

SYDNEY BUILDING APPROVALS CENTRE

- Principle Certifying Authority
- Building Regulation Consultation
- Netherers Certifications
- BASIX
- Building Approvals
- Inspections

SYDNEY BUILDING APPROVALS CENTRE PTY LTD

ABN 96 081 945 904

Unit 34/25-33 Alfred Road, Chipping Norton NSW 2170

Phone: 9724 4404

Fax: 9724 4180

DX 5037 LIVERPOOL

www.sbac.com.au

RESIDENTIAL • INDUSTRIAL • COMMERCIAL

Date: 21 July 2005

Pittwater Council
DX 9018, MONA VALE

PREMISES: Lot 3001, DP 1065726, 216 Gordon Street, Warriewood
CONSTRUCTION CERTIFICATE: CC315/05

Dear Sir/Madam,

Please find enclosed a Construction Certificate, Notification of work to commence (Form 7), Plans, Engineers details & specification for the above premises.

Should you require any further assistance to the matter please do not hesitate to contact Sydney Building Approvals Centre on Tel: 9724 4404.

Yours Faithfully

Joe Krinelos
Building Surveyor

171686
25/7

SYDNEY BUILDING APPROVALS

Principal Certifying Authority
Building Regulation Consultation
Notified Competent

100 Pitt Street, Sydney
NSW 2000

SYDNEY BUILDING APPROVALS CENTRE PTY LTD

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RESIDENTIAL • INDUSTRIAL • COMMERCIAL

CONSTRUCTION CERTIFICATE No.CC315/05

Environmental Planning and Assessment Act 1979 (as amended)

Date of determination:

21 July 2005

Attachments:

Structural details, hydraulic details & Specifications

Development address:

Lot 3001, DP 1065726, 216 Gordon Street
WARRIEWOOD NSW

Applicant:

A.V. Jennings Ltd.
DX 8235, PARRAMATTA

**Plans and specifications
approved**

Plans, drawings & Specifications
Two storey dwelling Class 1a

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of s 81 A(5) of the *Environmental Planning and Assessment Act 1979*

Signature:

Date of endorsement:

21 July 2005

Certificate no:

315/05

Certifying Authority

Name of certifying authority:

Joe Krinelos

Accreditation no.: D.I.P.N.R.

6174

Development consent

Number and date of

N0248/05

Determination:

21 June 2005

certificate

of insurance

A V Jennings Limited
Level 2, 11-13 Brookhollow Ave
BAULKHAM HILLS NSW 2153

FORM 1

HOME BUILDING ACT 1989

Section 92

Certificate in respect of insurance

CONTRACT WORK

A contract of insurance complying with Section 92 of the Home Building Act 1989
has been issued by: Vero Insurance Limited ABN 48 005 297 807

In Respect Of: Single Dwelling
At: Lot No: 3001 Unit No: House No:
Garden St
J N 113310
Warriewood NSW 2102

Carried Out By: A V Jennings Limited
Policy No: 39168C
ABN: 50 004 601 503

Subject to the Act and the Home Building Regulation 1997 and the
conditions of the insurance contract, cover will be provided to a
beneficiary described in the contract and successors in title to the
beneficiary.

Issued by Vero Insurance Limited:



HIA INSURANCE SERVICES P/L
ABN 84 076 460 967

An associated company of
Aon Risk Services Australia Ltd
PO Box 883
North Ryde BC 1670
Telephone (02) 9808 7222
Facsimile (02) 9808 7233

CLAIMS ENQUIRY LINE
1800 554 255

Certificate No: 354931
Local Authority Copy
Issue Date 15/03/2005

Aon Risk Services Australia Ltd
ABN 17 000 434 720 act as Broker
for the Builder. A Tax Invoice has
been issued by
HIA Insurance Services Pty Ltd
ABN 84 076 460 967,
as authorised representative of
Aon Risk Services.

Insurer:

- Vero Insurance Limited
ABN 48 005 297 807

Sydney Building Approvals Centre

Notice to commence building or subdivision work and appointment of a principal certifying authority

This form can be used to:

- notify the council that you intend to commence building or subdivision work
- notify the council and us, if the Minister of Urban Affairs and Planning granted development consent or a complying development certificate, that you have appointed a principal certifying authority.

To complete this form, please place a cross in the boxes ☐ and fill out the white sections as appropriate.

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name

Family name

Company/Organisation

A.V. SLOTTING

Unit/street no.

Street name

9Y 8235

Suburb or town

State

Postcode

PARRAMATTA

Daytime telephone

Fax

Mobile

9846 6586

9846 6402

Email

2. Details of the land to be developed

Unit/street no.

Street name

216

GAROLA ST

Suburb or town

Postcode

WARRILWOOD

2102

Lot no.

Section

3001

DP/MPS no.

Volume/folio

1065726

3. General information on the proposed work

Type of work proposed:

Building ☒

Subdivision ☐

Description of the work

TWO STOREY DWELLING WITH ATTACHED GARAGE

4. Details of the development approval granted

Details of the development consent

Development application no.

00248/05

Date the consent was granted

21/6/05

OR

Complying development certificate no.

Date the certificate was issued

Where a construction certificate has been issued for the building

Construction certificate no.

CC315/05

Date the certificate was issued

21/7/05

5. Steps taken by you will

Indicate the steps you have taken by placing a cross in the appropriate boxes

☐ I have met all the conditions in the development consent or the complying development certificate required to be satisfied before I can begin work

☒ I have appointed a principal certifying authority

Name of the principal certifying authority

340064 BUILDING APPROVALS

Address of the principal certifying authority

88 5037 LIVERPOOL

Telephone no. of the principal certifying authority

9724 4404

Where the principal certifying authority is an accredited certifier

Accreditation body of the certifier

DI PR

Accreditation no. of the certifier

6174

6. Read and complete building consent

1. Are you going to build a house or other dwelling or alter or add to a dwelling?

No ☐

Yes ☒ Please complete part 2 below

2. Are you an owner-builder?

Yes ☐

What is your owner-builder permit no.?

No ☒

Will the work be carried out by someone who is licensed to do so?

Yes ☒

What is the name of the builder?

AV JENNINGS LTD

What is the telephone no. of the builder?

9846-6400

What is the contractor licence no. of the builder?

39168C

6. continued

Have you attached to this notice evidence that the licensed person is insured to carry out this type of work?

Yes ☒

No ☐

No ☐

Have you attached to this notice a declaration (signed by each owner of the land) that the reasonable market cost of the labour and materials to be used is less than \$3000?

Yes ☐

No ☐

7. Date the work will commence

ASAP 26/7/05

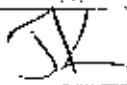
8. Signatures

The principal certifying authority must sign the notice.

I acknowledge that I have seen evidence that the builder is licensed and insured, or that I have seen evidence that the building works are to be undertaken by a person with an owner-builder permit.

I acknowledge that I have been appointed by the applicant to carry out the role of the Principal Certifying Authority for this development.

Signature



Name

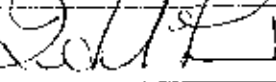
Joe Krinos

Date

21/7/05

The applicant, or the applicant's agent, must

Signature

X 

FOR AND ON BEHALF OF GREY PTY LIMITED
AN JENNINGS HOLDINGS LIMITED AND
JENNINGS LIMITED BY ITS ATTORNEY
IAN ANDREW MCLEAN
PURSUANT TO POWER OF ATTORNEY
REGISTERED NO. 688 BOOK 4358 AND
DECLARE THAT WE HAVE NO NOTICE
OF REVOCATION

Name, if you are not the applicant

In what capacity are you signing if you are not the applicant

Date

24/6/05

9. Privacy policy

The information you provide in this notice is required under the *Environmental Planning and Assessment Act 1979* if you are going to erect a building or carry out subdivision work. If you do not provide the information you cannot commence the work. The information will be held by us and by the council. Please let us know if the information you have provided in this notice is incorrect or changes.

RECEIVED
28 JUL 2005

BY

To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information.

NAME

First name

Family Name

Company/organisation

ABN

A. V. JENNINGS

50004 101 503

STREET ADDRESS

Unit/street no.

Street name

0Y 8115

Suburb or town

State

Postcode

PALEOMATIA

POSTAL ADDRESS (or mark 'as above')

CONTACT DETAILS

Daytime telephone

Fax

Mobile

9X4L 6586

9846 6402

Email

Unit/street no.

216

Street or property name

GAZDOLN SI

Suburb, town or locality

WARRIWOOD

Postcode

2102

Local government areas

PITTSBURGH

Lot/DP or Lot/Section/DP or Lot/Strata no. ^{(1) (2)}

Please ensure that you put a slash (/) between lot, section, DP and strata numbers. If you have more than one piece of land, you will need to separate them with a comma eg 123/579, 162/2.

101 3001, 00 1065726

(1) Note: You can find the lot, section, DP or strata number on a map of the land or on the title documents for the land, if title was provided after 30 October 1983. If you have documents older than this, you will need to contact Land and Property Information NSW for updated details.

3/5/05

3. Estimated cost of the development

\$ 299,290

including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

TWO STORY DWELLING WITH ATTACHED GARAGE

For building work, what is the class of the building under the Building Code of Australia?

10 & 10A

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

N0248/05

What date was development consent granted?

21/6/05

5. Signatures

The owner(s)* of the land to be developed must sign the application.

If you are not the owner* of the land, you must have all the owners sign the application. If the land is Crown land, an authorised officer of the Department of Land and Water Conservation must sign the application.

As the owner(s)* of the above property, I/we consent to this application:

Signature

REFR TO ATTACHED AUTHORITY

Name

Date

Signature

Name

Date

The applicant, or the applicant's agent, must sign the application.

Signature

X [Signature]

FOR AND ON BEHALF OF ORUT PTY LIMITED
AV JENNINGS HOLDINGS LIMITED AND
AV JENNINGS LIMITED BY ITS ATTORNEY
IAN ANDREW McLEAN
PURSUANT TO POWER OF ATTORNEY
REGISTERED No. 558 BOOK 4358 AND
DECLARE THAT WE HAVE NO NOTICE
OF REVOCATION

Name, if you are not the applicant

you signing if you are not
the applicant?

Date

24/6/05

6. Privacy policy

The information you provide in this application will enable us to assess your application under the *Environmental Planning and Assessment Act 1979*. If the information is not provided, your application may not be accepted. You have the right to access and have corrected information provided in your application. Please ensure that the information is accurate and advise us of any changes.

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

2
318
512

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

1
1
1

Yes ☐ No ☒

Yes ☐ No ☒

Yes ☐ No ☒

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☒ 10	Concrete or slate	☒ 20	Timber	☒ 40
Brick (veneer)	☒ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 50	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

Building Department
Pittwater Council
PO Box 882
MONA VALE 2103

SBA

Dear Sir/Madam,

Re: Lot 3001 GARDEN STREET WARRIEWOOD NSW 2102

DP Reference 1065726

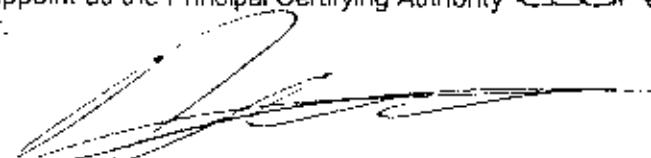
I/We hereby authorise my builder, AVJennings Limited, to lodge a Development Application, Construction Certificate Application, Section 149B Application, Section 149D Application or Septic Application if required on my behalf, on the above property.

Please be advised my Builder is AVJennings Limited, Licence Number 39168C.

I/We additionally appoint as the Principal Certifying Authority

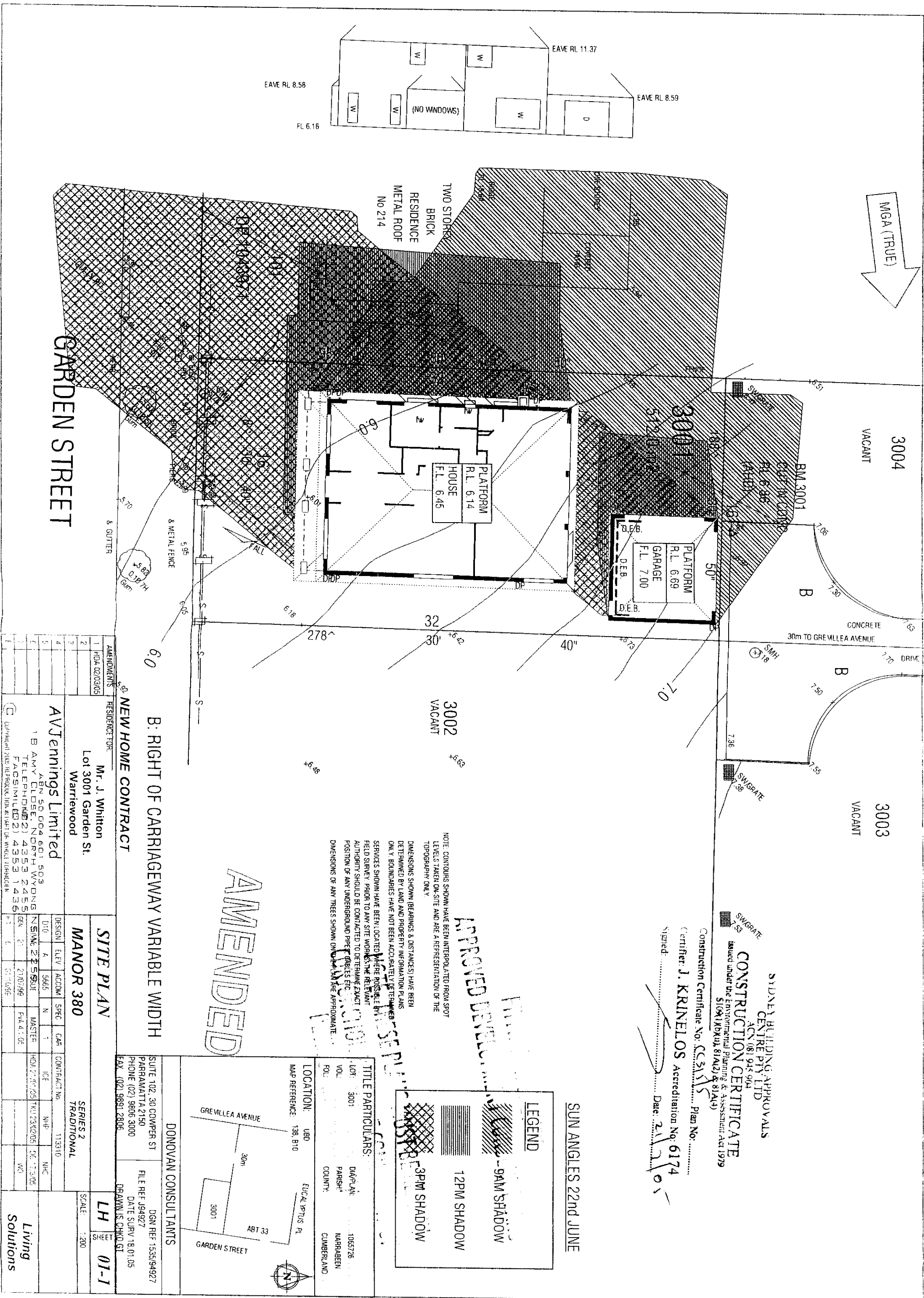
~~Robert~~ JYD NLY BUILDING APPROV
an L

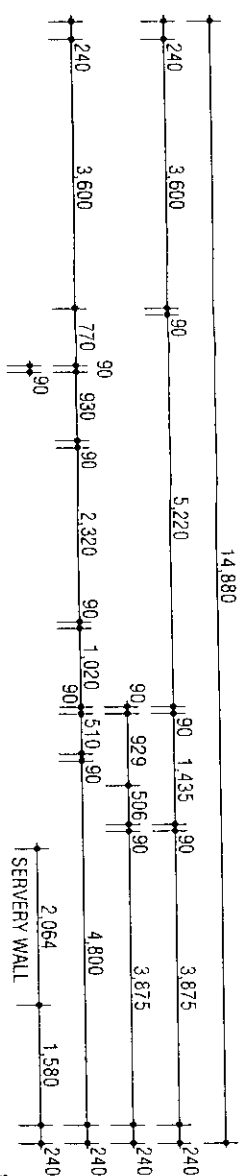
Mr Jason Whitton



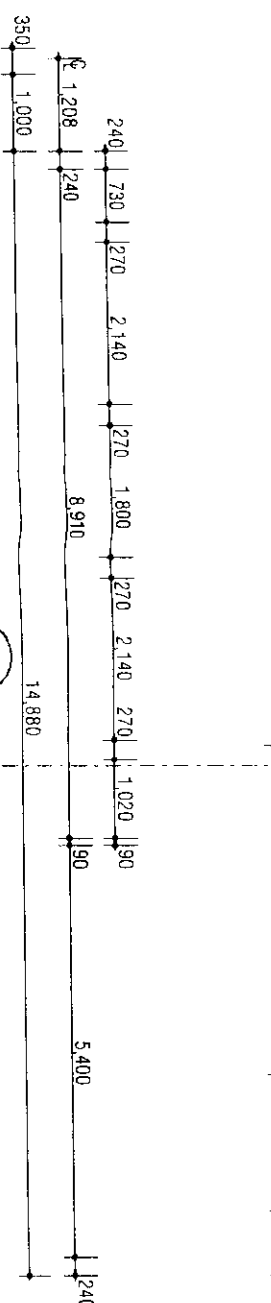
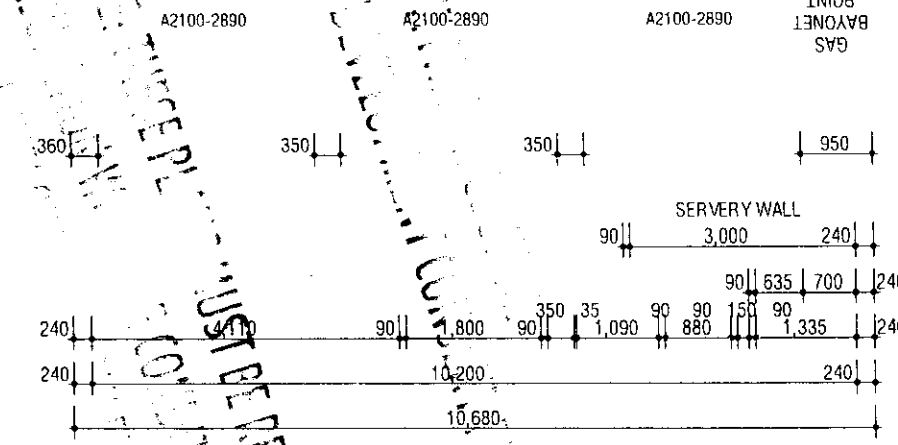
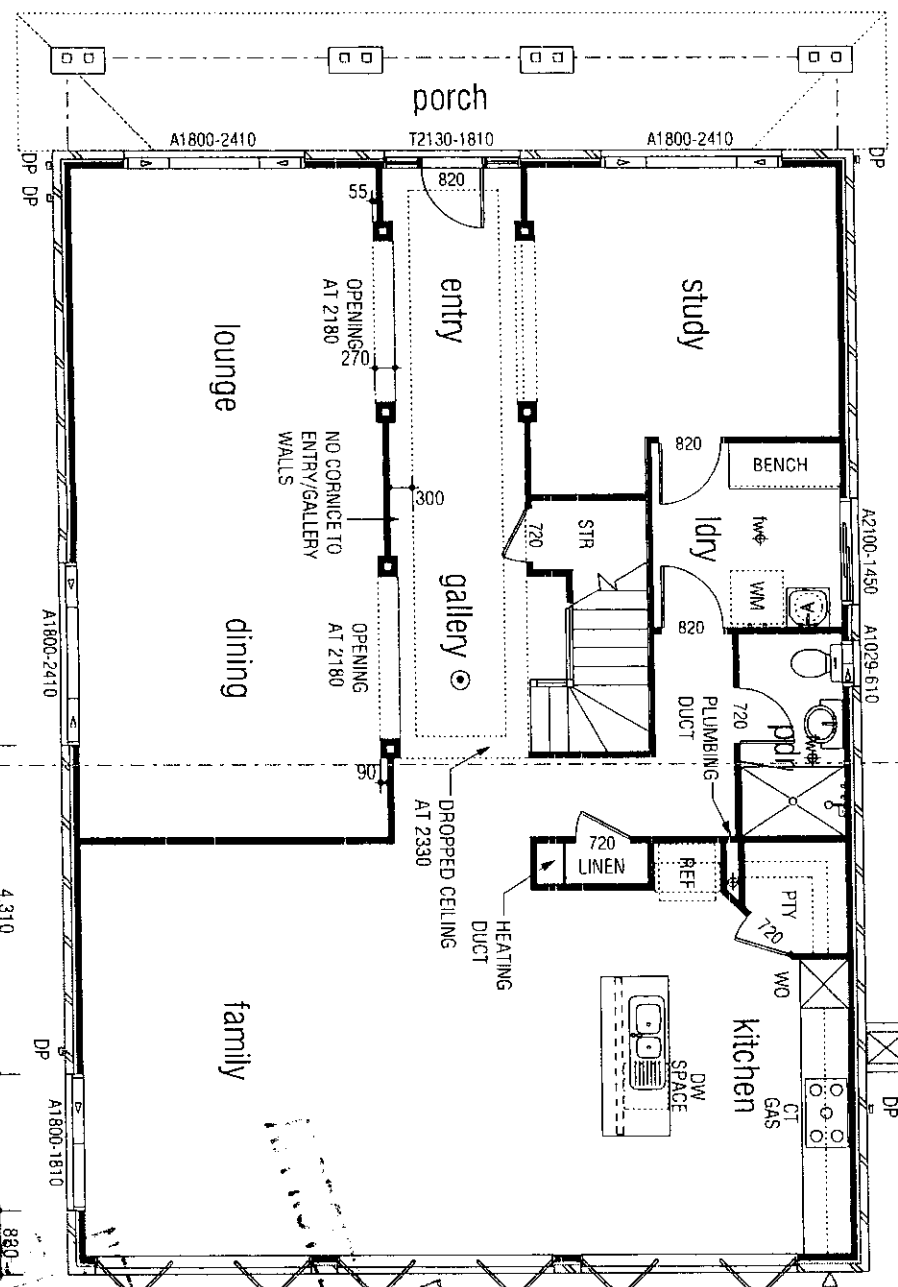
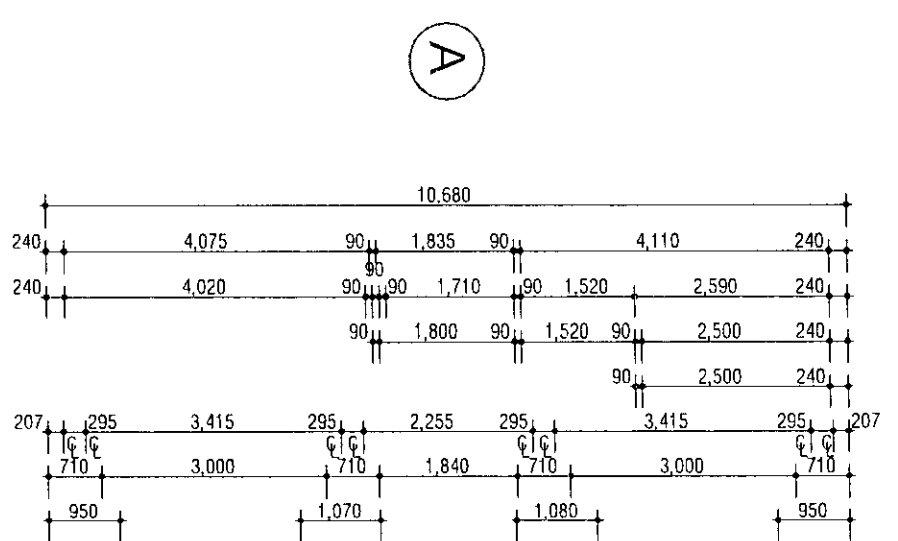
Date

19.03.2005





SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
ACN 081 945 904
CONSTRUCTION CERTIFICATE
Issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)
Construction Certificate No. 63115 Plan No. 1121
Certifier: J. KRINLOS Accreditation No. 6174
Signed: _____ Date: 21/10/2005



NEW HOME CONTRACT

RESIDENCE FOR:
Mr. J. Whetton
Lot 3001 Garden St.
Warriewood

AV Jennings Limited

ABN 50 004 601 503
1B Army Close, North Wyong NSW 2259
Telephone: (02) 4353 2455
Facsimile: (02) 4353 1436
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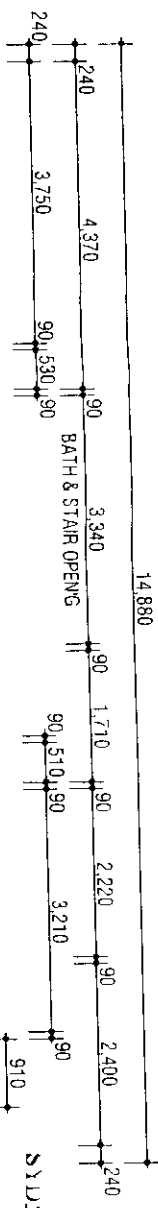
GROUND FLOOR PLAN
MANOR 380

DESIGN	ELEV	ACCOM	SPEC	CAR	CONTRACT NO.	113310
DWG	A	5665	N	1	ICE	NHF
SI No	RESUSE	MASTER	21/07/99	P44 41 05		
GEN	21	21/07/99				WC
H.T.	6	01/10/99				

LH 02g1
SHEET
SCALE: 1:100
1588 m²
14.4 m²
CAR ACC
Living Solutions

- GENERAL NOTES:-**
- WET AREAS IN ACCORDANCE WITH BCA REQUIREMENTS
 - STEPS: TREAD-250MM, RISE-190MM
 - BALUSTRADE: AT STEPS 865(MM) HIGH
 - AT LANDING-1000(MM) HIGH
 - WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
 - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE AS FOLLOWS:
 - EXTERNAL 240mm = 110 BRICK + 40 CAVITY + 90 STUD
 - INTERNAL ONE STOREY 70mm STUD, TWO STOREY 90mm STUD
 - REF: FRIE W/M AND C/D SYMBOLS INDICATE POSITION ONLY
 - WC SLAB TO VEHICULAR PORCH UNLESS OTHERWISE SHOWN

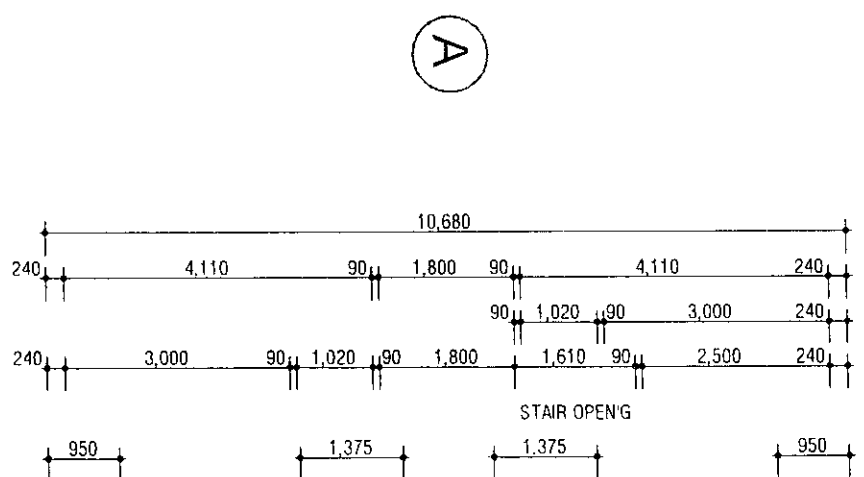
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 3.8.3.3
- EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE B.C.A. P.2.4.5
- HA: ROOF ACCESS
- V: VENTILATION
- SMOKE DETECTOR (DETC: WARD)



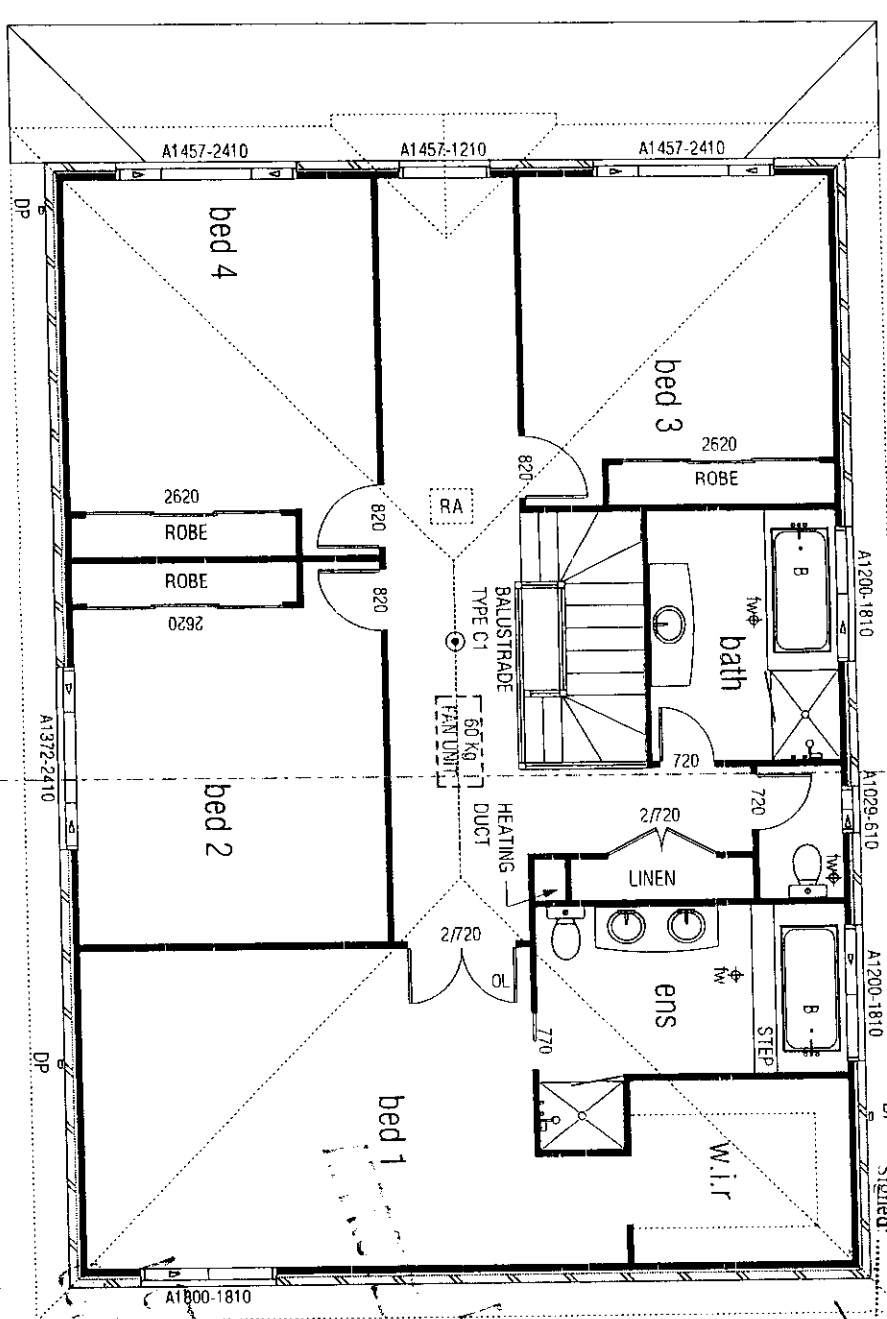
D

SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
ACN 081 945 904
CONSTRUCTION CERTIFICATE
Issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(i), (ii), (iii), (iv) & (v)

Construction Certificate No: 663155 Plan No:
Certifier: J. KRINELOS Accreditation No: 6174
Date: 21/11/2017



A



C

AMENDED

GENERAL NOTES:-

- WET AREAS IN ACCORDANCE WITH BCA REQUIREMENTS
- STEPS: TREAD 250MM, RISE 190MM MAX
- BALUSTRADE: AT STEPS 865MM HIGH
- AT LANDING 1000MM HIGH
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE
- UNLESS OTHERWISE SHOWN, HINGED DOORS TO BE 820 WIDE
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE AS FOLLOWS:
EXTERNAL 240mm ± 110 BRICK + 40 CAVITY + 90 STUD
INTERNAL ONE STOREY 70mm STUD, TWO STOREY 90mm STUD
- GFF, FFE, W/M AND C/D SYMBOLS INDICATE POSITION ONLY
- NO SLAB TO VERANDAH, PORCH UNLESS OTHERWISE SHOWN

NEW HOME CONTRACT

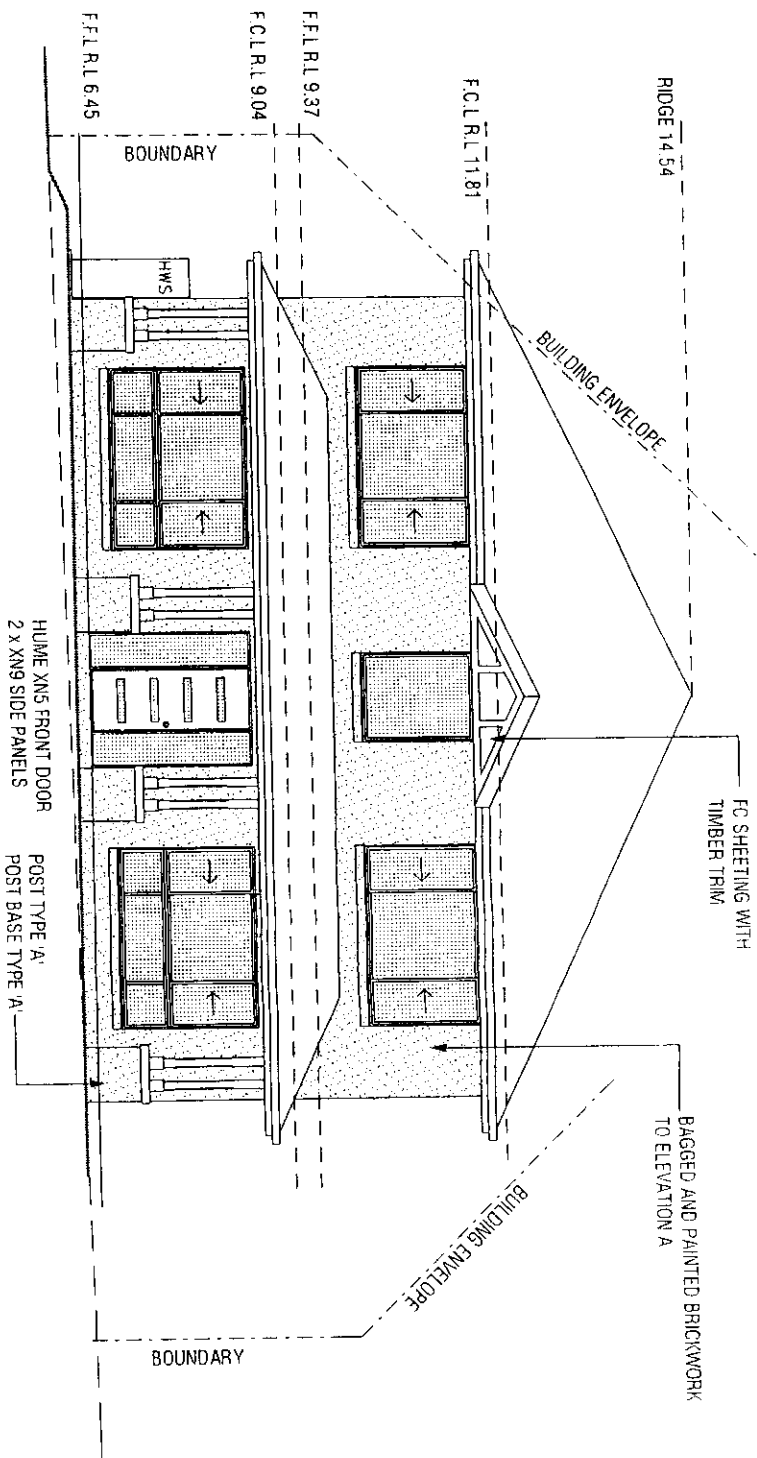
RESIDENCE FOR:
Mr. J. Whitton
Lot 3001 Garden St.
Warriewood

AV Jennings Limited
ABN 56 004 601 503
1B Amy Close, North Wyong, NSW 2259
Telephone (02) 4353 2455
Facsimile (02) 4353 1436

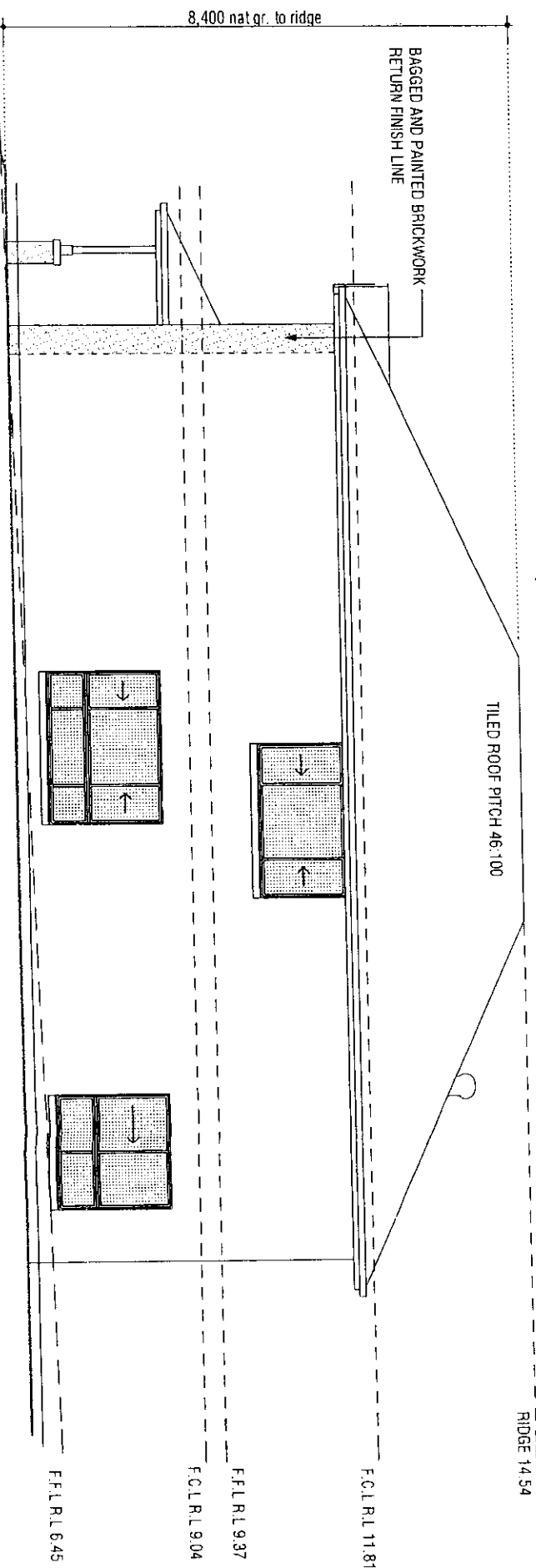
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FIRST FLOOR PLAN			LH	02/1
MANOR 380			SHEET	
SERIES 2 TRADITIONAL				
SCALE: 1:100		A	FIRST FL	158.9 m²

Living Solutions



Elevation A
(East Elevation)



Elevation B
(North Elevation)

NOTE:
ALL GLAZING SHOWN SHADED TO
HAVE PILKINGTON COMFORTONE 5mm
GLAZING UNLESS LABELED OBSCURE GLAZING

- NOTES:-**
- TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
 - EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
 - ALL GLAZING TO AUSTRALIAN STANDARD 1288 - 1994
 - REFER STANDARD DETAIL G0101 FOR KITCHEN WINDOW TRIMMER HEIGHTS
 - WINDOW SASH LOCATION AND GLAZING BAF CONFIGURATION TO MANUFACTURERS SPECIFICATIONS
 - ALL BRICKWORK HEIGHTS DIMENSIONED FROM HOUSE OR GARAGE FLOOR LEVEL ARE NOMINAL

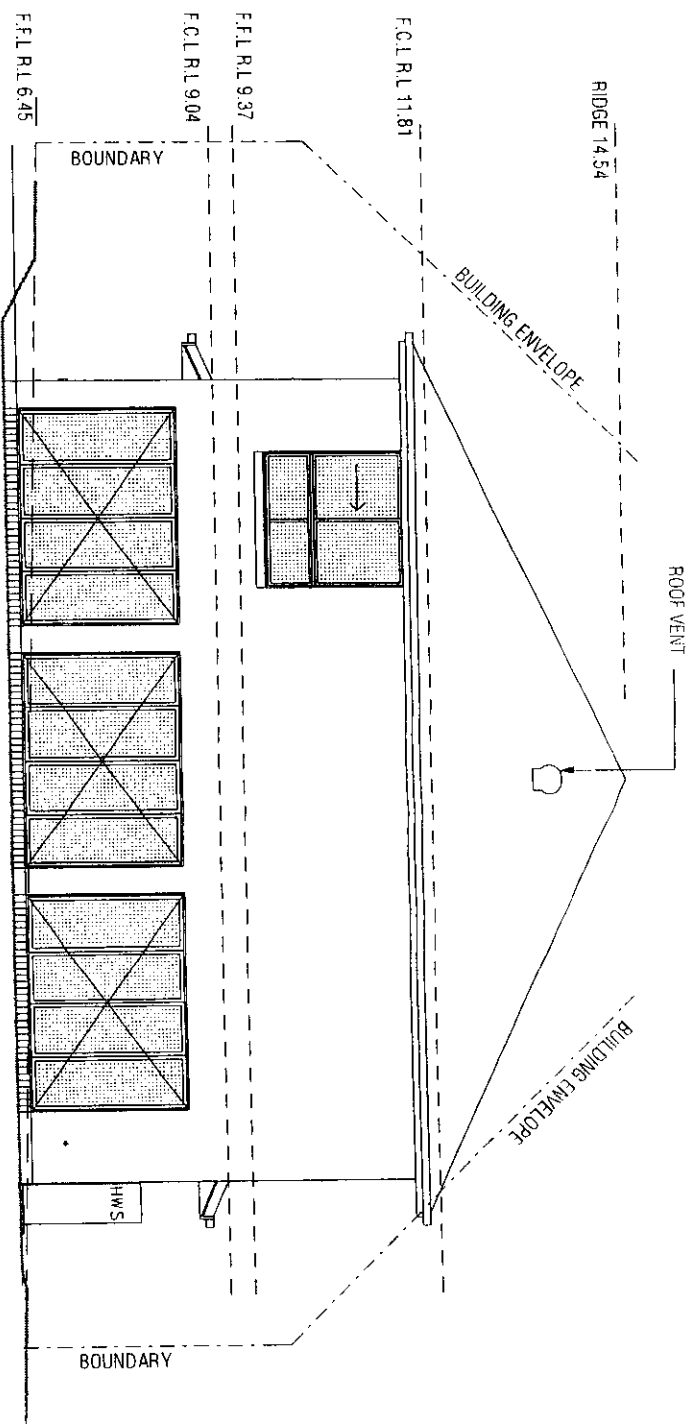
NEW HOME CONTRACT

EXTERNAL ELEVATIONS										LH	03-1
MANOR 380										SCALE 1:100	
SERIES 2 TRADITIONAL											
DESIGN		ELEV	ACCOM	SPEC	CAR	CONTRACT No		113310			
D10		A	5665	N	1	ICE		NHP	NHC		
S1 No		ISSUE		MASTER		HDA 21/03/05		TRU 23/02/05	DE 17/3/05		
GEN		21		21/07/99		P/A 4 - 05				WFO	
H.L.		E		01/7/06							
Living Solutions											

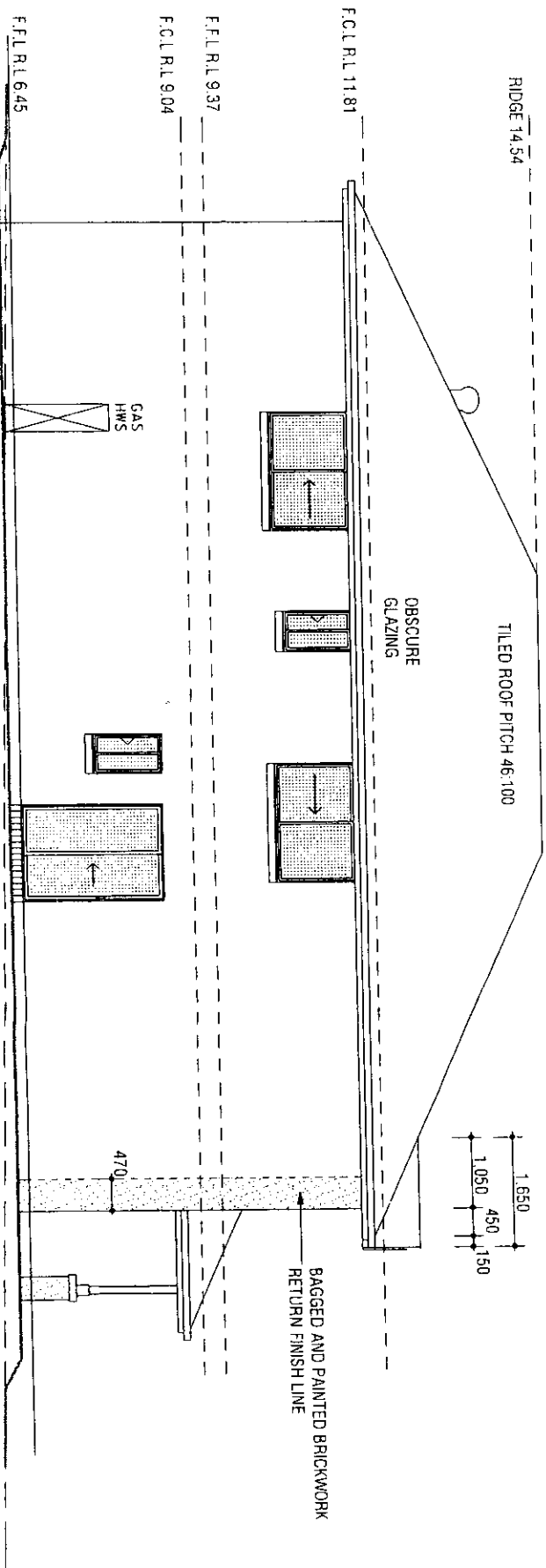
AMENDMENTS											
RESIDENCE FOR:											
Mr. J. Whitton											
Lot 3001 Garden St.											
Warriewood											
AV Jennings Limited											
ABN 50 004 601 503											
1B Army Close North Wyong NSW 2259											
Telephone: (02) 4353 2455											
Facsimile: (02) 4353 1436											
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Date Saved 10/05/2005 11:21 JAMES H											

SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
ACN 081 945 904
CONSTRUCTION CERTIFICATE
Issued under the Environmental Planning & Assessment Act 1979
S109(1)(b)(ii), 81A(2) & 81A(4)
Construction Certificate No. CC3113 Plan No:
Certifier: J. KRINELOS Accreditation No. 6174
Signed: Date: 25/1/05

AMENDED



Elevation C
(West Elevation)



Elevation D
(South Elevation)

NOTE:
ALL GLAZING SHOWN SHADED TO
HAVE PILKINGTON COMFORTONE 5mm
GLAZING UNLESS LABELED OBSCURE GLAZING

NEW HOME CONTRACT

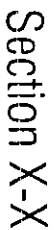
AMENDMENTS		RESIDENCE FOR		EXT. ELEVATIONS / SECTION						LH													
1	HDA 02/03/05	Mr. J. Whittion Lot 3001 Garden St. Warriewood		MANOR 380						SERIES 2 TRADITIONAL		SHEET											
2	HDA 10/05/05											03-2											
3																							
4		AV Jennings Limited ABN 55 004 601 503 1B Amy Close, North Wyalong NSW 2259 Telephone: (02) 4353 2455 Facsimile: (02) 4353 1436 © COPYRIGHT 2005 REPRODUCTION IN PART OR WHOLE IS PROHIBITED.		DESIGN		ELEV		ACCOM		SPEC		CAP		CONTRACT No		ICE		NHP		NHC			
5				D10		A		5665		N		1											
6				S.I. No.				ISSUE				MASTER		HDA 27/01/05		TKU 23/02/05		DG 17/3/05					
7				GEN		21		21/07/99		FVA 4.1.05								WC					
8				H-1		5		07/10/99															
				Living Solutions																			
				Date Saved 10/05/2005 11:21 Drawings -																			

- NOTES:
- TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
 - EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
 - ALL GLAZING TO AUSTRALIAN STANDARD 1288 - 1994
 - REFER STANDARD DETAIL 607-01 FOR KITCHEN WINDOW TRIMMER HEIGHTS TO MANUFACTURERS SPECIFICATIONS
 - WINDOW SASH LOCATION AND GLAZING BAR CONFIGURATION
 - ALL BRICKWORK HEIGHTS DIMENSIONED FROM HOUSE ON GROUND FLOOR LEVEL. ARE NOMINAL

SYDNEY BUILDING APPROVALS
CENTRE PTY LTD
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Signed: Date: 21/7/05

AMENDED

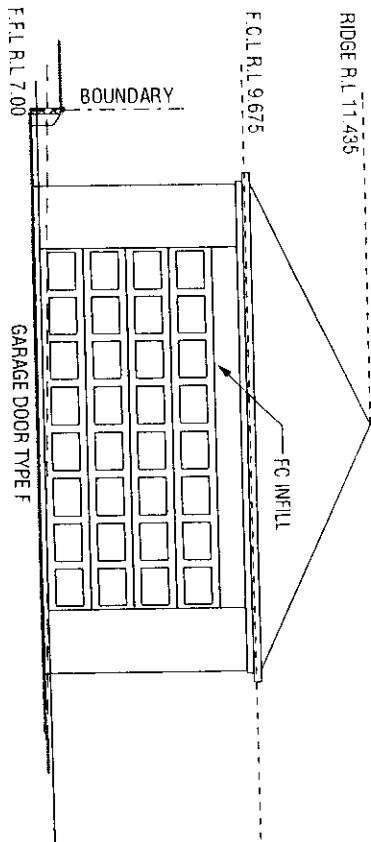
TILED ROOF PITCH 46:100



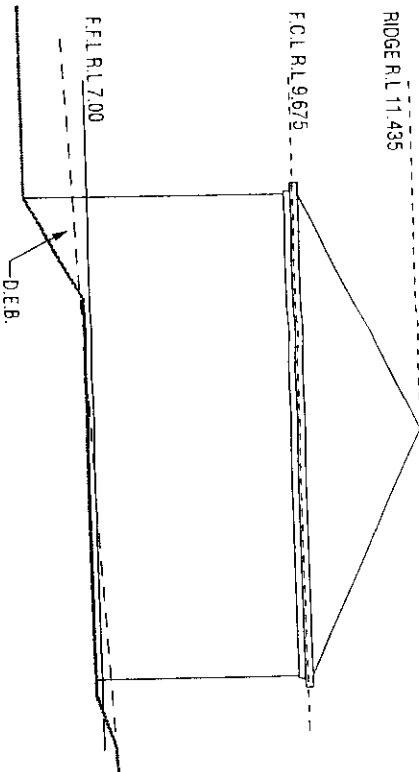
NOTE: TO COMPLY WITH BASIX MINIMUM REQUIREMENTS IT HAS BEEN ASSUMED THAT THE AIR CONDITIONING UNIT TO BE INSTALLED BY THE CLIENT AFTER SETTLEMENT WILL HAVE 3.5 EER RATING ~~OR LESS~~ **4.00**

AMENDED

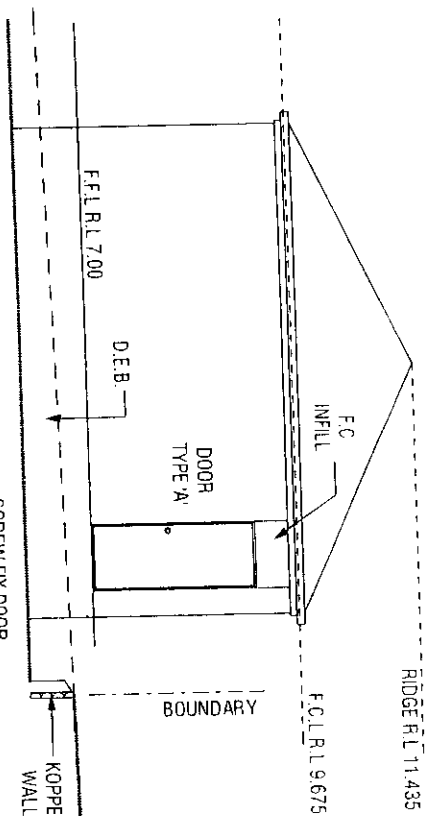
- NOTES:
- TIMBER ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS.
- EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
- ALL GLAZING TO AUSTRALIAN STANDARD 2865 : 1994
- REFER STANDARD DETAIL G01 FOR KITCHEN WINDOW TRIMMER HEIGHTS
- WINDOW CASH LOCATION AND GLAZING BAR CONFIGURATION TO MANUFACTURERS SPECIFICATIONS
- ALL BRICKWORK HEIGHTS DIMENSIONED FROM HOUSE OR GARAGE FLOOR LEVEL ARE NOMINAL



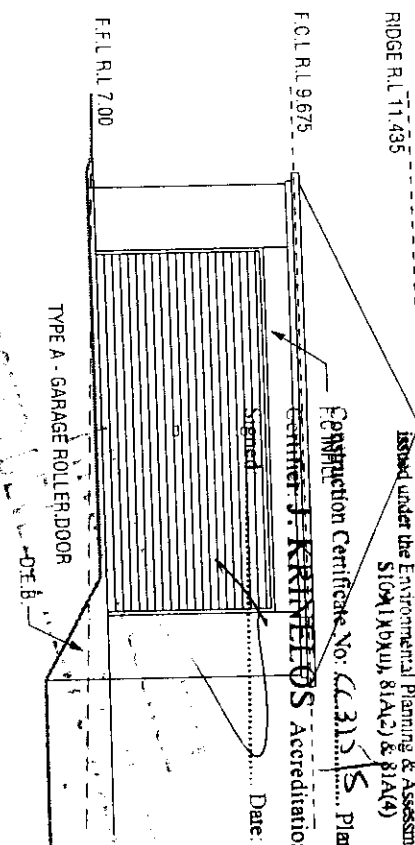
Elevation A
(West Elevation)



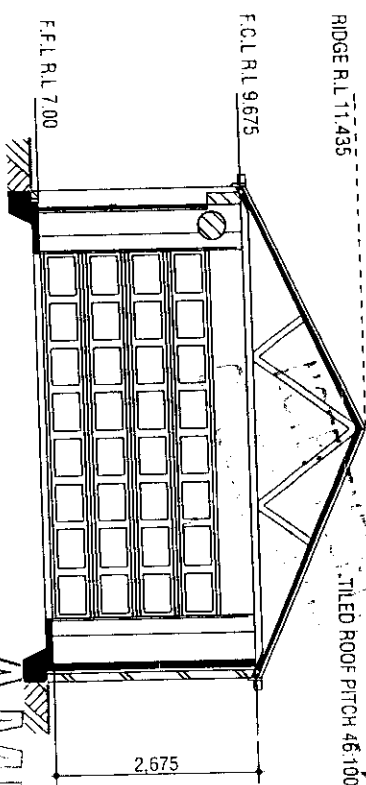
Elevation B
(North Elevation)



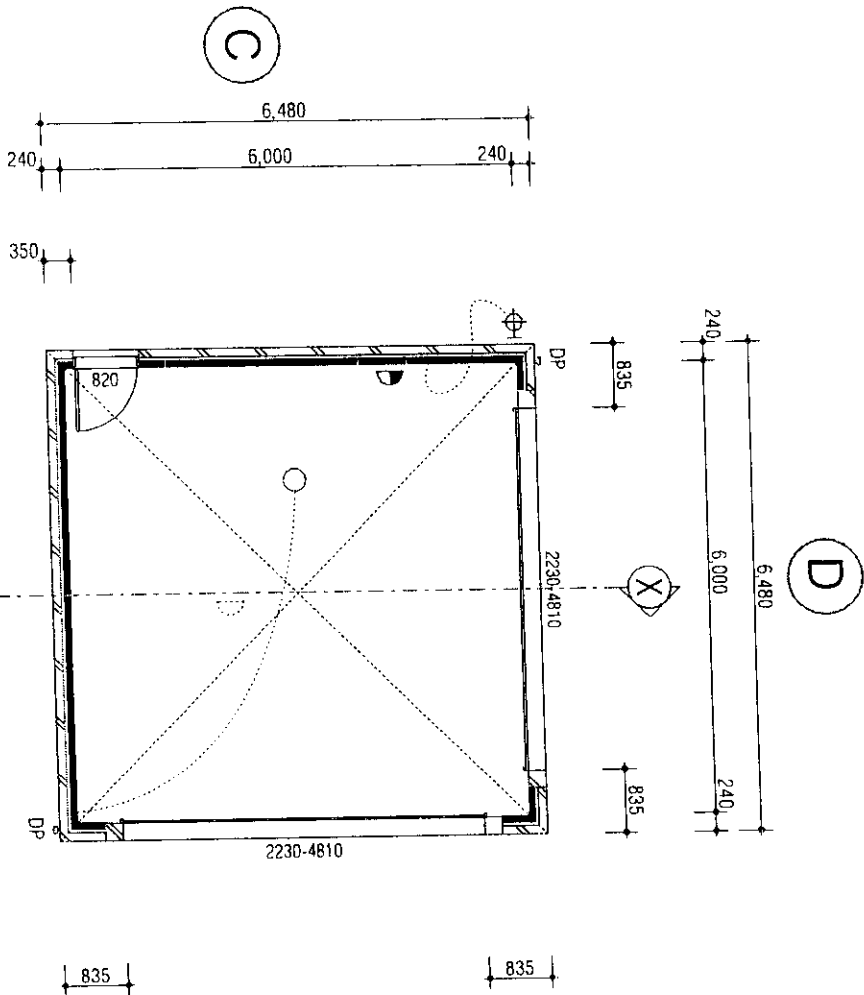
Elevation C
(East Elevation)



Elevation D
(South Elevation)



Section X-X



Floor Plan

42.0 m²

NOTES:-

- TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
- EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
- ALL GLAZING TO AUSTRALIAN STANDARD 1288
- REFER STANDARD DETAIL G0101 FOR KITCHEN WINDOW TRIMMER HEIGHTS
- WINDOW SASH LOCATION AND GLAZING SASH CONFIGURATION TO MANUFACTURERS SPECIFICATIONS

NEW HOME CONTRACT

RESIDENCE FOR:

Mr. J. Whitton
Lot 3001 Garden St.
Warriewood

DETACHED GARAGE

MANOR 380

SERIES 2
TRADITIONAL

LH 024g
SHEET

AV Jennings Limited

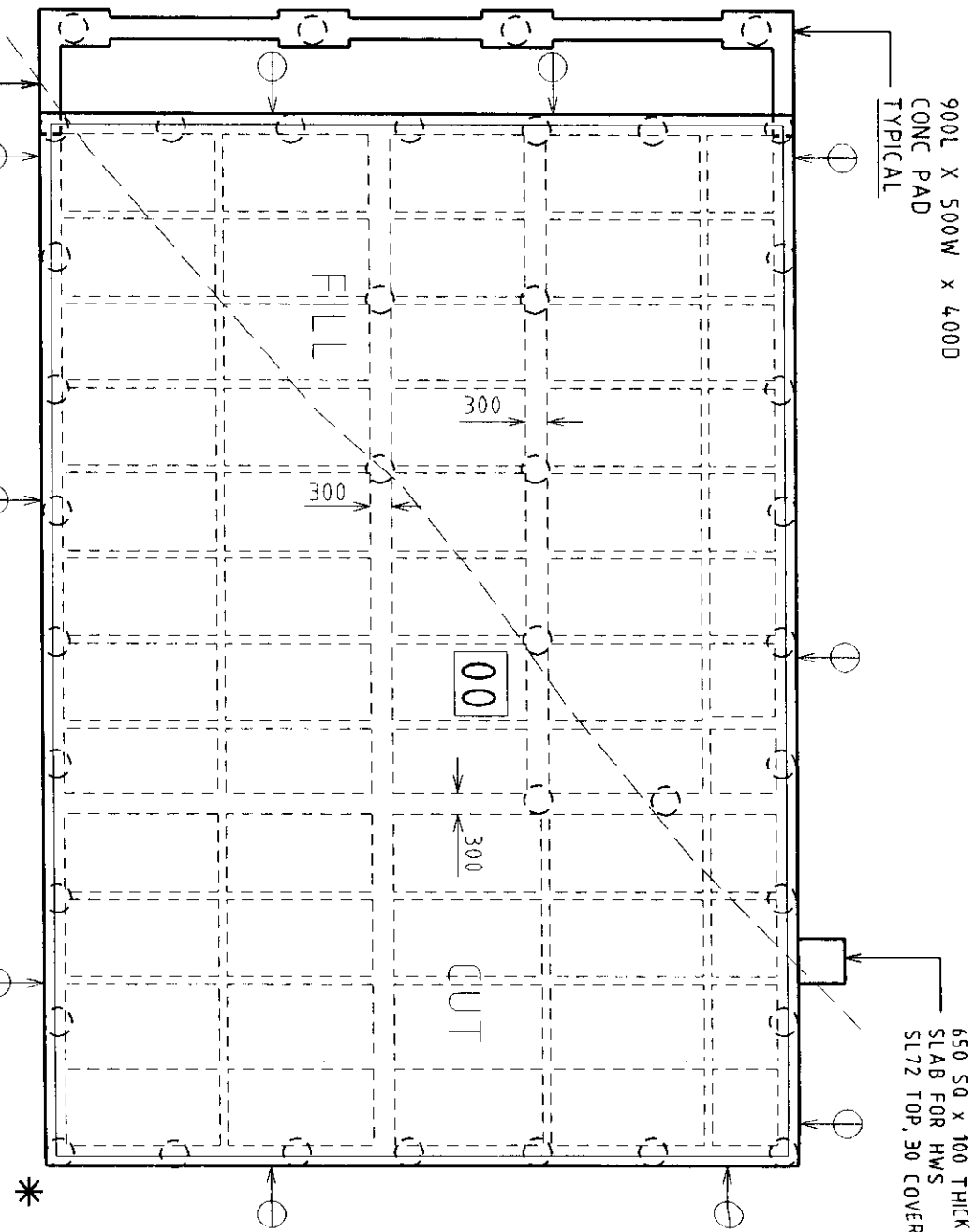
ABN 50 094 601 503
1B Amy Close, North Wyong NSW 2259
Telephone: (02) 4353 2455
Facsimile: (02) 4353 1436

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DESIGN	ELEV	ACCOM	SPEC	CAR	CONTRACT NO	DATE
DT1	A	5665	N	1	113310	05/11/05
DT2	A	5665	N	1	113310	05/11/05
DT3	A	5665	N	1	113310	05/11/05
DT4	A	5665	N	1	113310	05/11/05
DT5	A	5665	N	1	113310	05/11/05
DT6	A	5665	N	1	113310	05/11/05
DT7	A	5665	N	1	113310	05/11/05
DT8	A	5665	N	1	113310	05/11/05
DT9	A	5665	N	1	113310	05/11/05
DT10	A	5665	N	1	113310	05/11/05

Living
Solutions

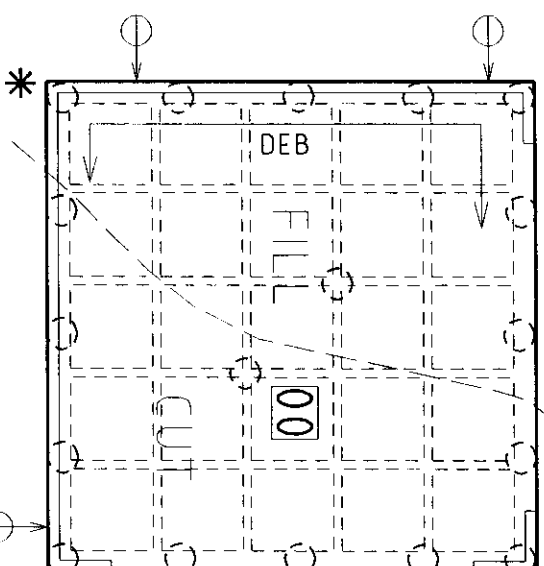
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300 x 300 FOOTING
3-N12 TOP & BTM
R6 TIES -900 CTS

PLAN

RIBBED RAFT SLAB
90 THICK SLAB, ONE LAYER SL72 MESH TOP, 20 COVER



GARAGE SLAB PLAN

WAFFLE RAFT SLAB
90 THICK SLAB,
ONE LAYER SL72 MESH TOP,
20 COVER

SPECIAL CONCRETE NOTE
ALL CONCRETE IS TO BE COMPACTED
WITH A MECHANICAL VIBRATOR.

LEGEND

* DENOTES STARTING
POINT FOR VOID FORMS

/// DENOTES 3N12 BARS
2000 LONG TIED TO
UNDERSIDE OF SLAB MESH

⊕ VERTICAL BRICK
ARTICULATION JOINT
TO AS3700

□ DENOTES
CONCRETE PIER
450 SQ. CONCRETE
BLOCKOUT U.N.O.

— S — SYDNEY WATER SEWER

300 MAX.
WAFFLE POD EXTENSION

SITE CLASSIFICATION - M
TO AS2870-1996

THE FOOTING SYSTEM SPECIFIED HEREIN IS EXPECTED TO ACHIEVE ACCEPTABLE PROBABILITIES OF SERVICEABILITY & SAFETY OF THE BUILDING DURING ITS DESIGN LIFE BUILDINGS SUPPORTED BY FOOTING SYSTEMS DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS2870-1996 ON A NORMAL SITE WHICH IS NOT SUBJECT TO ABNORMAL ENVIRONMENTAL FACTORS & WHICH IS MAINTAINED IN ACCORDANCE WITH APPENDIX B ARE EXPECTED TO EXPERIENCE USUALLY NO DAMAGE & A LOW INCIDENCE OF DAMAGE CATEGORY 1 & 2. ALL OCCASIONAL INCIDENCE OF DAMAGE CATEGORY 2 DAMAGE CAUSATIONS ARE DEFINED IN APPENDIX C OF AS2870-1996

HOUSE DESIGN
MODEL MANOR 380

REV	DESCRIPTION	DATE

AVJennings Limited

ABH 50 004 601 505
Level 2/11-13 Brockhurst Ave
2001 New Lambton NSW 1500
Tel: 08 9555 1111
Fax: 08 9555 1112

DONOVAN ASSOCIATES

ENGINEERS AND SURVEYORS
SUITE 101/102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

DRAWING TITLE
WHITTON LOT 3001 GARDEN STREET WARRIEWOOD

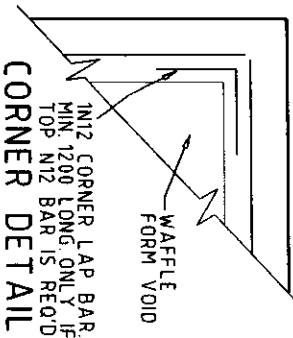
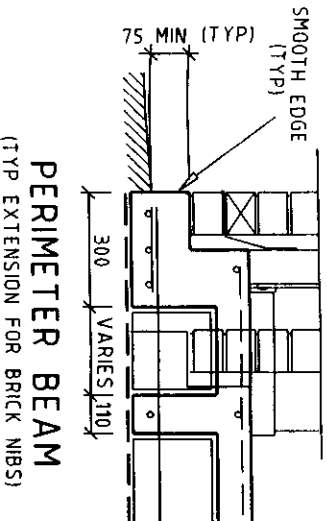
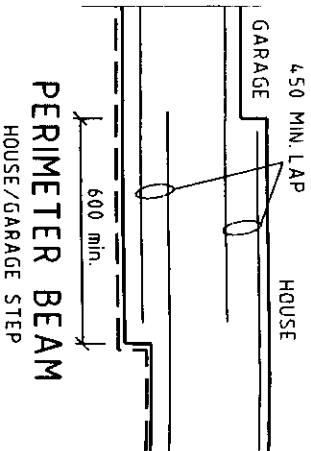
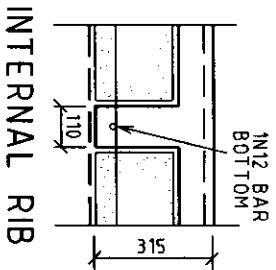
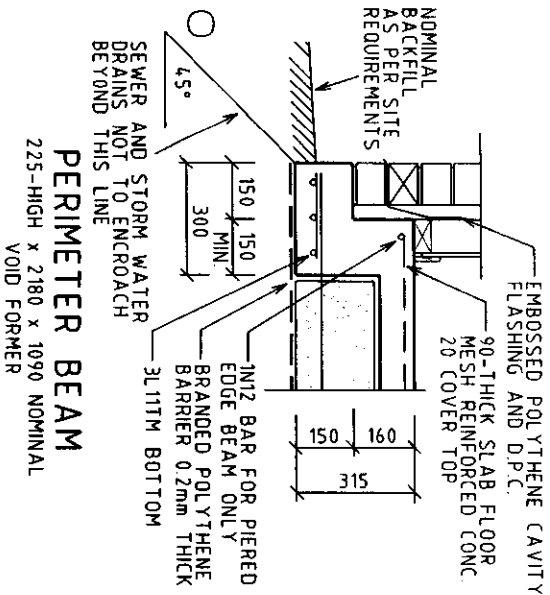
SHEET TITLE
SLAB PLAN

APPROVED

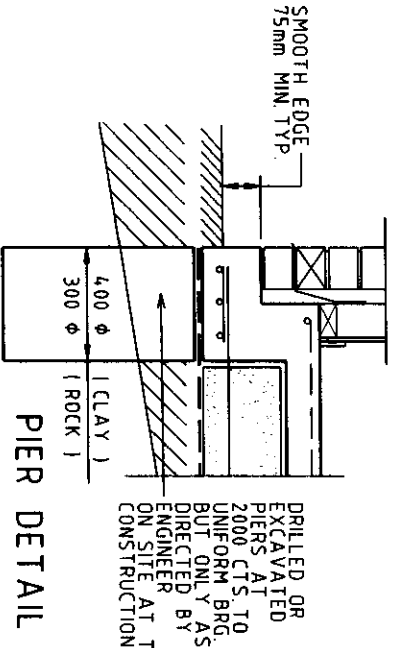
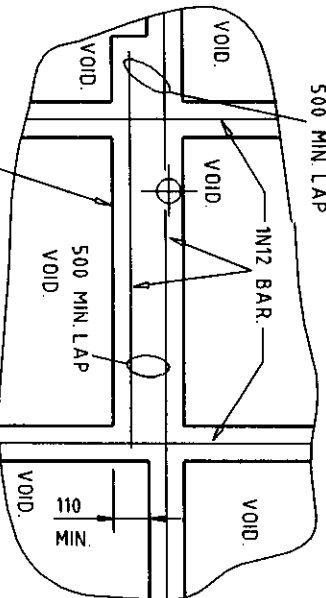
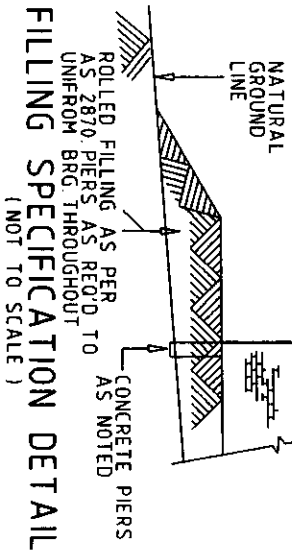
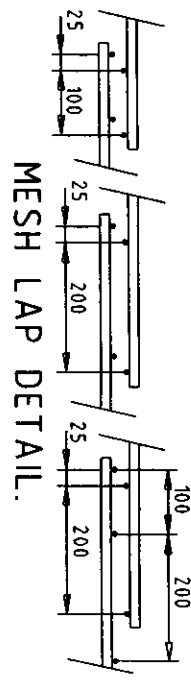
BE MIE AUST

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DRAWN LG
CHECKED JO
DATE 22/02/05
JOB No E68470
DRAWING No 68470-01
ISSUE A

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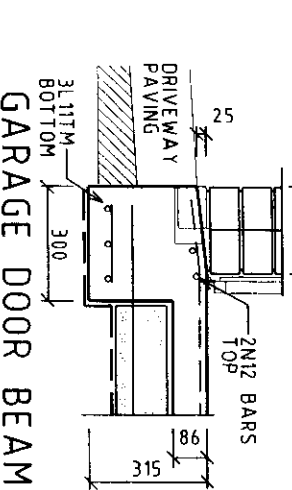
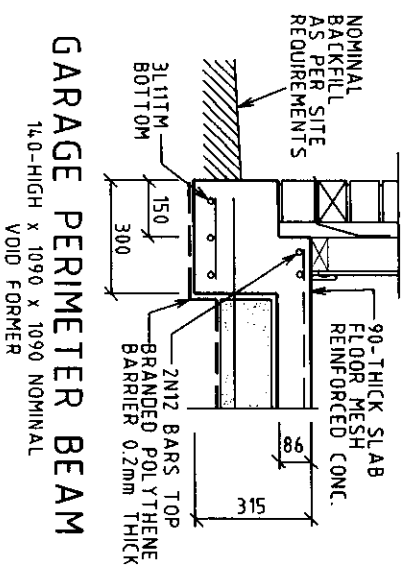


REINFORCEMENT FOR EXTERNAL BEAMS WHERE WIDTH EXCEEDS 300mm			
WIDTH mm	TOP STEEL	BTM STEEL	
301-330	1N12	3L11TM	
331-440	2N12	3L11TM + 1N12	
441-550	3N12	3L11TM + 2N12	
551-660	4N12	3L11TM + 3N12	

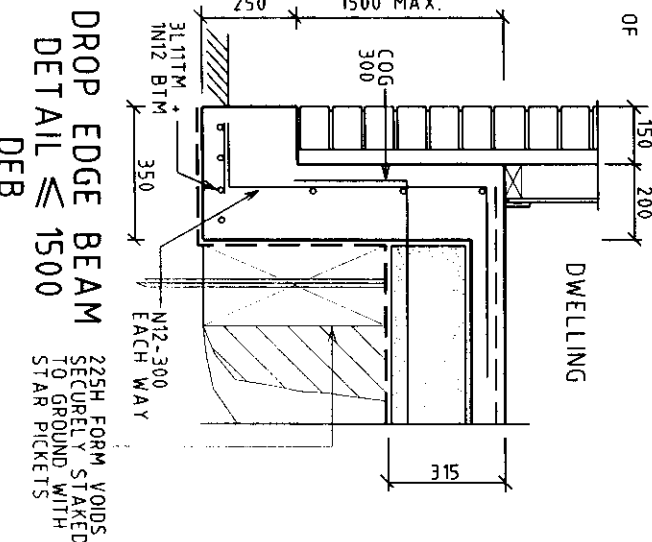
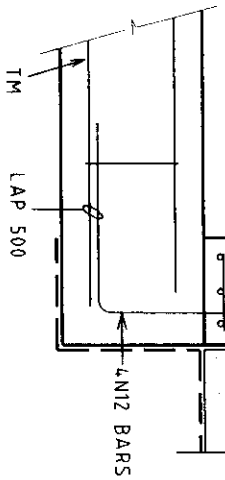


DRILLED OR EXCAVATED PIERS AT 2000 CTS TO UNIFORM BRG BUT ONLY AS DIRECTED BY ENGINEER ON SITE AT TIME OF CONSTRUCTION

CUT WAFFLE FORM AT PIPE RIB TO MIN. DISTANCE OF 110 (as applicable).



FOOTING/SLAB LAP DETAIL



AV Jennings Limited

AB1 50 004 601 503
Level 2, 11-13 Brockholme Ave
Poulton-le-Ferry, L15 1ST
Telephone: 01223 9840 0405
Fax: 01223 9840 0406
Email: info@avjennings.co.uk

DONOVAN ASSOCIATES

ENGINEERS AND SURVEYORS
Unit 66, 74 Cowper Street, Pafforth, A12 7 1TH
Tel: 01223 9840 0405
Fax: 01223 9840 0406
Email: info@donovan.co.uk

DRAWING TITLE

WHITTON LOT 3001
GARDEN STREET
WARRIEWOOD

SHEET 7 T1E
SLAB DETAILS

APPROVED

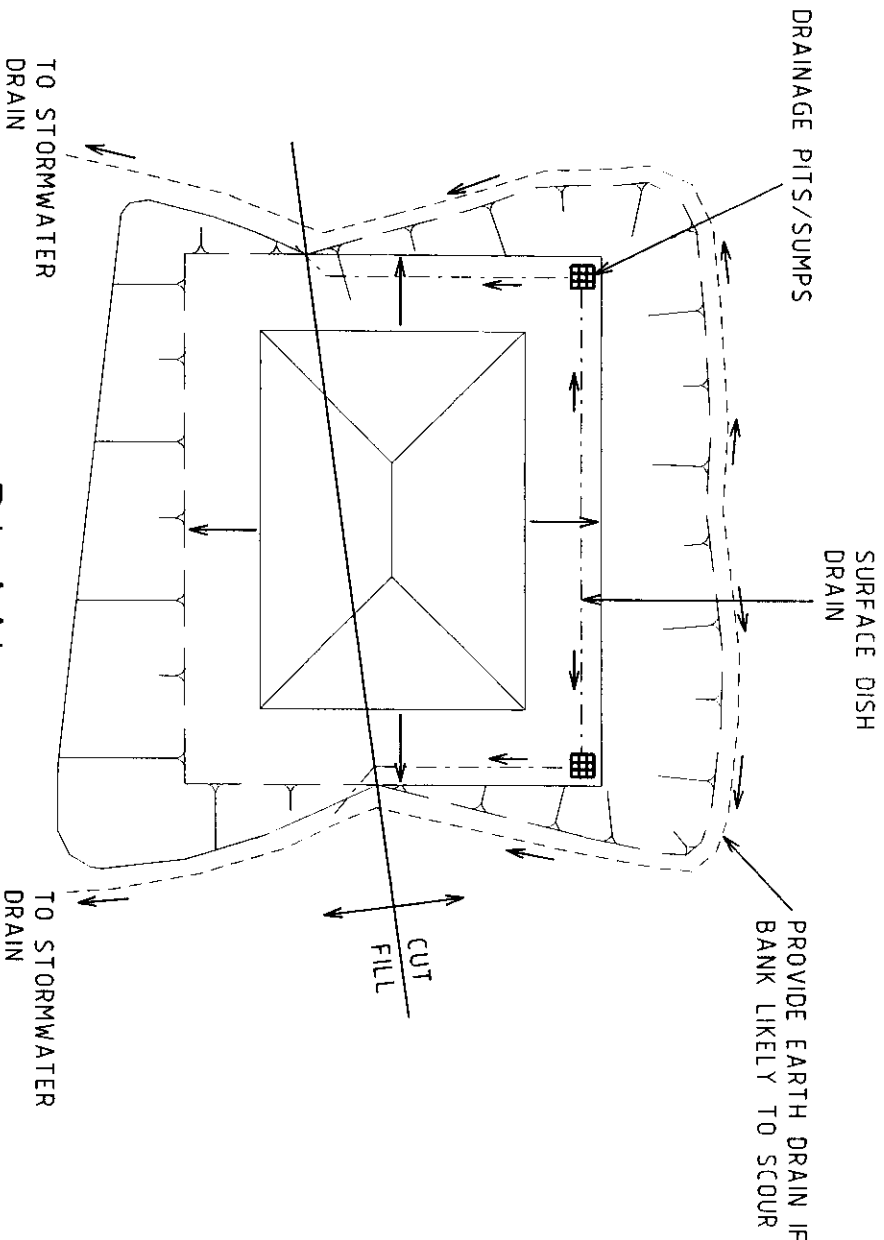
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SCALE 1:20 DATE 23/02/05

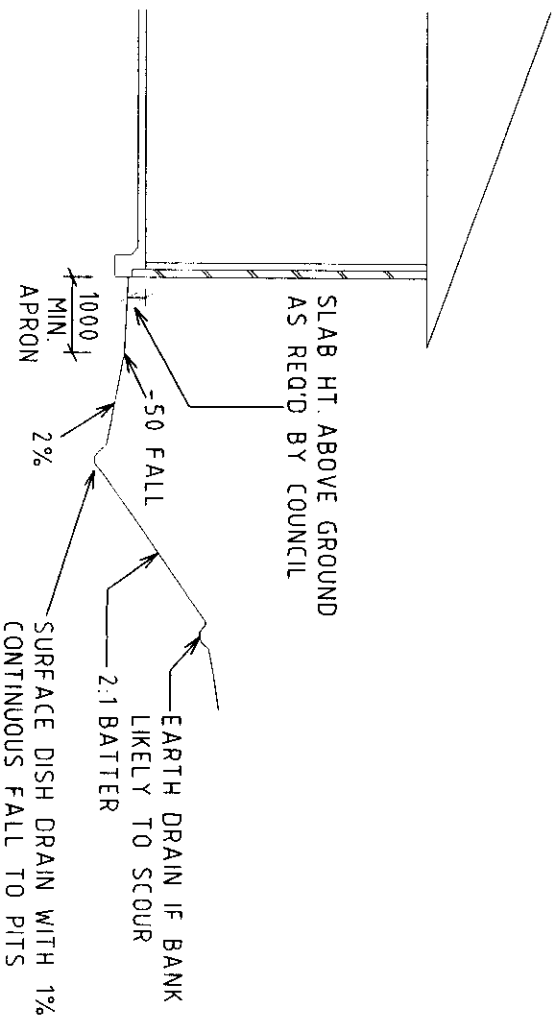
DESIGNED JO DRAWN LG CHECKED JO

CLIENT JOB NO E68470 JOB DRAWING NO 68470-04 ISSUE A

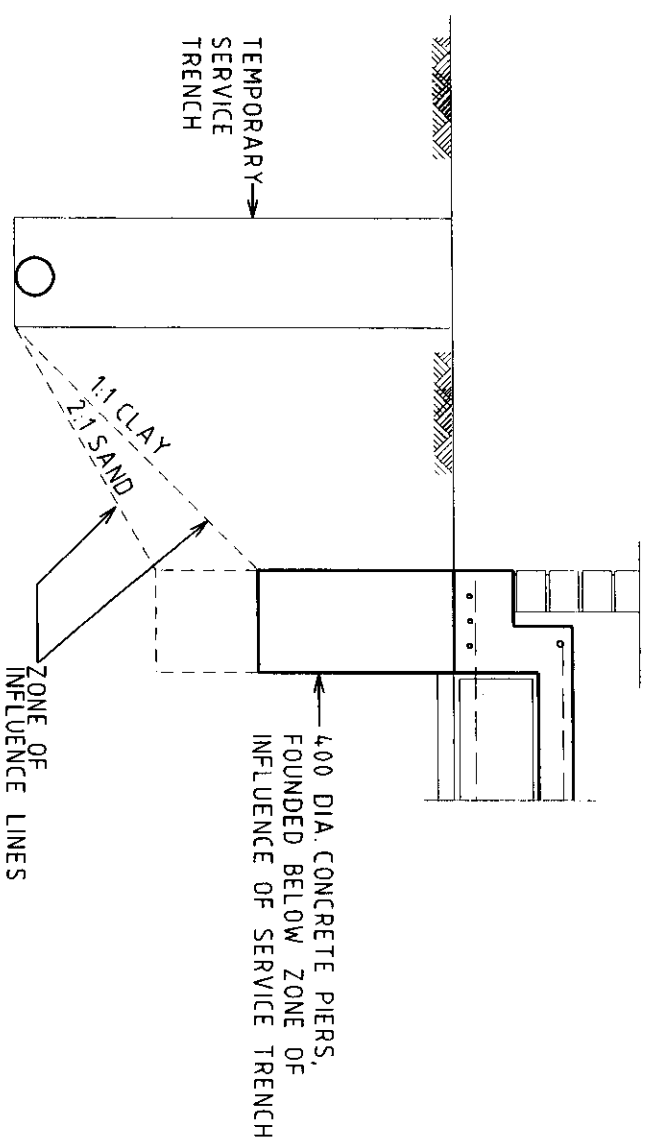
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PLAN



SECTION



SERVICE TRENCH DETAIL

NOTES:

1. THIS DRAWING FORMS AN INTEGRAL PART OF DONOVAN ASSOCIATES STRUCTURAL DETAILS.
2. THE SITE MUST BE GRADED AND DRAINED SO THAT WATER IS SHED FROM THE BUILDING PLATFORM IN ACCORDANCE WITH THE ABOVE PRINCIPLES.
3. PROVISION OF PAVING, SURFACE GUTTERING OR UNDERGROUND PIPING WILL ALL ASSIST IN ACHIEVING GOOD DRAINAGE.
4. GOOD DRAINAGE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION AS WELL AS AFTER COMPLETION.
5. DRAINAGE MUST NOT BE DIRECTED AT AN ADJACENT LOT.
6. THE OWNER'S ATTENTION SHOULD BE DRAWN TO CSIRO PUBLICATION 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE

AV Jennings Limited

ABN 50 004 601 505
Level 2/11-13 Brookhollow Ave
Donovans Hill NSW 1515
Telephone: (02) 9549 6400
Facsimile: (02) 9549 6401

DONOVAN ASSOCIATES

ENGINEERS AND SURVEYORS
SUITE 102/102 WILSON STREET, BALFAIRDALE NSW 1515
PHONE: (02) 9549 6400 FAX: (02) 9549 6401

DRAWING TITLE

WHITTON LOT 3001 GARDEN STREET WARRIEWOOD

SHEET TITLE
SITE DETAILS

APPROVED

BE, MIE Aust

SCALE 1:20

DATE 23/02/04

DESIGNED JO DRAWN LO CHECKED JO

CLIENT JOB NO 68470 JOB DRAWING NO 68470-02 ISSUE A

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GENERAL

- G1 THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
- G2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTS FINAL DRAWINGS.
- G3 BUILDER TO CHECK ALL RELEVANT DIMENSIONS ON SITE.
- G4 ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY.
- G5 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER STRESSED THE BUILDER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE WORKS DURING CONSTRUCTION.
- G6 STRUCTURAL ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING SUPERIMPOSED LIVE LOADINGS:
RESIDENCE 15 kPa GARAGE 3.0 kPa

SITE PREPARATION

- S1 SITE TO BE STRIPPED OF ALL ORGANIC MATTER AND ASSOCIATED TOPSOIL.
- S2 THE SITE IS TO BE CUT AND FILLED TO FORM A LEVEL BUILDING PLATFORM
- S3 A 1METRE WIDE APRON WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE SLAB
- S4 FILLING USED IN THE CONSTRUCTION OF THE SLAB SHALL BE COMPACTED AT OPTIMUM MOISTURE CONTENT IN 150mm MAXIMUM LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR IN ORTHOGONAL DIRECTIONS AS PER AS2870-1996 CLAUSE 6.4.2 (b)

FOOTING SYSTEM

- F1 THE FOOTING SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH AS2870.
- F2 DEPTH AND EXTENT OF PIERS ARE TO BE DETERMINED ON SITE IN CONSULTATION WITH ENGINEER.
- F3 THE SLAB IS TO BE ENTIRELY UNDERLAIN WITH A 0.2mm POLYETHYLENE VAPOUR BARRIER WITH ALL JOINS PROPERLY LAPPED AND TAPED AT PENETRATIONS
- F4 FOOTING DETAILS SHOWN ARE FOR THE STIPULATED SITE CLASSIFICATION DONOVAN ASSOCIATES TAKE NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.
- F5 PIERING REQUIREMENTS ARE AS FOLLOWS

LOCATION	STRATA	PIER DIA. (mm)	PIER SPACING (mm)		MIN ALLOWANCE BEARING PRESSURE (kPa)
			SINGLE	TWO STOREY	
MASONRY LOAD BEARING BEAMS	CLAY	400	2000	1600	250
	ROCK	300	2400	2000	500
INTERNAL RIBS	CLAY	400	AS SHOWN		250
	ROCK	300	AS SHOWN		500

MINIMUM PIER DEPTH IS 500 BELOW FOOTING TRENCH, IF ANY PIER OR FOOTING ENCOUNTERS ROCK OR SHALE, THEN ALL FOOTING BEAMS MUST BE PIERED TO ROCK OR SHALE.

CONCRETE

C1 CONCRETE SPECIFICATION TO BE AS FOLLOWS:

LOCATION	CONCRETE GRADE	SLUMP	MAX AGG SIZE	CEMENT	EXPOSURE CLASS
PIERS	M15	80	20	TYPE 'A'	A1
SLABS ON GROUND & FOOTINGS	M20	80	20	TYPE 'A'	A1
SUSPENDED SLABS	M22	80	20	TYPE 'A'	A1

C2 CLEAR COVER TO REINFORCEMENT, UNLESS NOTED OTHERWISE, TO BE AS FOLLOWS:

LOCATION	TOP	BOTTOM	SIDE
PIERS	40	40	40
SLABS ON GROUND	20	30	40
SUSPENDED SLABS	20	20	40
FOOTINGS	40	40	40

C3 REINFORCEMENT SYMBOLS ARE AS FOLLOWS:

- R STRUCTURAL GRADE ROUND BARS (250 R)
- N HOT ROLLED DEFORMED BARS (500 N)
- L HARD-DRAWN WIRE REINFORCING MESH (500 L)
- SL SQUARE MESH (500 SL)
- RL RECTANGULAR MESH (500 SL)
- NUMBER FOLLOWING THE SYMBOL IS THE BAR DIAMETER IN mm.

C4 ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION BY 50mm CHAIRS AT 800 CTS BOTH WAYS.

M12 BARS ARE TO BE LAPPED 500mm.

C6 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

C7 BEAM DEPTHS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.

C8 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.

ADDITIONAL

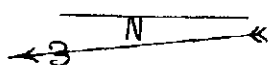
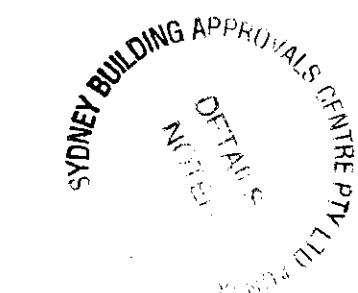
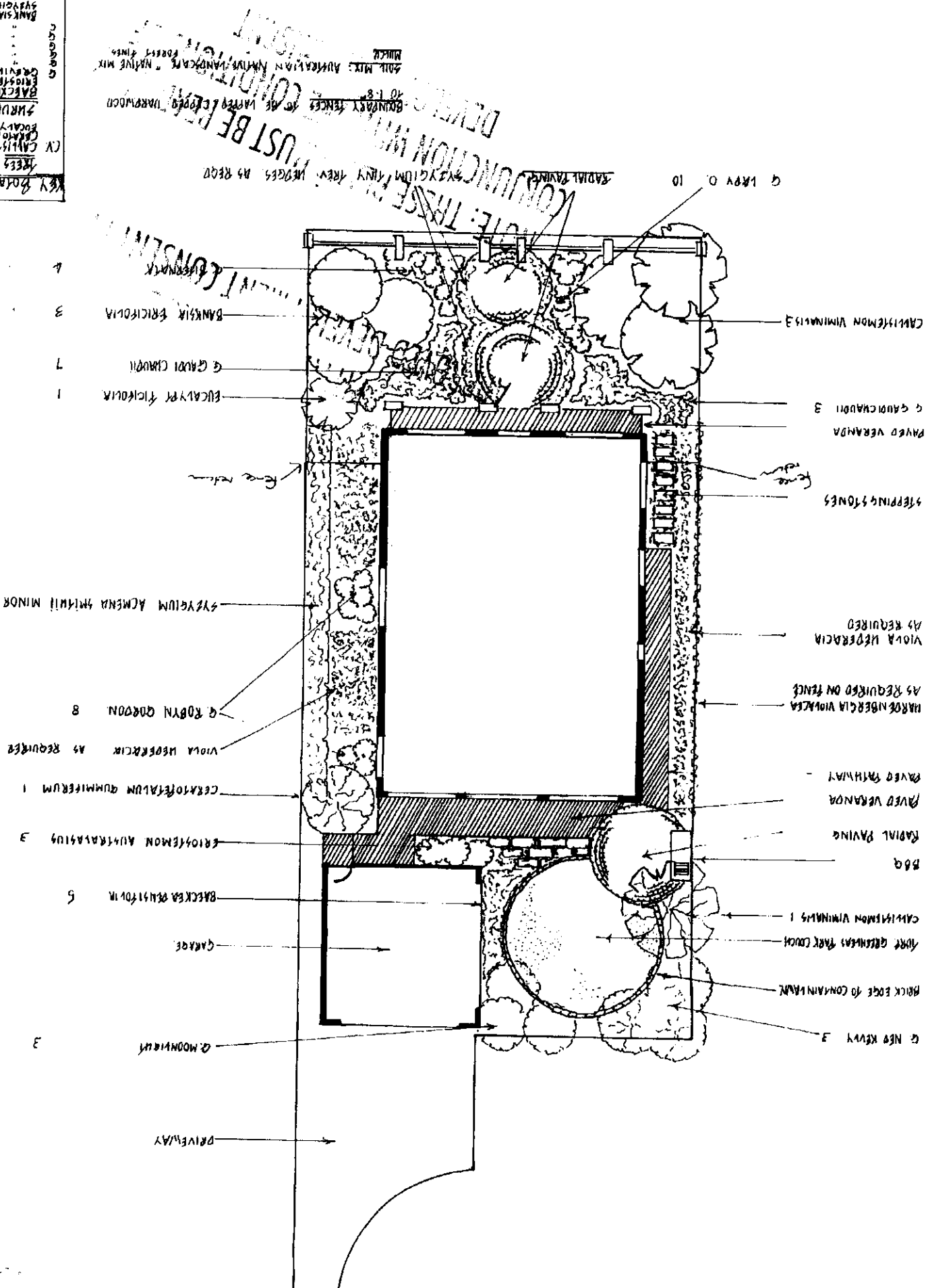
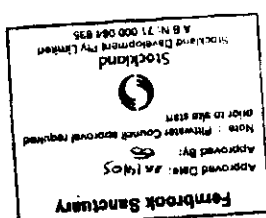
- A1 BRITTLE FLOOR COVERINGS SUCH AS CERAMIC TILES SHOULD BE LAID USING AN APPROVED FLEXIBLE ADHESIVE SYSTEM TO CONTROL THE EFFECT OF SHRINKAGE CRACKING.
- A2 SUBTERRANEAN TERMITE PROTECTION IS TO BE PROVIDED IN ACCORDANCE WITH AS3660.1
- A3 SITE DRAINAGE REQUIREMENTS FORM AN INTEGRAL PART OF THE SLAB FOOTING SYSTEM
- A4 THE OWNERS ATTENTION IS DRAWN TO APPENDIX 'B' - PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE OF AS2870 1996 AND CSIRO PAMPHLET 'GUIDE TO HOMES OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'.

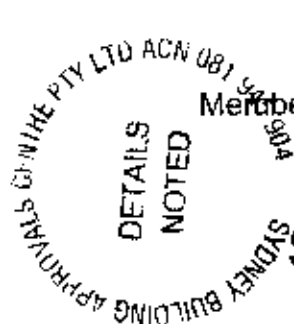
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DONOVAN ASSOCIATES

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AVJennings

Member HIA (Housing Industry Association)

SPECIFICATIONS

Lot No.: 3001

Street: **Garden Street,
Warriewood**

For: **AVJENNINGS LIMITED**, (hereafter referred to as "The Owner")

These are the details of work to be done and materials to be used in building the house shown on the attached plans.

1. Floor

1.1 Concrete (slab on ground)

Floor to be reinforced 20Mpa concrete with rebated edge and integral beams in accordance with Engineer's recommendations.

Surface to be finished with a mechanical trowel to a smooth finish and cured in accordance with Engineer's recommendations.

1.2 Timber

Footings to external walls to be as per Engineer's recommendations.

Base brickwork to be minimum 90mm thick with minimum 190 X 100 engaged piers at spacing to suit bearers. Sleeper piers to be normally 230 X 230 up to a maximum height of 1800mm over this to a maximum height of 2700mm the lower portion to be 350 X 350.

Bearers and floor joists shall be steel framing to comply with AS 3623 or timber to comply with AS 1684.

Structural sheet flooring with tongue and groove to be used and basic sanded on completion. Moisture resistant sheet flooring to be used in wet areas or as noted on the plans.

1.3 Garage Piers

Attached piers to masonry walls of garage complying with clause 3.3.1.2 of Building Code of Australia (Housing Provisions), (ie piers to have a minimum dimension of 230 X 230mm).

2 Framing

2.1 General

Framing to comply with AS 1684. The stress grade of timber used throughout this specification is F11, unseasoned hardwood or F5 unseasoned softwood with larger sections F17 seasoned hardwood or F5 unseasoned softwood.

2.2 Sub floor Clearance

Where timber floor construction is used, the minimum clearance from the ground to the underside of the lowest timber is to be 200mm.

2.3 Walls

Wall framing to comply with AS 1684.

2.4 Upper Floor Joists

Upper floor joists shall be steel trusses frames or cold-formed section joists to comply with AS 3623 or timber trusses or softwood floor joists to comply with AS 1684.

2.5 Roof Framing

Roof framing shall be steel trusses or frames to comply with AS 3623 or timber to comply with AS 1684.

Fascia to be zincalume, colour to be as indicated on colour selection list.

Porches, eaves and verge overhang as shown on the plans to be lined with 4.5mm thick fibre cement sheets.

3 Brickwork

Brickwork to external walls and internal brick features where shown on the plans to be minimum 90mm thick.

Cavity between brickwork and framing to be minimum 25mm with galvanised wall ties at 600mm spacing horizontally and 450mm vertically.

Refer to chart:

Wind/Wall Tie Classification			
Wind	Wall Tie	Horizontal Spacing	Vertical Spacing
W28N1	Light Duty	600	600

W22N2	Medium Duty	600	600
W41N3	Medium Duty	600	600
			(5 courses)
Wall tie spacings around openings 300c/c each way			
Polymer wall ties rated 'Light Duty Only' (W28N1)			

Provide one damp proof course in brickwork at underside of bearers for timber floors and cavity flashing at the first or second bed joint for concrete slab.

Provide sub-floor ventilation in accordance with Building Code of Australia.

Brick types and colours to be indicated on Colour Selection List.
Mortar to be 1 cement / 2 lime / 8 sand or 1 cement 5 sand.

4 Roof Covering

Tiles as indicated on Colour Selection List to be laid unsarked at roof slope ratio as shown on the plans to comply with AS 2049 1992 for roof tiles or metal roofing to comply with AS 1562.

5 Internal Wall, Ceiling Lining

Wall lining to be plasterboard except to bathrooms and ensuites where WR Board / Villaboard is to be used.

Ceiling linings to be plasterboard fixed directly to joists or rafters, junction of walls and ceilings to be stopped flush or installed with plasterboard cornice.

The size and extent of glazed earthenware tiles including soap holders in kitchen, bathroom(s) and laundry to be shown on the plans. Colour to be indicated on Colour Selection List.

6.0 Windows and Doors

All doors to be shown on the plans. External doors to have threshold weather seal (excluding garage access door).

Door furniture and latches to be as displayed unless otherwise specified. Colour to be as indicated on Colour Selection List.

Aluminium windows, as shown on plans.

7.0 Skirtings and Architraves

Skirting and architrave dresses all round suitable for paint finish. Colour to be as indicated on Colour Selection List.

8 Glazing

Fixing and thickness of glazing to conform to AS 1288 1989.
Installation of glass in buildings for wind terrain Category 3.

9 Cupboards and Cabinets

All cupboard and wardrobes to be shown on the plans.

Knobs, catches, latches and kitchen and laundry cabinet fronts to be specified in the Schedule of features and finishes. Colour to be as indicated on Colour Selection List.

Laminated plastic bench tops as indicated on Colour Selection List.

10 Plumbing

Provide cold water supply from meter to all fittings and outlets as shown on the plans. Connect all fittings to drains with all necessary wastes, bends and vents.

Provide hot water service as shown on the plans and connect to all fittings and outlets. If applicable, gas service to be provided from meter location to hot water service/cooker/heating points.

Provide all flashings, roof plumbing, guttering and downpipes as required.

11 Electrical

Wire to all lights, switches and general purpose outlets as shown on the plans. Provide switchboard and wiring to any other fitments or appliances as shown on the plan in accordance with local authorities. Provide circuit breakers to switchboard.

11.1 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

12 Fittings

12.1 Kitchen

Provide sink, cooker or wall oven and cooking top, electrical range-hood as indicated on the plans. Provide hot and cold taps and swivel outlet with aerator to sink.

Provide dishwasher and cold water isolating tap where shown on plans.

12.2 Bathroom

Provide bath, shower(s) and basin(s) as shown on the plans. Colours to be indicated on the Colour Selection List.

Provide shower doors where shown on the plans.

12.3 Laundry

Provide trough with hot and cold taps and hot and cold screwed bib taps over washing machine position.

13 Stairs, Porches and Balustrades

Provide timber staircase, handrails and balustrades as shown on the plans.

Porches, steps and handrails to be provided as shown on the plans.

14 Painting

Finished painted surfaces to be uniform in colour. Colours to be as indicated on Colour Selection List.

Minimum 2 coats of paint (colour).

External woodwork and galvanised metalwork to be finished in low gloss acrylic. Internal walls and ceilings, eaves and porch linings to be finished in PVA. Internal woodwork to be finished in full gloss enamel or wood stain. Where applicable, brickwork to be finished in acrylic latex.

15 Tiling

15.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

15.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures eg bench top, bath, etc. to be filled with flexible mould resistant grout. Where practicable, spacing between tiles should be even and regular. Provide

expansion points where necessary. As tiles are made of natural products a slight variation in colour is to be anticipated.

15.3 Walls

Cover specified wall faces with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

15.4 Floors

Lay selected floor tile in sand and cement mortar or approved adhesive to specified areas. If required fit approved edge strips to exposed edges in doorways or hobless showers. Provide adequate and even fall to wastes where necessary.

16 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water-proofed to AS 3740 or part 3.8.1 BCA Housing Provisions.

17 Paving

Provide paving, as shown on the plans.

18 Sanitary Accommodation

We will provide portable toilet facilities to the requirements of the relevant authority for the benefit of workmen employed on the site and which will be removed upon completion of the works.

19 Services

19.1 Water

The price allows for the installation of a water supply line from the house to an existing supply main of the local authority, directly in front of the land and on the far side of any footpath, but not more than 9 metres from the boundary, to the house directly, next to the water and not more than 1.0 metre at right angles to the Waterboard drill position.

19.2 Gas Service

Mains supply – the price allows for installation of a gas supply line from the house to an existing supply main of the local gas authority, immediately in front of the land and the far side of any footpath, not more than 20 metres away, to suit relevant authorities connection, but does not allow for cylinder supply connection.

19.3 Electricity Supply

The price allows for installation of an electricity supply line directly to a 240 volts supply to:

- a) A power pole terminal not more than 25 metres away and a minimum of 3 metres clearance between ground level and cable; or
- b) Underground pillar power terminal not more than 9 metres away; but does not allow for any further extension costs, additional pole, or heavier cable requirements.

19.4 Electricity Meter Box

Locate to suit electrical connection point as required by the relevant authority.

19.5 Telephone Connection

You are responsible for applying for telephone underground connection from the authorities mains to the house, pre-wire and position of telephone points.

20 Sewerage, Stormwater and Sullage

20.1 Mains Sewer

Provide for house drainage connection to the sewer junction point as shown on the plans.

20.2 Septic Sullage System

Provide connection of all wastes to a septic system in accordance with the Local Authority.

20.3 Stormwater

Water drainage to street kerbs, underground drain, or other approved discharge point within the site as shown on the plans.

21 Dimensions

Figured dimensions on the detail shall be given preference to scaled dimensions.

Internal dimensions shall be taken between framework.

External dimensions shall be taken over brickwork.

Ceiling heights to be taken between top of flooring and underside of ceiling frame.

22 Excavations

The price allows for excavation of foundation material to a depth of the footing beams specified. The levels of the building site cut or fill may be varied due to removal of material or to suit site fall conditions (excess spoil remains on site).

23 Termite Proofing

23.1 We will provide a termite protection in accordance with AS 3660.

23.2 You acknowledge that you will be responsible for the ongoing maintenance of that protection and that we will make certain recommendations in terms of your obligations depending on the type of termite protection we provide. In that respect you will provide an acknowledgment to us and the relevant local council authority, which you will be required to sign.

24 Colours

Variation of colours and texture

Manufacturing process may vary from colour and texture of samples displayed, or others from which selection is made. Similarly, climatic conditions and variations in clay base material deposits may from time to time vary colour and texture of bricks supplied. We do not accept responsibility for any such variation in colour or texture.

25 Product Improvement

In our effort to continually improve the product, we may select alternative construction materials/fittings, which may be used in substitution in the works.

26 Details & Plans

If there is any difference between these details and the plan, then the plan will prevail.

This is the Specification referred to on the + Plan and in the General Conditions of the Building Contract dated.

This 19th day of March, 2005.

And signed by us: **AVJENNINGS LIMITED.**

1. ALL WORKS TO BE IN ACCORDANCE WITH PITTSBURGH WATER SUPPLY BOARD STANDARD SPECIFICATIONS AND TO THE SATISFACTION OF THE ENGINEER.

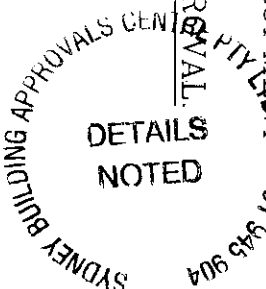
2. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS FROM AVJENNINGS HOMES CONTRACT No. 113310 DATED 17 MARCH, 2005 (PHONE: (02) 4353 2455).

3. ALL STORMWATER PIPES TO BE 100 DIA UPVC AT 1% MIN GRADE. UNLESS NOTED OTHERWISE. PIPES UNDER DRIVEWAY TO BE SEWER GRADE.
4. DEPTH AND LOCATION OF SEWER & SERVICES TO BE CONFIRMED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.

5. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENTATION CONTROL MEASURES AS NECESSARY, AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION.

6. ENSURE FINISHED GROUND LEVELS ARE SLOPING AWAY FROM THE DEVELOPMENT & INTO PITS OR YARD SUMPS.

7. PLAN SUBJECT TO COUNCIL APPROVAL



TYPICAL PIT DETAIL

SCALE 1:20

NASSERI ASSOCIATES

CIVIL HYDRAULIC & STRUCTURAL ENGINEERING
SUITE 9.5 - 19 BURNETT STREET SEAFORTH 2092
PO BOX 714, BALGOWLAH, NSW 2093
TEL. (02) 9948 8555
FAX (02) 9948 8655
MOB. 0410 308 064
EMAIL jnasser@bigpond.net.au

J. NASSERI
BE. FIEAust.
MPER, CPEng
April 2005

SYMBOLS & NOTATIONS

STORMWATER LINES	
o	DOWNPIPE
o	100 DIA YARD SUMP
	225x100 GRATED BOX DRAIN
	INVERT LEVEL (PIPE / PIT)

NOTATIONS

SL	FINISHED SURFACE LEVEL
FFL	FINISHED FLOOR LEVEL
PFL	FINISHED PLATFORM LEVEL
X	SEDIMENT CONTROL BARRIERS
---	PROPOSED BOUNDARY
---	5' - 6' COURSE

CLIENT: AVJENNINGS LIMITED (MR. J. WHITTON)			
LOT 3001 GARDEN STREET, WARREWOOD			
ISSUE	AMENDMENTS		DATE
A			
DESIGNED	B.J.M	DRAWN	B.J.M
CHECKED	J.N	SCALE	AS SHOWN

HYDRAULIC DETAILS

NOTES & SILT ARRESTOR PIT DETAILS

SCREEN WITH GALVANISHED GUIDE CHANNELS MAXI-MESH RH 3030

PIT ①

100 DIA. UPVC
INLET
INV. 5.45

600 SQ. SILT ARRESTOR PIT
(HINGED & LOCKED)

100 x 50 x 5.0 RHS
HOT DIPPED GALV.
UNDER FOOTWAY AREA
ONLY AT 2% FALL
INV. 5.43

100 DIA. UPVC
INLET FROM
INV. 5.45

2 X 100 DIA UPVC
FROM RWT
INV. 5.45

TWO 1/2 BRICK
KEEPERS

REPLACABLE
GEOTEXTILE
FILTER FABRIC

GEOTEXTILE FILTER FABRIC
SURROUNDING 14mm AGGREGATE

4 x 100mm DIA.
SEEPAGE HOLES FILLED
WITH AGGREGATE

DETAIL 2

SILT ARRESTOR PIT

SCALE 1:20

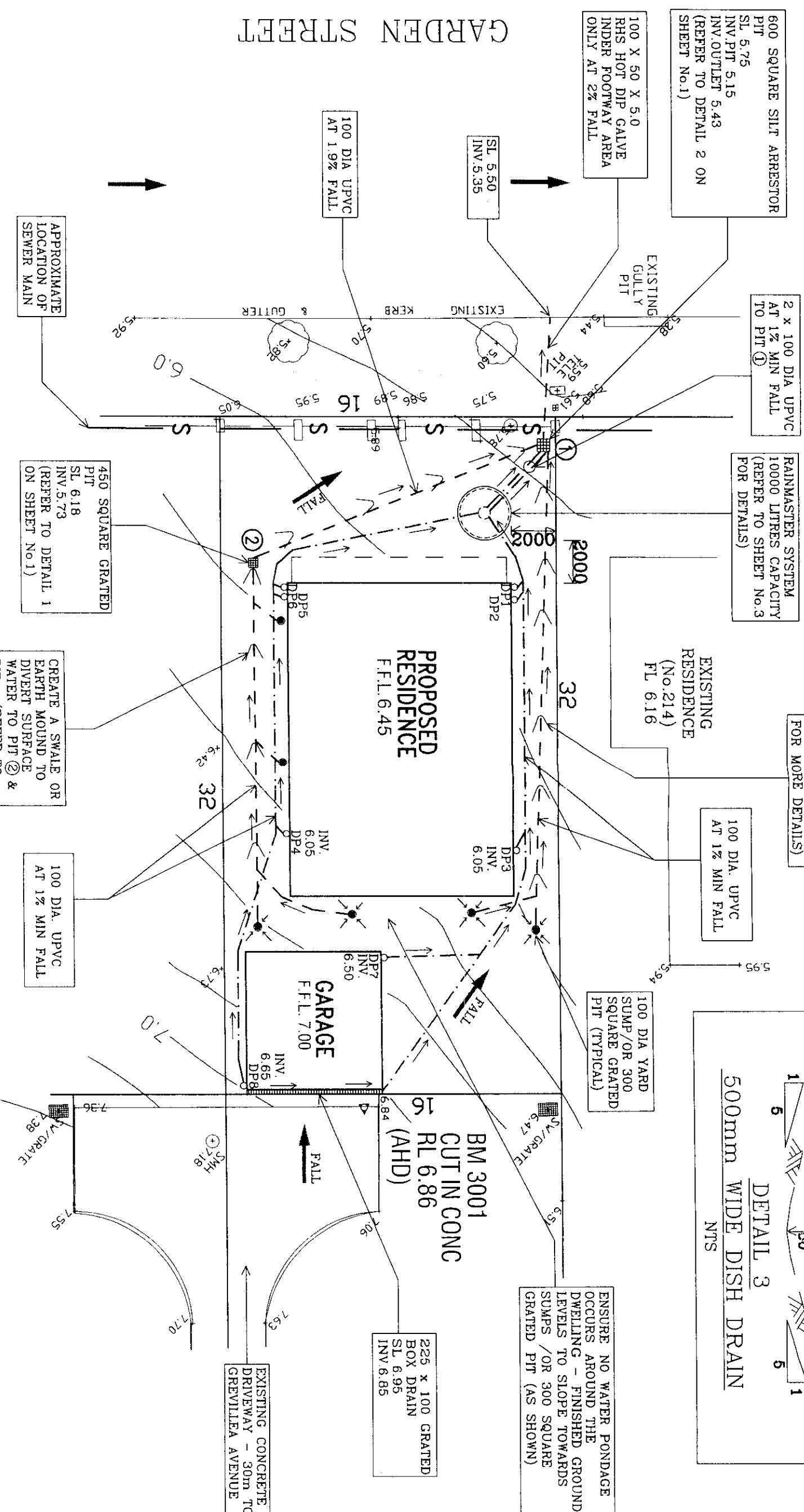
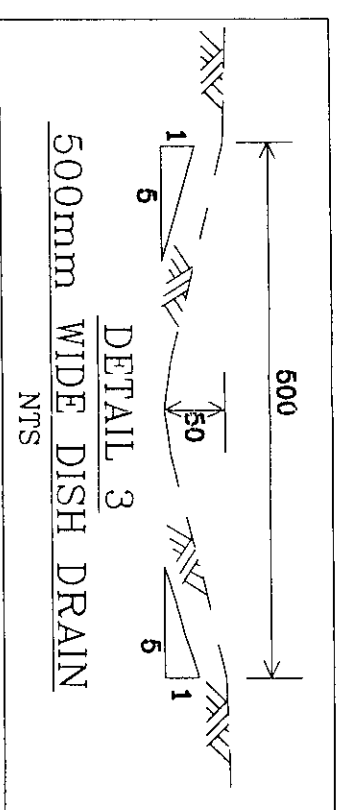
IMPORTANT NOTES:

1. A 10000 LITRES UNDERGROUND RAINMASTER TANK SYSTEM HAS BEEN DESIGNED TO COLLECT ALL ROOF WATER ONLY, AT THE FRONT OF THE PROPERTY - 2 x 1 DIA UPVC OVERFLOW FROM THE TOP OF THE RWT IS TO BE CONNECTED TO SILT ARRESTOR PIT (PIT ①). (REFER TO DRAINAGE PLAN ON SHEET No.2).

2. ALL SURFACE WATER TO DRAIN TO A 600 SQUARE SILT ARRESTOR PIT (PIT ①) WITH THE AID OF 100 DIA UPVC AT 1% MIN FALL AND THEN DRAIN TO STREET GUTTER WITH AID OF 100 x 50 x 5.0 RHS HOT DIPPED GALV. AT 2% FALL.

3. LEVELS ARE CRITICAL. PRIOR TO ANY CHANGES CONTACT ENGINEER

4. PRIOR TO BACKFILLING PIPES AND RWT, CONTACT ENGINEER FOR INSPECTION.



LEGEND:
--- 100 DIA UPVC FOR SURFACE WATER DRAINAGE ONLY
--- 100 DIA UPVC FOR ROOF WATER DRAINAGE ONLY

SYMBOLS & NOTATIONS

SYMBOL	NOTATION
---	STORMWATER LINES
o	DOWNPIPE
o	100 DIA YARD SUMP
o	225x100 GRATED BOX DRAIN
INV	INVERT LEVEL (PPE / PIT)
SL	FINISHED SURFACE LEVEL
F.L.	FINISHED FLOOR LEVEL
F.L.	FINISHED PLATFORM LEVEL
---	STORMWATER CONTROL BARRIER
---	PROPOSED BOUNDARY
---	SEWER

DRAINAGE PLAN

SCALE 1 : 200

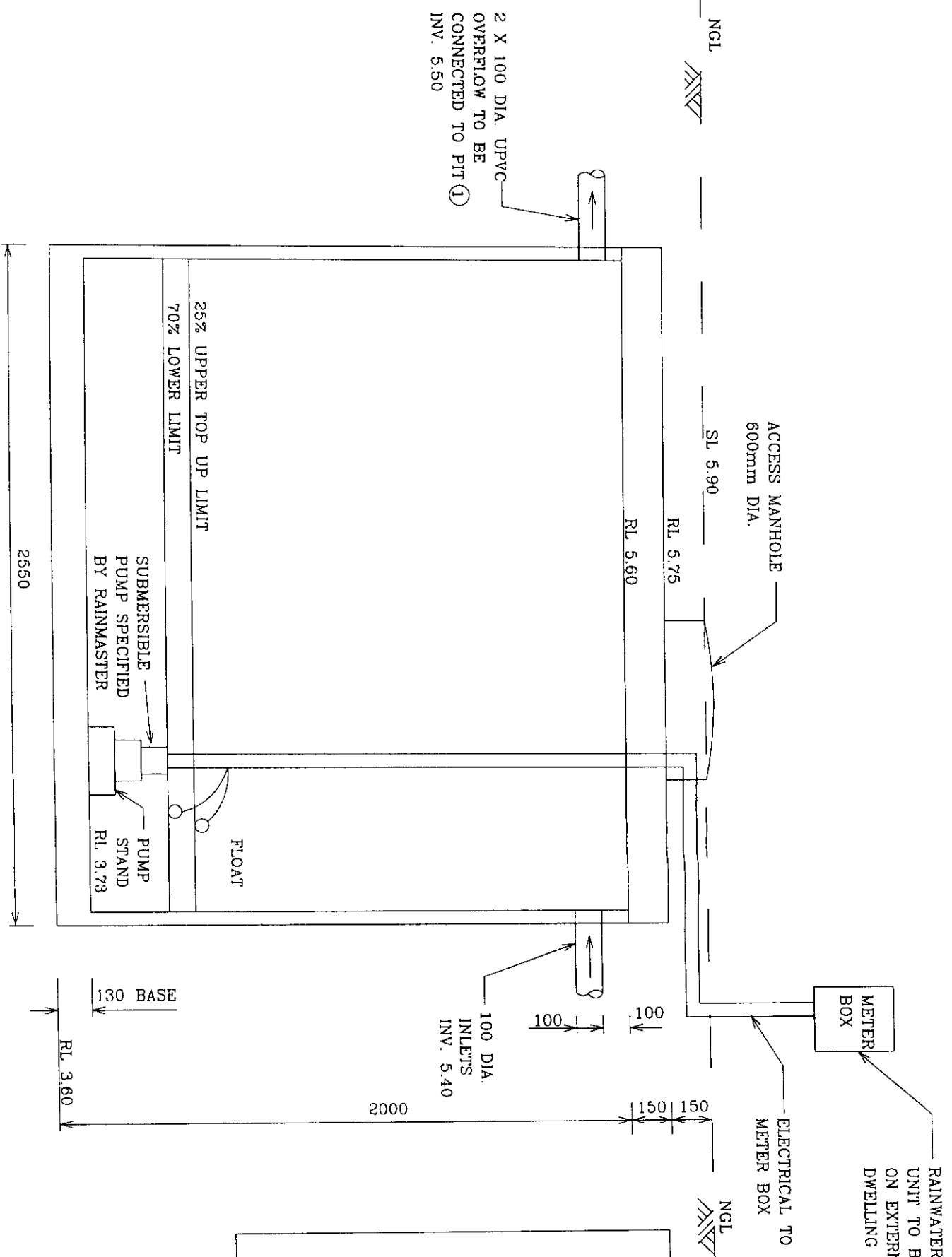
NASSERI ASSOCIATES

CIVIL, HYDRAULIC & STRUCTURAL ENGINEERING
SUITE 9, 5 - 19 BURNT STREET SEAFORTH 2092
PO BOX 714, BALGOWLAH, NSW 2093
TEL. (02) 9948 8555
FAX. (02) 9948 8555
MOB. 0410 308 064
EMAIL: jnasseri@bigpond.net.au

HYDRAULIC DETAILS

DRAINAGE PLAN

CLIENT: AVJENNINGS LIMITED (MR J. WHITTON)													
LOT 3001 GARDEN STREET, WARREWOOD													
DRAINAGE PLAN													
DESIGNED	BLM	DRAWN	BLM	CHECKED	JN	SCALE	AS SHOWN	CAD REF.	ENC/AVJENNINGS	JOB NO.	D1622	SHEET NO.	2



- IMPORTANT NOTES:**
1. UNDERGROUND RAINWATER TANK TO RAINMASTER SPECIFICATIONS TO BE USED. (OSD SYSTEM HAS BEEN DELETED - REFER TO CALCULATION SHEET).
 2. ALL PLUMBING & ELECTRICAL TO BE COMPLETED IN ACCORDANCE TO THE RELEVANT AUSTRALIAN STANDARDS.
 3. OVERALL DIAMETER IS 2550mm & OVERALL HEIGHT IS 2300mm (CODE A5000).
 4. RAINWATER CONTROL UNIT TO BE PLACED ON EXTERNAL DWELLING WALL & ELECTRICAL TO METER BOX.
 5. FOR MORE INFORMATION CONTACT RAINMASTER ON (02) 4352 1471.

RAINMASTER 10000 LITRE REINFORCED CONCRETE

WATER RECYCLING SYSTEM

NASSERI ASSOCIATES
CIVIL, HYDRAULIC & STRUCTURAL ENGINEERING
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TEL. (02) 9948 8555
FAX. (02) 9948 8555
MOB. 0410 308 064
EMAIL. jnasseri@bigpond.net.au

J. NASSERI
BE, FIELDST.,
NPER, CPENG
7 April 2005

SYMBOLS & NOTATIONS	
STORMWATER LINES	SL
FINISHED SURFACE LEVEL	RL
FINISHED FLOOR LEVEL	FLL
FINISHED PLATFORM LEVEL	FPL
SEDIMENT CONTROL BARrier	X
PROPOSED BOUNDARY	- - -
SEWER	- - -

CLIENT: AVJENNINGS LIMITED (MR J. WHITTON)	
LOT 3001 GARDEN STREET, WARREWOOD	
DESIGNED BY: B.J.M.	DRAWN BY: B.J.M.
CHECKED BY: J.N.	SCALE: AS SHOWN
CAD REF. ENG/AVJENNINGS	JOB NO. D1622
SHEET NO. 3	

HYDRAULIC DETAILS	
RAINWATER TANK DETAILS	