



Philip Chun and Associates

A/134867

30 January, 2004

BUILDING REGULATION
AND FIRE SAFETY CONSULTANTS

**The General Manager
Pittwater Council
P.O Box 882
MONA VALE NSW1660**

PHILIP CHUN AND
ASSOCIATES PTY. LTD.
T/A PHILIP CHUN AND
ASSOCIATES (AUST)

ACN 007 401 649
ABN 64 597 649 811

SUITE 29
401 PACIFIC HIGHWAY
ARTARMON 2064

Attention: Planning and Development Department

PHONE: (02) 9436 4993
FAX: (02) 9901 4741

Dear Sir / Madam,

www.philipchun.com.au

**Construction Certificate for Alterations and Additions to existing dwelling at 240 Whale
Beach Road, Whale Beach**

**Development Application No. N0165/02 dated 17 September 2002 & Modification of
Development Consent No. N0165/02 dated 11 November 2003**

Pursuant to Clause 142(2) of the Environmental Planning and Assessment Regulation 2000
please find enclosed Construction Certificate for works with regard to the above premises.

DIRECTORS:
PHILIP CHUN
GREG du CHATEAU
ROBERT MARINELLI
SHANE LEONARD
WARREN KEIGHRAN
MICHAEL MORAN

Also find a cheque for the amount of \$30.00 for registration purposes.

Should you have any queries in regard to the above, please do not hesitate to contact Robert
Marinelli or myself.

ASSOCIATES:
RICHARD WELLS
PETER CZERKASKI
PHILIP SMILLIE

Yours faithfully,

Frank De Pasquale
Philip Chun & Associates Pty Ltd

OFFICES IN:
MELBOURNE
SYDNEY
BRISBANE

Form 11**Construction Certificate**

Philip Chun & Associates Pty Ltd

03170/1

Issued under the *Environmental Planning and
Assessment Act 1979*
Sections 109C (1) (b), 81A (2) and 81A (4)

Construction Certificate**Applicant**

Name **Olivark Pty Ltd**
Address C/o Howard Tanner
32 Henry Street, Queens Park NSW 2022
Contact no (tel/fax) Tel: (02) 9281 4399 Fax: (02) 9281 4337

Owner

Name **Olivark Pty Ltd**
Address Howard Tanner
32 Henry Street, Queens Park NSW 2022
Contact no (tel/ fax) Tel: (02) 9281 4399 Fax: (02) 9281 4337

Consent of all owner(s)

I / we consent to this application

Signature (Refer to attached Form 11 providing owners consent)

Subject land

Address 240 Whale Beach Road, Whale Beach
Lot no, DP/MPS, etc Lot 208 DP 15376
vol/fol
Area of site (m²) 778m²

**Description of
development**

Type of work description **Alterations & Additions to existing dwelling house**

Development consent

Development consent no DA No. N0165/02 & DA No. N0165/02 - Modification of consent (Pittwater Council)
Date of determination 17 September 2002 & 11 November 2003

**Building Code of
Australia building
classification**

Nominated on the development consent Class 1a, 10a & 10b

Builder / owner

(if known)

*to be completed in the
case of proposed
residential building work*

name Stralyun Constructions Pty Ltd
contractor licence no / 17/22 Hudson Avenue, Castle Hill NSW 2154
permit no Contact: Warren Jameison - 0400 535 566
in case of owner builder

Value of work

Building/subdivision \$243,129.00

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Schedule (for building work only)	<ul style="list-style-type: none">The attached schedule is required to be completed for the purposes of providing information to the Australian Bureau of Statistics
Date of receipt Date received (to be completed by certifying authority)	26/09/03
Determination	
Determination	Approved
Date of determination (this date is to be the same as the date of endorsement of the certificate on the approved plans and specifications)	30 January 2004
Attachments	A. Appendix A – Schedule submitted information relied upon
Plans and specifications Approved List plan no(s) and specifications reference	
	<ul style="list-style-type: none">Stormwater drainage details drawing No.H01/C prepared by Tanner & Associates dated 18/12/03 and Stormwater Management plan prepared by Trevor Moon Licensed Plumber dated 23/12/03;Building Code of Australia Specification prepared by Robert Yuen Architect dated 27/11/03;Copy of Lighting Layout details drawing No.L01/B prepared by Tanner & Associates dated 30/9/03;Copy of Power & Telephone Layout details drawing No.P01/D prepared by Tanner & Associates dated 18/12/03;Architectural Drawing No. AR DA 00/C, AR DA 01/C, AR DA 02/C, & AR DA 03/C prepared by Tanner & Associates Pty Ltd andStructural Engineering Drawing No. S01-162 GN1, GN2, S1, & S2 provided by Bond James Norrie Marsden Pty Ltd.
Right of appeal	Under s109K where the certifying authority is a council an applicant may appeal to the Land and Environment Court against the refusal to issue a construction certificate within 12 months from the date of the decision.

Form 11**Construction Certificate**

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Sections 109C (1) (b), 81A (2) and 81A (4)

Certificate

Certificate

I certify that the work if completed in accordance with the plans and specifications accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on the documentation) will comply with the requirements of Section 147 of the *Environmental Planning & Assessment Regulation 2000* as are referred to in section 81A(5) of the *Environmental Planning and Assessment Act 1979*.

Signature

x 

Date of endorsement

30/01/04

Certificate no

03170 / 1 (Philip Chun & Associates)

**prior to commencement of work ss81A (2) (b) and (c), and / or 81A (4) (b) and (c) of the
Environmental Planning and Assessment Act 1979 must be satisfied (see Form 7).*

Certifying authority

Name of certifying

authority

Philip Chun and Associates Pty Ltd

If accredited certifier

Robert Marinelli

Accreditation no

AIBS / DIP&NR ACN 5623

Contact no

Phone: 9436 4993 Fax: 9901 4741

Address

Suite 29 / 401 Pacific Hwy, Artarmon NSW 2064

Development consent

Number and

DA No. N0165/02 & DA No. N0165/02 (Pittwater Council)

date of determination

17 September 2002 & 11 November 2003

**for the purposes of notifying a council under clause 79D (2) of the Regulation of the determination of an application an accredited certifier must forward all sections of this form, including all attachments to the relevant council where they have not been previously forwarded to the council.*

Pittwater Council

ABN: 61340837871

TAX INVOICE

OFFICIAL RECEIPT

05/02/2004 Receipt No 134867

To PHILIP CHUN & ASSOC P/L

SUITE 29
401 PACIFIC HIGHWAY
ARTARMON NSW 2064

Dty/
Applic Reference Amount

1 RMIC-Rord 127.27
GL Rec 1 Y
PVTI.DENT.LICMT.DA.N0145/
02
GST 21.73

GL Rec

To GL Receipt:

Total Amount: \$20.00

Includes GST of: \$2.71

Amounts tendered

Cheque	\$30.00
Total	\$30.00
Rounding	20.00
Change	20.00
Cash	\$30.00

Printed 05/02/2004 4:29:31 PM

Cashier: P. L. L. L.

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Schedule to Construction Certificate Application**Particulars of the proposal**

What is the area of the land (m ²)	778m ²
Gross floor area of existing building	132m ²
What are the current uses of all or parts of the building(s)/land (if vacant state vacant)	Residential
Location:	240 Whale Beach Road, Whale Beach
Use:	Residential
Does this site contain a dual occupancy?	No
What is the gross floor area of the proposed addition or new building (m ²)	196m ²
What are the proposed uses of all parts of the building(s) / land?	Residential
Location:	240 Whale Beach Road, Whale Beach
Use:	Single Residence
Number of pre-existing dwellings	1
Number of dwellings to be demolished	0
How many dwellings are proposed?	Additions to dwelling
How many storeys will the building consist of?	2

Materials to be used

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:					
Walls	Code		Roof	Code	
Brick veneer	12		Aluminium	70	
Full brick	11		Concrete	20	
Single brick	11		Concrete tile	10	
Concrete block	11		Fibrous cement	30	
Concrete / masonry	20		Fiberglass	80	
Concrete	20	✓	Masonry / terracotta shingle tiles	10	
Steel	60		Slate	20	
Fibrous cement	30		Steel	60	✓
Hardiplank	30		Terracotta tile	10	
Timber/	40	✓	Other	80	
Weatherboard			Unknown	90	
Cladding- aluminium	70				
Curtain glass	50				
Other	80				
Unknown	90				
Floor			Frame		
Concrete	20	✓	Timber	40	✓
Timber	10	✓	Steel	60	✓
Other	80		Other	80	
Unknown	90		Unknown	90	

Appendix A**Schedule of information relied upon**

1. Pittwater Council Conditions of Consent, Development Consent No. N0162/02, dated 17/09/02 & Modification of Consent No. N0165/02 dated 11 November 2003;
2. Development consent Compliance Summary;
3. Copy of Form 11 providing owners consent;
4. Copy of receipt No. 00026658 dated 23/12/03 issued by Long Service Payments Corporation for payment of Long Service Levy;
5. Copy of Owner Builder Permit No. 267074P issued by Office of Fair Trading dated 21/10/03 to satisfy condition A2 of consent;
6. Copy of Stormwater drainage details drawing No.H01/C prepared by Tanner & Associates dated 18/12/03 and Stormwater Management plan prepared by Trevor Moon Licensed Plumber dated 23/12/03 to satisfy condition B20 of consent;
7. Copy of Engineers certificate certifying Parking Facilities provided by Bond James Norrie Marsden Pty Ltd dated 3/12/03 to satisfy condition B25 of consent;
8. Copy of Erosion and Sedimentation control details prepared by R. Yeun dated 12/12/03 to satisfy condition B29 of consent;
9. Copy of Structural Engineers Details provided by Bond James Norrie Marsden Pty Ltd dated August 03 to satisfy condition B60 of consent;
10. Copy of Structural Engineers Certificates provided by Bond James Norrie Marsden Pty Ltd dated 3/12/03 and Jeffery & katauskas Pty Ltd dated 5/01/04 to satisfy condition 60a of consent;
11. Copy of Structural Engineers Certificate of Adequacy provided by Bond James Norrie Marsden Pty Ltd dated 19/12/03 to satisfy condition B62 of consent;
12. Copy of Memorandum prepared by Robert Yeun dated 18/12/03 indicating method of termite protection to be installed within the building;

Plans and Specifications

13. Building Code of Australia Specification prepared by Robert Yuen Architect dated 27/11/03;
14. Copy of Lighting Layout details drawing No.L01/B prepared by Tanner & Associates dated 30/9/03;

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15. Copy of Power & Telephone Layout details drawing No.P01/D prepared by Tanner & Associates dated 18/12/03;
16. Architectural Drawing No. AR DA 00/C, AR DA 01/C, AR DA 02/C, & AR DA 03/C prepared by Tanner & Associates Pty Ltd and
17. Structural Engineering Drawing No. S01-162 GN1, GN2, S1, & S2 provided by Bond James Norrie Marsden Pty Ltd.



Pittwater Council ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12
5 Vuko Place
WARRIEWOOD NSW 2102

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02) 9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au



Business Hours:

8.00am to 6.00pm, Monday to Thursday
8.00am to 5.00pm, Friday

DA No: N0165/02

17 September 2002

OLIVARK PTY LTD
32 HENRY STREET
QUEENS PARK NSW 2022

Dear Sir/Madam

**Development Application for additions to the dwelling at 240 WHALE BEACH ROAD
WHALE BEACH NSW 2107.**

I am pleased to advise that this application has been approved and I attach for your assistance a copy of the Development Consent, the conditions of approval and a copy of the approved plan. The remainder of the plans have been retained for the purposes of issuing the Construction Certificate.

As building works are involved, prior to proceeding with the proposal, it will be necessary for you to lodge a Construction Certificate Application with either Council or an accredited Certifier.

I take this opportunity to direct your attention to Section B of the Consent which details the matters to be satisfied prior to issue of the Construction Certificate.

In addition, pursuant to the provisions of Section 80(10A), of the Environmental Planning and Assessment Act, 1979, the Long Service Levy payable under Section 34 of the Building and Construction Industry Long Service Payments Act, 1996, must be paid prior to issue of the Construction Certificate.

Based on your stated value of development ie \$217000 the Long Service Levy payable is \$434.00.

In the event that you have paid this levy direct to the Building Services Corporation, I will require proof of that direct payment.

You will also be required to furnish a copy of the Builders Warranty Insurance Certificate OR an Owner/Builder's permit from the Department of Fair Trading must be forwarded to Council prior to release of the Construction Certificate.

If an Owner/Builder's permit is to be applied for, application must be made direct to the Department of Fair Trading. You must quote Development Application No. N0165/02 and supply an unstamped plan with your application. The permit must then be presented to Council when collecting your plans.

Please note that some sections of the Consent may require the lodgement of Building Component Certificates at various stages of the development. These Certificates must be

returned to Council or the Accredited Certifier prior to issue of the Occupation Certificate or Subdivision Certificate. **You should also note that both Council and the Accredited Certifier will charge a fee for acknowledging compliance with conditions and the issue of the Occupation or Subdivision Certificates.** . You must nominate either Council or an accredited certifier prior to commencing work.

You will be required to notify Council a minimum of 2 days prior to your commencing work on the site.

If there are any matters relating to this approval which require further explanation, please contact me prior to commencing work on the site.

Yours faithfully

A handwritten signature in black ink, appearing to read 'John Raven', is written over the typed name and title.

John Raven
DEVELOPMENT OFFICER



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CONSENT NO: N0165/02

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address:

OLIVARK PTY LTD, 32 HENRY STREET QUEENS PARK NSW 2022

Being the applicant in respect of Development Application No N0165/02

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No N0165/02 for:

additions to the dwelling

At:

Lot 208 DP 15376

240 WHALE BEACH ROAD WHALE BEACH NSW 2107

Decision:

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with plans numbered 001030/AR/DA/00C-03C (Revision "C" 7.8.02), dated August 02, prepared by Tanner Architects, as amended in red (shown clouded) or as modified by any conditions of this consent.

In accordance with Part A3 "Classification of Buildings and Structures" of the Building Code of Australia, it has been determined that the building or part subject of this consent has a Class 1a, 10a, 10b Classification.

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

Endorsement of date of consent **17 September 2002**

Angus Gordon
GENERAL MANAGER

Per: 



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DRAFT DETERMINATION

CONDITIONS OF DEVELOPMENT CONSENT

This Consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

A. PRESCRIBED CONDITIONS

A1. The proposed works are to be carried out in accordance with the provisions of Clause 98 of the Environmental Planning and Assessment Regulation, 2000. ✓

A2. Compliance with the Building Code of Australia ✓

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.

A3. Excavations and backfilling

1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards. ✓
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property. ✓

A4. Retaining walls and drainage

If the soil conditions require it:

1. retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided, and ✓
2. adequate provision must be made for drainage. ✓

A5. Support for neighbouring buildings

Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner. The person causing the excavation must give the owner of the adjoining property at least seven (7) days written notice of their intention to excavate below the level of the base of the footing. The person must also furnish the adjoining property owner with particulars of the proposed work. ✓



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A6. Protection of public places

1. If the work involved in the erection or demolition of a building:
 - a. is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconveniently, or
 - b. involves the enclosure of a public place,
a hoarding or fence must be erected between the work site and the public place.
2. If necessary, an awning or other structure is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
3. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
4. Any such hoarding, fence or awning is to be removed when the work has been completed.

NOTE: Hoardings and temporary awnings erected on or over public places are required to be subject to a separate approval from Council.

A7. Signs to be erected on building and demolition sites

A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is to be carried out other than when work is carried out inside an existing building or where the premises is to be continuously occupied (both during and outside working hours):

1. stating that unauthorised entry to the work site is prohibited, and
2. showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.

A8. Toilet facilities

Toilet facilities are to be provided at or in the vicinity of the work site during the duration of the development.

B. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

NOTE: The issue of partial or limited Construction Certificates is not permissible under the terms of this consent unless otherwise specifically stated. All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications/details can not be accepted.

- B10. Three sets of detailed working drawings that comply in all respects with the Building Code of Australia and the conditions of the Development Consent are to be submitted prior to the release of the Construction Certificate.



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- B20. Three sets of Drainage details showing **site stormwater management** are to be submitted prior to the release of the Construction Certificate. Such details are to be accompanied by a certificate from either a Licensed plumber or qualified practising Civil Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, that the stormwater management system complies with the requirements of section 3.1.2 "Drainage" of the Building Code of Australia Housing Provision and AS/NZS 3500.3.2 - Stormwater Drainage. The details shall include disposal of site stormwater to a public system (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Civil (Geotechnical) Engineer's report).

- B25. Three copies of a Certificate are to be submitted by a qualified Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, Architect or Surveyor, confirming to the satisfaction of Council or the accredited certifier that the proposed means of access to and within the site complies with the requirements of Council's policy DCP No. E3 "Driveways and Internal Roadways" and AS 2890.1 - 1993: Parking Facilities - Off-street Car Parking.

NOTE: Prior to the submission of the Construction Certificate, a crossing application with appropriate fees is to be made to Council for the levels required for the construction of the concrete footpath and gutter crossing. The levels provided by Council are to be incorporated into the design of the internal driveway.

- B29. Three copies of an Erosion and Sediment Management Plan are to be submitted with the Construction Certificate application. Control over discharge of stormwater and containment of run-off and pollutants leaving the site/premises shall be undertaken through the installation of erosion control devices such as catch drains, diversion drains, energy dissipaters, level spreaders and sediment control devices such as hay bale barriers, filter fences, filter dams, sedimentation basins. Such plan is to be accompanied by a certification from an appropriately qualified person, that the plans/ details have been designed in accordance with the requirements of the N.S.W. Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.

- B60. Three sets of Structural Engineering details relating to the slabs, footings, retaining walls, structural framing are to be submitted prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.

- B60a. As the site is located in a slip liable area, the structural details relating to the slabs, footings, retaining walls, structural framing are to be endorsed by a qualified practising Geotechnical Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.

- B62. Three copies of a Certificate from a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, certifying the adequacy of the existing structure to support the additional loading.



C. MATTERS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORK

NOTE: It is an offence to commence works prior to issue of a Construction Certificate.

- C6. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the satisfaction of Council or the Accredited Certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

Where this confirmation of compliance is issued by a private certifier, for the purposes of keeping a public record, a copy of the letter is to be forwarded to Council within 5 working days of the date of issue.

C6a. Building setout BS-1

C6b. Erosion Controls ER-1

- C10. So as to achieve safe and proper means of disposal of asbestos materials from buildings, only depots and contractors authorised by the Waste Services Authority are to be utilised. Approval must be obtained from the Service before disposal of any asbestos materials.

D. CONDITIONS TO MINIMISE THE IMPACT OF THE DEVELOPMENT ON THE NATURAL AND BUILT ENVIRONMENT

- D1. In order to provide satisfactory car parking for the total development, car parking provision shall be made for a minimum of 2 cars.
- D2 The development is to be carried out in accordance with the recommendations of the geotechnical engineer's report and addendum report.
- D11. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 "The Demolition of Structures".

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

1. Protection of site workers and the general public.
2. Erection of hoardings where appropriate.
3. Asbestos handling and disposal where applicable.
4. Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

- D12. In order to ensure safe handling of asbestos materials, the re-use or sale of asbestos building materials is prohibited.
- D16. Water conservation devices with an AAA rating must be installed, including tap flow regulators, shower head roses and dual flush toilets. All new hot water systems are to have a minimum rating of 3.5 stars.



Pittwater Council

ABN 61 340 837 871

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- D24. Disturbed areas shall be rehabilitated with indigenous plant species landscaped and treated by approved methods of erosion mitigation such as mulching, and revegetation with native grasses or other suitable stabilising processes within fifteen days of the completion of works.
- D28. All excavated material is to be removed from the site. This is due to the site's location in an area identified as being subject to possible landslip.
- D41. Materials and colour schemes are to be in accordance with the samples submitted to Council with the application. No white or light coloured roofs are permitted.
- D60. The footpath and adjacent roadway is to be kept free of obstruction by building materials and/or plant. All concrete trucks, pumps and associated plant are to be kept wholly within the site. No concrete or slurry is to be discharged into the street or the street drainage system.
- D76. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
- D77. All plumbing and drainage fixtures are to be concealed and not exposed to public view on buildings over one storey in height.
- D89. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.
- D105. The landscaping is to be maintained for the life of the development.
- D122. All declared noxious weeds under the Noxious Weeds Act 1993 together with other environmental weeds are to be removed and/or controlled using an appropriate technique.
- D123. At least 4 *Banksia integrifolia* or *Banksia serrata* are to be planted on the site in replacement for Banksias impacted or to be removed.
- D128. The planting boxes on and adjoining the garage roof are to be planted with appropriate locally native species.
- D144. All natural landscape features, including natural rock outcrops, natural vegetation, soil and watercourses, are to remain undisturbed except where affected by necessary works detailed on approved plans.
- D164. All stormwater is to be piped to the existing street drainage system.
- D172. The proposed works (garage) are to maintain a nil building line to Whale Beach Road measured parallel to the street frontage (except for the retaining wall reconstruction within the road reserve to the allotment boundary).



E. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

NOTE: The issue of interim or partial Occupation Certificates is not permissible within the terms of this consent unless otherwise specifically stated. Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

NOTE: It is an offence to occupy the building or part thereof to which this consent relates prior to issue of an Occupation Certificate.

- E10. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, where relevant, certifying to the satisfaction of Council or the accredited certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

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- E10a. Pest control PST-1
- E10b. Geotechnical requirements GO-1
- E10c. Ground floor levels FL-1
- E10d. Footings/slabs/piers/retaining walls FN-1
- E10e. Bearers and joists and subfloor ventilation BJ-1
- E10f. Wall, roof frames and window location FM-1
- E10g. Wet areas WA-1
- E10h. Masonry construction, accessories and weatherproofing MC-1
- E10i. Subsequent floor levels FL-2
- E10j. Stair construction ST-1
- E10k. Balustrading adequacy BA-1
- E10l. Glazing GL-1
- E10n. Roof cladding RC-1
- E10o. Roof ridge levels RL-1



Pittwater Council

ABN 61 340 837 871

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- E10p. Smoke alarms SA-1
- E10q. Site stormwater management SW-1
- E10s. Driveway construction DW-1
- E10t. Excavation and/or filling EX-1
- E10w. Landscaping LS-1

F. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE

Nil

G. ADVICE

- G23. Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.
- G24. The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.
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- G27. To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended).
 - G28. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing together with a \$500 fee, within 28 days from the date of determination.
 - G29. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
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Business Hours:

8.00am to 6.00pm, Monday to Thursday
8.00am to 5.00pm, Friday

DA No: N0165/02

11 November 2003

OLIVARK PTY LTD
32 HENRY STREET
QUEENS PARK NSW 2022

Dear Sir/Madam

Modification of Development Consent N0165/02 for additions to the dwelling at 240 WHALE BEACH ROAD WHALE BEACH NSW 2107.

Your request for modification has been considered by Council and it has been agreed to modify the Consent.

Please find attached the consent as modified.

If there are any matters that require further clarification, please do not hesitate to contact me.

Yours faithfully

Matt Edmonds
PRINCIPAL DEVELOPMENT OFFICER



Pittwater Council ABN 61 340 837 871

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MODIFICATION OF DEVELOPMENT CONSENT NO: N0165/02

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address:

OLIVARK PTY LTD, 32 HENRY STREET QUEENS PARK NSW 2022

Being the applicant in respect of Development Application No N0165/02

Pursuant to section 81 of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of this Development Application for: -

Modification of Development Consent N0165/02 for additions to the dwelling

At:-

Lot 208 DP 15376

240 WHALE BEACH ROAD

WHALE BEACH NSW 2107

Decision:

The Development Application has been determined by the granting of consent subject to the conditions detailed below.

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with plans numbered **A01, Rev A; A02, Rev A; A03, Rev A; A04, Rev B and A05, Rev A all dated 18.7.03 prepared by Tanner Architects, as amended in red** (shown clouded) or as modified by any conditions of this consent.

The reason for the imposition of these conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act, pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

Note: For ease of reference, all of the previous conditions have been re-listed. Those conditions amended or deleted have been highlighted.

Endorsement of date of consent 17/09/2002

Angus Gordon

GENERAL MANAGER

Per: *M. Edwards*



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CONDITIONS OF DEVELOPMENT CONSENT

This Consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

A. PRESCRIBED CONDITIONS

A1. The proposed works are to be carried out in accordance with the provisions of Clause 98 of the Environmental Planning and Assessment Regulation, 2000.

A2. Compliance with the Building Code of Australia

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.

A3. Excavations and backfilling

1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.

A4. Retaining walls and drainage

If the soil conditions require it:

1. retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided, and
2. adequate provision must be made for drainage.

A5. Support for neighbouring buildings

Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner. The person causing the excavation must give the owner of the adjoining property at least seven (7) days written notice of their intention to excavate below the level of the base of the footing. The person must also furnish the adjoining property owner with particulars of the proposed work.

A6. Protection of public places

1. If the work involved in the erection or demolition of a building:



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- a. is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconveniently, or
 - b. involves the enclosure of a public place,
- a hoarding or fence must be erected between the work site and the public place.
2. If necessary, an awning or other structure is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
3. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
4. Any such hoarding, fence or awning is to be removed when the work has been completed.

NOTE: Hoardings and temporary awnings erected on or over public places are required to be subject to a separate approval from Council.

A7. Signs to be erected on building and demolition sites

A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is to be carried out other than when work is carried out inside an existing building or where the premises is to be continuously occupied (both during and outside working hours):

1. stating that unauthorised entry to the work site is prohibited, and
2. showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.

A8. Toilet facilities

Toilet facilities are to be provided at or in the vicinity of the work site during the duration of the development.

B. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

NOTE: The issue of partial or limited Construction Certificates is not permissible under the terms of this consent unless otherwise specifically stated. All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications/details can not be accepted.

- B7. The building construction is to conform to AS 3959 – 1979 Level 3 Type Construction and the Package of Fire Protection Measures set out in the Bushfire Protection Assessment by Wainwright Fire Service, dated 23.7.03.
- B10. Three sets of detailed working drawings that comply in all respects with the Building Code of Australia and the conditions of the Development Consent are to be submitted prior to the release of the Construction Certificate.



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- B20. Three sets of Drainage details showing **site stormwater management** are to be submitted prior to the release of the Construction Certificate. Such details are to be accompanied by a certificate from either a Licensed plumber or qualified practising Civil Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, that the stormwater management system complies with the requirements of section 3.1.2 "Drainage" of the Building Code of Australia Housing Provision and AS/NZS 3500.3.2 - Stormwater Drainage. The details shall include disposal of site stormwater to a public system (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Civil (Geotechnical) Engineer's report).
- B25. Three copies of a Certificate are to be submitted by a qualified Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, Architect or Surveyor, confirming to the satisfaction of Council or the accredited certifier that the proposed means of access to and within the site complies with the requirements of Council's policy DCP No. E3 "Driveways and Internal Roadways" and AS 2890.1 - 1993: Parking Facilities - Off-street Car Parking.

NOTE: Prior to the submission of the Construction Certificate, a crossing application with appropriate fees is to be made to Council for the levels required for the construction of the concrete footpath and gutter crossing. The levels provided by Council are to be incorporated into the design of the internal driveway.

- B29. Three copies of an Erosion and Sediment Management Plan are to be submitted with the Construction Certificate application. Control over discharge of stormwater and containment of run-off and pollutants leaving the site/premises shall be undertaken through the installation of erosion control devices such as catch drains, diversion drains, energy dissipaters, level spreaders and sediment control devices such as hay bale barriers, filter fences, filter dams, sedimentation basins. Such plan is to be accompanied by a certification from an appropriately qualified person, that the plans/ details have been designed in accordance with the requirements of the N.S.W. Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.
- B60. Three sets of Structural Engineering details relating to the slabs, footings, retaining walls, structural framing are to be submitted prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.
- B60a. As the site is located in a slip liable area, the structural details relating to the slabs, footings, retaining walls, structural framing are to be endorsed by a qualified practising Geotechnical Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.



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- B62. Three copies of a Certificate from a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, certifying the adequacy of the existing structure to support the additional loading.

C. MATTERS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORK

NOTE: It is an offence to commence works prior to issue of a Construction Certificate.

- C6. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the satisfaction of Council or the Accredited Certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

Where this confirmation of compliance is issued by a private certifier, for the purposes of keeping a public record, a copy of the letter is to be forwarded to Council within 5 working days of the date of issue.

- C6a. Building setout BS-1
C6b. Erosion Controls ER-1
C10. So as to achieve safe and proper means of disposal of asbestos materials from buildings, only depots and contractors authorised by the Waste Services Authority are to be utilised. Approval must be obtained from the Service before disposal of any asbestos materials.

D. CONDITIONS TO MINIMISE THE IMPACT OF THE DEVELOPMENT ON THE NATURAL AND BUILT ENVIRONMENT

- D1. In order to provide satisfactory car parking for the total development, car parking provision shall be made for a minimum of 2 cars.
D2. The development is to be carried out in accordance with the recommendations of the geotechnical engineer's report and addendum report.
D11. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 "The Demolition of Structures".

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

1. Protection of site workers and the general public.
2. Erection of hoardings where appropriate.
3. Asbestos handling and disposal where applicable.
4. Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.



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- D12. In order to ensure safe handling of asbestos materials, the re-use or sale of asbestos building materials is prohibited.
- D16. Water conservation devices with an AAA rating must be installed, including tap flow regulators, shower head roses and dual flush toilets. All new hot water systems are to have a minimum rating of 3.5 stars.
- D24. Disturbed areas shall be rehabilitated with indigenous plant species landscaped and treated by approved methods of erosion mitigation such as mulching, and revegetation with native grasses or other suitable stabilising processes within fifteen days of the completion of works.
- D28. All excavated material is to be removed from the site. This is due to the site's location in an area identified as being subject to possible landslip.
- D41. Materials and colour schemes are to be in accordance with the samples submitted to Council with the application. No white or light coloured roofs are permitted.
- D60. The footpath and adjacent roadway is to be kept free of obstruction by building materials and/or plant. All concrete trucks, pumps and associated plant are to be kept wholly within the site. No concrete or slurry is to be discharged into the street or the street drainage system.
- D76. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
- D77. All plumbing and drainage fixtures are to be concealed and not exposed to public view on buildings over one storey in height.
- D89. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.
- D105. The landscaping is to be maintained for the life of the development.
- D122. All declared noxious weeds under the Noxious Weeds Act 1993 together with other environmental weeds are to be removed and/or controlled using an appropriate technique.
- D123. At least 4 *Banksia integrifolia* or *Banksia serrata* are to be planted on the site in replacement for *Banksias* impacted or to be removed.
- D128. The planting boxes on and adjoining the garage roof are to be planted with appropriate locally native species.
- D144. All natural landscape features, including natural rock outcrops, natural vegetation, soil and watercourses, are to remain undisturbed except where affected by necessary works detailed on approved plans.
- D164. All stormwater is to be piped to the existing street drainage system.



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- E10w. Landscaping LS-1

F. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE

Nil

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- G23. Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.
- G24. The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.
- G25. It is the Project Manager's responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with Council. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent Council from issuing the Occupation Certificate or the Building Certificate.
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- G28. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing together with a \$500 fee, within 28 days from the date of determination.
- G29. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
-

**Pittwater Council Development Consent No. NO165/02
dated 17 September 2002 & Modification No. 165/02 dated 11 November 2003**

COMPLIANCE SUMMARY

CONDITION	COMMENTS WITH RESPECT TO COMPLIANCE
A1.	Noted
A2.	1. Noted to comply 2. Noted to comply refer to copy of Owner Builder Permit No. 267074P issued by Office of Fair Trading dated 21/10/03
A3.	1. Noted 2. Noted
A4.	1. Noted 2. Noted
A5.	Noted
A6.	1. Noted 2. Noted 3. Noted 4. Noted
A7.	Noted builder to comply
A8.	Noted
B7.	Noted
B10.	Noted to comply
B20.	Noted to comply refer to Stormwater drainage details drawing No. H01/C prepared by Tanner & Associates dated 18/12/03 and Stormwater Management plan prepared by Trevor Moon Licensed Plumber dated 23/12/03 to satisfy this condition
B25.	Noted to comply refer to Engineers certificate certifying Parking Facilities provided by Bond James Norrie Marsden Pty Ltd dated 3/12/03 to satisfy this condition
B29.	Noted to comply refer to Erosion and Sedimentation control details prepared by R Yeun dated 12/12/03 to satisfy this condition
B60.	Noted to comply refer to Structural Engineers Details provided by Bond James Norrie Marsden Pty Ltd dated August 03 to satisfy this condition
B60a	Noted to comply refer to Structural Engineers Certificates provided by Bond James Norrie Marsden Pty Ltd dated 3/12/03 and Jeffery & katauskas Pty Ltd dated 5/01/03 to satisfy this condition
B62.	Noted to comply refer to Structural Engineers Certificate of Adequacy provided by Bond James Norrie Marsden Pty Ltd dated 19/12/03 to satisfy this condition
C6.	Noted
C6a.	Noted
C6b.	Noted
C10.	Noted
D1.	Noted
D2.	Noted
D11.	Noted builder to comply
D12.	Noted builder to comply
D16.	Noted to be complied with
D24.	Noted

**Pittwater Council Development Consent No. NO165/02
dated 17 September 2002 & Modification No. 165/02 dated 11 November 2003**

COMPLIANCE SUMMARY

D28.	Noted
D41.	Noted
D60.	Noted builder to comply
D76.	Noted
D77.	Noted
D89.	Noted builder to comply
D105.	Noted
D122.	Noted
D123.	Noted
D128.	Noted
D144.	Noted
D164.	Noted to comply refer to Stormwater drainage details drawing No. H01/C prepared by Tanner & Associates dated 18/12/03 and Stormwater Management plan prepared by Trevor Moon Licensed Plumber dated 23/12/03 to satisfy this condition
D172.	Noted
E10.	Noted
G23.	Noted
G24.	Noted
G25.	Noted
G26.	Noted to comply
G27.	Noted
G28.	Noted
G29.	Noted

Form 11**Construction Certificate**

Philip Chun & Associates Pty Ltd

03170/1

Issued under the *Environmental Planning and
Assessment Act 1979*
Sections 109C (1) (b), 81A (2) and 81A (4)

Construction Certificate**Applicant**

Name **OLIVARK PTY LTD**
Address **% H. TANNER 32 HENRY STREET, QUEENS PARK
NSW 2022**
Contact no (tel/fax) **9281 4399 FAX 9281 4337**

Owner

Name **AS ABOVE**
Address

Contact no (tel/ fax)

Consent of all owner(s)

I / we consent to this application

Signature

[Handwritten Signature] **SEE DIRECTOR**

Subject land

Address **240 Whale Beach Road, Whale Beach**
Lot no, DP/MPS, etc **Lot 208 DP 15376**
vol/foi
Area of site (m²) **778**

**Description of
development**

Type of work description **Alteration & Additions to existing dwelling house**

Development consent

Development consent no **NO 165/02**
Date of determination **17 September 2003**

Building Code of**Australia building
classification**

Nominated on the
development consent

Class 1a, 10a & 10b**Builder / owner**

(if known)

*to be completed in the
case of proposed
residential building work*

name

contractor licence no /

permit no

in case of owner builder

Value of work

Building/subdivision

\$ 243,129.00

LONG SERVICE
BUILDING & CONSTRUCTION

23 December 2003

OLIVARK PTY LTD C/- H TANNER
32 HENRY STREET
QUEENS PARK NSW 2022

Building and Construction Industry
Long Service Payments Corporation
Ground Floor
cnr Donnison & Baker Streets
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@lspc.nsw.gov.au
www.lspc.nsw.gov.au
ABN 93 646 090 808

Levy Receipt

Receipt No.

00026658

Received from: (Name of person or organisation paying for levy)

the amount of

OLIVARK PTY LTD C/- H TANNER

\$486.26

Payment details:

Cheque 000137 \$486.26 OLIVARK P/L

being payment for Long Service Levy as detailed below

Levy Payment Form number	0235600
Council/Department/Authority	PITTWATER COUNCIL
D.A. number	N0165/02
Work address	240 WHALE BEACH ROAD WHALE BEACH NSW 2107
Estimated value of work	\$243,129.00
Levy payable (No exemption)	\$486.00
Total levy paid	\$486.26

Signed: (Signature of authorised person)

Date

03-12-03

CONDITION A2

5

OFFICE OF FAIR TRADING

NSW Consumer Protection Agency

Department of Commerce

HOWARD NAPIER TANNER
240 WHALE BEACH RD
WHALE BEACH 2107

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :267074P
Receipt:AA1810232

Issued:21/10/2003
Amount:\$126.00

Building Site:

240 WHALE BEACH RD, WHALE BEACH 2107

Authorised Building Work:

NO165/02-ALTS & ADDS TO EXISTING DWELLING
BUILDING WORK AS PER BA NO.
ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.

Issuing Officer

***** END OF PERMIT *****

Bond James Norrie Marsden Pty Ltd

ABN 19 003 497 489

Consulting Structural and Civil Engineers

Telephone: (61 2) 9955 5931

Facsimile: (61 2) 9929 7975

Email: bjnmengs@bondjames.com.au

Level 6, 68 Alfred Street

Milsons Point NSW 2061

PO Box 337, North Sydney

NSW 2059 Australia

3rd December 2003

Philip Chun and Associates
 Suite 29, 401 Pacific Highway
 ARTARMON NSW 2064

Attention: Mr Frank De Pasquale


Dear Sir

**RE: 240 WHALE BEACH ROAD, WHALE BEACH
 DOUBLE GARAGE
 STRUCTURAL DRAWINGS**

The structural drawings for the double garage are not available at present, but will be provided when that stage is reached.

Yours faithfully

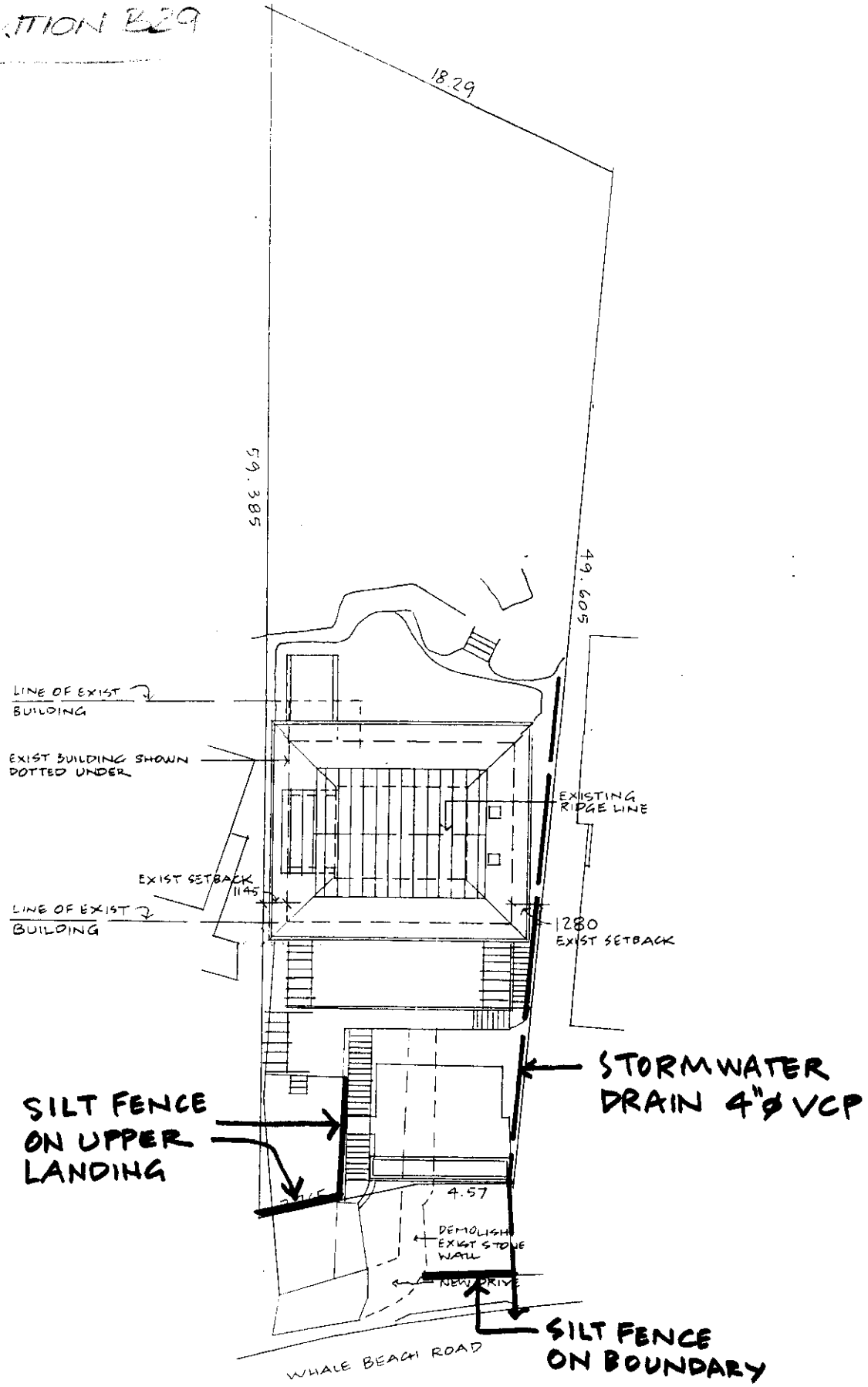
BOND JAMES NORRIE MARSDEN PTY LTD



Ian Norrie
 Director

2001.162

Director	Ian Norrie BE (Hons) MIE Aust CP Eng NPER (Struct)	Consultant	Tony Marsden MIE Aust CP Eng
Canberra Office	Bond James & Murtagh Pty Ltd 4/9 Mackay Street, Southern Cross House, Turner ACT 2601	Civil Consultant	Robert A Brell & Associates Pty Ltd Tel: (02) 9959 5244 Fax: (02) 9959 4053



PLAN OF SEDIMENTATION & EROSION CONTROL

240 WHALE BEACH ROAD WHALE BEACH NSW
FOR OLIVARK PTY LTD

12.12.03

RYUEN
93316870

Condition 60A

10

Bond James Norrie Marsden Pty Ltd

ABN 19 003 497 489

Consulting Structural and Civil Engineers

Telephone: (61 2) 9955 5931

Facsimile: (61 2) 9929 7975

Email: bjnmengs@bondjames.com.au

Level 6, 68 Alfred Street
Milsons Point NSW 2061
PO Box 337, North Sydney
NSW 2059 Australia

3rd December 2003

Philip Chun and Associates
Suite 29, 401 Pacific Highway
ARTARMON NSW 2064

Attention: Mr Frank De Pasquale

Dear Sir

**RE: 240 WHALE BEACH ROAD, WHALE BEACH
STRUCTURAL DESIGN CERTIFICATE**

This is to certify that the structure of the above building, as indicated on drawing No.s GN1,GN2,S1,S2,INR1,INR2 and INR3 inclusive, has been designed in compliance with the requirements of the Building Code of Australia and relevant Australian Standards.

This certification shall not be construed in any way to relieve any other party of their responsibilities.

Yours faithfully
BOND JAMES NORRIE MARSDEN PTY LTD



Ian Norrie
Director

2001.162

Director	Ian Norrie BE (Hons) MIE Aust CP Eng NPER (Struct)	Consultant	Tony Marsden MIE Aust CP Eng
Canberra Office	Bond James & Murtagh Pty Ltd 4/9 Mackay Street, Southern Cross House, Turner ACT 2601	Civil Consultant	Robert A Brell & Associates Pty Ltd Tel: (02) 9959 5244 Fax: (02) 9959 4053



CONDITION 60A

Jeffery and Katauskas Pty Ltd

CONSULTING GEOTECHNICAL AND ENVIRONMENTAL ENGINEERS
A.B.N. 17 003 550 801
A.C.N. 003 550 801

Principals

B F WALKER BE DIC MSc
P STUBBS BSc MICE FGS
D TREWEEK Dip Tech
E H FLETCHER BSc (Eng) ME

Senior Associates

F A VEGA BSc(Eng) GDE
A ZENON BSc(Eng) GDE
Consultant
R P JEFFERY BE DIC MSc

Associates

A B WALKER BE(Hons) MEngSc
P C WRIGHT BE(Hons) MEngSc
L J SPEECHLEY BE(Hons) MEngSc



39 BUFFALO ROAD
GLADESVILLE
NSW 2111
Tel: 02-9809 7322
02-9807 0200
Fax: 02-9809 7628

5 January, 2004
Ref: 16512WZ Let

Mr Robert Yuen
PO Box 40
PADDINGTON NSW 2021

Dear Sir

TANNER RESIDENCE
240 WHALE BEACH ROAD, WHALE BEACH

We confirm that we have reviewed the structural drawings (GN1, GN2, S1 and S2 dated August 2003, INR1 and INR2 dated 8 October 2003 and INR3 dated 13 November 2003) prepared by Bond James Norrie Marsden Pty Ltd. We understand that the copies of the above drawings which have been provided to the Private Certifier and to the builder have a sticker note indicating:

"An excavation methodology will be proposed by the builder and discussed with the engineer prior to construction.

Temporary stabilisation measures required during construction will be provided by the builder and discussed with the inspecting structural engineer."

Provided the above note has been added, then we endorse that the recommendations given in our report 16512WZrpt dated 2 July 2003 have been adopted in principle. We assume that 'the engineer' will include consultation between the structural and geotechnical engineers.



ENVIRONMENTAL INVESTIGATION SERVICES FOUNDATION AND SLOPE STABILITY INVESTIGATIONS,
ENGINEERING GEOLOGY, PAVEMENT DESIGN, EXPERT WITNESS REPORTS, DRILLING SERVICES,
FATHWORKS COMPACTION CONTROL, MATERIALS TESTING, ASPHALTIC CONCRETE TESTING,
QA AND QC TESTING, AUDITING AND CERTIFICATION. N.A.T.A. REGISTERED LABORATORIES





We note that the structural drawings do not cover the proposed garage and understand these will follow at a later date.

Should you require any further information regarding the above please do not hesitate to contact the undersigned.

Yours faithfully
For and on behalf of
JEFFERY AND KATAUSKAS PTY LTD

B F WALKER
Principal.

(11)

Bond James Norrie Marsden Pty Ltd

ABN 19 003 497 489

Consulting Structural and Civil Engineers

Telephone: (61 2) 9955 5931

Facsimile: (61 2) 9929 7975

Email: bjnmengs@bondjames.com.auLevel 6, 68 Alfred Street
Milsons Point NSW 2061PO Box 337, North Sydney
NSW 2059 Australia19th December 2003Philip Chun and Associates
Suite 29, 401 Pacific Highway
ARTARMON NSW 2064

Attention: Mr Frank De Pasquale

Dear Sir

**RE: 240 WHALE BEACH ROAD, WHALE BEACH
CONDITION B62 CERTIFICATION**

This is to certify that the underpinning and upgrading design of the basement floor structure is adequate to support additional loadings of the proposed new upper floor construction.

The temporary stabilisation measures are the responsibility of the builder; refer our General Notes Clause G5.

Yours faithfully
BOND JAMES NORRIE MARSDEN PTY LTDIan Norrie
Director

2001.162

19 DEC 2003

Director	Ian Norrie BE (Hons) MIE Aust CP Eng NPER (Struct)	Consultant	Tony Marsden MIE Aust CP Eng
----------	--	------------	------------------------------

Canberra
Office
Bond James & Murtagh Pty Ltd
4/9 Mackay Street, Southern Cross House,
Turner ACT 2601Civil
Consultant
Robert A Brall & Associates Pty Ltd
Tel: (02) 9959 5244 Fax: (02) 9959 4053

MEMORANDUM

Page 1 of 1

Tanner & Associates Pty Ltd
PO Box 660
Darlinghurst NSW 1300

ABN 77 001 209 392
52 Albion Street
Surry Hills NSW 2010

t&a@tannerarchitects.com.au
Tel. (02) 9281 4399
Fax. (02) 9281 4337

PROJECT: 240 WHALE BEACH ROAD**JOB NO:** 0303**FROM:** Robert Yuen**DATE:** 18.12.03

TO: SUITE 29
PHILIP CHUN & 401 PACIFIC HIGHWAY
ASSOCIATES PTY LTD ARTARMON NSW 2064

☒ MAIL ☐ COURIER
☐ HAND ☐ PICK UP
☐ EMAIL

ATTENTION: FRANK DE PASQUALE

TERMITE TREATMENT

SITE:

240 WHALE BEACH ROAD WHALE BEACH NSW 2107

APPLICANT:

OLIVARK PTY LTD
HOWARD TANNER 9281 4399(W)
32 HENRY STREET QUEENS PARK NSW 2022

OWNER:

OLIVARK PTY LTD
HOWARD TANNER 9281 4399(W)
32 HENRY STREET QUEENS PARK NSW 2022

BUILDER

STRALYUN CONSTRUCTIONS PTY LTD
WARREN JAMEISON 0400 535 566
17/ 22 HUSON AVE CASTLE HILL NSW 2154

For all on ground concrete slabs, an irrigation system provided by the local pest controller is proposed. An annual inspection and topping up strategy is part of the ongoing treatment.

For the suspended floors, the standard alcor or hot dipped galvanized/ zincalume ant capping is proposed with a 35mm turn over. A white line approximately 100 wide is painted on all piers and retaining support walls to assist in the visual inspection of termite tunnels. The construction of the building easily allows this method to be employed.

If any further clarification is required, please do not hesitate to call Robert Yuen on 9331 6870 or 0419 419 976.



ROBERT YUEN
TANNER & ASSOCIATES

Docs/Projects/ Tanner/ council-termites1.doc

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FORM A.B.C/P

(2) TANNER & ASSOCIATES ARCHITECTS

BUILDING CODE OF AUSTRALIA SPECIFICATION FOR 240 WHALE BEACH ROAD, WHALE BEACH

1. The component design detail as listed in the schedule hereunder indicates that the design of the elements for the subject building have been undertaken in accordance with the relevant Clauses of the Building Code of Australia and Australian Standards and are suitable for the intended purpose;

Schedule:

- Sound transmission and noise isolation within buildings - Part 3.8.6 (AS1276)
- Glass installation - (AS1288)
- Roof and wall cladding - Part 3.5 (AS1562)
- Mechanical ventilation - indoor air quality - Part 3.8.5 (AS1668.2).
- Timber framing - Part 3.4 (AS1684)
- Damp proof courses and flashings - Part 3.3.4 (AS/NZS2904)
- Electrical installations (AS/NZS3013)
- National plumbing and drainage (AS/NZ3500)
- Concrete structures (AS3600)
- Protection of buildings from subterranean termites - Part 3.1.3 (AS3660)
- Masonry structures - Part 3.3 (AS3700)
- Waterproofing of wet areas in residential buildings - Part 3.8.1 (AS3740)
- Smoke Alarms - Part 3.7.2 (AS3786)
- Lintels - AS 1250 The use of Steel in structures, AS 4100 Steel Structures

Upon completion of works and prior to occupancy or to the issue of an occupancy certificate, a certificate prepared by an accredited certifier shall be submitted to Council or the Principal Certifying Authority, certifying that the relevant elements have been completed in accordance with the details which were the subject of the original certificate, and are suitable for their intended purpose.

2. Techniques used for erosion and sediment control on building sites will be adequately maintained at all times and all techniques shall remain in proper operation until all development activities have been completed and the site fully stabilised.
3. All timber framing is to be in accordance with AS 1684, 1992 National Timber Framing Code or alternatively, may be constructed in accordance with AS1720 Timber Structures Code on the proviso that a certificate prepared by an accredited certifier is submitted upon completion demonstrating compliance with AS1720.
4. All balustrades for balconies and landings and handrails for ramps or stairways will be designed and constructed to comply with Part 3.9.2 of the Building Code of Australia which require a minimum height of 1 metre with no opening exceeding 125mm.
5. All stairways, riser and going dimensions shall be in accordance with Part 3.9.1 of the Building Code of Australia.
6. An early warning smoke detection alarm system is to be provided in accordance with Part 3.7.2 (AS 3786) of the Building Code of Australia. Prior to occupation a certificate from a suitably qualified individual shall be issued certifying that the system complies with Part 3.7.2 of the Building Code of Australia and adopted Australian Standards.
7. Waterproofing of roofs and walls shall be such to comply with Part 3.5 of the Building Code of Australia.
8. Wet areas in building shall be waterproofed so as to comply with Part 3.8.1 of the Building Code of Australia. Prior to occupation a certificate from an Accredited Certifier is to be provided that all wet areas have been

effectively waterproofed (prior to tiling) in accordance with AS3740 and the product manufacturer's recommendations.

9. A clothes line or clothes hoist will be provided to the building. Alternatively one heat operated drying cabinet or appliance may be provided for each dwelling.
10. Mechanical ventilation in accordance with the requirements of AS 1668, Part 2, will to be installed to bathrooms and laundries where natural ventilation cannot be provided.
11. The structural members of the building which are subject to attack by subterranean termites shall be protected in accordance with AS 3660.1. A durable notice will be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating the following:-
 - a) method of protection; and
 - b) the date of installation of the system; and
 - c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
 - d) the need to maintain and inspect the system on a regular basis.

Signed



Date

27 November 2003

POWER SCHEDULE

ISSUE: A

REF No	LOCATION	TYPE	POSITION	APPLIANCE	REMARKS
P1	Garage	DGPO	1100 affl		
P2	Rumpus	DGPO	300 affl		
P3	Rumpus	DGPO	300 affl		
P4	Rumpus	DGPO	300 affl		
P5	Rumpus	DGPO	300 affl		
P6	Rumpus	DGPO	300 affl	Fax/ internet	
P7	Rumpus	DGPO	300 affl	Television & telephone	
P8	Undercroft area	Direct wired	To suit	Floor heating	Control & timer for in-floor heating system
P9	Not used				
P10	Kit	DGPO	300 affl		
P11	Kit	DGPO	1100 affl		Above bench
P12	Kit	DGPO	1100 affl		Above bench
P13	Shower 1	DGPO	300 affl		
P14	Store	DGPO	300 affl		
P15	Store	DGPO	300 affl		
P16	Store	DGPO	300 affl		
P17	Store	DGPO	300 affl		
P18	Undercroft area	Direct wired	To suit	Hot water unit	
P19	Not used				
P20	Not used				
P21	Living	DGPO	300 affl		
P22	Living	DGPO	300 affl		
P23	Living	DGPO	300 affl		
P24	Living	DGPO	300 affl		
P25	Dining	DGPO	800 affl		
P26	Dining	DGPO	800 affl		
P27	Dining	DGPO	800 affl		
P28	Dining	DGPO	800 affl		
P29	Not used				
P30	Not used				
P31	Sitting	DGPO	300 affl		
P32	Sitting	DGPO	300 affl		
P33	Sitting	DGPO	300 affl		
P34	Sitting	DGPO	300 affl		
P35	Kitchen	DGPO	1000 affl		Above bench
P36	Kitchen	DGPO	1000 affl		Above bench
P37	Kitchen	DGPO	1800 affl	Refrigerator	ip adjacent cupboard, cut hole for access
P38	Kitchen	DGPO	1000 affl		Above bench
P39	Kitchen	DGPO	1000 affl		Above bench
P40	Bed 2	DGPO	300 affl		
P41	Bed 2	DGPO	300 affl		
P42	Bath	DGPO	To suit	Heated towel rail	
P43	Bed 3	DGPO	300 affl		
P44	Bed 3	DGPO	300 affl		
P45	Store 2	DGPO	1000 affl		
P46	Laundry	DGPO	1000 affl		
P47	Laundry	DGPO	1000 affl		
P48	BBQ	DGPO	To suit	BBQ ignition	Waterproof fitting
P49	Not Used				
P50	Not Used				
P51	Dress 1	DGPO	1000 affl		
P52	Dress 1	DGPO	1000 affl		
P53	Master Bed	DGPO	300 affl		
P54	Master Bed	DGPO	To suit		Confirm whether below or above shelf
P55	Master Bed	DGPO	To suit		Confirm whether below or above

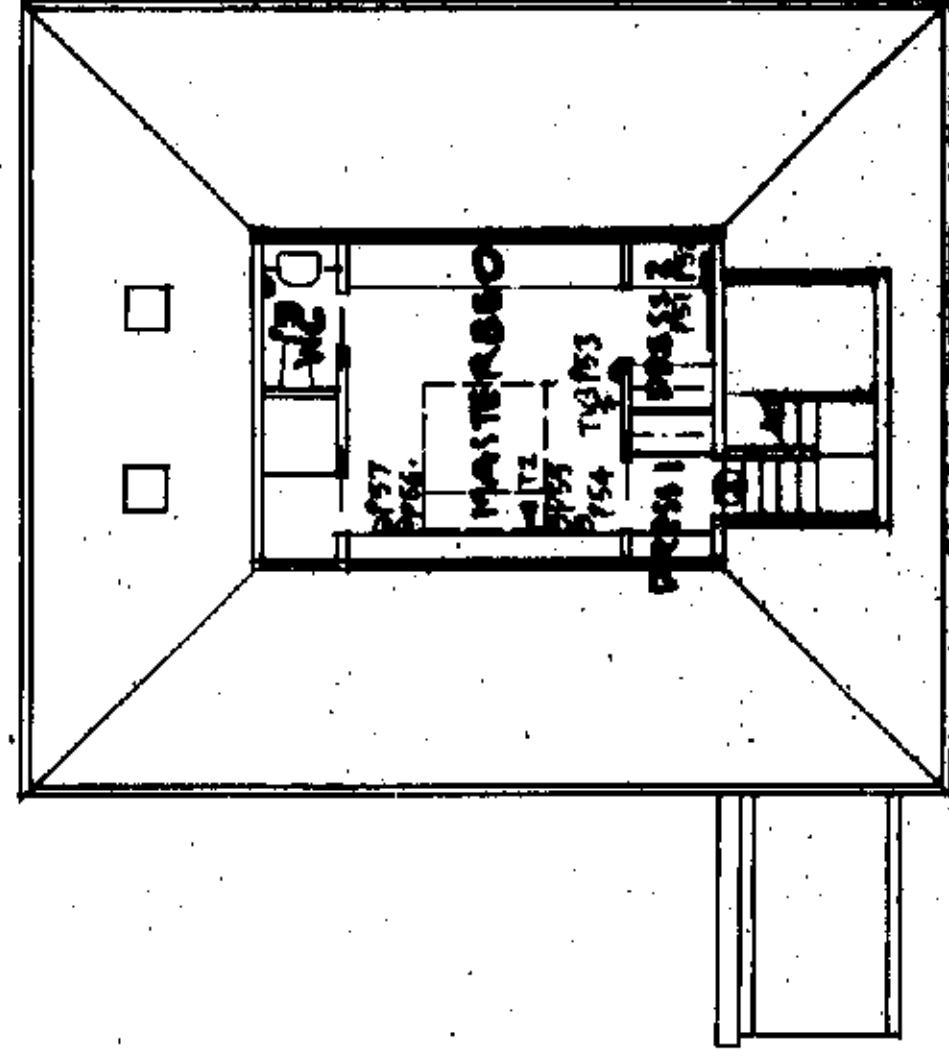
POWER SCHEDULE

ISSUE: A

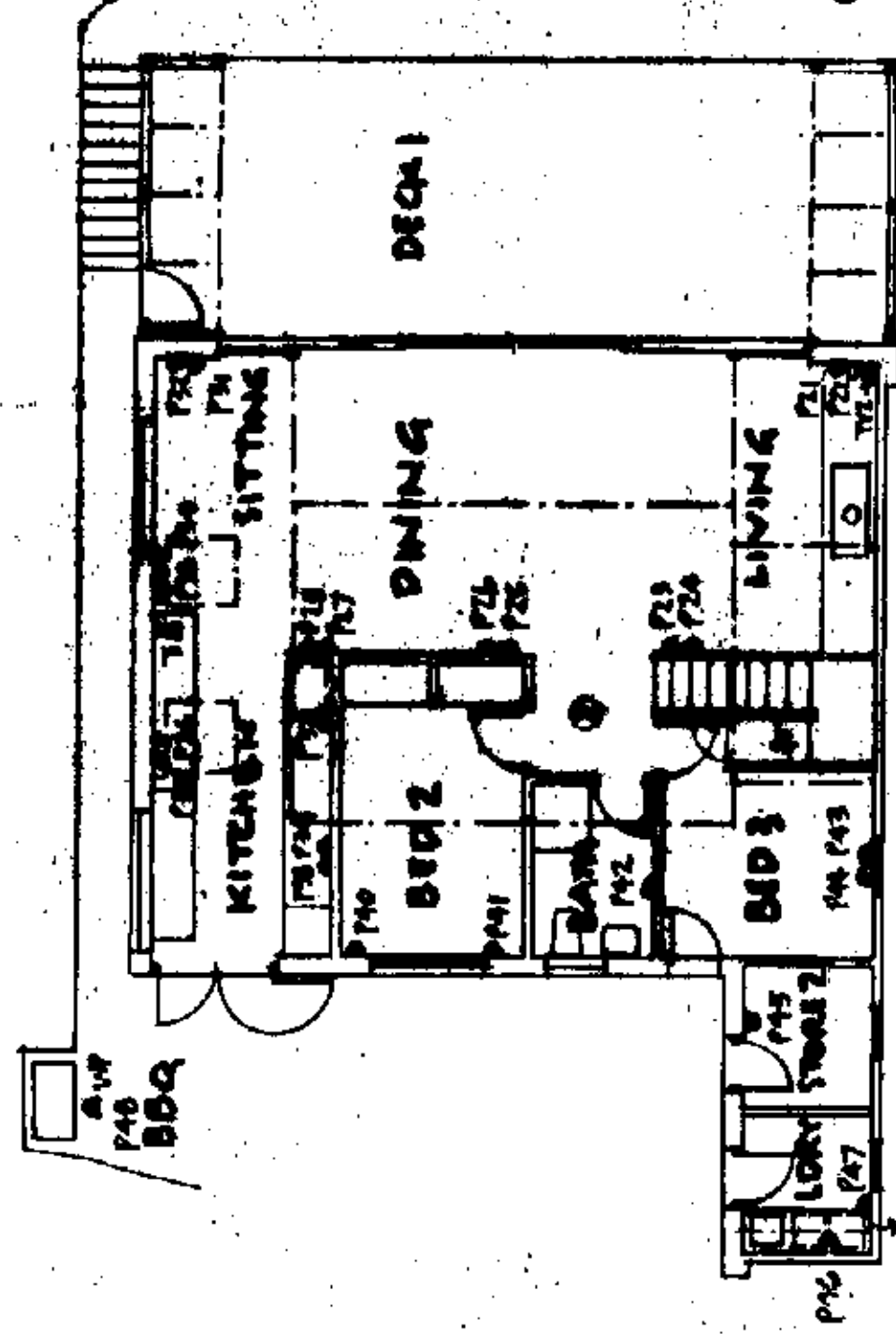
REF No	LOCATION	TYPE	POSITION	APPLIANCE	REMARKS
					shelf
P56	Master Bed	DGPO	To suit		Confirm whether below or above shelf
P57	Master Bed	DGPO	To suit		Confirm whether below or above shelf
P58	WC	DGPO	1000 affl		
T1	Kitchen	RJ45 outlet	On wall above bench	Telephone	Alternatively, standard telephone jack approx 1m affl.
T2	Master Bed	RJ45 outlet	To suit	Telephone	Confirm whether below or above shelf
T3	Rumpus	RJ45 outlet	300 affl	Fax/ internet connection	Alternatively, standard telephone jack.
T4	Rumpus	RJ45 outlet	300 affl	Telephone	Alternatively, standard telephone jack.
TV1	Rumpus	TV socket	300 affl	Television	Next to P7
TV2	Living	TV socket	300 affl	Television	Next to P22
TV3	Master Bed	TV socket	300 affl approx	Television	Next to P53

NOTE TO ELECTRICIAN and Howard!!

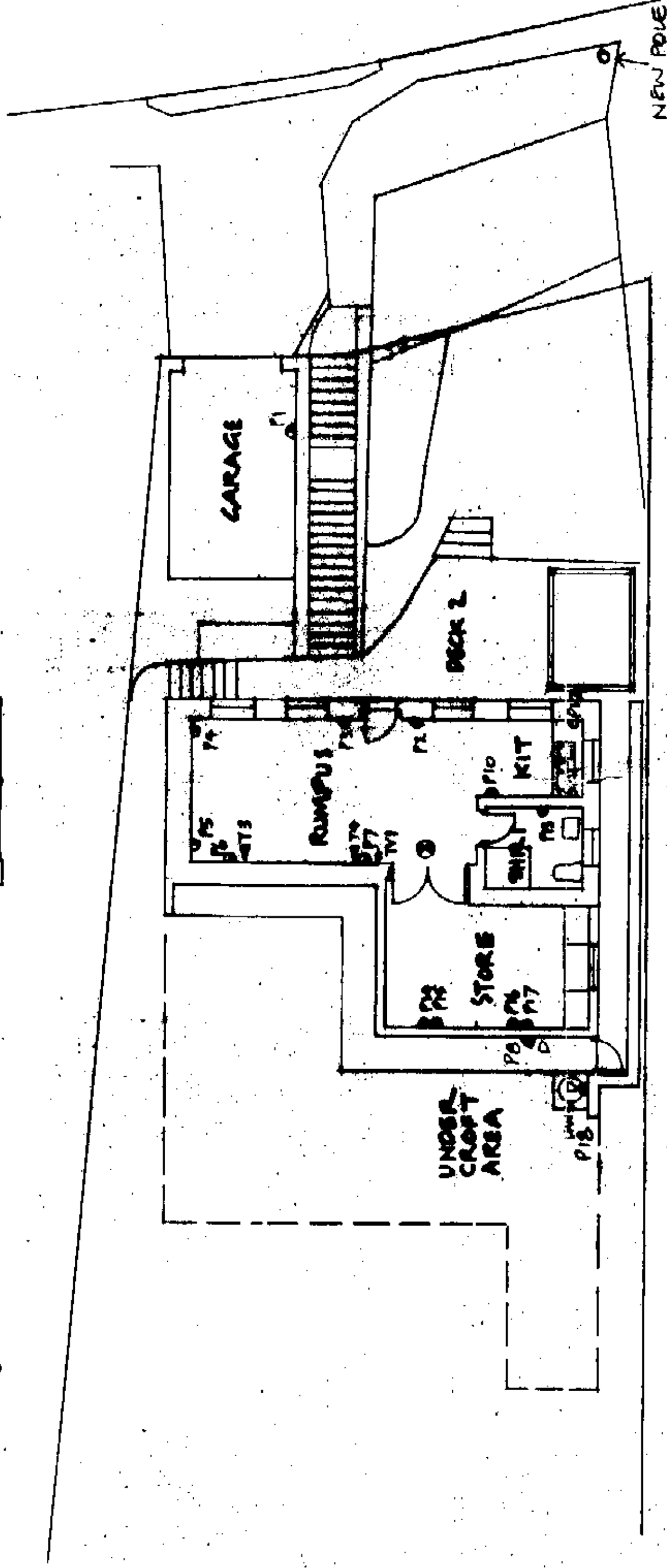
1. When installing adjoining power point plates, ensure sufficient separation so that large format plugs, typical of current modern electrical products are comfortably accommodated.
2. Confirm where electrical distribution board
3. In floor heating control panel
4. Security system
5. Movement detector sensors - where?



ATTIC ROOM PLAN



GROUND FLOOR PLAN



LOWER GROUND FLOOR PLAN

NUMBERS NOT USED :-
P 8-9
P 19-20
P 29-30
P 49-50

SMOKE DETECTOR

Signature: *[Signature]*
Certificate No: **03470/11**
Date: **30/11/04**

construction certification
Philip Chun and Associates Pty Ltd
Suite 29, 401 Pacific Hwy
ARTARMON NSW 2064
Tel: 02 9436 4993 Fax: 02 9901 4741

D 17.12.03 SHOW SMOKE DETECTORS
C 30.9.03 STATE CONTRACT ISSUE

	TANNER ARCHITECTS TANNER & ASSOCIATES P/L 53 ALBION STREET, PO BOX 604, DARLINGHURST SYDNEY NSW 2010 NSW 1300 Telephone 01 2 52814300 Fax 01 2 92814357 Email: info@tannerarchitects.com.au		Alteration & Additions 240 Whole Beach Road, Whole Beach Olympt Pty. Ltd.		SCALE 1:100 DATE 12/12/03
	PROJECT POWER & TELEPHONE LAYOUT DO NOT SCALE DIMENSIONS VERIFY ALL DIMENSIONS ON SITE NOTIFY ARCHITECT OF ALL DISCREPANCIES		DRAWING NO 0303 REV D		J/P01

Philip Chun and Associates Pty Ltd
Suite 29, 401 Pacific Highway
ARTARMON NSW 2064

FAKED To
99014741.

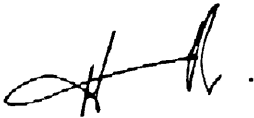
Attention: Mr Frank De Pasquale

Dear Sir,

Re: STORMWATER MANAGEMENT AT 240 WHALE BEACH ROAD WHALE BEACH

Attached is the proposed stormwater system at the above property, prepared by Robert Yuen, architect. I confirm that the proposal meets the requirements of the AS 3500.3.2 - Stormwater Drainage, and includes the disposal of site stormwater to a public system on Whale Beach Road.

Signed



TREXOR MOON
LICENSED PLUMBER

T R MOON PTY LTD
ABN 9800 2069 776

Philip Chun and Associates Pty Ltd			
Received			
To	23 JAN 2004		
Contract No.			

Signature

Certificate No:

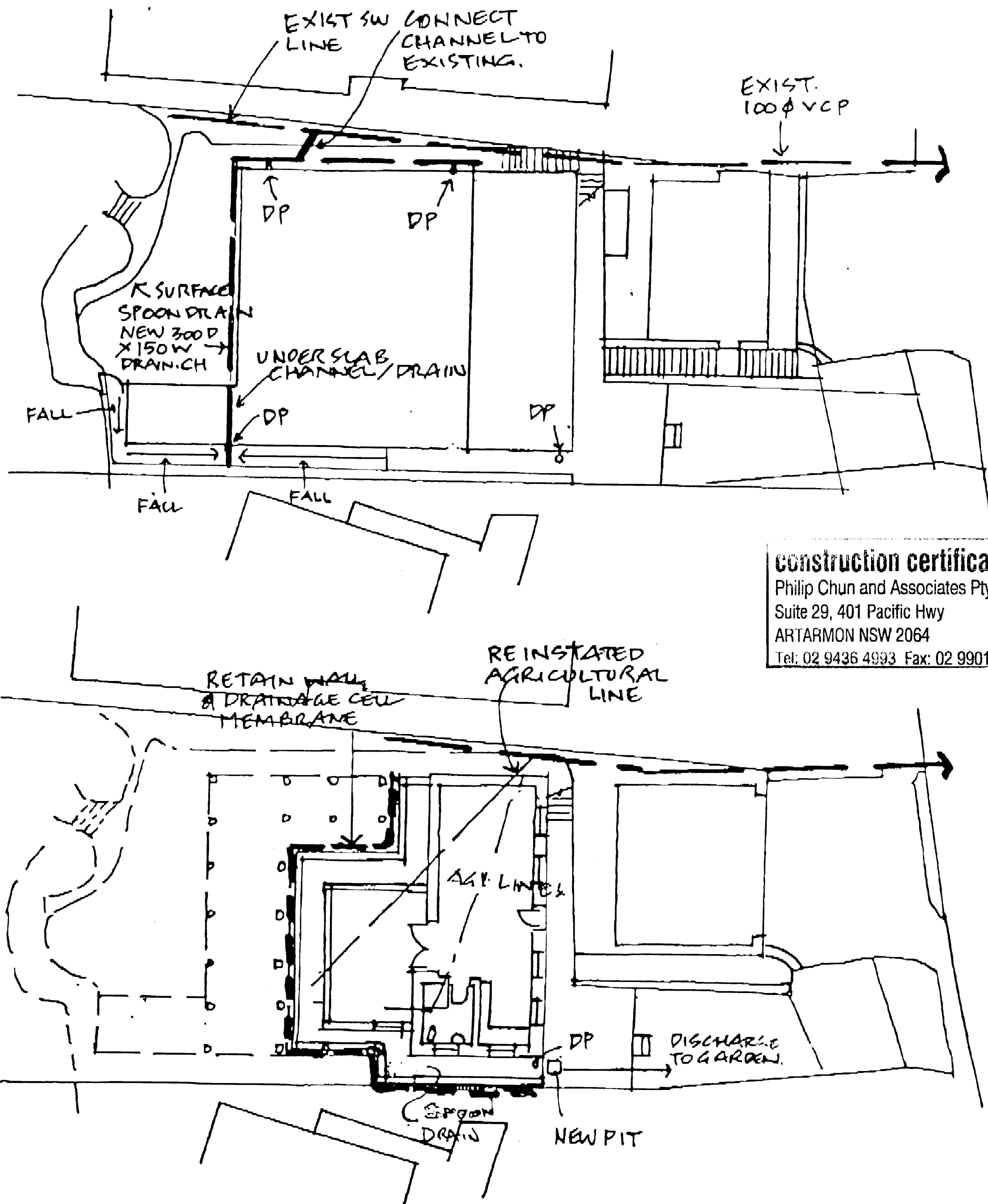
03170/1

Date:

30/1/04

construction certification

Philip Chun and Associates Pty Ltd
Suite 29, 401 Pacific Hwy
ARTARMON NSW 2064

**construction certification**

Philip Chun and Associates Pty Ltd
Suite 29, 401 Pacific Hwy
ARTARMON NSW 2064
Tel: 02 9436 4993 Fax: 02 9901 4741

**STORMWATER DRAINAGE
240 WHALE BEACH ROAD.**

Ryuen 23.12.03

HYDRAULIC SERVICES SCHEDULE

ISSUE: A

REF NO.	LOCATION	HYDRAULIC FIXTURE	TAPSET	APPLIANCE	REMARKS
		Dishwasher			
		Model to be confirmed	Raymor washing machine tap code No.26005 chrome	By Owner	Supplied by owner, plumber to connect. Plumber to ensure that hose fittings can accommodate hot water supply. Builder to install copper tray below dishwasher, fit overflow drain & connect to soil drainage.
H1	Garage	Garden hose tap	Threaded hose cock. Standard brass fitting		
H2	Deck 2	Shower Fixed shower rose, cold water tap only set 1m above the ground	Raymor Rodin stainless steel cistern		
H3	Kit	Stainless steel sink & Drainer Fred Clark 1398mm long x 471mm wide with 1 taphole. Model No.2009F	Raymor Artesian Series M2 Sink Single Lever Mixer (code no. 11306).		
H4	Shower 1	Pedestal Hand Basin Caroma white VC Flair 800 1 hole centre	Rapetti ENMI single lever basin mixer, chrome. Contact Ron Montano 9317 2383		Connect to existing outlet
H5	Shower 1	WC pan Caroma Leda 2000 white vitreous china wall faced partial box rim close-coupled toilet suite (code no.989035).	Raymor chrome plated flanged mini cistern tap (code no. 70535) with cp copper connector to cistern. Fit 4.5 ltr / min flow restrictor to cistern outlet.		Connect to existing outlet and drainage
H6	Shower 1	Shower tray	Use Raymor Artesian Series mixer M2 Model No.11325 chrome finish.	Use Raymor All Directional shower arm and rose in chrome finish. Product No.32306	Connect to existing outlets and supply
H7	HWS undercroft space	Hot Water Service			Re-use existing unit
H8	Not used				Decorative unit stainless steel finish to be approved by the architect
H9	Not used				
H10	Living	Gas outlet bayonet fitting		Gas heater	
H11	Sitting	Gas outlet bayonet fitting		Gas heater	
H12	Kitchen	Sink			Re-use existing unit
H13	Kitchen	Dishwasher			Re-use existing unit
H14	Kitchen	Gas cooker and oven			Re-use existing unit
H15	BATHROOM	Shower	Use Raymor Artesian Series mixer M2 Model	Use Raymor All Directional shower	Connect to existing outlets and supply

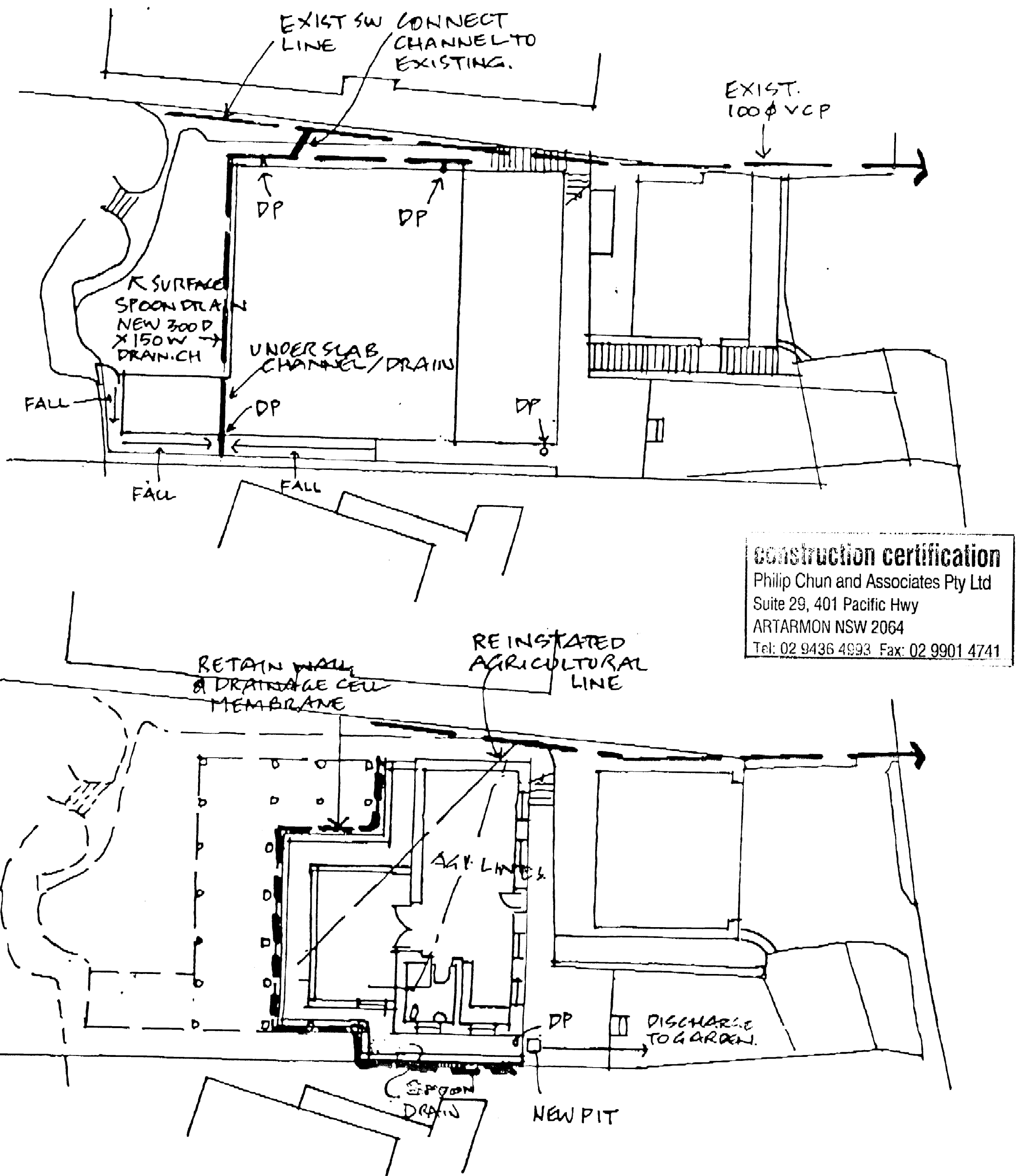
HYDRAULIC SERVICES SCHEDULE

ISSUE: A

REF NO.	LOCATION	HYDRAULIC FIXTURE	TAPSET	APPLIANCE	REMARKS
			Series mixer M2 Model No.11325 chrome finish.	Directional shower arm and rose in chrome finish. Product No.32306	and supply
H16	BATHROOM	WC pan Caroma Leda 2000 white vitreous china wall faced partial box rim close-coupled toilet suite (code no.989035).	Raymor chrome plated flanged mini cistern tap (code no. 70535) with cp copper connector to cistern. Fit 4.5 litre / min flow restrictor to cistern outlet.		Connect to existing outlet and drainage
H17	BATHROOM	Pedestal Hand Basin Caroma white VC Flair 600 1 hole centre	Repetti EMMI single lever basin mixer, chrome. Contact Ron Montano 9317 2383		Connect to existing outlet
H18	BBQ	Gas connection		BBQ 4 burner unit with removable stainless steel lid.	Jetmaster Fireplaces Amcliffe 9597 7222.
H19	LAUNDRY	Single Laundry Tub	Clark Flushline model 9510 70 litre stainless steel bowl		Conceal drainage connection to the washing machine.
H20	LAUNDRY	Washing Machine Model to be confirmed	Raymor washing machine tap code No.26005 chrome.	By Owner	Under bench front loading unit.
H21	Not used				
H22	Not used				
H23	Not used				
H24	Not used 3				
H25	WC	Partial twin set Incessa 42 code 5055/ 42	Astra Walker Icon Basin Mixer 6931 T 9838 8588 Seven Hills NSW		Raised hand basin to accommodate low window sill height
H26	WC	WC pan Caroma Leda 2000 white vitreous china wall faced partial box rim close-coupled toilet suite (code no.989035).	Raymor chrome plated flanged mini cistern tap (code no. 70535) with cp copper connector to cistern. Fit 4.5 litre / min flow restrictor to cistern outlet.		
H27	Shower 2	Shower	Use Raymor Artesian Series mixer M2 Model No.11325 chrome finish.		Use Raymor All Directional shower arm and rose in chrome finish. Product No.32306
H28	Driveway	New Gas meter			Refer to AGL.
H29	Driveway	New Water meter			Refer to Sydney Water

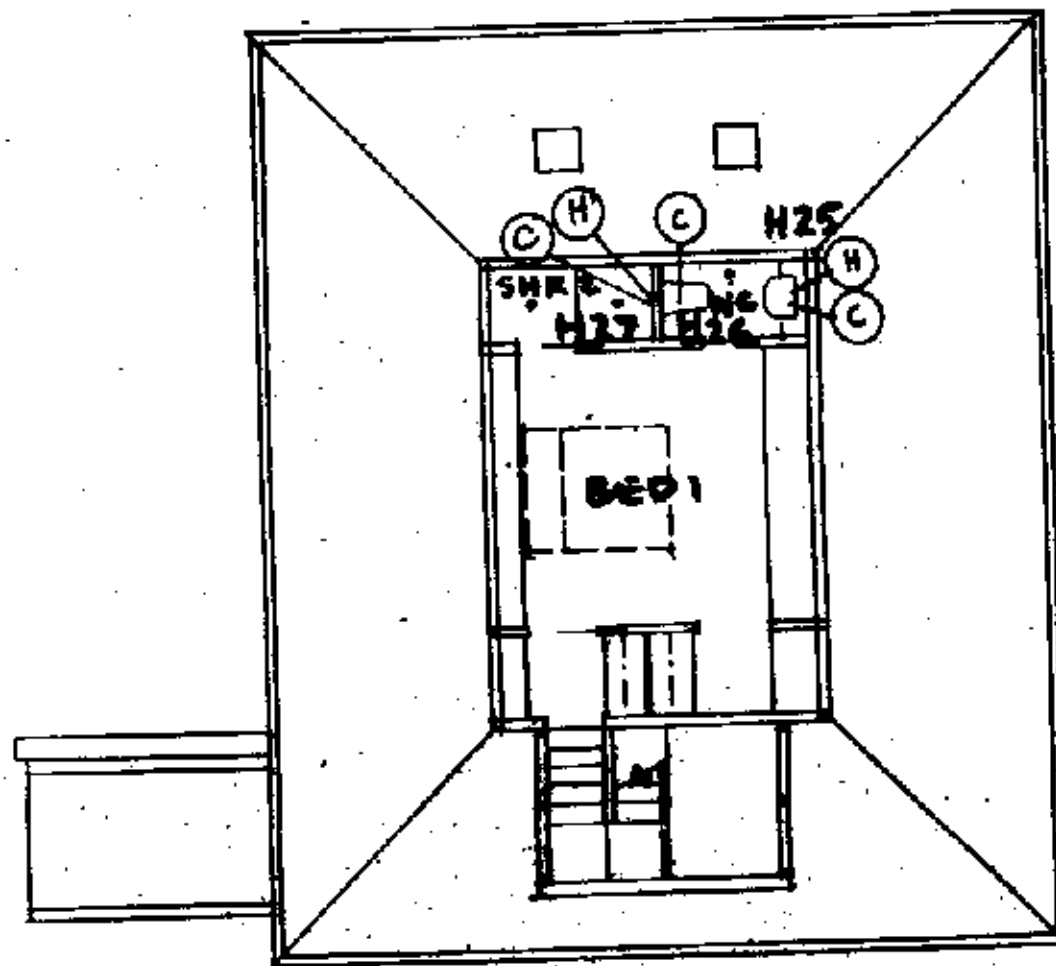
NOTES

Floor Waste - decorative unit stainless steel finish to be approved by the architect.

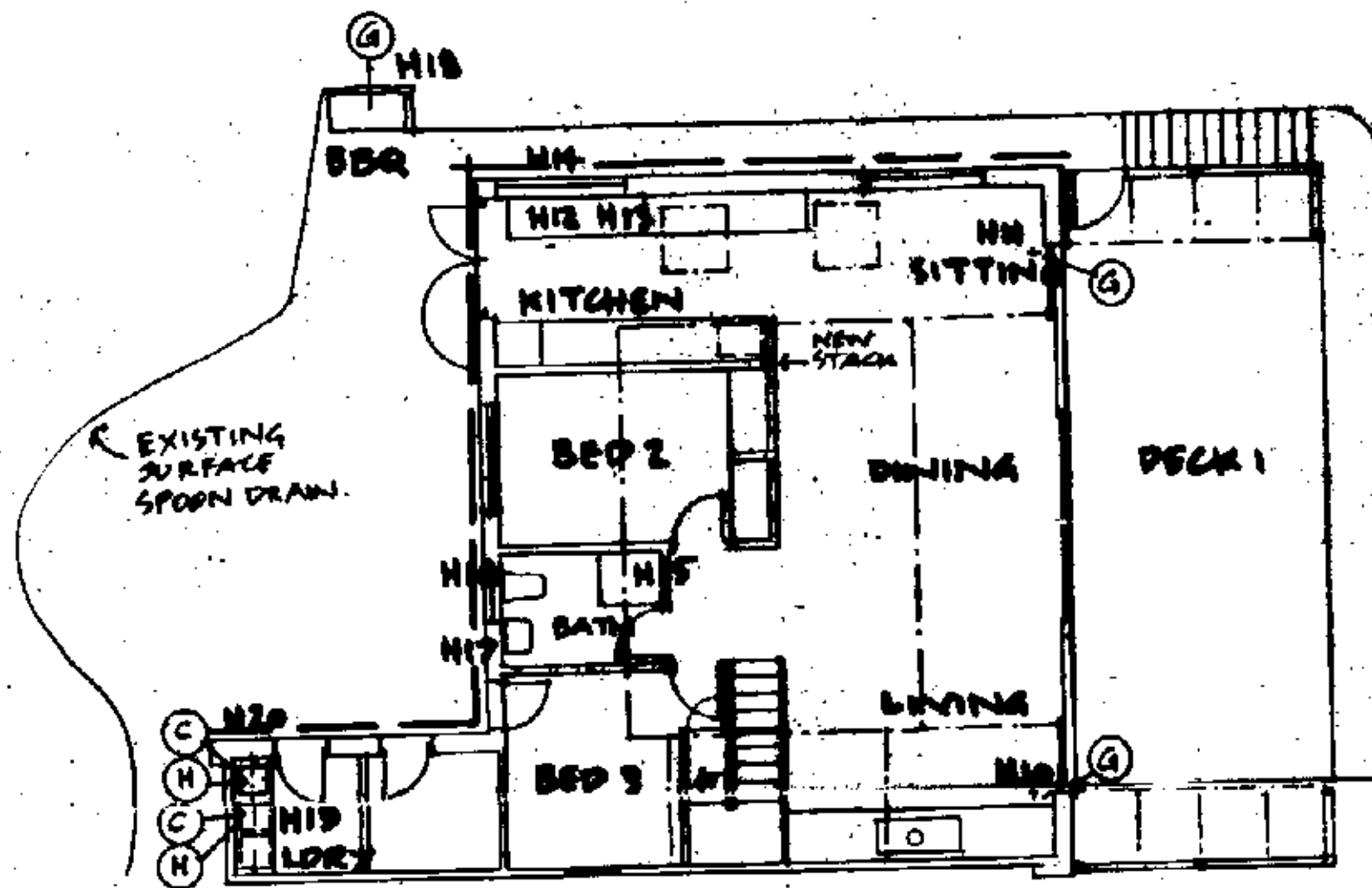


**STORMWATER DRAINAGE
240 WHALE BEACH ROAD.**

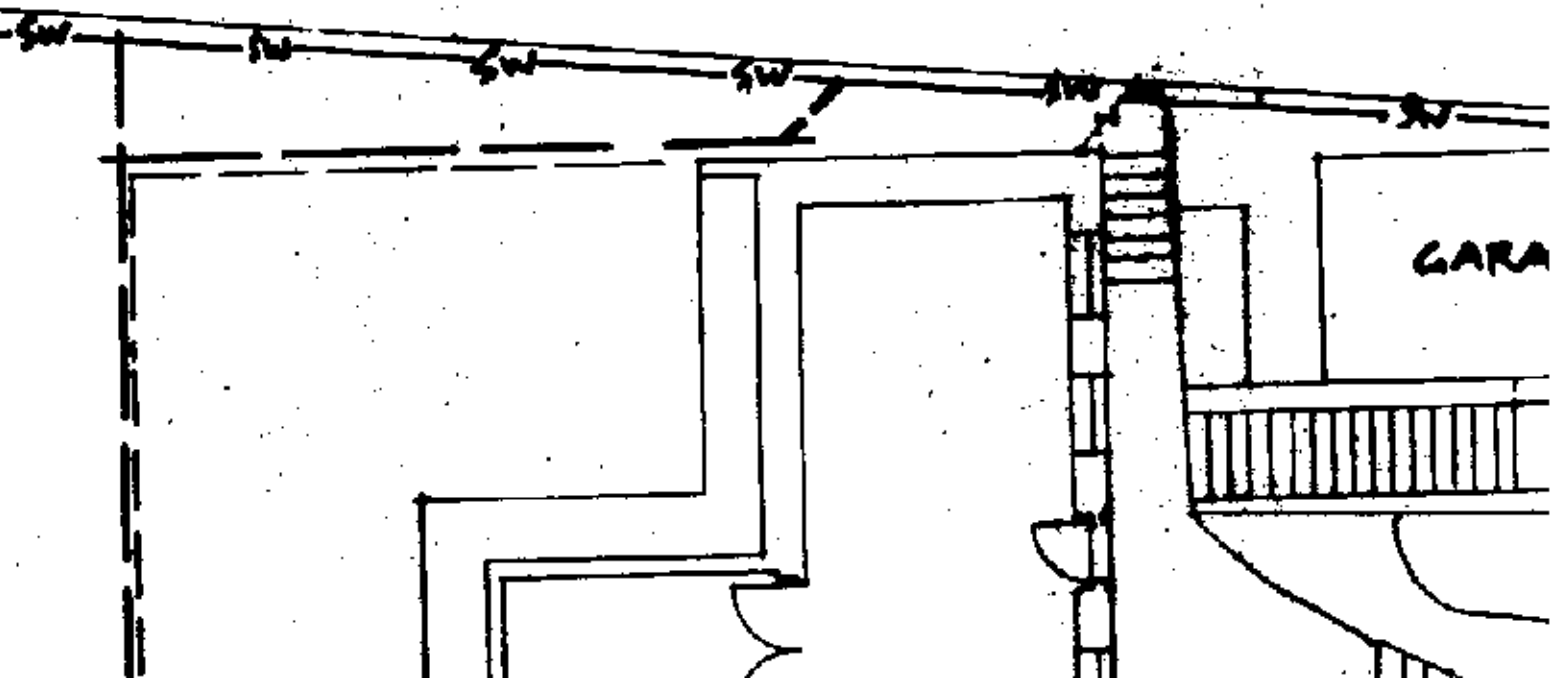
Ryuen 23.12.03



ATTIC ROOM PLAN



GROUND FLOOR

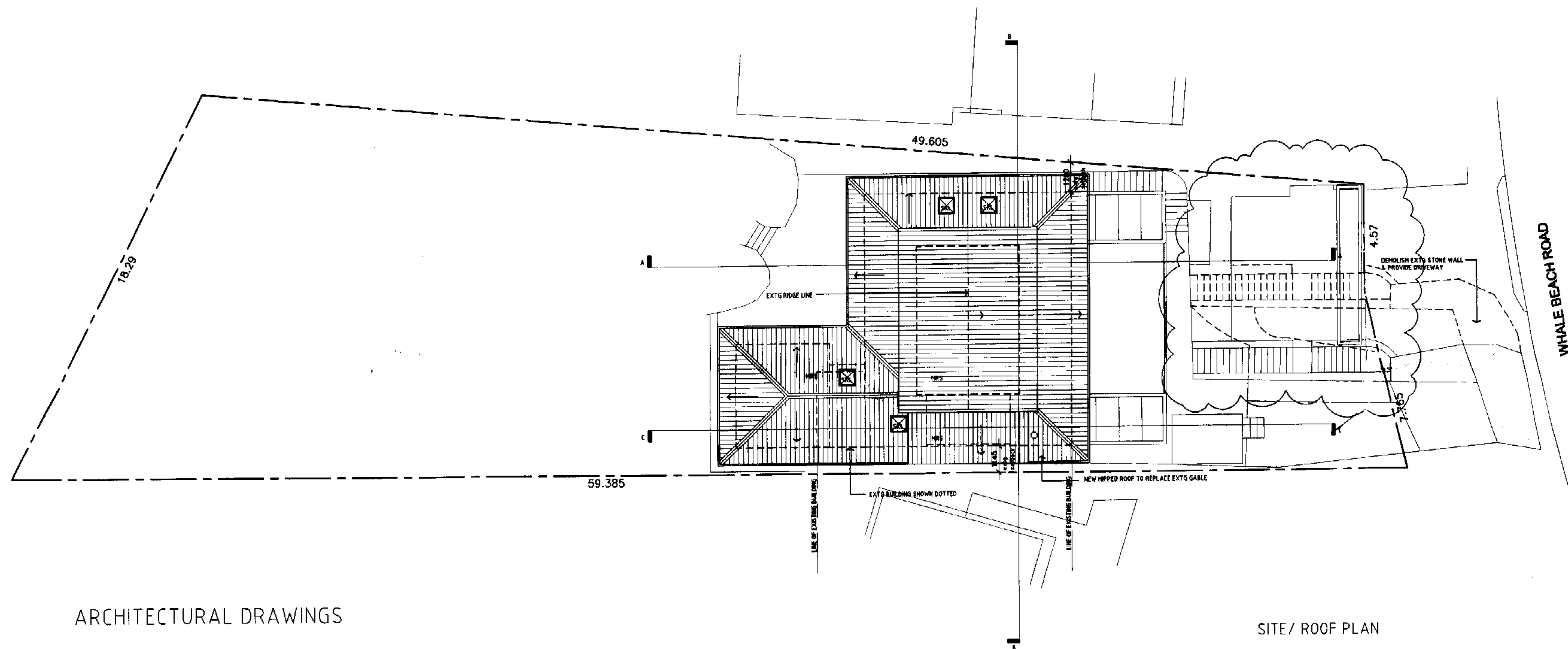


ALTERATIONS & ADDITIONS

240 Whale Beach Road, Whale Beach

LEGEND

BSN	BASIN
CA	CARPET
CB	CUPBOARD
CR	CEMENT RENDER
CT/F	CERAMIC FLOOR TILES
CT/W	CERAMIC WALL TILES
DP	DOWNPIPE
DWR	DRAWER
EXTG	EXISTING
FC	FIBRE-REINFORCED CEMENT SHEETS
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FG	FIXED GLAZING
FP	FIRE PLACE
FW	FLOOR WASTE
FY	FLYSCREEN
GD	GLAZED DOOR
GL	GLAZED LOUVRES
HC	HOSE COCK
HWU	HOT WATER UNIT
MRS	METAL ROOF SHEETING
PBD	PLASTERBOARD
PLY	PLYWOOD
RL	REDUCED LEVEL
SK	SINK
SK/T	TIMBER SKIRTING
SKL	SKYLIGHT
SHV	SHELVING
SP	SPITTER
SS	STAINLESS STEEL
SWP	STORMWATER PIT
T	TIMBER
TB	TIMBER BOARDING
T&G	TONGUE & GROOVE FLOORING
TL	TIMBER LOUVRES
TL/F	FIXED TIMBER LOUVRES
TL/D	TIMBER LOUVRED DOOR
VP	VENT PIPE
W	WINDOW
WPM	WATERPROOF MEMBRANE
WV	WALL VENT
(TME)	TO MATCH EXISTING
(COS)	CONFIRM ON SITE
(VOS)	VERIFY ON SITE



ARCHITECTURAL DRAWINGS

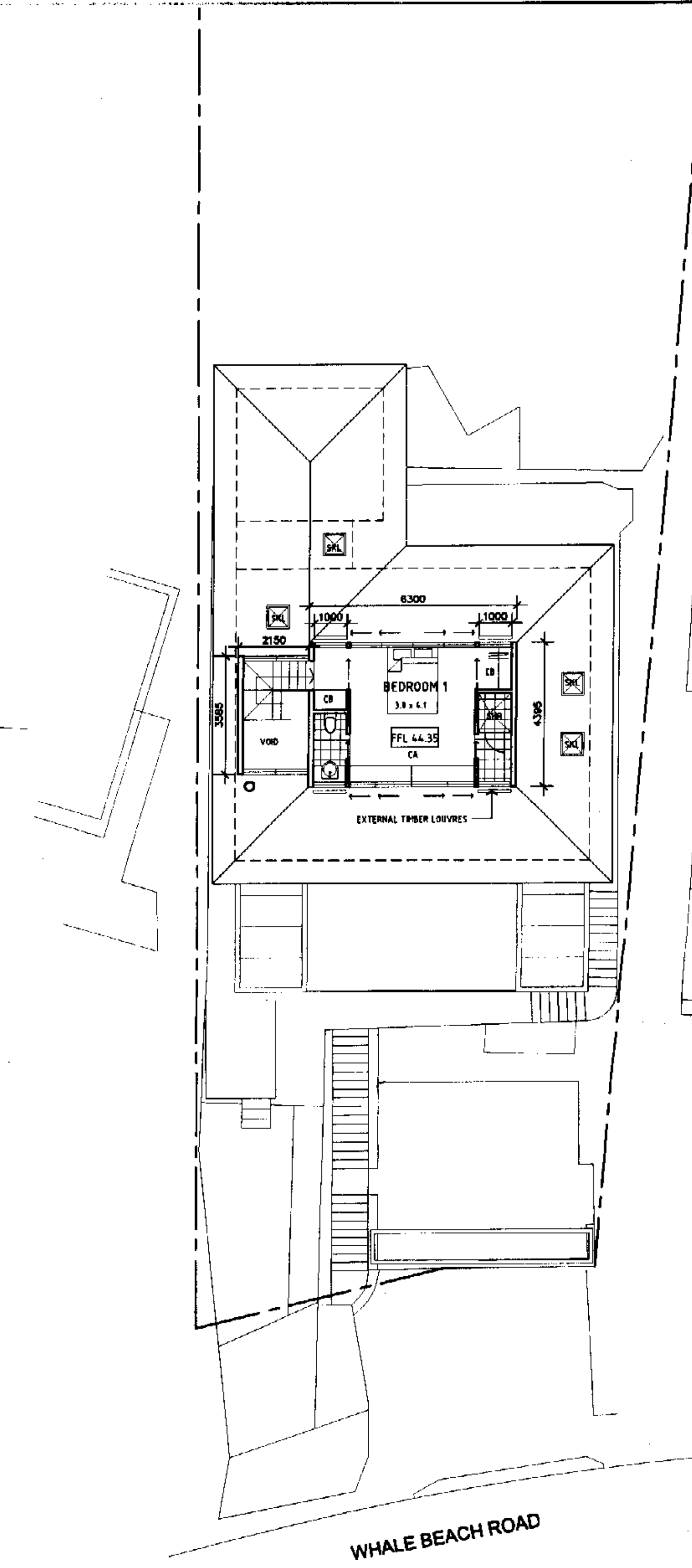
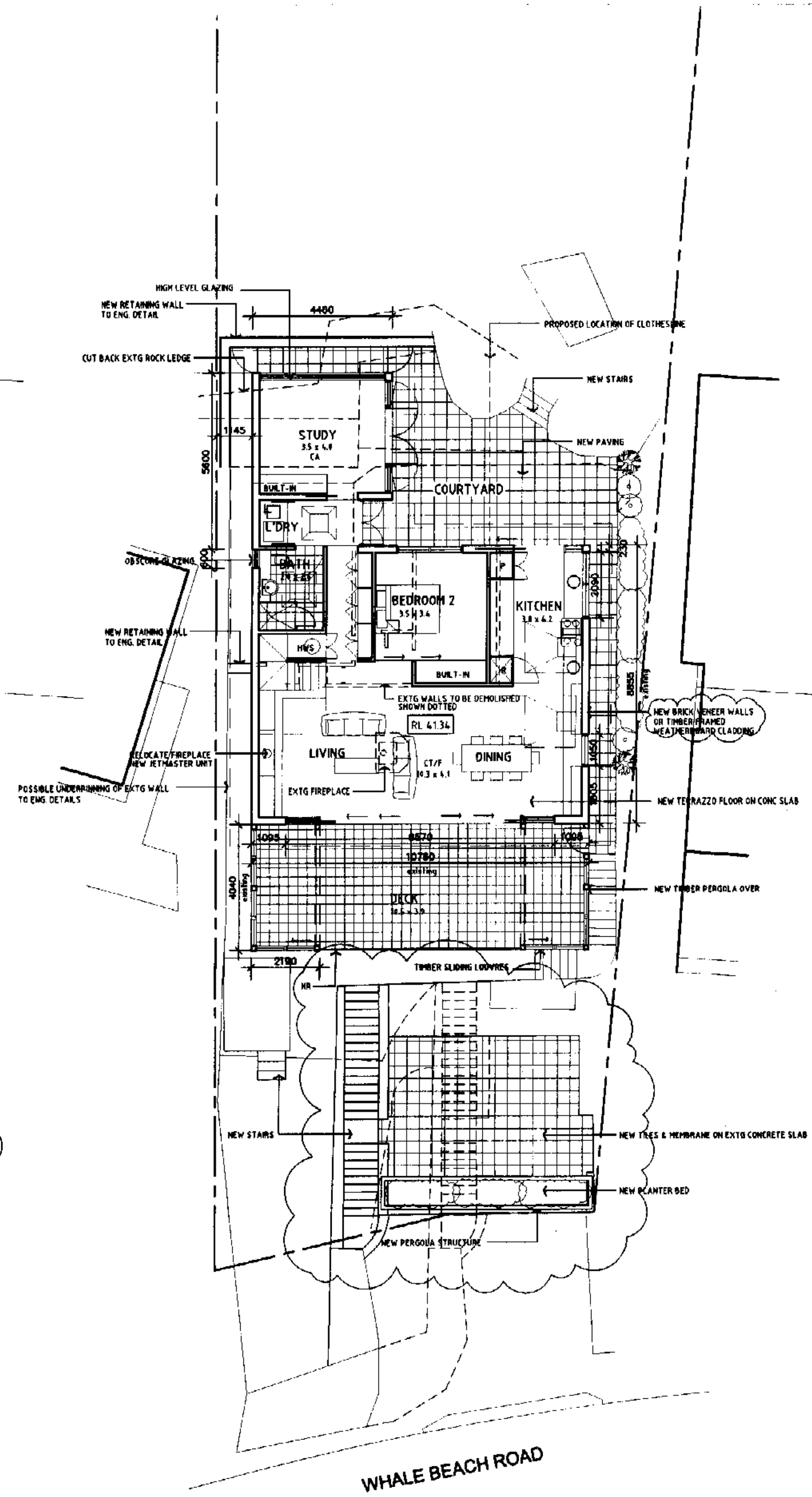
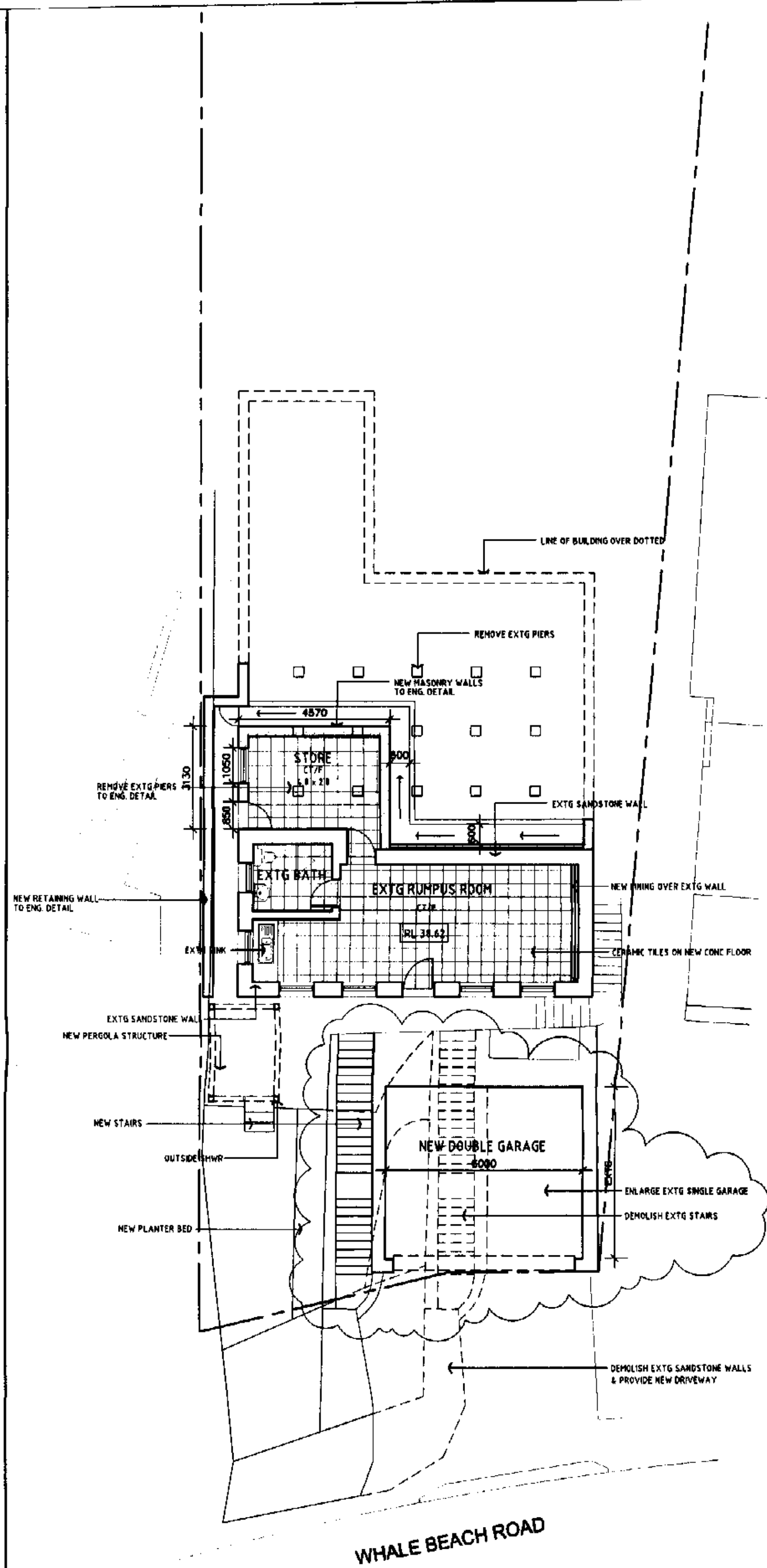
- AR DA 00 - Site Plan
- AR DA 01 - Floor Plans
- AR DA 02 - Elevations
- AR DA 03 - Sections
- AR DA 04 - Shadow Diagrams
- AR DA 05 - Survey

SITE/ ROOF PLAN

Construction Certificate
Philip Chun and Associates Pty Ltd
Suite 29, 401 Pacific Hwy
ARTARMON NSW 2054
Tel: 02 9426 4638 Fax: 02 9501 4741

Signature: *[Signature]*
Certificate No: **03170/1**
Date: **30/11/04**

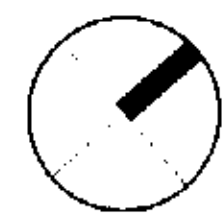
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LEGEND	
BSN	BASIN
CA	CARPET
CB	CUPBOARD
CR	CEMENT RENDER
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CT/W	CERAMIC WALL TILES
DP	DOWNPIPE
DWR	DRAWER
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FY	FLYSCREEN
GD	GLAZED DOOR
GL	GLAZED LOUVRES
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HWA	HOT WATER UNIT
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(COS)	CONFIRM ON SITE
(VOS)	VERIFY ON SITE

Construction Consultants
Philip Chun and Associates Pty Ltd
Suite 23, 401 Pacific Hwy
ACTARHON NSW 2054
Tel: 02 9436 4993 Fax: 02 9501 4741

REV	DATE	DOCUMENT STATUS/AMENDMENT	DRAWN	VERIFIED	AUTHORISED	REV	DATE	DOCUMENT STATUS/AMENDMENT	DRAWN	VERIFIED	AUTHORISED
C	07/08/02	AMENDED COUNCIL DA									
B	25/02/02	COUNCIL DA									
A	25/01/02	PRELIMINARY COUNCIL DA									



PRINCIPAL CONSULTANT:
TANNER ARCHITECTS
TANNER & ASSOCIATES PTY. LTD.
ABN 77 061 289 392
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SYDNEY, NSW 2010
Telephone 61 2 9206 399 Fax 61 2 9206 337
Email t6a@tannerarchitects.com.au
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PROJECT:
Alteration & Additions
240 Whale Beach Road, Whale Beach
CLIENT:
Olivark Pty. Ltd.

DRAWING
Floor Plans

SCALE: 1:100	DATE: AUG 02
JOB No: 001030	PROJ. ARCH: HT
CADFILE No: S:\DWG\001030\dwg\DA_001030.dwg DA_001030.dwg	DRWG No: AR DA 01
	REV: C

BSN	BASIN
CA	CARPET
CB	CUPBOARD
CR	CEMENT RENDER
CT/F	CERAMIC FLOOR TILES
CT/W	CERAMIC WALL TILES
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construction certificate
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ARTARMON NSW 2084
Tel: 02 9436 4553 Fax: 02 9001 4561

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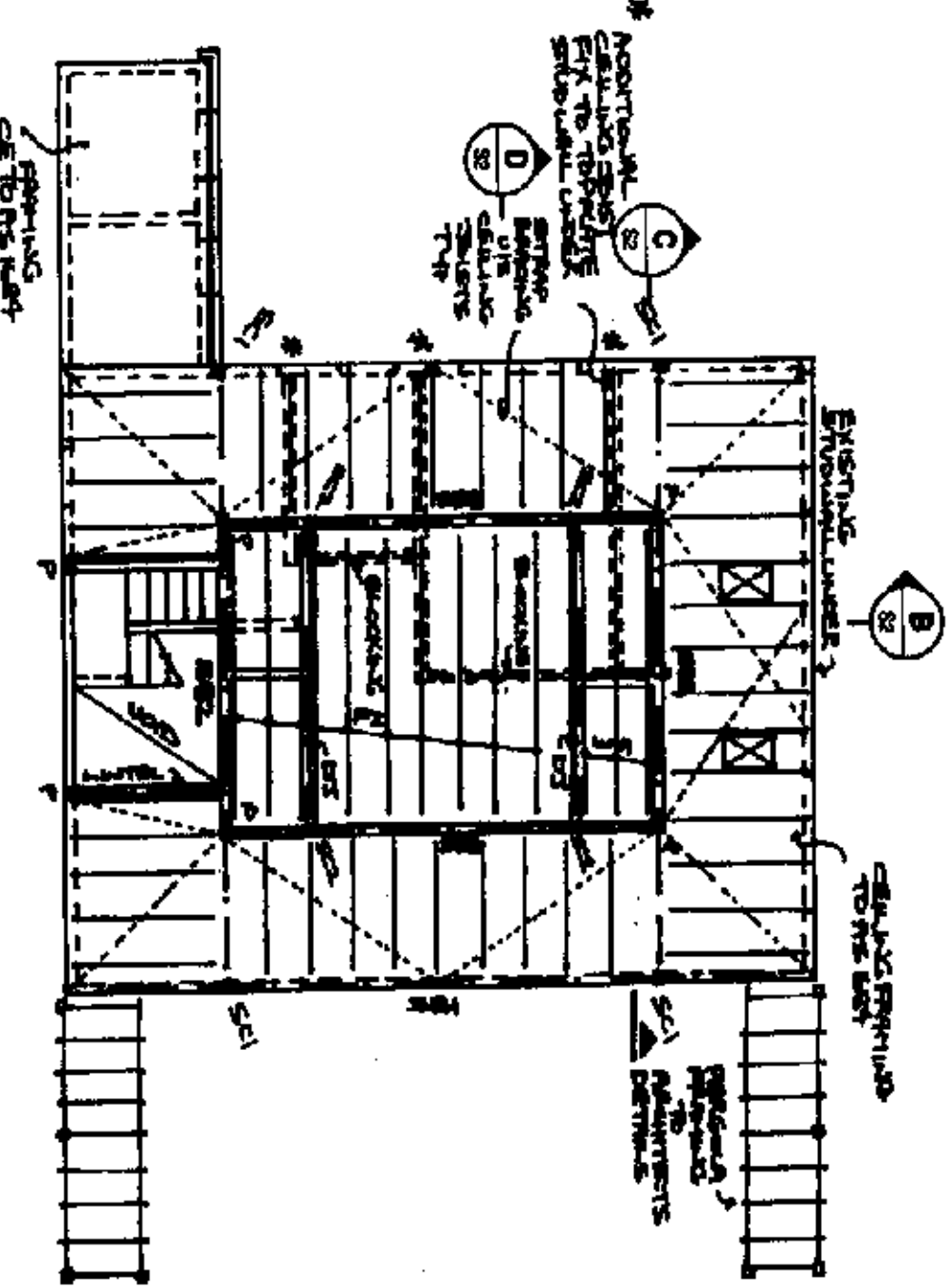
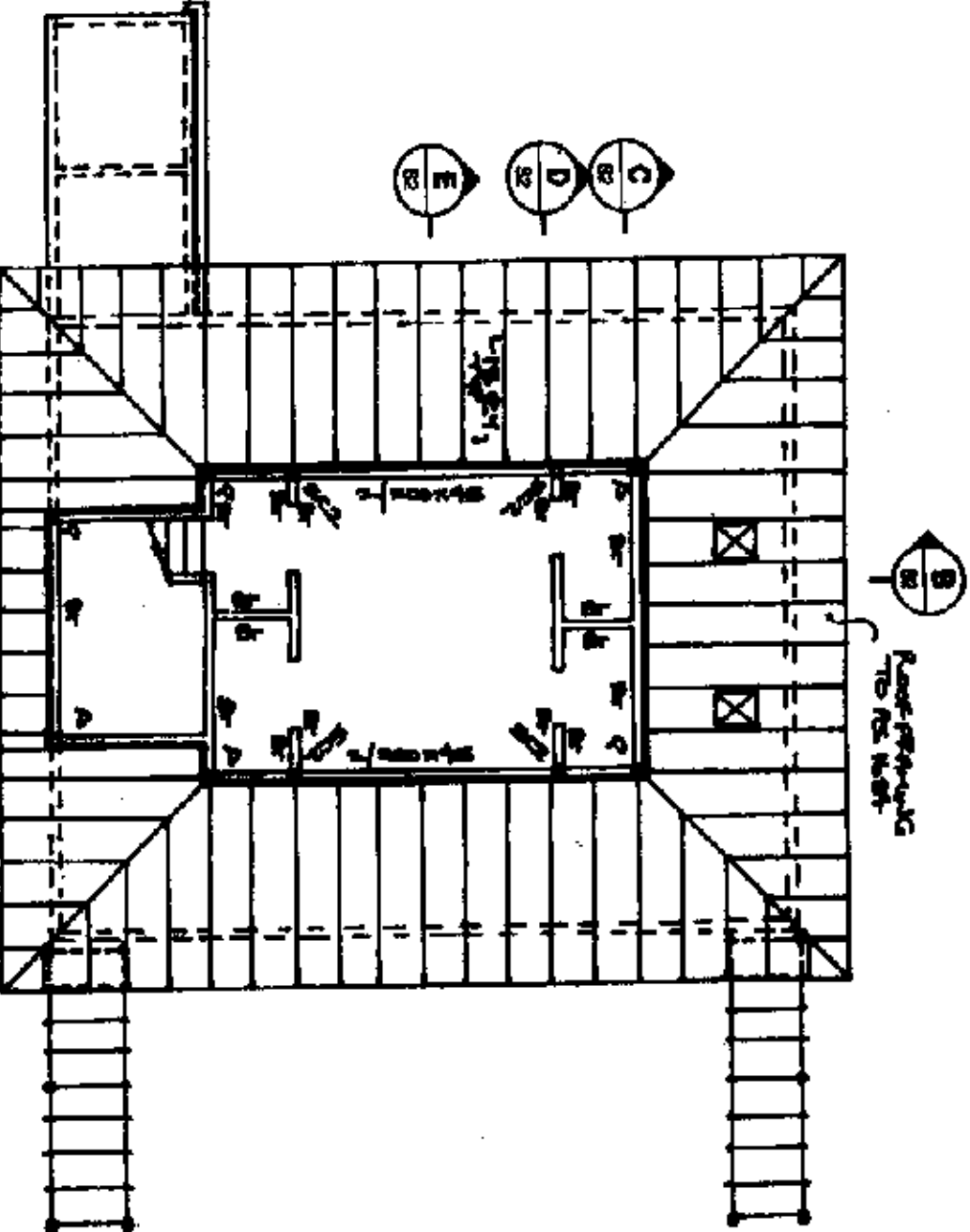
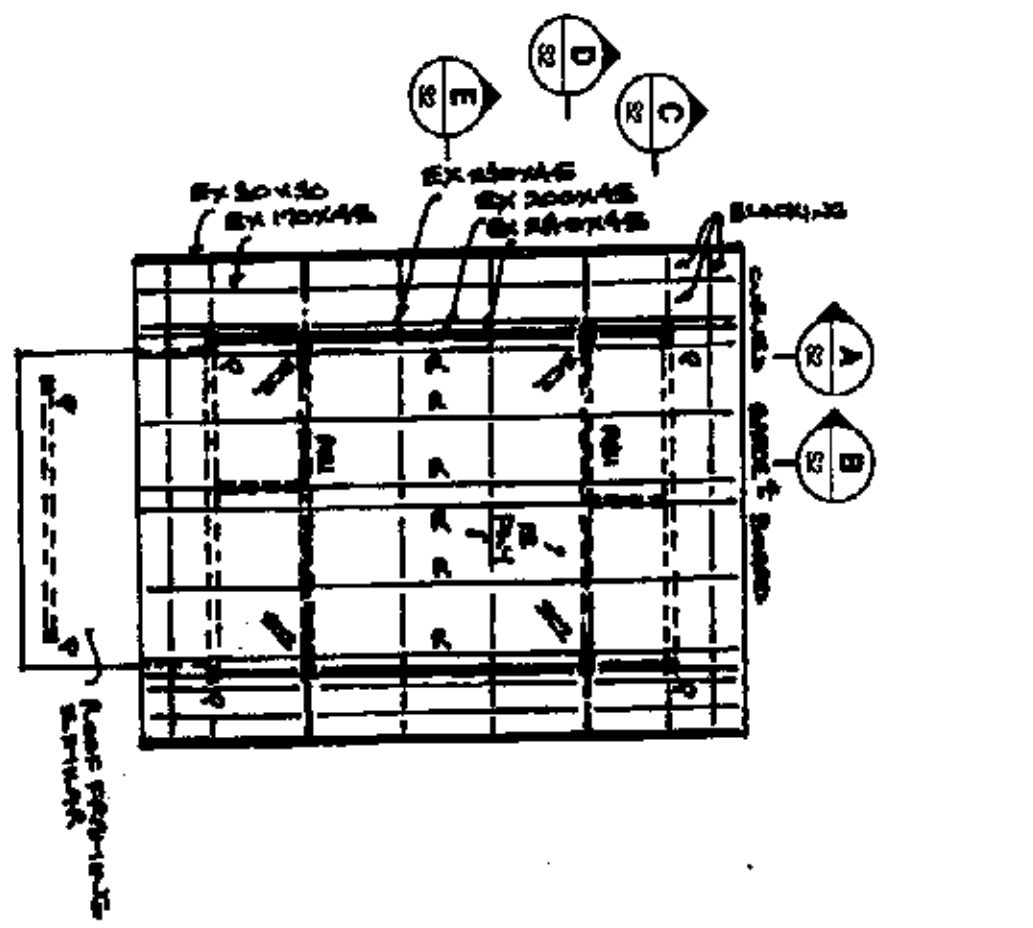
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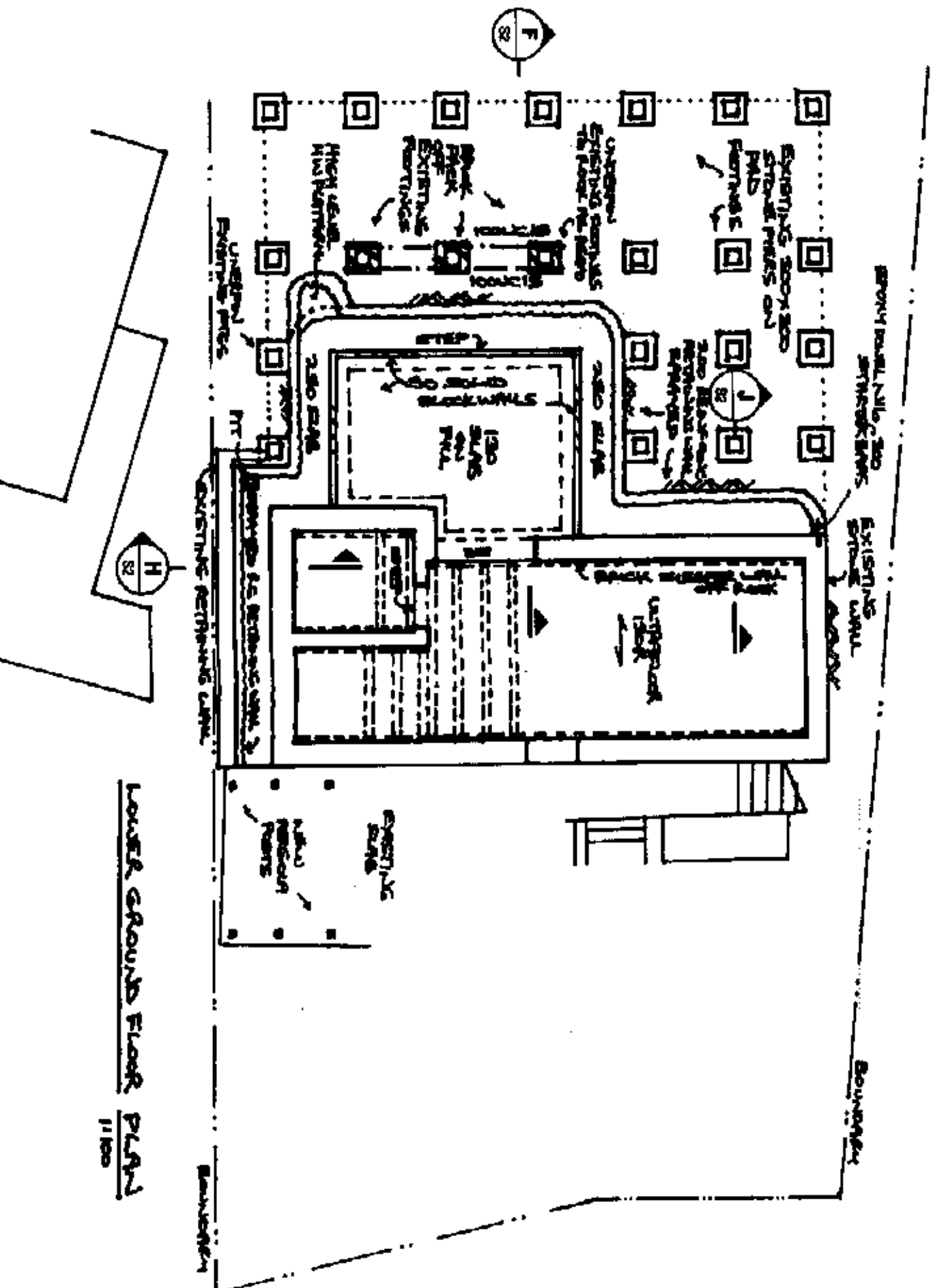
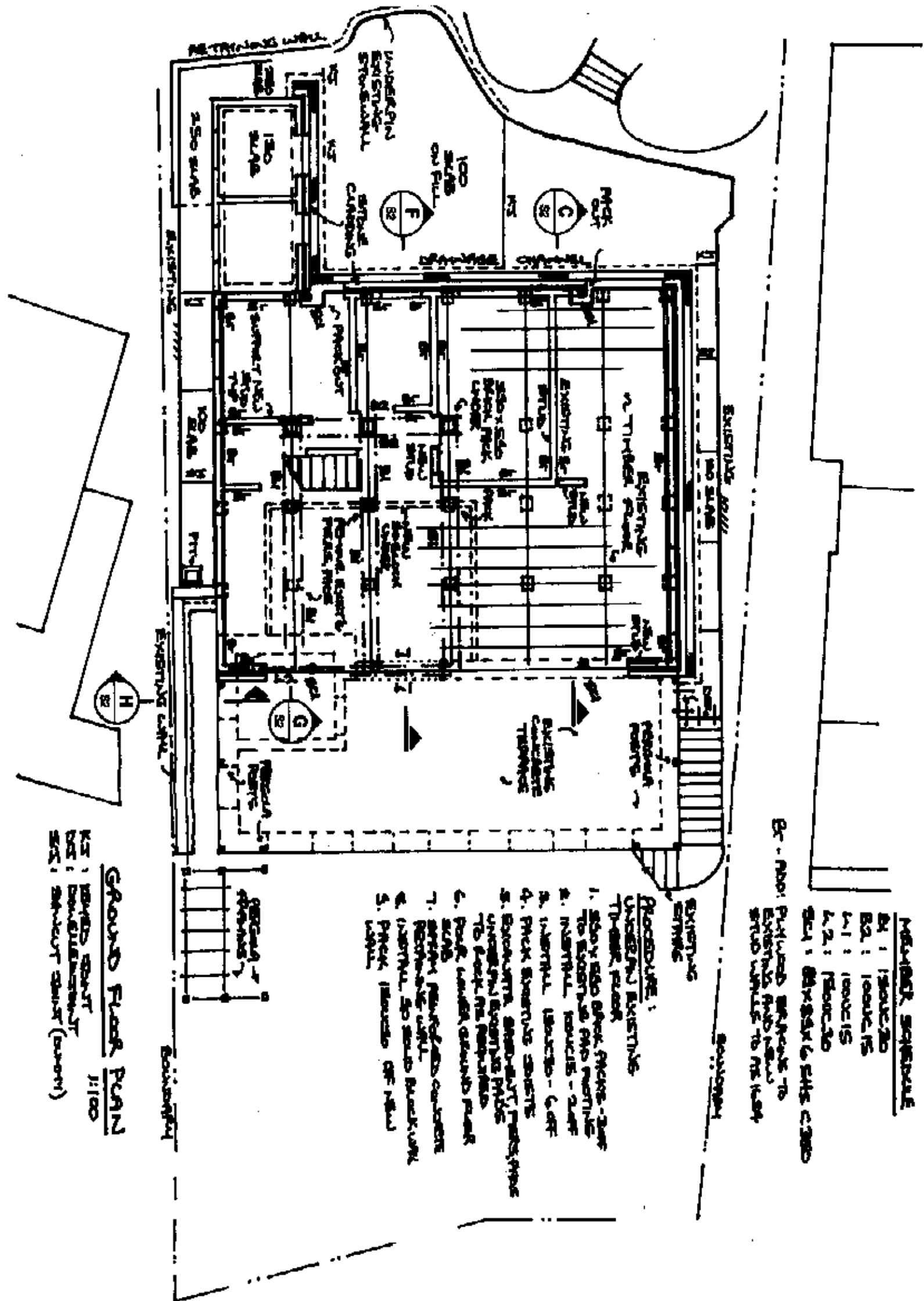
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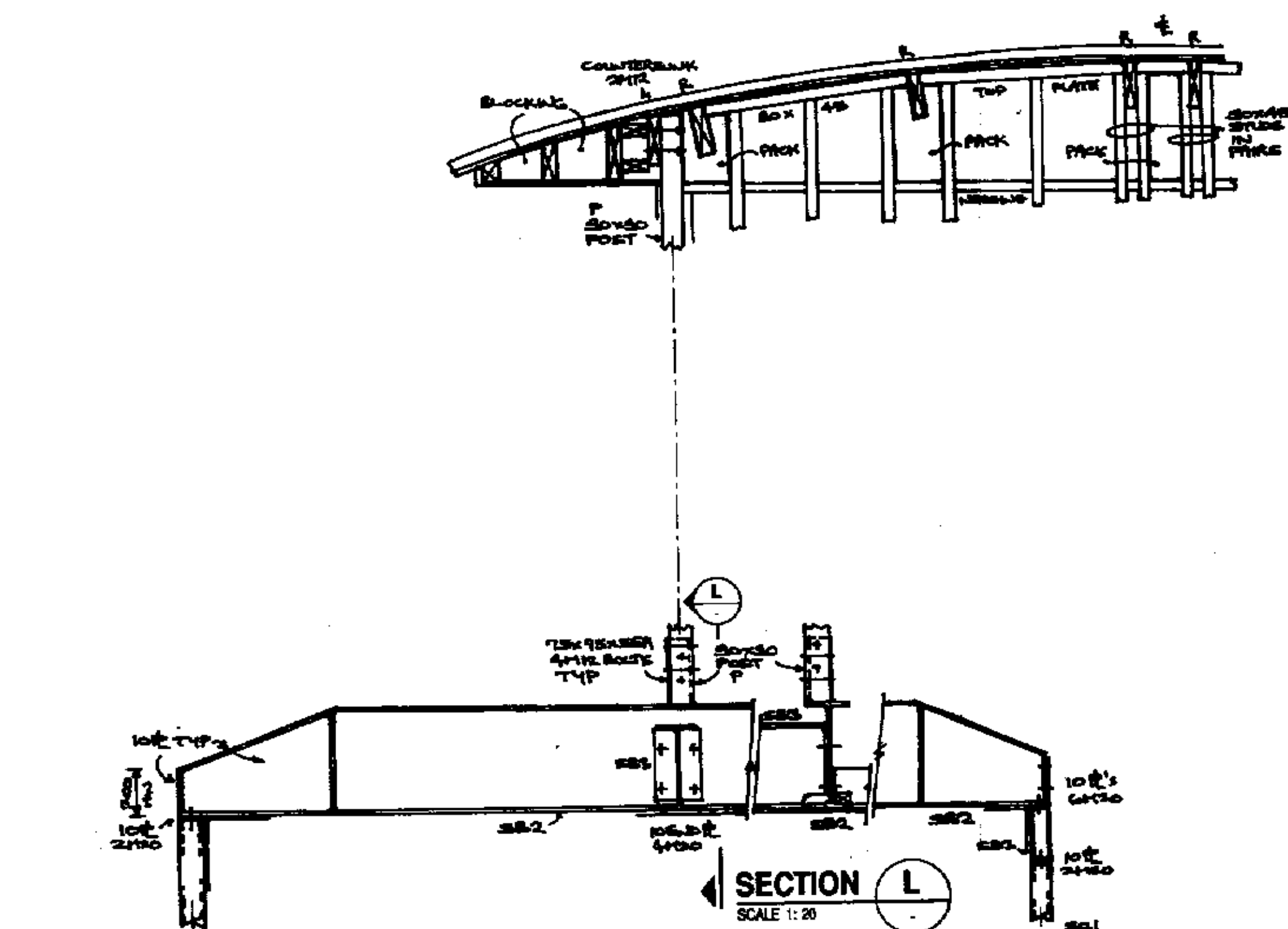
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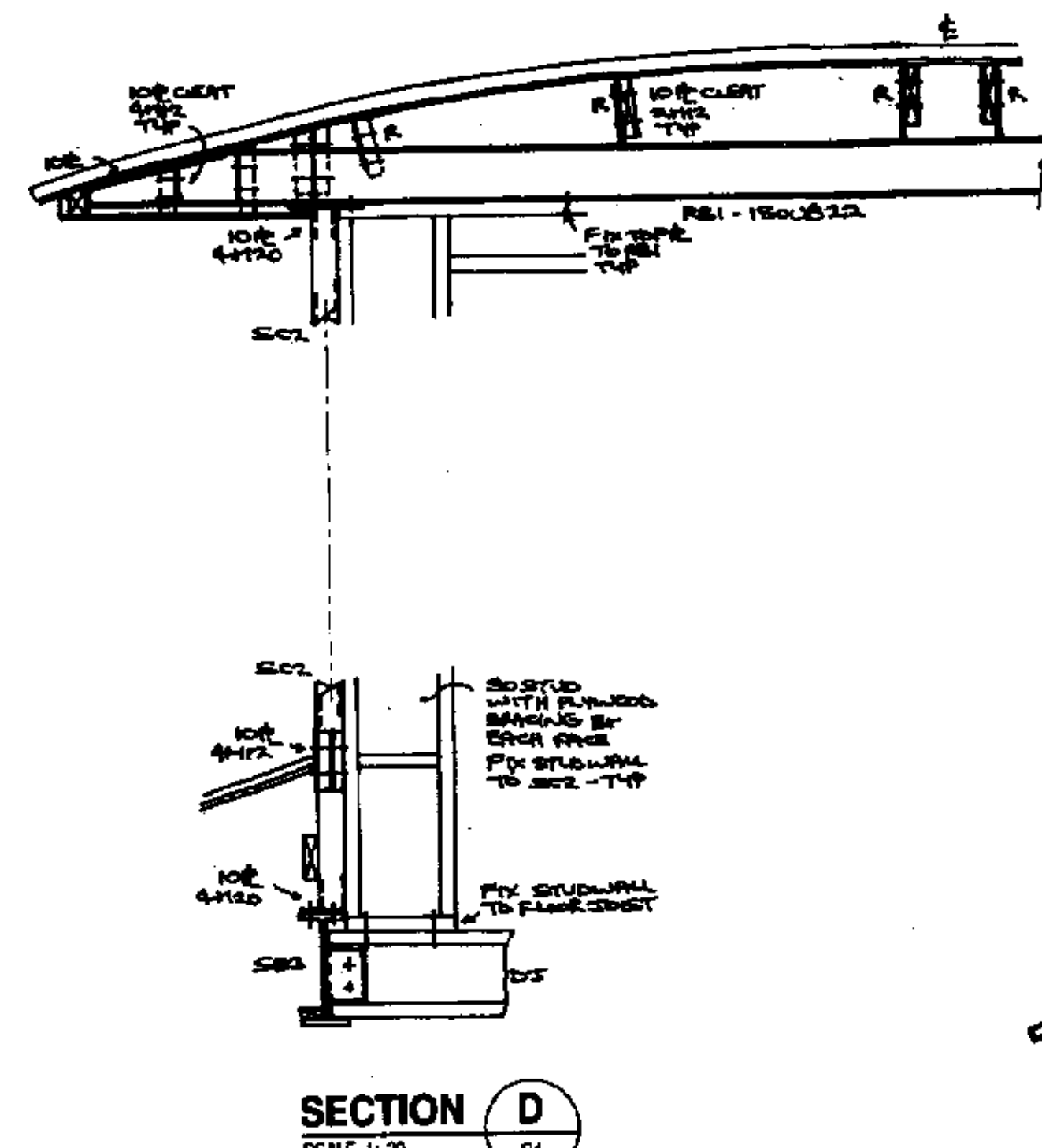


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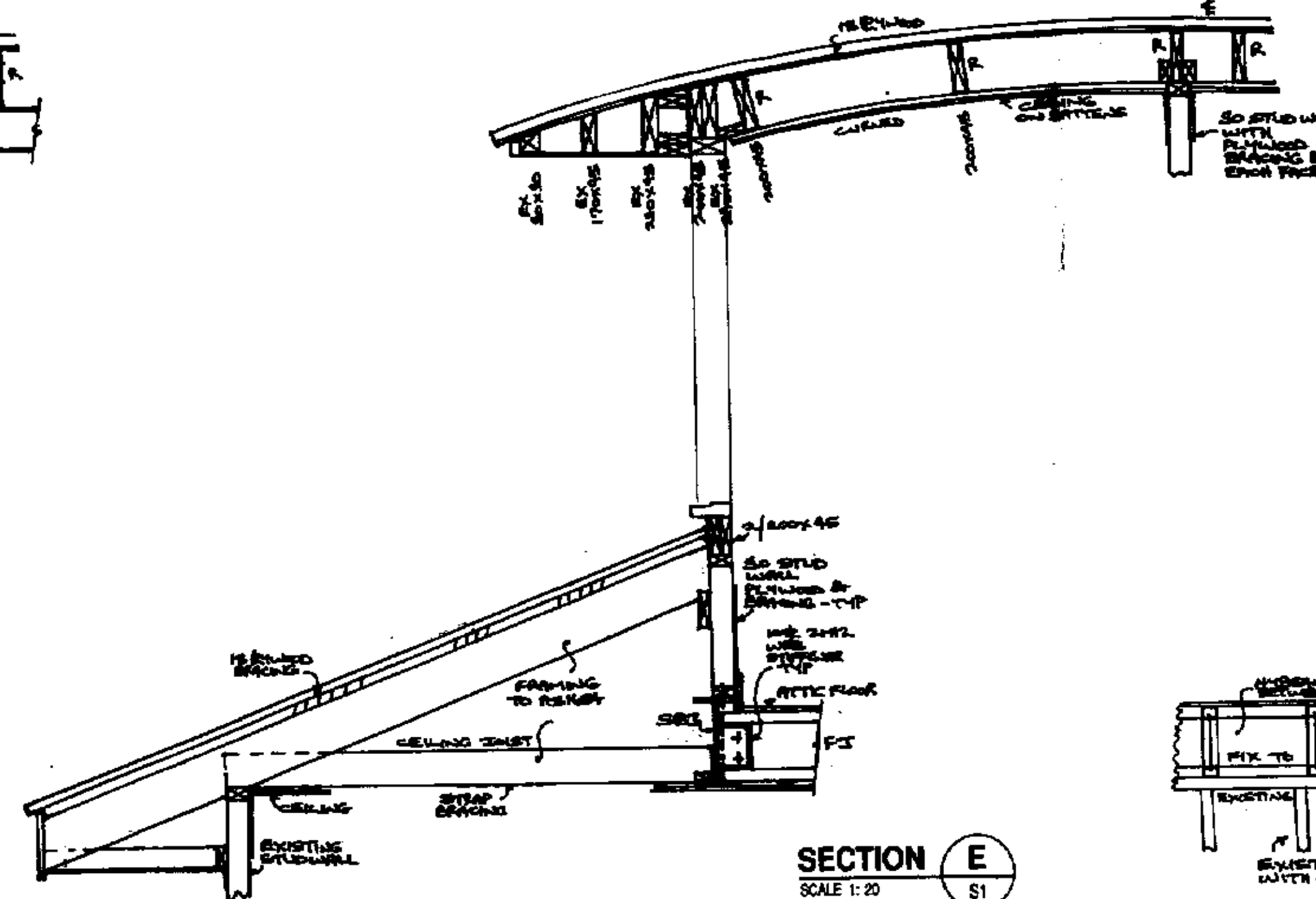
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PROJECT ALTERATIONS & ADDITIONS 240 WHALE BEACH RD, WHALE BEACH SYDNEY PLANS			BOND JAMES NORRIS MARSDEN PTY LTD CONSULTING STRUCTURAL ENGINEERS 88 FLOOR STREET MARSDEN POINT NSW 2261 PHONE: (02) 9655 8031 FACSIMILE: (02) 9655 7875 EMAIL ADDRESS: enquiries@bondjames.com.au		
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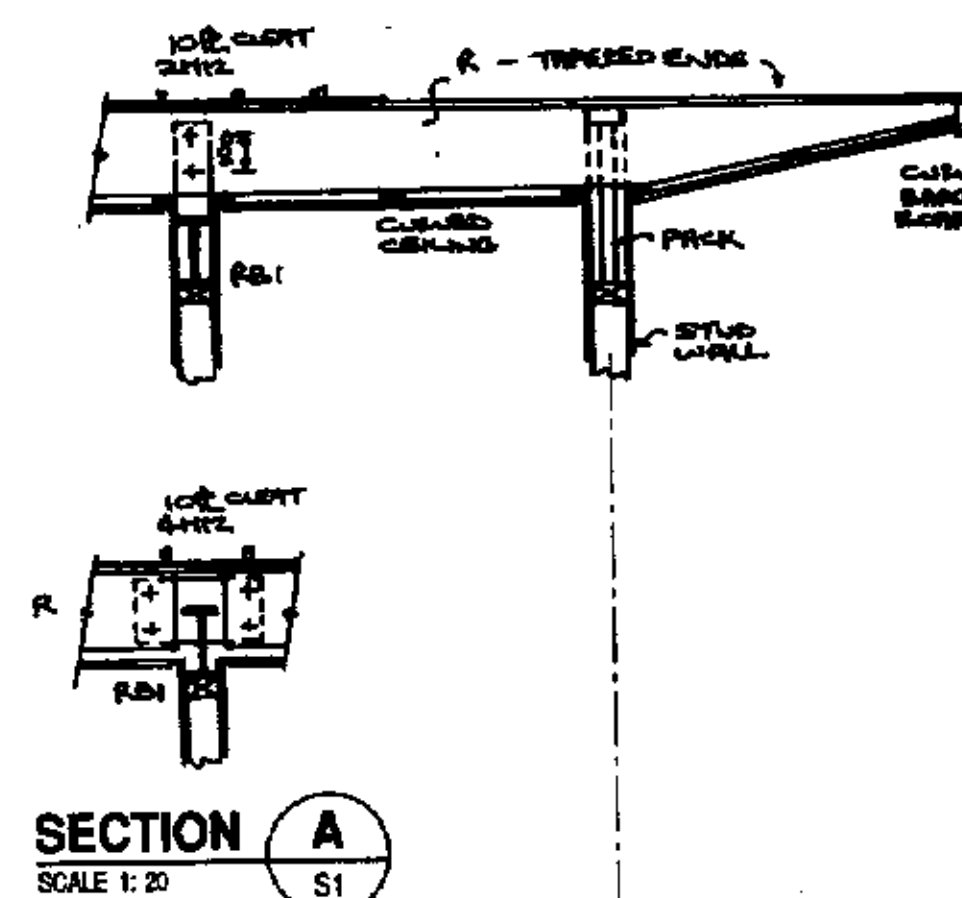
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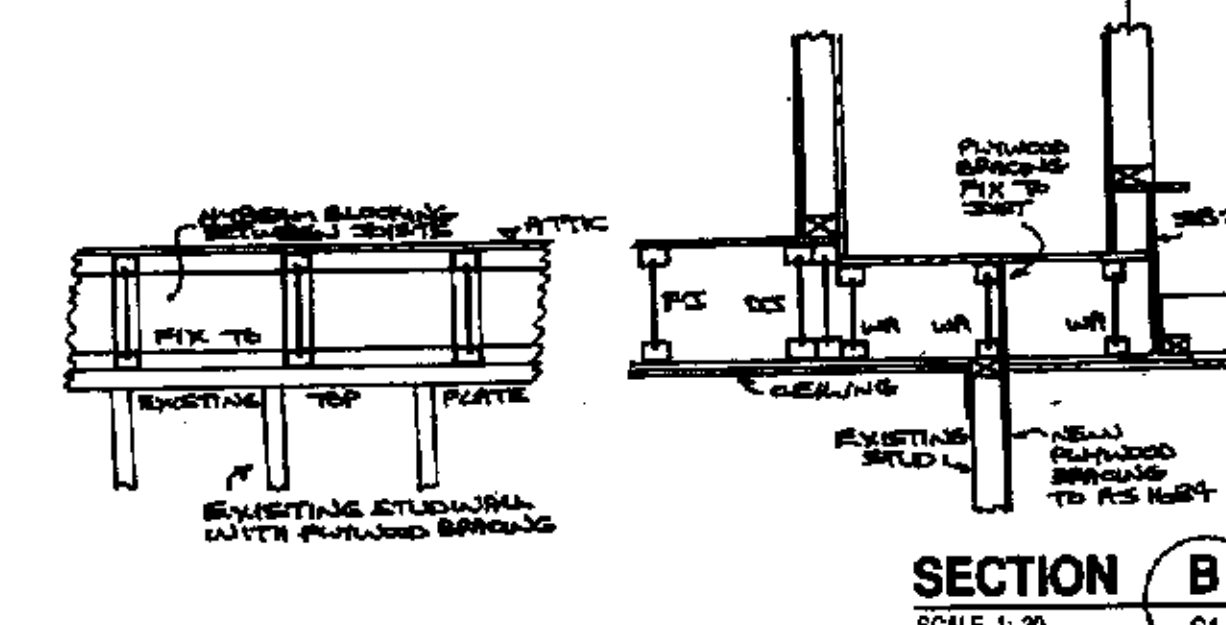
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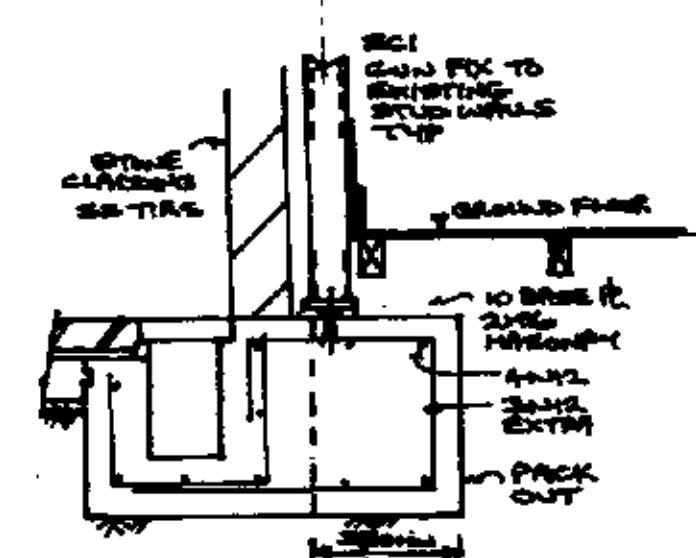
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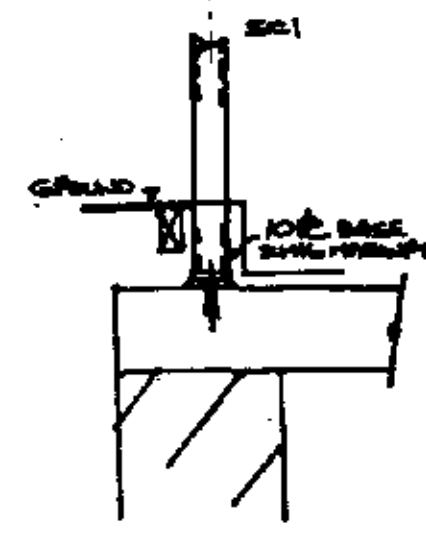
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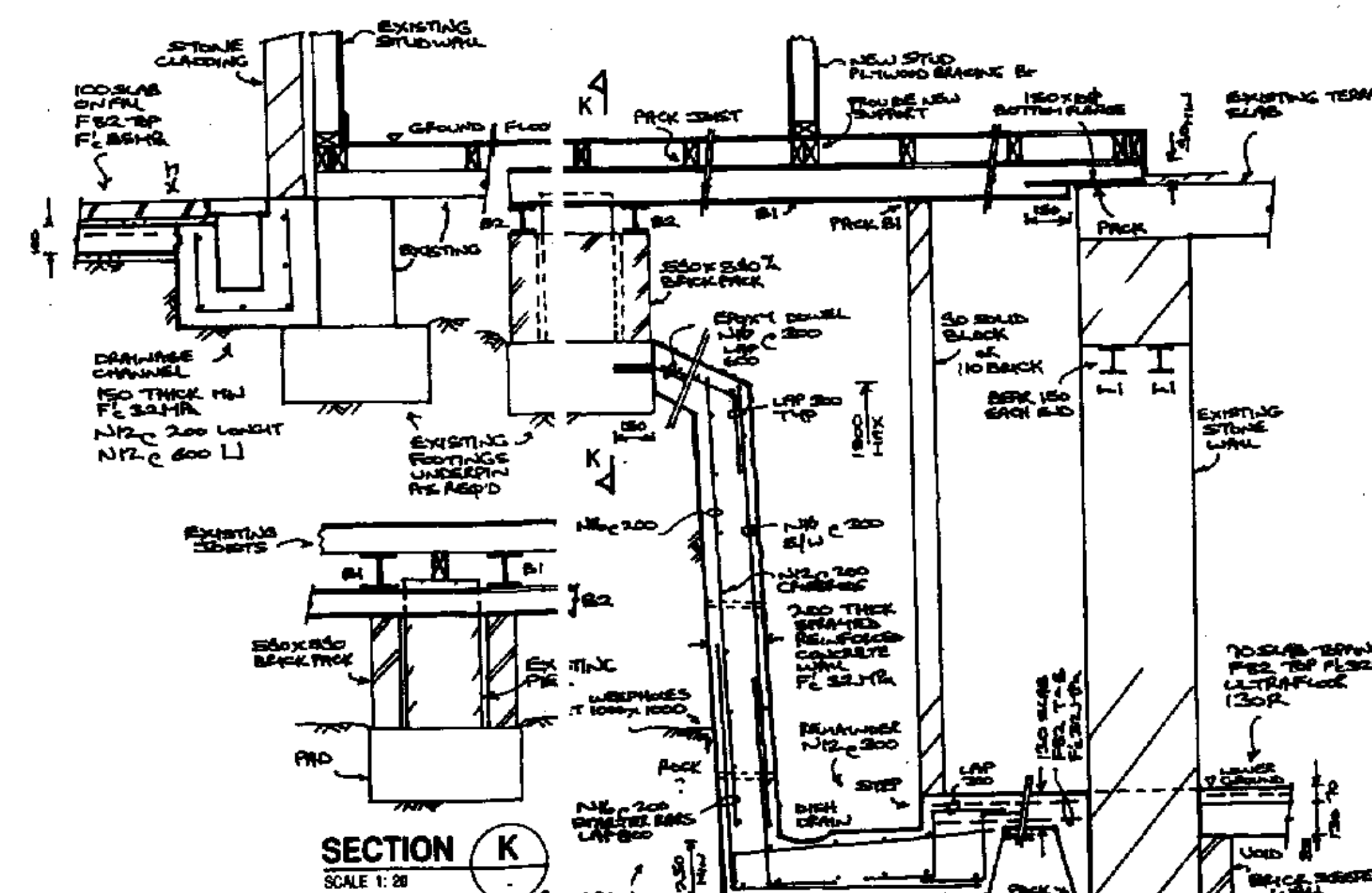
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SECTION C
SCALE 1:20

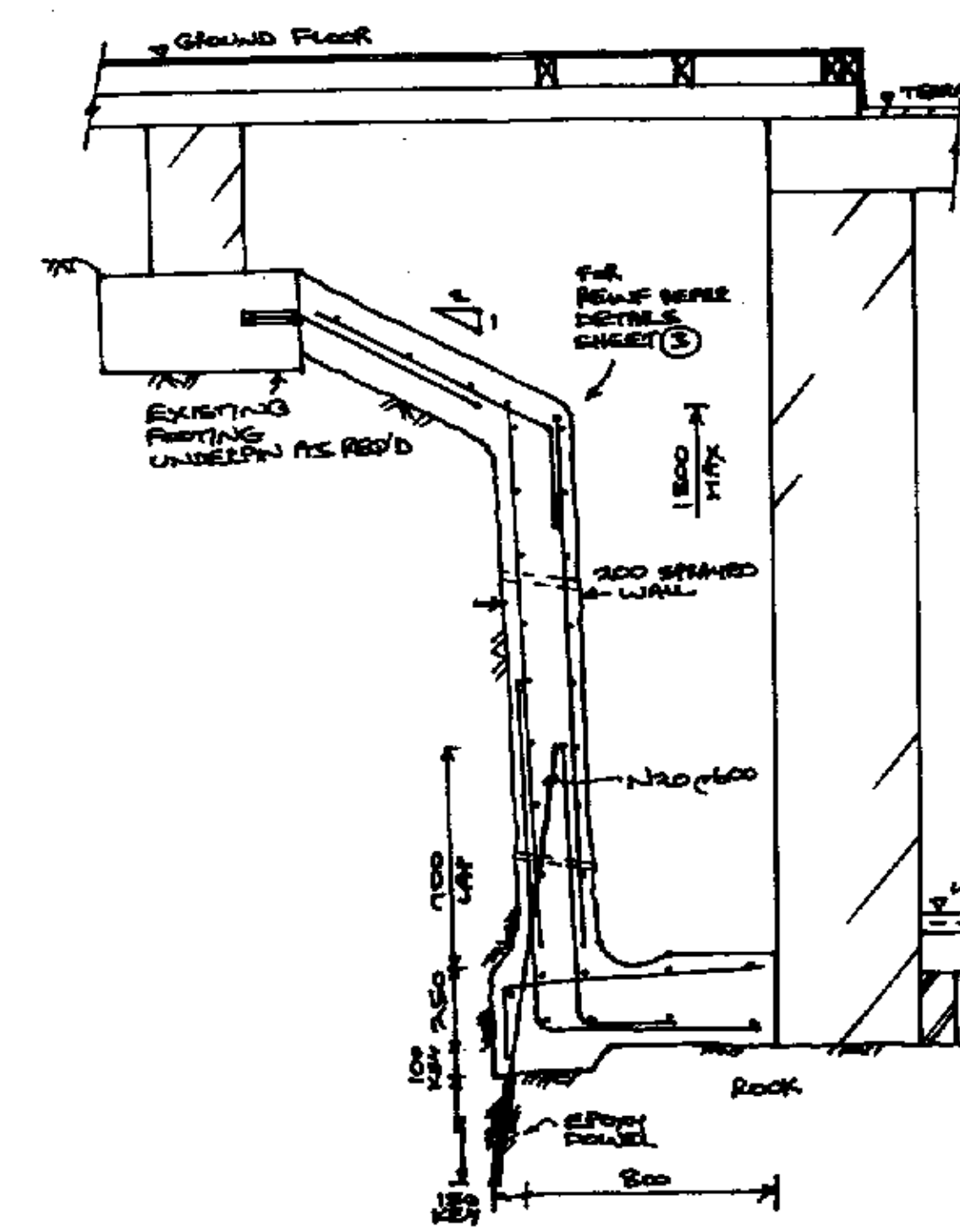


SECTION G
SCALE 1:20

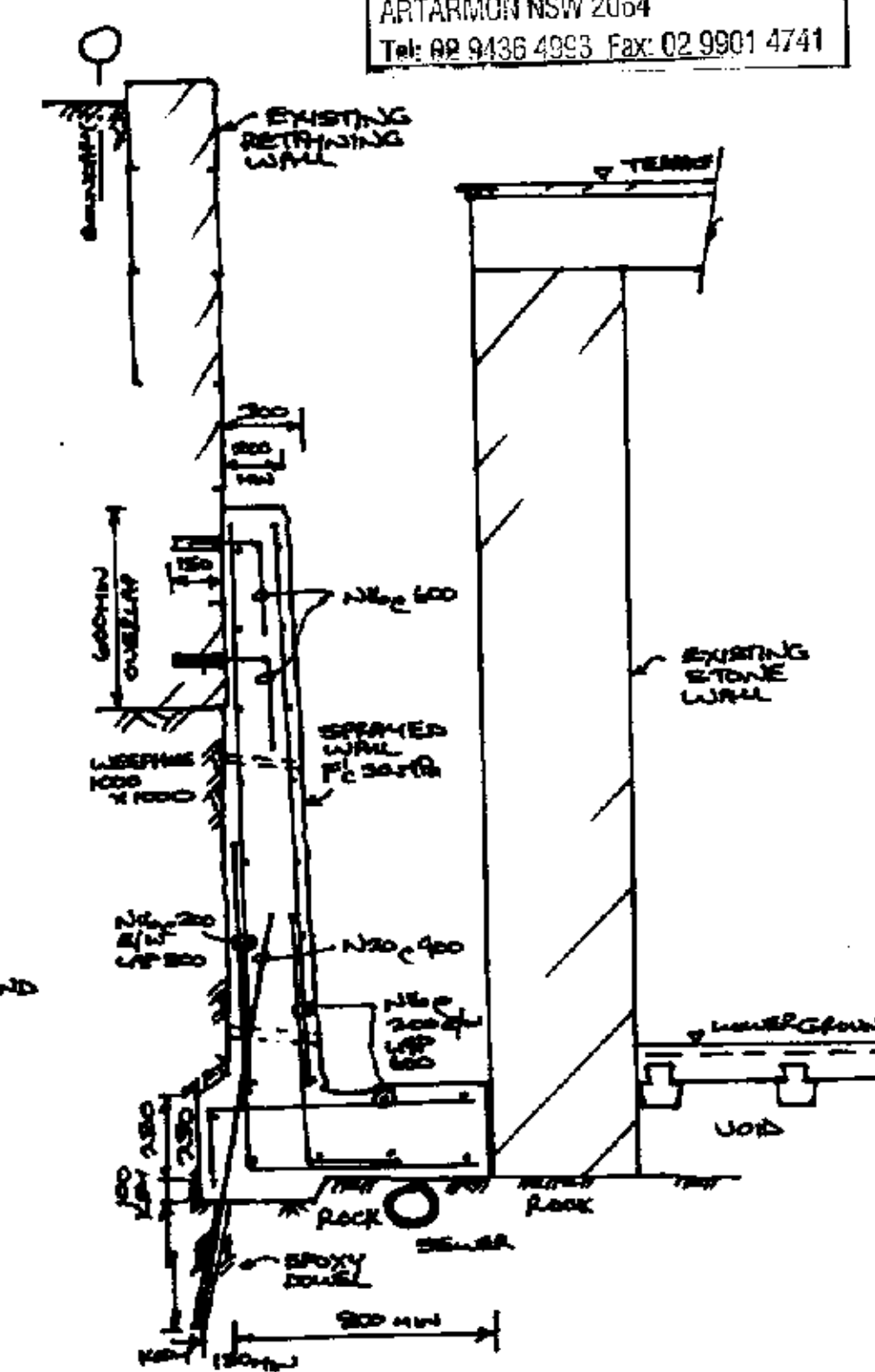


SECTION K
SCALE 1:20

SECTION F
SCALE 1:20



SECTION J
SCALE 1:20



SECTION H
SCALE 1:20

construction certification
Philip Chun and Associates Pty Ltd
Suite 29, 401 Pacific Hwy
ARTARMON NSW 2054
Tel: 02 9438 4053 Fax: 02 9901 4744

<p>REV 27.8.03 DATE 27.8.03 ISSUED FOR CONSTRUCTION AMENDMENT</p>	<p>REV 27.8.03 DATE 27.8.03 ISSUED FOR CONSTRUCTION AMENDMENT</p>	<p>ARCHITECT TANNER & ASSOCIATES PTY LTD ARCHITECTS & PLANNERS 52 ALBION STREET SURREY HILLS SYDNEY, NSW 2010 PHONE (612) 9281 4399 FACSIMILE (612) 9281 4337 EMAIL ADDRESS t&a@tannerarchitects.com</p>	<p>ARCHITECT OLIVARK PTY LTD</p>	<p>PROJECT ALTERATIONS & ADDITIONS 240 WHALE BEACH RD, WHALE BEACH DRAWING STRUCTURAL DETAILS</p>	<p>BOND JAMES NORRIE MARSDEN PTY LTD CONSULTING STRUCTURAL ENGINEERS 8th FLOOR 88 ALFRED STREET MILSONS POINT NSW 2061 AUSTRALIA PHONE (612) 9555 5831 FACSIMILE (612) 9829 7975 EMAIL ADDRESS bjnm@bondjames.com.au</p>	<p>DIRECTOR: I.A.N. CHECKED: I.A.N. DESIGN: I.A.N. DRAWN: I.A.N. SCALE: AS SHOWN DATE: AUGUST '03 JOB No: S01-162 DRG No: S2</p>
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