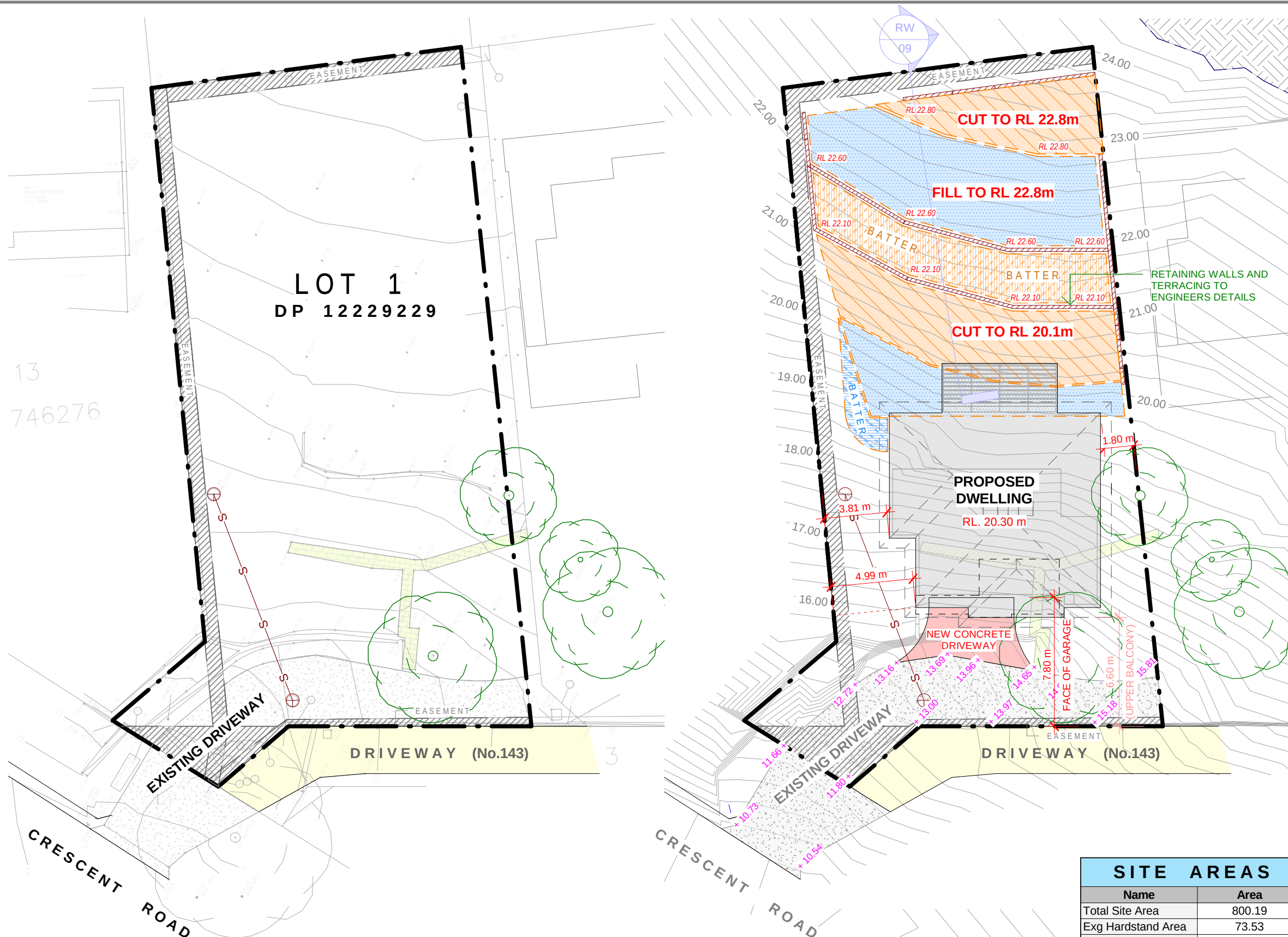




Summary of BASIX Requirements	
External Related Requirements	
- Provide minimum 2000L above ground rain water tank with pressure pump connected to all toilets, washing machine and one outdoor tap. - Provide minimum 100m² roof catchment to water tank via first flush overflow device. - Provide approximately 145m² designated lawns and garden - Provide external clothes line.	
Plumbing/Water related Requirements	
- Connect rainwater tank to supply all toilets, washing machine and at least one outdoor tap. - Provide minimum 4 star rated toilet. - Provide minimum 3 star rated taps to kitchen. - Provide minimum 3 star rated taps to bathroom. - Provide minimum 3 star rated (>7.5 <=9L/min.) shower heads to all showers.	
Construction Related Requirements	
- Provide sarking to underside of roof covering. - Provide sarking to external walls. - Provide minimum R2.0 insulation to all external walls. - Provide minimum R4.5 ceiling insulation. - Allowable roof colour range is "MEDIUM" (solar absorptance 0.475 > 0.70). - Window frames and glazing as per BASIX certificate.	
Energy Related Requirements	
- Provide instant gas water system. Minimum performance 5 star. - Provide gas cooktop with electric oven. - Provide energy efficient LED or fluorescent light fittings to 4x bedrooms, 3x living areas, kitchen and hallways.	
Rainwater Tank requirements	
- All pipes carrying rainwater to be approved products and clearly and permanently marked "RAINWATER" CONTINUOUSLY ALONG LENGTH. - Every rainwater tank outlet is to be labelled "RAINWATER" on a permanent sign as detailed by AS1319. - Downpipes supplying the rainwater tank must do so via a first flush device to prevent debris entering the tank. - Details are to be as per instructions from the local Council or Certifying Authority.	
This summary of BASIX requirements is intended as a checklist only. For full responsibilities and implementation of these requirements refer to the BASIX certificate forming part of the approval for this dwelling.	

SITE ANALYSIS PLAN
SCALE 1: 250

SITE PLAN
SCALE 1: 250

SITE AREAS	
Name	Area
Total Site Area	800.19
Exg Hardstand Area	73.53
New Hardstand Area	22.56
Total Roof Area	205.59

SITE COVERAGE = 37.7%



The Essential First Step

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NatHERS STAMP (if applicable)

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PROJECT:
**PROPOSED DWELLING
AT LOT 1 DP1229229
145A CRESCENT ROAD
NEWPORT**

CLIENT: **J. & J. SHANAHA**

Scale	1 : 250	Revision
Drawn by	RDM	08
Date	22/10/2018	SHEET 01
Issued to:		
Project no.	01416H	



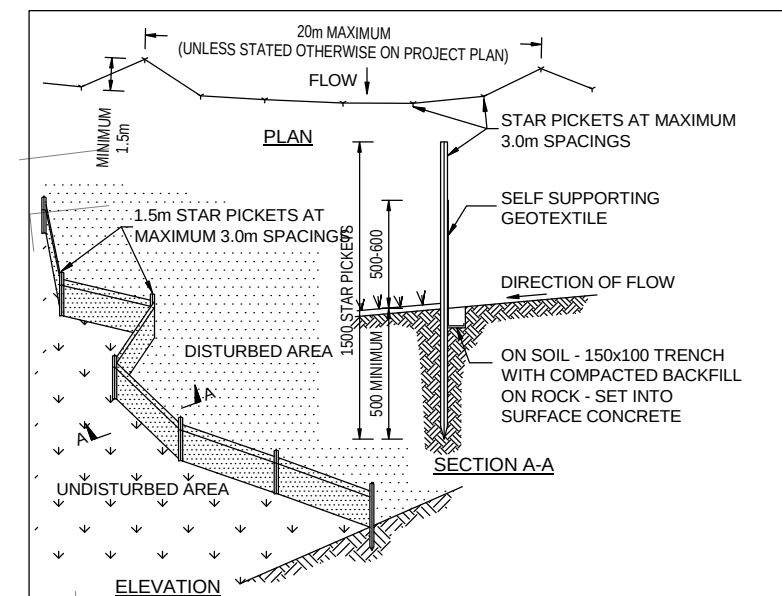
STORMWATER MANAGEMENT PLAN

SCALE 1:250



SITE WORKS PLAN

SCALE 1:250



Construction Notes

1. Construct sediment fence as close as possible to parallel with the contours of the site.
2. Drive 1.5m long star pickets into ground, 3.0m apart.
3. Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
4. Backfill trench over base of fabric.
5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
6. Join sections of fabric at support posts with a 150mm overlap.

SEDIMENT FENCE

- AREA TO BE CUT

BATTER AREAS

RETAINING WALL

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SCALE 1:100



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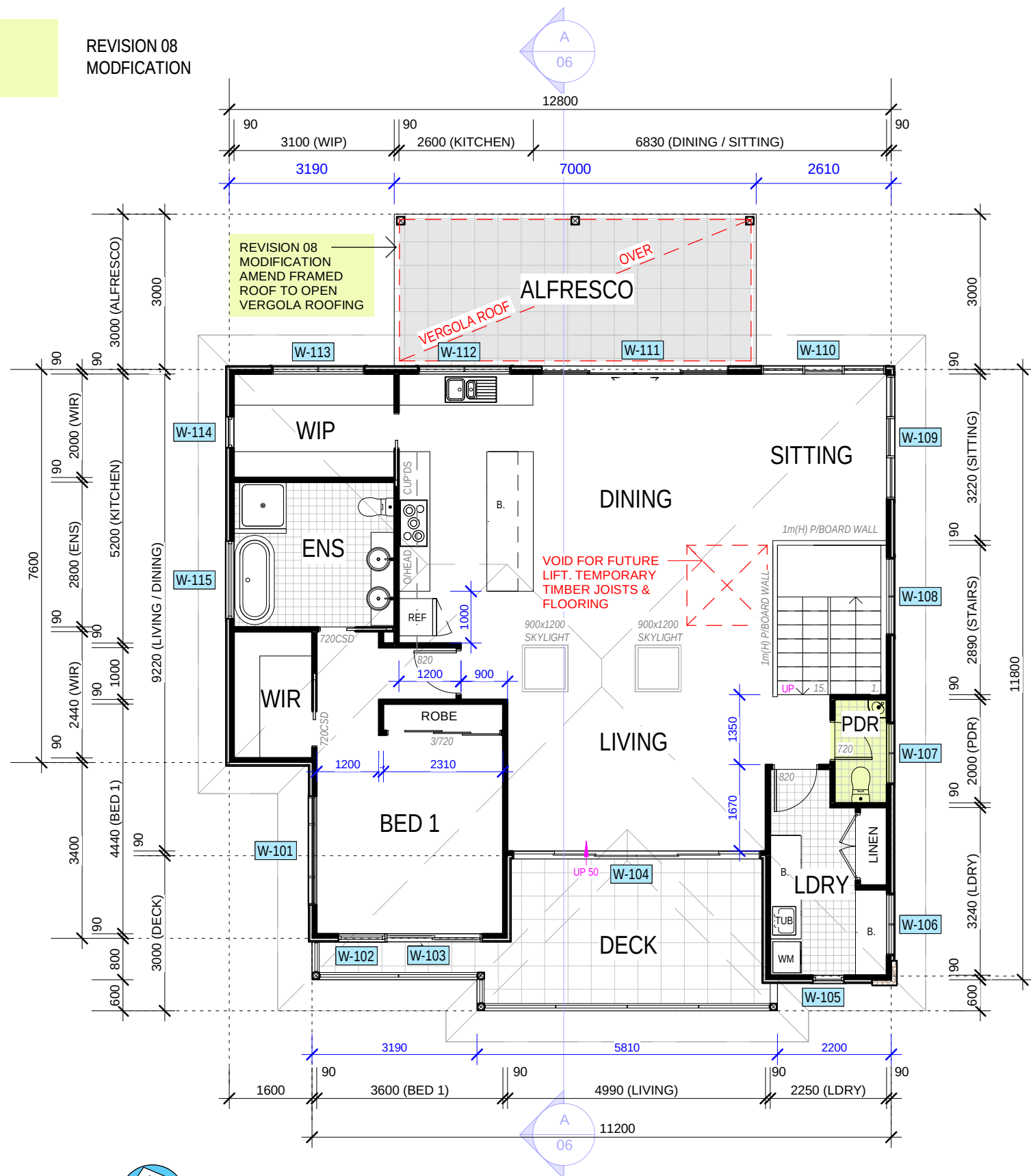
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REVISION 08
MODIFICATION



UPPER FLOOR PLAN

SCALE 1:100

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SHEET

04

WINDOW SCHEDULE

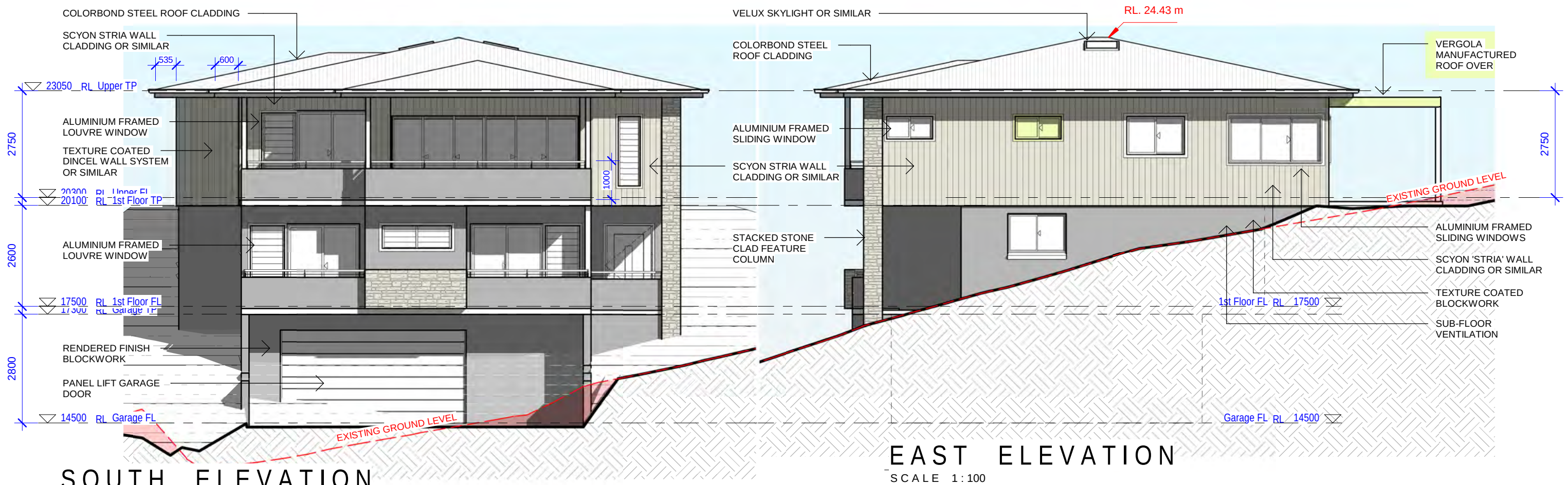
No.	Location	Height	Width	Hd Height	Description	Frame Material	Glazing	Area
01	ENS	900	600	2100	SLIDING WINDOW	ALUMINIUM	OBSCURE - SAFETY	0.54
02	BED 2	1200	2100	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	2.52
03	BED 3	600	2100	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	1.26
04	BED 3	2000	900	2100	LOUVRE WINDOW	ALUMINIUM	CLEAR - SAFETY	1.80
05	BED 3	2100	1800	2100	SLIDING GLASS DOOR	ALUMINIUM	CLEAR - SAFETY	3.78
06	BATH	600	1800	2100	SLIDING WINDOW	ALUMINIUM	OBSCURE - SAFETY	1.08
07	BED 4	2100	1800	2100	SLIDING GLASS DOOR	ALUMINIUM	CLEAR - SAFETY	3.78
08	BED 4	2000	900	2100	LOUVRE WINDOW	ALUMINIUM	CLEAR - SAFETY	1.80
09	ENTRY	1000	1500	2400	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	1.50
101	BED 1	600	2100	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	1.26
102	BED 1	2100	900	2190	LOUVRE WINDOW	ALUMINIUM	CLEAR - SAFETY	1.89
103	BED 1	2100	1800	2200	SLIDING GLASS DOOR	ALUMINIUM	CLEAR - SAFETY	3.78
104	LIVING	2100	4800	2100	STACKING SLIDING DOOR	ALUMINIUM	CLEAR - SAFETY	10.08
105	LDY	1800	600	2100	LOUVRE WINDOW	ALUMINIUM	CLEAR - SAFETY	1.08
106	LDY	600	1200	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	0.72
107	PDR	600	1200	2100	SLIDING WINDOW	ALUMINIUM	OBSCURE - SINGLE	0.72
108	STAIRS	1000	1500	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	1.50
109	SITTING	1200	2400	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	2.88
110	SITTING	1200	2400	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	2.88
111	DINING	2100	3600	2100	DOUBLE SLIDING GLASS DOOR	ALUMINIUM	CLEAR - SAFETY	7.56
112	KITCHEN	1200	1800	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	2.16
113	WIP	1200	1800	2100	SLIDING WINDOW	ALUMINIUM	CLEAR - SINGLE	2.16
114	WIP	1800	600	1900	LOUVRE WINDOW	ALUMINIUM	CLEAR - SAFETY	1.08
115	ENS	600	1500	2100	AWNING WINDOW	ALUMINIUM	OBSCURE - SAFETY	0.90

DWELLING AREAS

Name	Area
Garage Floor Area	95.92 m ²
First Floor Area	114.80 m ²
First Floor Balconies	6.38 m ²
Entry Porch	5.07 m ²
Upper Floor Area	122.96 m ²
Upper Verandah Area	18.49 m ²
Rear Alfresco Area	21.00 m ²
Grand total	384.62 m ²

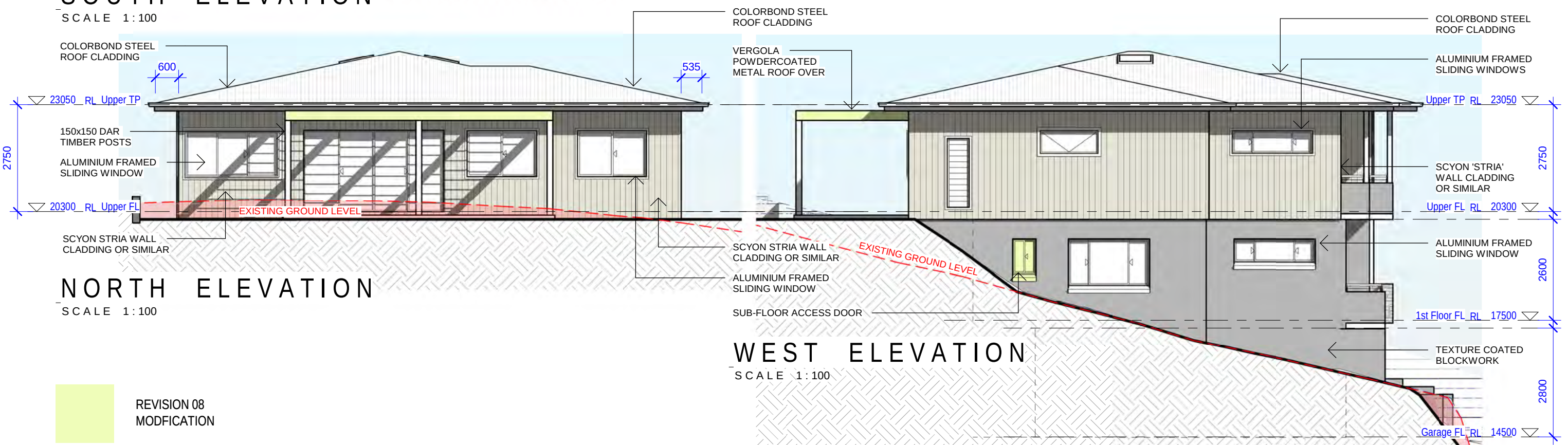
AREAS (BASIX)

Name	Area
Conditioned Floor Area	194.81 m ²
Unconditioned Floor Area	14.12 m ²
Garage Floor Area	79.24 m ²
Total Roof Area	181.65 m ²
Total Site Area	843.20 m ²



SOUTH ELEVATION
SCALE 1:100

EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

WEST ELEVATION
SCALE 1:100

REVISION 08
MODIFICATION

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NatHERS STAMP (if applicable)

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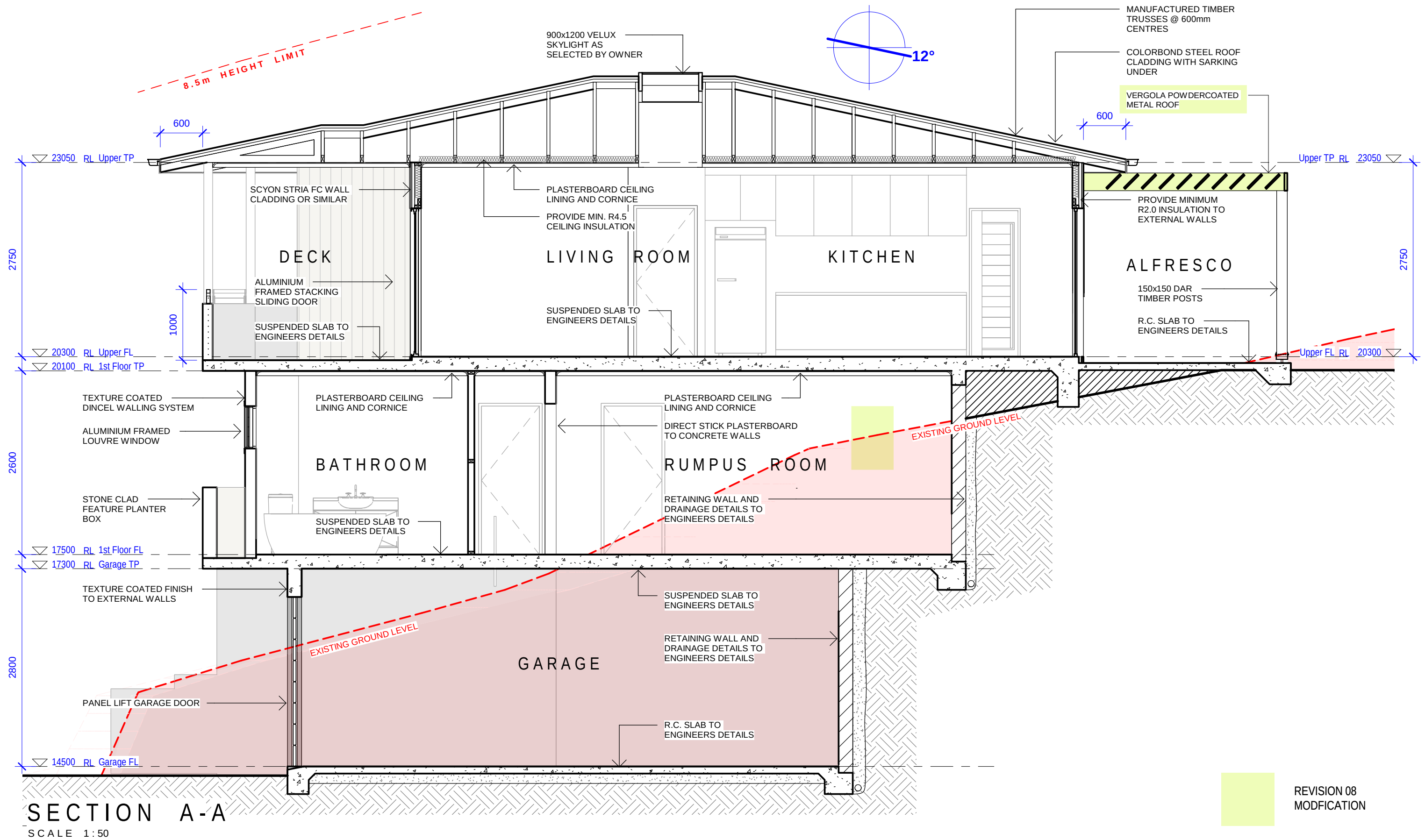
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NEWPORT**

CLIENT: **J. & J. SHANAHAN**

Scale	1:100	Revision
Drawn by	RDM	08
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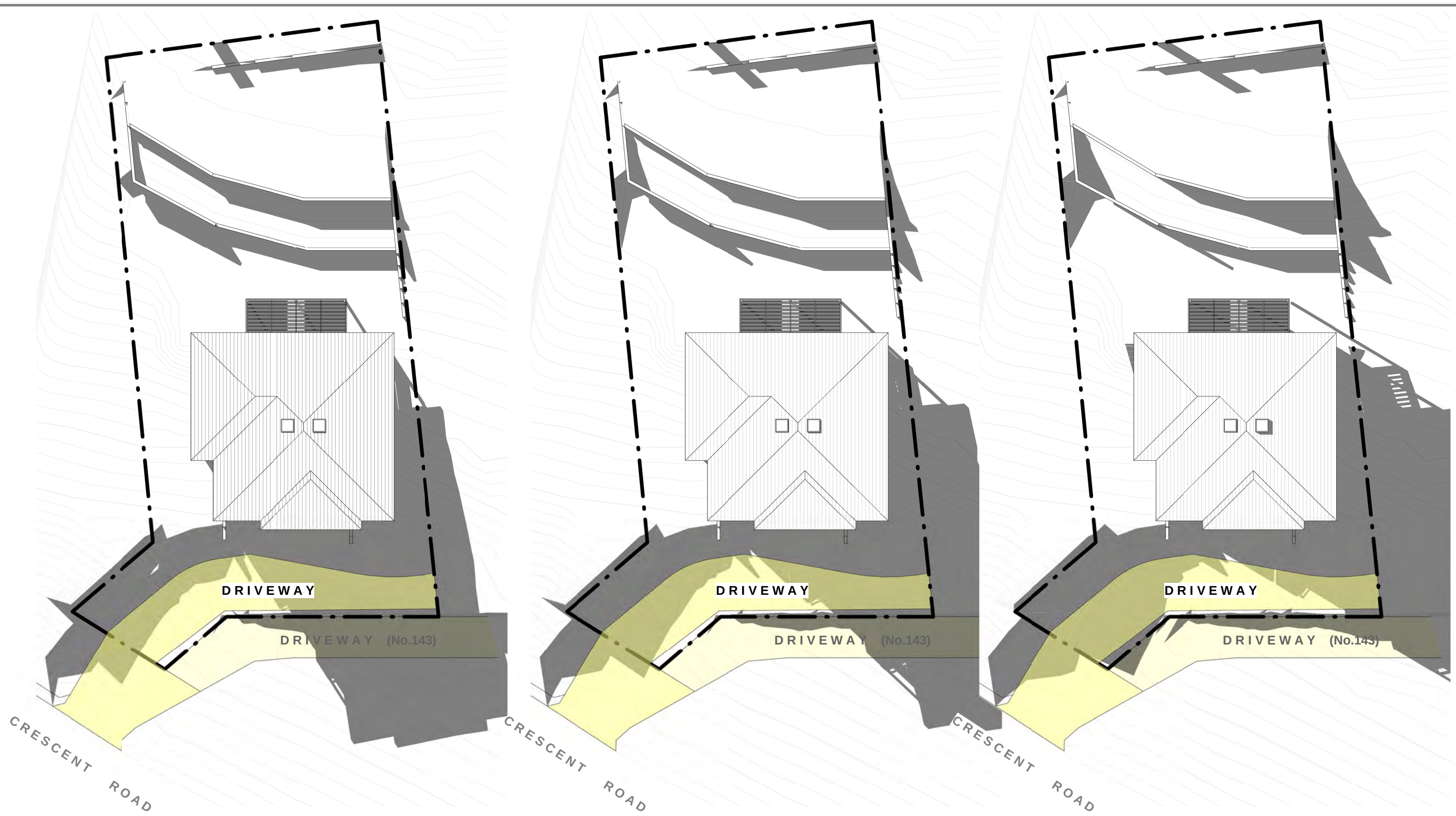
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SHEET 07



SHADOW DIAGRAM June 22 1pm
SCALE 1 : 250



SHADOW DIAGRAM June 22 2pm
SCALE 1 : 250



SHADOW DIAGRAM June 22 3pm
SCALE 1 : 250

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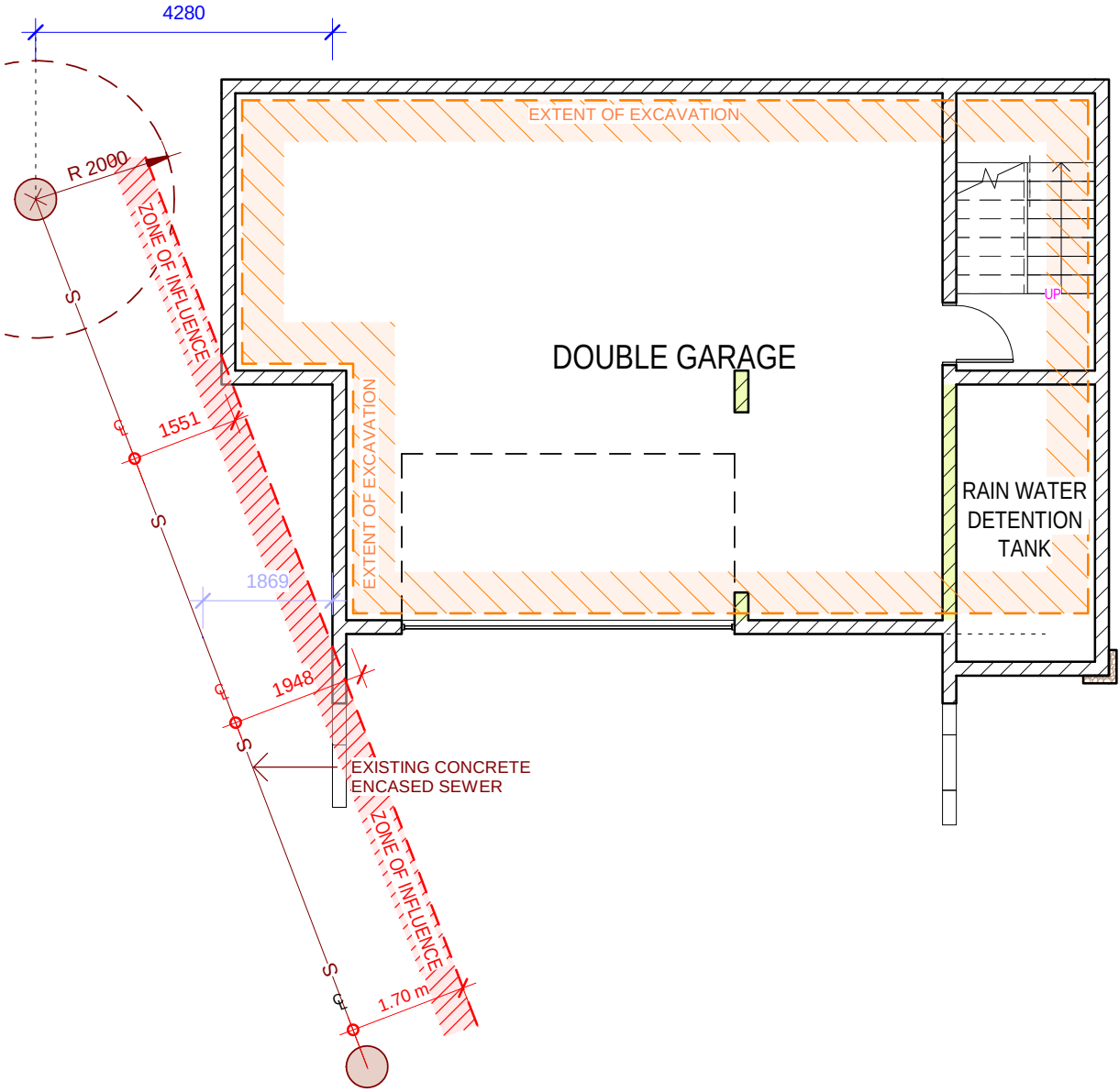
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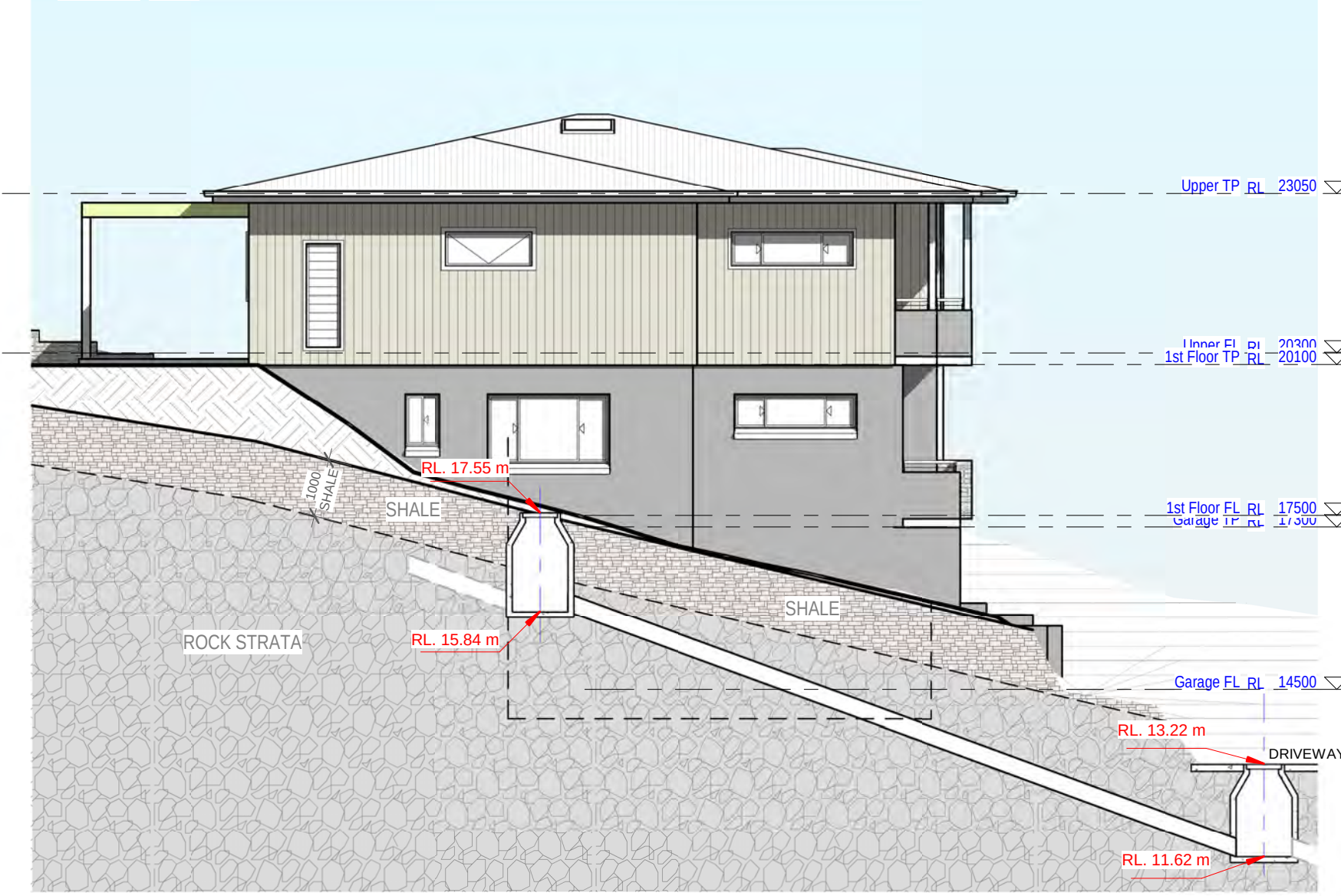
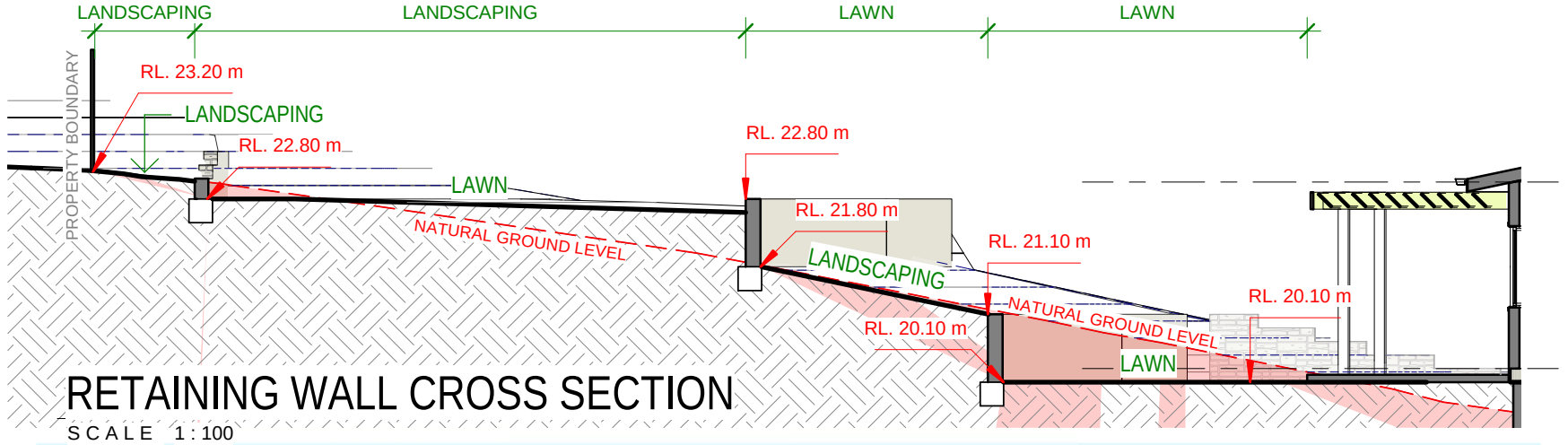
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REVISION 08
MODIFICATION



LOWER FLOOR / SEWER MAIN PROXIMITY PLAN
SCALE 1:100



SEWER LONG SECTION
SCALE 1:100

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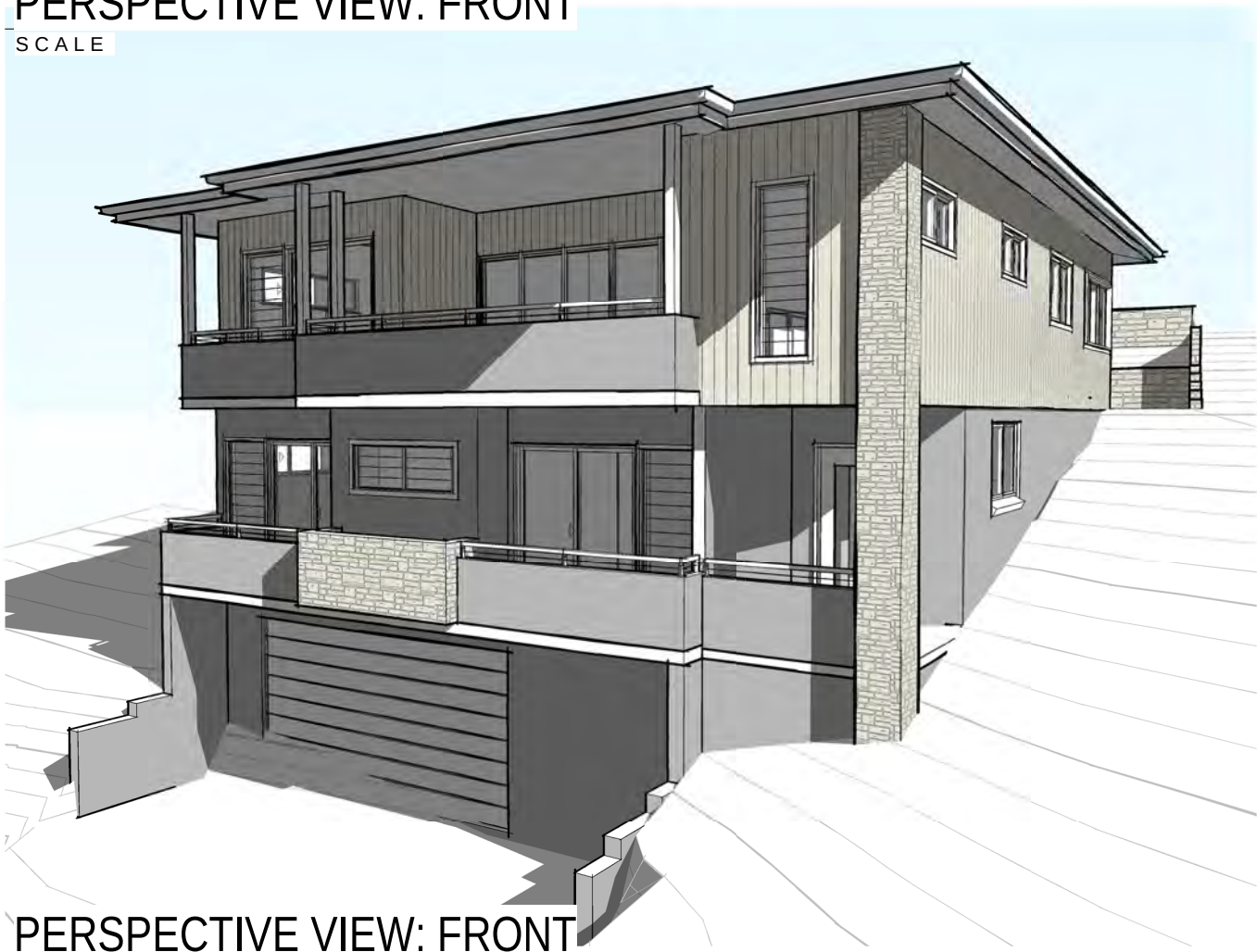
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PERSPECTIVE VIEW: FRONT

SCALE



PERSPECTIVE VIEW: FRONT

SCALE

SCHEDULE OF FINISHES

SCALE 1:100



ROOFING & GUTTERING:
COLORBOND
"WOODLAND GREY"



EXTERIOR WALLS:
WEATHERTEX FC SHEET
PAINTED FINISH
HAYMES "DARK MOSS"



FEATURE WALL:
SCYON 'STRIA' FC SHEET
PAINTED FINISH
HAYMES "WATER GREY"



WINDOWS:
POWDERCOATED ALUMINIUM
WHITE



GARAGE DOOR:
COLORBOND "GULLY"



DRIVEWAY:
GREY CONCRETE

LEGEND

820	820mm DOOR
2/720	2 x 720mm DOORS
REF.	REFRIGERATOR SPACE
WM	WASHING MACHINE SPACE
TUB	LAUNDRY TUB
B.	BENCH
(ST)	SOLAR TUBE SKYLIGHT
SD	SMOKE ALARM

NatHERS RATING (if applicable)

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