reymond architect nsw reg. #97688 thomas martin architect nsw reg. #10363 1 / 6 WARATAH ST. MONA VALE, NSW, 2103 www.ramaarchitects.com e. info@ramaarchitects.com ABN 612 713 425 COPYRIGHT OF RAMA ARCHITECTS PTY LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING
--	---	---	---	---	---

SCHEDULE OF FINISHES:

- MT - METAL ROOFING
CR - CEMENT RENDER
PG - PERMEABLE GRAVEL
WB - WEATHER BOARD
W - WINDOW
D - DOOR
T - TIMBER
SS - SANDSTONE



NORTH ELEVATION AT BUILDING LINE

ELEVATION SHEET 04 1:50 @ A1 OR 1:100 @ A3

LEGEND:

- $\triangleright_{0.3}$ DENOTES EXISTING SPOT LEVEL
RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS

KEY:

- DENOTES PROPOSED WALLS
 DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED
 DENOTES AREA OF PROPOSED LANDSCAPING
 DENOTES AREA OF PROPOSED DEMOLITION

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
ELEVATION SHEET 04

SCALE:
1:100 @ A3

DATE OF ISSUE:
24.05.2021

DRAWING NO.
DA-303

REVISION:
B

r a m a

daniel reymond
architect
nsw reg. #97688
thomas martin
architect
nsw reg. #10383
1 / 6 WARATAH ST.
MONA VALE, NSW, 2103
www.ramaarchitects.com
e. info@ramaarchitects.com
ABN 612 713 425
COPYRIGHT OF RAMA ARCHITECTS PTY LTD.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

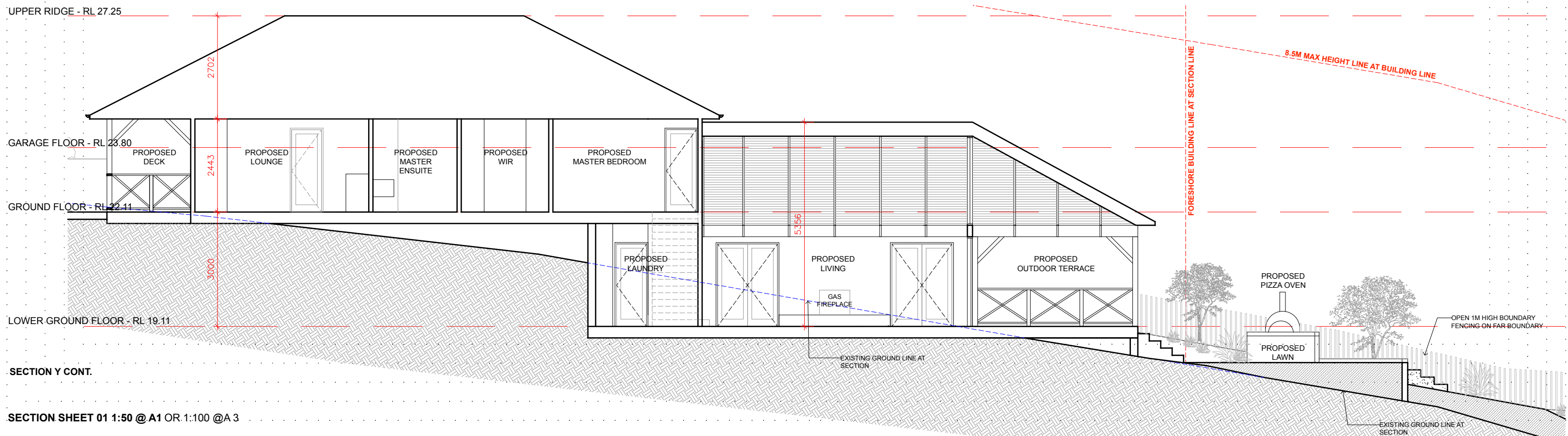
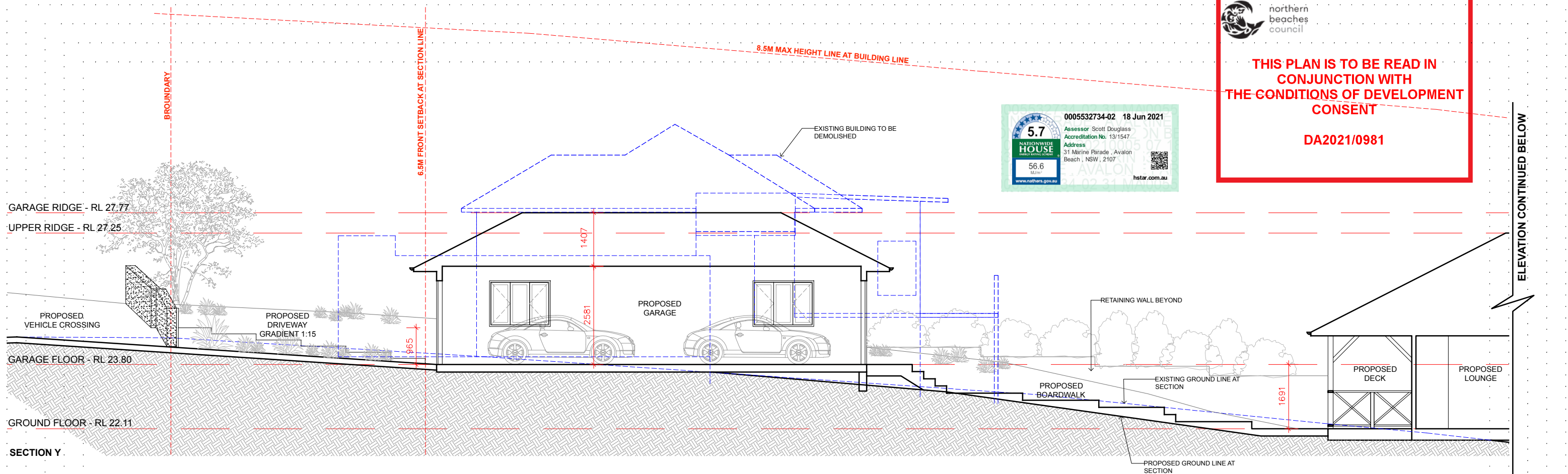


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0981



ELEVATION CONTINUED BELOW



SECTION SHEET 01 1:50 @A1 OR 1:100 @A3

LEGEND:

- 7.03 DENOTES EXISTING SPOT LEVEL
- RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS

KEY:

- DENOTES PROPOSED WALLS
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED
- DENOTES AREA OF PROPOSED LANDSCAPING
- DENOTES AREA OF PROPOSED DEMOLITION

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
SECTION SHEET 01

SCALE:
1:100 @ A3

DATE OF ISSUE:
24.05.2021

DRAWING NO.
DA-400

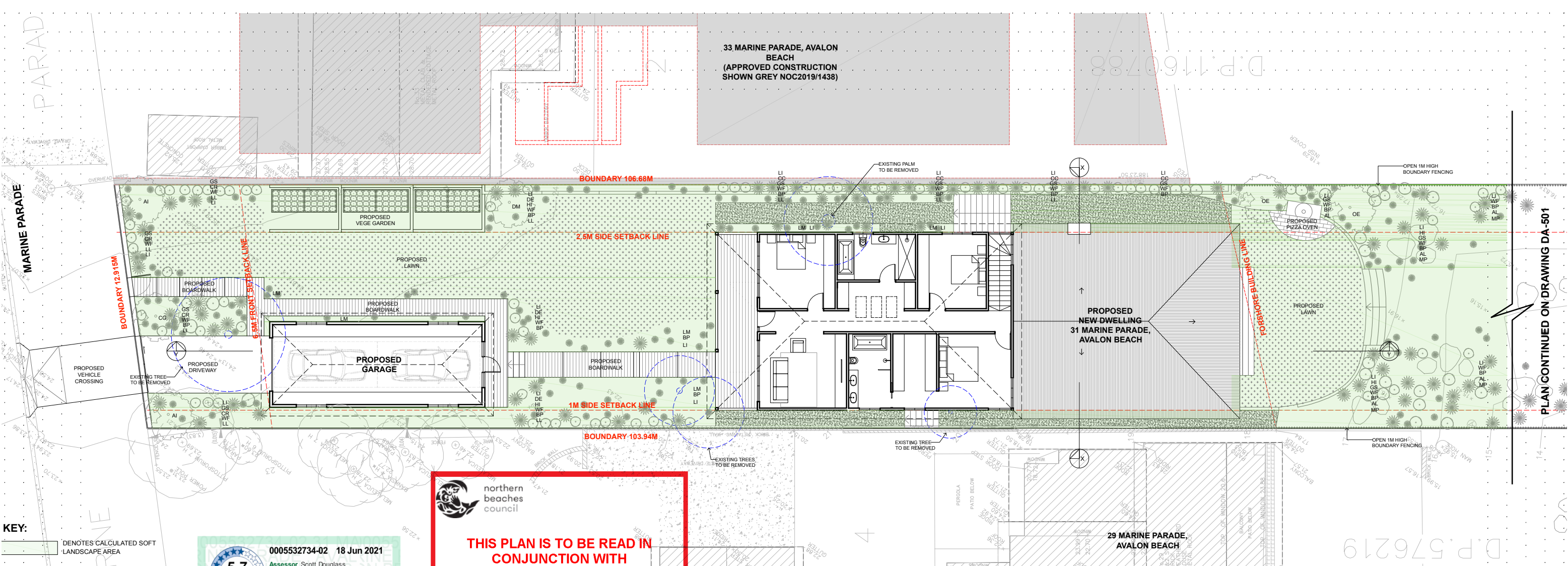
REVISION:
B

rama

daniel reynold
architect
nsw reg. #9768
thomas martin
architect
nsw reg. #10383

1/6 WARATAH ST.
MONA VALE, NSW, 2103
www.ramaarchitects.com
e. info@ramaarchitects.com
ABN 612 713 425

COPYRIGHT OF RAMA ARCHITECTS PTY LTD.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING



- KEY:**
- DENOTES CALCULATED SOFT LANDSCAPE AREA
 - DENOTES GRASS LAWN AREA
 - DENOTES BOARDWALK
 - DENOTES PEBBLE SURFACE
 - DENOTES TREE
 - DENOTES SCREENING PLANTS AND SMALL TREES
 - DENOTES SHRUBS AND ACCENTS
 - DENOTES GRASSES AND GROUND COVER
 - DENOTES SCATTERED BOULDER FEATURES AND STEPPING STONES



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0981

SITE CALCULATIONS

TOTAL SITE AREA	1347m ²
EXISTING GARAGE AREA	35m ²
EXISTING GROUND FLOOR GROSS FLOOR AREA	78.9m ²
EXISTING ROOF AREA	142m ²
EXISTING TOTAL GROSS FLOOR AREA (EX GARAGE)	78.9m ²
PROPOSED GARAGE AREA	46.2m ²
PROPOSED LOWER GROUND FLOOR GROSS FLOOR AREA	89.3m ²
PROPOSED GROUND FLOOR GROSS FLOOR AREA	115.3m ²
PROPOSED ROOF AREA	352.6m ²
PROPOSED TOTAL GROSS FLOOR AREA (EX GARAGE)	204.6m ²
PROPOSED LANDSCAPED AREA	959.94m ² (71.3%)

PLANT SCHEDULE

ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SCHEDULED SIZE
TREES				
AI	2	ACACIA IMPLEXA	Hickory Wattle	100LT
OE	2	LOEA EUROPEA SSP. EUROPEA	European Olive	200LT
SCREENING PLANTS / SMALL TREES				
CG	1	CERATOPETAUM GUMMIFERUM	NSW Christmas Bush	45LT
DM	1	DRACAENA MARGINATA	Dragons Plant	75LT
LL	10	LEPTOSPERMUM POLYGALIFOLIUM	Tea Tree	300MM
SHRUBS/ACCENTS				
WF	25	WESTRINGIA FRUITCOSA	Coastal Rosemary	300MM
CR	10	CORREA ALBA	White Native Fuchsia	200MM
GS	10	GREVILLEA SERICEA	Pink Spider Flower	200MM
DE	10	DORYANTHES EXCELSA	Gymea Lily	300MM
HI	10	HOBBERTIA LINEARIS	Showy Guinea Flower	200MM
AL	5	ALOE 'OUTBACK ORANGE'	Aloe	300MM
LB	5	LEUCADENDRON DEVILS BLUSH	Devils Blush	200MM
GRASSES / GROUNDCOVERS				
BP	20	BANKSIA SPINULOSA	Birthday Candles Banksia	150MM
CC	20	CASUARINA GLAUCA	Cousin It Grass	150MM
LM	15	LIROPE 'EVERGREEN GIANT'	Giant Mondo Grass	150MM
LI	30	LOMANDRA LONGIFOLIA LIME JET	Lime Mat Rush	140MM
MP	5	MYOPORUM PARVIFOLIUM	Creeping Boobialla	140mm

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION
All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the PZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunnelling within the PZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use hand saw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL
Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL
Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting. Spread topsoil to the following typical depths:
Planting beds: 300mm
Grass areas: 100mm

PLANTING
trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole.
shrubs/ground covers: excavate a hole big enough for the plant plus 100mm all round. provide plants which have large healthy root systems, with no evidence of root curl, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species or variety, and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.
trees: provide trees which are multi-stemmed, have a single leading shoot. trees should be staked as specified.
label at least one plant of each species or variety in a batch using a durable, readable tag. do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. in other than sandy soils, suspend excavation when the soil is wet, or during frost periods. when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball. ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the plant root ball level with the finished surface of the surrounding soil, or 75mm below paving level to allow placement of mulch. backfill with topsoil mixture. lightly tamp, and water to eliminate air pockets. ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container.
thoroughly water plants before planting and immediately after planting.
in planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.
All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks.
Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

DECORATIVE GRAVEL
All areas nominated as Decorative Gravel are to be finished as detailed with sandstone pebbles 10mm-20mm average diameter, same or similar to that supplied by Australian Native Landscapes. Selected pebbles are to be free of deleterious and extraneous matter such as stones, cement, soil, weeds and sticks. Tamp pebbles to an even surface flush with the surrounding finished levels.

DECORATIVE ROCK MULCH
All areas nominated as Decorative Rock Mulch are to be finished with sandstone spalls, average diameter 80mm-120mm, same or similar to those supplied by Benedicts Sand and Gravel.

DECOMPOSED GRANITE PAVEMENT
Decomposed granite is to be fine-crushed river gravel (5mm-7mm), to a depth of 50mm, placed on a 50mm bed of coarse gravel on 100mm consolidated hardcore. Gravel is to be compacted and trimmed to provide falls and a free draining surface.

INSTALLATION OF BRICK GARDEN EDGE
A stretcher or single paver brick edge is to be installed to separate turf and garden beds. Secure pavers on rough mortar footing 100mm thick and ensure uniform 10mm joints between each brick to create flush struck joints. Refer to edging and turfing detail.

FERTILISER
Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

DRAINAGE
Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS
Retaining walls to be constructed as per Engineer's details.

CONCRETE WORKS
All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mixed concrete to AS1579 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE
Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

LEGEND:

- DENOTES EXISTING SPOT LEVEL
- DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DAAPPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS

KEY:

- DENOTES PROPOSED WALLS
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED
- DENOTES AREA OF PROPOSED LANDSCAPING
- DENOTES AREA OF PROPOSED DEMOLITION

PROJECT:

PROPOSED NEW RESIDENTIAL DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:

DEVELOPMENT APPLICATION

DRAWING TITLE:

LANDSCAPE CONCEPT PLAN
SHEET 01

SCALE:

1:200 @ A3

DATE OF ISSUE:

24.05.2021

DRAWING NO.

DA-500

REVISION:

B

rama

daniel reynolds
architect
nsw reg. #9758

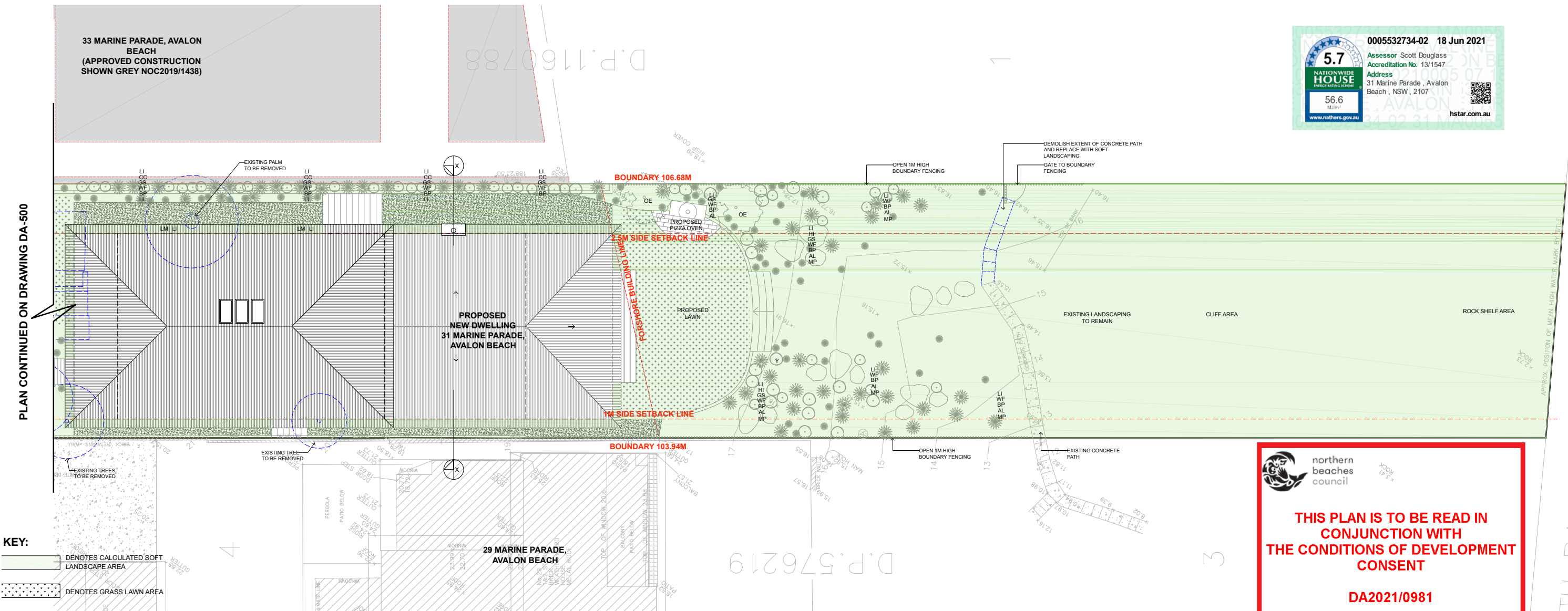
thomas martin
architect
nsw reg. #10383

1 / 6 WARATAH ST.
MONA VALE, NSW. 2103

www.ramaarchitects.com
e. info@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF RAMA ARCHITECTS PTY LTD.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING



The image shows the Northern Beaches Council logo in the top left corner, which includes a stylized circular emblem with a bird and waves, and the text "northern beaches council" to its right. To the right of the logo is a small, faint, and upside-down watermark that reads "2020 100%". The central part of the image is dominated by a large white rectangle with a thick red border. Inside this rectangle, the text "THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT" is written in bold, red, uppercase letters. Below this text, the alphanumeric code "DA2021/0981" is displayed in bold, red, uppercase letters.

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION

All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence around the PZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunnelling within the PZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not drop or throw any materials under or near trees. Do not place soil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants.

Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use hand saw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system.

If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL:
Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm.
Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil.
Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots: if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation.
Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system.
Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL

Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas.

Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction.

Compact tightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting.

Spread topsoil to the following typical depths:

Planting beds: 300mm

Grass areas: 100mm

PLANTING

Trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole.

Shrub/ground covers: excavate a hole big enough for the plant plus 100mm all round. provide plants which have large healthy root systems, with no evidence of root rot, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species and variety, and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.

Topsoil: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified.

Shrub/ground covers: provide one plant of each species or variety in a batch using a durable, resistant stake. do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. in other than sandy soils, suspend excavation when the soil is wet, or during frost periods. when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball. ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the hole at least 10mm above the surrounding soil, or 75mm below paving level to allow placement of mulch. backfill with topsoil mixture. lightly tamp water to eliminate air pockets. ensure the topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container.

thoroughly water plants before planting and immediately after planting.

in planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.

mulching

All garden bed areas are to be mulched to 75mm depth with some or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks.

Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

DECORATIVE GRAVEL
All areas nominated as Decorative Gravel are to be finished as detailed with sandstone pebbles 10mm-20mm average diameter, same or similar to that supplied by Australian Native Landscapes.
Selected pebbles are to be free of deleterious and extraneous matter such as stones, cement, soil, weeds and sticks.
Tamp pebbles to an even surface flush with the surrounding finished levels.

DECORATIVE ROCK MULCH
All areas nominated as Decorative Rock Mulch are to be finished with sandstone spalls, average diameter 80mm-120mm, same or similar to those supplied by Benedicts Sand and Gravel.

DECOMPOSED GRANITE PAVEMENT
Decomposed granite is to be fine-crushed river gravel (5mm-7mm), to a depth of 50mm, placed on a 50mm bed of coarse gravel on 100mm consolidated hardcore.
Gravel is to be compacted and trimmed to provide falls and a free draining surface.

INSTALLATION OF BRICK GARDEN EDGE
A stretcher or single paver brick edge is to be installed to separate turf and garden beds. Secure pavers on rough mortar footing 100mm thick and ensure uniform 10mm joints between each brick to create flush struck joints. Refer to edging and turfing detail.

FERTILISER
Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

or DRAINAGE
Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS
Retaining walls to be constructed as per Engineer's details.

CONCRETE WORKS
All paths, steps, slabs and footings shall be to Engineer's specification.
Materials and construction to AS3600 and AS3610.
Supply and install ready mixed concrete to AS1379 with selected aggregate.
Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE
Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseedling, returfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

PLANT SCHEDULE				
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SCHEDULED SIZE
<u>TREES</u>				
AI	2	ACACIA IMPLEXA	Hickory Wattle	100LT
OE	2	LOEA EUROPEA SSP. EUROPEA	European Olive	200LT
<u>SCREENING PLANTS / SMALL TREES</u>				
CG	1	CERATOPETAIUM GUMMIFERUM	NSW Christmas Bush	45LT
DM	1	DRAECAENA MARGINATA	Dragons Plant	75LT
LL	10	LEPTOSPERMUM POLYGALIFOLIUM	Tea Tree	300MM
<u>SHRUBS/ACCENTS</u>				
WF	25	WESTRINGIA FRUITCOSA	Coastal Rosemary	300MM
CR	10	CORREA ALBA	White Native Fuchsia	200MM
GS	10	GREVILLEA SERICEA	Pink Spider Flower	200MM
DE	10	DORYANTHES EXCELSA	Gynea Lily	300MM
HI	10	HIBBERTIA LINEARIS	Showy Guinea Flower	200MM
AL	5	ALOE 'OUTBACK ORANGE'	Aloe	300MM
LB	5	LEUCADENDRON DEVILS BLUSH	Devils Blush	200MM
<u>GRASSES / GROUNDCOVERS</u>				
BP	20	BANKSIA SPINULOSA	Birthday Candles Banksia	150MM
CC	20	CASUARINA GLAUCA	Cousin It Grass	150MM
LI	15	LIROPE 'EVERGREEN GIANT'	Giant Mondo Grass	150MM
LM	30	LOMANDRA LONGIFOLIA LIME JET	Lime Mat Rush	140MM
MP	5	MYOPORUM PARVIFOLIUM	Creeping Boobialla	140mm

SITE CALCULATIONS

TOTAL SITE AREA	1347m²
EXISTING GARAGE AREA	35m²
EXISTING GROUND FLOOR GROSS FLOOR AREA	78.9m²
EXISTING ROOF AREA	142m²
EXISTING TOTAL GROSS FLOOR AREA (EX GARAGE)	78.9m²
PROPOSED GARAGE AREA	46.2m²
PROPOSED LOWER GROUND FLOOR GROSS FLOOR AREA	89.3m²
PROPOSED GROUND FLOOR GROSS FLOOR AREA	115.3m²
PROPOSED ROOF AREA	352.6m²
PROPOSED TOTAL GROSS FLOOR AREA (EX GARAGE)	204.6m²
PROPOSED LANDSCAPED AREA	959.94m² (71.3%)

LEGEND:

7.03 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE NCC
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH CONSULTANTS REQUIREMENTS

KEY:

 DENOTES PROPOSED WALLS
 DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED
 DENOTES AREA OF PROPOSED LANDSCAPING
 DENOTES AREA OF PROPOSED DEMOLITION

PROJECT:

PROPOSED NEW RESIDENTIAL
DWELLING

CLIENT:

SHAUN TIMBRELL & SARAH PARKER

LOCATION:

31 MARINE PARADE,
NORTH AVALON, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
LANDSCAPE CONCEPT PLAN
SHEET 02

SCALE:

1:200 @ A3

DATE OF ISSUE:

24.05.2021

DRAWING NO.

DA-501

REVISION:

B

r a m a

daniel raymond
architect
nsw reg. #9788

thomas martin
architect
nsw reg. #10383

1 / 6 WARATAH ST,
MONA VALE. NSW. 2103
www.ramsarchitects.com
e. info@ramsarchitects.com

COPYRIGHT OF RAMA ARCHITECTS PTY. LTD.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING