

Accredited Certifiers

building peace of mind

DEVELOPMENT APPROVALS
CONSTRUCTION CERTIFICATES
STRATA CERTIFICATES
PRINCIPAL CERTIFYING AUTHORITY
FIRE SAFETY SOLUTIONS
COUNCIL MEDIATIONS & SOLUTIONS

5 FEB 2009
PITTWATER COUNCIL

Building site address 6 The Boulevard Newport

Reference No **09/014 CC1**

REGISTRATION OF CONSTRUCTION CERTIFICATE WITH COUNCIL

Date	2/02/09 (forwarded 2 days of determination)	Pages	4 + supporting documents
To	Building and Development	From	Michael Ludlow
Council	Pittwater Council	Company	Accredited Certifiers
Fax	9970 7150	Phone	02 8338 1961
Address	PO Box 882 Mona Vale 1660	Fax	02 8338 1971

DETAILS OF DEVELOPMENT

Full Property Address 6 The Boulevard Newport

Proposed works Alterations to an existing dwelling including a second storey and garage

DA no 0469/08 **Determination Date** 17 December 2009

COUNCIL FEES (Note In addition to the following fees, a separate \$30 cheque is also attached for registering the CC)

Long Service Levy at 0.35% cost of work	\$ Paid	Application for road opening	\$ n/a
Footpath or Council asset damage deposits	\$ Paid	s 94 contributions	\$ n/a
Landscape damage deposits	\$ n/a	Inspection fee for damage deposit	\$ n/a

Note find attached cheque or evidence in the following pages of the Council receipts in the **total amount** **\$ 30 00**

PURPOSE OF THE DOCUMENTS

As the certifying authority for the above mentioned development please register the following documents in accordance with the Environmental Planning and Assessment Regulation 2000 – Section 142

- 1 The Construction Certificate (refer Page 2)
- 2 Mandatory inspection process (refer Page 3)
- 3 Application Forms Construction Certificate and Principal Certifying Authority Service Agreement (Pages 1-11)
- 4 The Notice of Commencement to start building work and appointment of the Principal Certifying Authority (refer Page 11 of Application Forms)
- 5 The plans which relate to the Construction Certificate
- 6 Any specification
- 7 Any other documents that were lodged with the Construction Certificate application
- 8 Any required Council record keeping fee for the lodgement of the Construction Certificate

REC 253952
5/2/09

REQUEST FOR DISPUTE RESOLUTION

If any dispute arises as a result of the building work kindly phone us with your concern on 02 8338 1961. Importantly, please ensure you include the complainant's contact phone number, mobile, fax and any other contact information. We will do all we can as the principal certifying authority to resolve the issue.

Develop yourself
service@accreditedcertifiers.com
www.accreditedcertifiers.com

PO Box 6397
Alexandria NSW 1435
ABN 69 115 083 228

Customer Service
ph 02 8338 1961
fax 02 8338 1971

CONSTRUCTION CERTIFICATE

This certificate verifies that if the applicant carries out the proposed work in accordance with the plans and specifications that are approved the work will comply with the Environmental Planning and Assessment Regulation 2000

Determination Approved ☒ without conditions ☐ With conditions attached (*tick as appropriate*)

DEVELOPMENT DETAILS

Full Address 6 The Boulevard Newport

Proposed works Alterations to an existing dwelling including a second storey and garage

Type of work Building work

Development Consent No 0469/08 **Determination date** 17 December 2009

Construction Certificate No 09/014 CC1 **Class/s of building** 10a 1a

DOCUMENTATION FORMING PART OF THE CONSTRUCTION CERTIFICATE

- 1 Plans/Specifications as stamped by Council and this office and relating to DA No 0469/08
- 2 The development consent 0469/08 and conditions of the development consent
- 3 The documents submitted with the application for construction certificate

CERTIFICATE

I certify that the work if completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as are referred to in section 81A(5) of the Act

Certifying Authority Michael Ludlow
Contact Details Phone (02) 8338 1961 Fax (02) 8338 1971
Address PO Box 6397 ALEXANDRIA NSW 1435
Accreditation no BPB0236

Signature ►



Determination date 2/02/09

IMPORTANT NOTICES

- 1 This construction certificate is only valid for work done after to the issue of this construction certificate
- 2 A building certificate will need to be obtained from Council for any building work done prior to the issue of this construction certificate
- 3 Any proposed changes from the development consent approved plans may require a s 96 modification to the consent
- 4 The building must not be occupied unless an occupation certificate has been obtained from this office

Project address: 6 The Boulevard Newport

Reference No: 09/014 CC1

MANDATORY INSPECTION PROCESS

Responsible person	Required Action	Required time frame
Person with the benefit of consent.	Appoint PCA and notify them of principal contractor/owner builder details.	At least 2 days prior to work commencing.
PCA.	Notify Council of PCA appointment.	At least 2 days prior to building work commencing.
PCA.	Notify person with benefit of consent of applicable mandatory inspections.	At least 2 days prior to building work commencing.
Person with the benefit of consent.	Notify principal contractor of applicable mandatory inspections.	Prior to building work commencing.
Owner builder/principal contractor	Notify PCA of individual mandatory inspections and provide access on site.	48 hours prior to the required inspection.
PCA .or other certifying authority with the agreement of the PCA (PCA must do final inspection.	Undertake mandatory inspections And make record.	No time frame for inspections. Record made ASAP after inspection and kept for 15 years.
Certifying Authority (where PCA does not do inspection)	Forward record of inspection to PCA.	"Forthwith" after inspection.
PCA.	Compile and maintain record of inspections.	Record must be kept for 15 years.
PCA.	Issue occupation certificate to person with the benefit of the consent.	When satisfied that requirements of s.109H have been met.
PCA.	Forward copy of occupation certificate including record of inspections to council.	Within 7 days of date of Determination.

Reference No

09/014 CC1

APPLICATION FOR OCCUPATION CERTIFICATE

Owner	Robert Stokes	From	Michael Ludlow
Builder	BJP Architects	Company	Accredited Certifiers
Our ref	09/014 CC1	Ph	02 8338 1961
DA No	0469/0802 9974 3205	Fax	02 8338 1971
Council	Pittwater	Mobile	0404 879 835

DETAILS OF DEVELOPMENT

Full Property Address	6 The Boulevard Newport		
Proposed works	Alterations to an existing dwelling including a second storey and garage		
Type of work	Building		
Development Consent No	0469/08	Determination date	17 December 2009

TYPE OF CERTIFICATE REQUIRED

If you want to occupy or use a new building you need an occupation certificate to do so
Nominate which certificate you require

- ☐ **Interim occupation certificate**
We must be satisfied that the building is not a hazard to the health or safety of the occupants of the building
- ☐ **Final occupation certificate**

FINAL OCCUPATION CERTIFICATE REQUIREMENTS

Submit all supporting documents relating to the following and then tick the left hand column when it has been complied with

▼ <i>Tick when complied with</i>	<i>We are also satisfied</i> ▼
☐ Mandatory inspections (refer to schedule 1 of the principal certifying service agreement)	☐
☐ Compliance with the development consent and the conditions of development consent	☐
☐ Compliance with the Building Code of Australia	☐
☐ Adherence to the principal certifying authority service agreement	☐
☐ Construction of the building work in accordance with the plans which relate to the construction certificate	☐
☐ Where relevant a BASIX certificate has been complied with	☐

DATE OF RECEIPT (to be completed by us)

____ / ____ / ____

Accredited Certifiers

building peace of mind

Ph 8338 1961

ABN 69 115 083 228

DEVELOPMENT APPROVALS
CONSTRUCTION CERTIFICATES
STRATA CERTIFICATES
PRINCIPAL CERTIFYING AUTHORITY
FIRE SAFETY SOLUTIONS
COUNCIL MEDIATIONS & SOLUTIONS

Building site address

6 The Boulevard Newport

Reference no

09/1014

APPLICATION FORMS· CONSTRUCTION CERTIFICATE & PCA

RESIDENTIAL

From	Customer Service	Pages	11 (including this one)
Re	Professional certification requirements	Ph	02 8338 1961
Company	Accredited Certifiers	Fax	02 8338 1971

CHECKLIST CONSTRUCTION CERTIFICATE REQUIREMENTS

To minimise delay in receiving a decision about your application ensure you submit all relevant information. Importantly if you do not understand a requirement please do not ignore it. Refer to the notes attached to the construction certificate which detail the requirements or call the office and we will assist you. We are here to help you.

- ☒ **Development consent**
 - Provide 1 copy of the DA and all the attached conditions
 - Provide 1 copy of the stamped DA plans issued by the Council
- ☒ **Owner's Consent** application for construction certificate (**► OWNER/S TO SIGN on page 2**)
- ☒ **Plans** Provide 3 copies of architectural and 3 copies of structural engineering drawings signed and dated
NOTE WE ALSO REQUIRE ALL PLANS SUBMITTED BY EMAIL AS ATTACHED PDF DOCUMENT
- ☒ **Coloured plans**
Plans must be coloured to distinguish proposed work from any existing building work on the land
- ☒ **Specifications** Provide 3 copies of the specifications
- ☒ **Building Code of Australia has been complied with**
The plans and specifications must comply with the Building Code of Australia (BCA)
- ☒ **The development consent conditions have been complied with**
This relates to DA conditions requiring further information prior to the issue of the construction certificate
- ☒ **Payments** Please refer to the attached notes for the list of payments

CHECKLIST COMMENCEMENT OF BUILDING WORK

- ☒ **Principal Certifying Authority Service Agreement** (**► OWNER/S TO SIGN on page 8**)
The Principal Certifying Authority Service Agreement has been read and signed by all owner(s) of the land
- ☒ **Notice of Commencement to Start Building Work and Appointment of PCA** (**► OWNER/S TO SIGN pg 11**)
All owner(s) of the land must sign the Notice of commencement to start building work and appointment of the PCA
- ☒ **The development consent conditions have been complied with**
This relates to DA conditions requiring further information prior to commencing building work
- ☒ **Insurances** Please refer to the attached notes for Home Owners Warranty or Owner Builder permit requirements

Reference no

1

APPLICATION FOR CONSTRUCTION CERTIFICATE

Full Property Address 6 THE BOULEVARDE, NEWPORT NSW 2106

Council area PITTWATER

Development approval / Complying Development details

Proposed works Demolition of existing garage & carport & construction of second storey addition and carport

Type of work Building work Cost of building work \$358,853 As indicated on the DA

DA no NO 469/08 Determination date 17/12/2008

CONTACT

Name BJP Architects Pty Ltd

Postal Address 1012 Barrenjoey Road, PALM BEACH NSW 2108

Phone (02) 9974 3205 Mobile 0439 483 997

Fax Email arkhouse@bigpond.com

Signature



Dated

Owner/s consent I confirm I have provided you the correct and full set of Council DA stamped drawings

- Every owner of the land must sign this application
- If the owner is a company this form must be signed by an authorised director of the company
- If the property is a unit under strata title or a lot in a community title this form must be signed by the chairman or the secretary of the Body Corporate or the appointed managing agent
- If you are signing on the owner's behalf as the owner's legal representative you must state the nature of your legal authority and attach documentary evidence (e.g. power of attorney, executor, trustee, company director, etc.)

I/We confirm that I am / we are the owner(s) of the above Property I/We

a. Consent to this application and any future amendments in relation to this application

b. Consent to appoint the Tenant, the contractors and consultants who are employed/contracted or commissioned to carry out the proposed building work as the Owner's agent to issue Fire Safety Certificates (as required under the Environmental Planning and Assessment Regulations 2000)

Name ROBERT STOKES

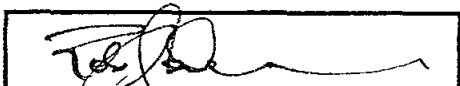
Address

6 THE BOULEVARDE
NEWPORT NSW 2106

Phone

0447 610 239

Signature



Date

21 01 09

Name

SOPHIE STOKES

Address

6 THE BOULEVARDE
NEWPORT NSW 2106

Phone

0410 645 729

Signature



Date

21 01 09

Reference no

/

Notes for completing construction certificate requirements – explanations and how to obtain the requirement**1 Development consent**

- The development consent is the document you obtain from Council. You should phone Council first before going there and ask them exactly what you need to do before you collect the documents or they may post them to you.
- You must also provide us with (1) copy of all stamped plans, specifications, reports, certificates and other documents which will be necessary to completely inform us of the proposed works which have been approved.

2 Owner's consent

The attached application for construction certificate clearly details the Owner's consent requirements.

3 Plans (Architect)

detailed plans of the building (3 copies) which must be **consistent** with the Council DA stamped plans.

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any) and their height, design and construction.

4 Coloured plans (Architect)

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved by Council or this Office, please clearly mark the architectural general plan (by colour or otherwise) to show the change you propose to make.

5 Specifications (Architect)

detailed specifications of the building (3 copies)

The specifications are to

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

6 Building Code of Australia Compliance Your architect must demonstrate full compliance with the BCA.**7 Home Owners Warranty or Owner Builder Permit**

- Contact the Department of fair trading on 1300 554 668 or www.fairtrading.nsw.gov.au for requirements.

8 Development consent condition compliance (Normally done by the architect)

- All fees nominated on the development consent must be paid.
- Comply with the conditions which state: submit documents prior to the issue of the construction certificate.

9 Payments Please make the following payments prior to the issue of the construction certificate (owner to do)

long service levy to construct a building, unless

- a long service levy has already been paid for the building
- the cost of construction is less than \$25 000

Section 61 payments (owner to do)

- required by City of Sydney (for projects with cost of work over \$200 000)

Any payments required under development consent conditions (owner to do)

- Eg Footpath damage deposit, s 94 contributions, landscape protection bonds etc.

Accredited Certifiers Professional Certification fee (owner to do)

- Please make full payment by one of the methods nominated on the attached tax invoice.
- If we need to become involved in conflicts resulting from neighbours or the council - further fees will be incurred.

Reference no

1

SCHEDULE 2 AUSTRALIAN BUREAU OF STATISTICS FORM

Please complete this schedule The information will be sent to the Australian Bureau of Statistics

All new buildings

Please complete the following

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

2

270 m²

556 m²

Residential buildings only

Please complete the following details on residential structures

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

1

1

—

Yes ☒ No ☒

Yes ☒ No ☐

Yes ☐ No ☒

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s)

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☒ 20	Timber	☒ 40
Brick (veneer)	☒ 12	Concrete or slate	☐ 20	Timber	☒ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☒ 60	Not specified	☐ 90	Other	☐ 80
Timber	☒ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

END OF CONSTRUCTION CERTIFICATE APPLICATION

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact us if the information you have provided in your application is incorrect or changes.

Reference no

/

Principal Certifying Authority Service Agreement

Issued under the Environmental Planning and Assessment Act 1979 Section 81A

What is this form?

This is a service agreement to be completed where Accredited Certifiers Pty Ltd are appointed as the Principal Certifying Authority (the PCA) in accordance with section 81 A of the Environmental Planning and Assessment Act 1979 to carry out nominated inspections of the building works and to issue required final Occupation Certificates

When is this form required?

This agreement must be submitted with Accredited Certifiers Pty Ltd at the Notice of Commencement to start building work and before work commences

Who signs this form?

All owner/s of the property must sign this form Consent is provided for Accredited Certifiers Officers to enter the site to carry out building inspections

Professional Certification fees

Professional Certification fees are payable upon appointment and the fees are detailed in Accredited Certifiers Pty Ltd adopted fees and charges which are consistent with the professional certification fees recommended by the Australian Institute of Building Surveyors

Customer Service

Phone customer service on (02) 9501 6616 between 8 30am – 5 00pm Monday to Friday for any assistance required

1

Site details

Full Address

6 The Boulevard, Newport NSW 2106

Council area

Pittwater

1.1

Development approval/Complying Development details

Proposed works

Demolition of existing garage + carpenter's construction of second storey addition and car port

Type of work

Building work

Development Consent No

NO 469/08

Determination date

17 December 2008

2

Owner details (to be completed by owner)

Full name/company name

As per page 2 of this document

Other owners name if any

As per page 2 of this document

Postal Address

As per page 2 of this document

Phone

As per page 2

Mobile

As per page 2

Fax

As per page 2

Email

As per page 2

Reference no

/

3 Builders details ☐ Unknown at this stage ☐ Owner builder – see p 2 or -

Full personal name Craig Poppleton

Company name Barrenjoey Constructions Pty Ltd

Postal Address 37 The Outlook, Bilgola Plateau 2107

Phone (02) 9918 0531 Mobile 0410 425 598

Fax (02) 9918 7258 Email _____

Contractor Licence No 13 744 5 C Owner Builder Permit No if owner builder _____

4 Appointment of Principal Certifying Authority ("P C A")

Name Michael Ludlow

Accreditation No BPB 0236

Phone 02 8388 1961 Fax 02 8338 1971

Mobile 0404 379 385 Email mludlow@accreditedcertifiers.com

Terms and Condition of Appointment

5 Quality of Service

- 5.1 In consideration of you paying us our fees we agree to undertake inspections of the work during construction to determine at the times of inspections any works required to be undertaken before work can commence to the next stage of construction. A written report will be provided by us on site and given to your builder who will be responsible for construction of the building with the Development Consent Construction Certificate Building Code of Australia and the relevant Australian Standards. Our inspection services will be carried out in a professional manner and in accordance with the Environmental Planning and Assessment Act 1979 (Act).

6 Building Inspections

(See Schedule 1)

- 6.1 We will complete the checklist contained in schedule 1 to determine which inspections will be required by either this office or an accredited structural engineer.
- 6.2 You acknowledge that building inspections are to be undertaken at critical phases of the building process and that work **must not** proceed beyond each phase until any requirements of the inspection are complied with.
- 6.3 You acknowledge that it is your responsibility under this Agreement to ensure that we are given not less than 48 hours notice (excluding weekends and public holidays) of when works are ready to be inspected.
- 6.4 As the acting PCA we may at any stage request you or your builder provide specialist reports plans specifications and certification of building materials processes or works. Additional documents we may request include engineer's plans engineering reports engineering certification Compliance Certificates and Fire Safety Certificates.
- 6.5 If you fail to call for an inspection required by the Development Consent conditions or this Agreement
- (a) we may terminate this Agreement without further notice to you or
 - (b) Penalty infringement Notices may be issued to you and/or your builder

6.6 PCA Transfer

In the event this office is required to transfer the PCA with the Building Professionals Board for any reason the client will co-operate with this procedure and allow the transfer of the PCA so we are able to complete our contract and properly issue an Occupation Certificate on the building providing the building complies with statutory requirements.

Reference no

/

7 Compliance with relevant legislation

7.1 You acknowledge that it is your responsibility (and that of your Builder or sub contractors) to ensure that you comply with all relevant legislation consents and approvals relating to the subject development. These include but are not limited to the following Acts and Regulations:

- *The Environmental Planning and Assessment Act 1979*
- *The Contaminated Land Management Act 1997*
- *The Protection of the Environment Operations Act 1997*
- *The Local Government Act 1993*
- *The Roads Act 1993*
- *The Traffic Act 1909*

7.2 You agree to immediately disclose to us any known breach of any relevant legislation or matter that may require rectification or remediation.

7.3 In the event you fail to conduct works in accordance with relevant consents, approvals, legislation and the BCA, we may refuse to issue an Occupation Certificate. We may also serve on you notices and orders with respect to your non-compliance and/or may institute legal proceedings with respect to any such breach.

7.4 All plans as submitted for the construction certificate are a true copy of the development consent plans. All documents in their entirety as forming part of the development consent have been submitted as part of the construction certificate.

8 Structural Engineering and other specialist details*(See Schedule 2)*

8.1 We will complete the checklist contained in schedule 2 to determine which specialist detail is required. The details and reports which have been nominated must be provided to us **prior to building work commencing**.

9 Compliance Certificates and Survey Reports*(See Schedule 3)*

9.1 We will complete the checklist contained in schedule 3 and provide a copy to you. The survey reports and compliance certificate which have been determined must be produced by surveyor registered under the *Surveyors Act 1929* or accredited under the *Professional Surveyors Occupational Association NSW Inc. Scheme*.

10 Compliance Certificates and other Certifications*(See Schedule 4)*

10.1 We will complete the checklist contained in schedule 4 and provide a copy to you. To ensure compliance with the Construction Certificate and BCA, you or your Builder must provide certification to us (at the relevant states of construction) verifying that the specialist matters nominated in the checklist have been carried out in accordance with the relevant requirements of the BCA, Australian Standards, and this agreement.

10.2 Any delays in providing the required Compliance Certificates and/or other Certifications may result in delays in you obtaining your Occupation Certificate. Any delay in the issue of Occupation Certificates may then delay the signing of the linen plans of Strata or Torrens subdivision where such development forms part of the development consent. You acknowledge that it is your responsibility to supply all required certificates in a timely manner to enable us to process applications to occupy the building.

10.3 You acknowledge that certification must be prepared by a suitably qualified and experienced person and must reference the relevant provisions of the BCA and Australian Standards to the satisfaction of the PCA.

11 Occupation Certificate

11.1 You must obtain a final Occupation Certificate from us prior to the occupation or use of a new building (or part of a building) or prior to the change an existing building use/classification. Failure to obtain the required Occupation Certificate may result in you being penalised under the Act.

11.2 You may make an application to us for an interim or part Occupation Certificate if you would like to temporarily occupy the building. You must pay additional fees as agreed and comply with the development consent conditions demonstrate the building is safe for occupation to the satisfaction of the PCA.

Reference no

1

12 Insurance

- 12 1 You must take out and maintain or ensure that the builder takes out and maintains valid public liability insurance cover with respect to the Land/Property to the value of \$10 000 000 00
- 12 2 You must provide us with certificates of currency with respect to such insurance before commencing work

13 Competent persons

- 13 1 You shall use competent persons for all aspects of the building works. Competent people means people authorised to carry out any work associated with Building Works under the Act and includes contractors

14 Conflict resolution

- 13 1 You acknowledge that you will co operate with our instructions within the time periods provided with respect to any concerns from neighbouring property owners the Local Council or any other public person

15 Service Agreement variations

- 15 1 The PCA is entitled to require additional certification fees if any of the following occurs
- (a) If the building works do not commence within 60 days from the date of this agreement
 - (b) any part of the building works are redesigned
 - (c) more construction certificates and or complying development certificates and/or occupation certificates are required to be issued in addition to those agreed to be issued in this agreement
 - (d) any conflicts occur as a result of the building work and which require our involvement
- any notice of order required to be issued by the PCA

16 Service Agreement Termination

- 16 1 This agreement shall be terminated should any one of the following occur
- (a) The client fails to pay any money owing to the PCA after 7 days of that money becoming payable
 - (b) The client has an execution levied against it assigns or attempts to assign its estate for the benefit of its creditors has a winding up order made against it goes into liquidation has a Mortgagee taking possession of its property has a liquidator appointed becomes insolvent or bankrupt
 - (c) The client breaches this service agreement in any respect
 - (d) The client does not provide Accredited Certifiers Pty Ltd with the required information to issue the Occupation Certificate within 60 days from the date of practical completion
 - (e) The building works take longer than (1) one year to complete from the date of this service agreement
 - (f) The client does not co operate with any written instructions provided by the PCA
- 16 2 The PCA may terminate this service agreement by sending a written notice of termination stating the breaches to the client. Termination will take effect as soon as the client receives the Notice of Termination
- 16 3 As from the date of the last inspection carried out on the building site by the PCA the client indemnifies the PCA for any liabilities including but not limited to professional liability and public liability

Executed as an Agreement

Must be signed by all owners of the land. If the owner is a company it must be signed by a director or secretary under common seal.

I/We agree to the appointment of the Principal Certifying Authority. I/We also consent to the authorised officers of Accredited Certifiers Pty Ltd to enter the property/Land to carry out inspections.

Owner/s

Signature/s ►



Name/s

ROB & SOPHIE STOKES

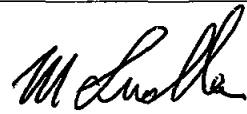
Name/s

Date

20 1 09

PCA

Signature



Name

Accredited Certifiers Pty Ltd

Date

2/2/09

Reference no /

Note The following schedules 1-4 will be completed by Accredited Certifiers and returned to you

Schedule 1
(Clause 10)

PCA Inspections

The following stages of construction must be inspected by us prior to proceeding to the next stage of construction or covering up the works required to be inspected (if marked with a √)

☒	Pre-commencement
☒	Foundations/footings
☒	Steel reinforcement
☒	Timber Frame
☒	Waterproofing of wet areas
☒	Hydraulics
☒	Final

Accredited Structural Engineer inspections

The following stages of construction must be inspected by an Accredited Structural Engineer prior to proceeding to the next stage of construction or covering up the works required to be inspected (if √)

☐	Pre-commencement
☐	Foundation/footing
☐	Steel reinforcement
☐	Roof timbers
☐	Waterproofing of wet areas
☐	Hydraulics
☐	Final

Accredited Structural Engineers details

An Accredited structural engineer is permitted to do inspections instead of the PCA providing he forwards his details as requested below before building work commences

Full personal name		
Company name		
Postal Address		
Phone		Mobile
Fax		Email
Accreditation no		

Schedule 2
(Clause 13)

Pre – Commencement documents

The following details (if marked with a √) must be forwarded to us prior to the commencement of construction, to confirm with us your compliance with the relevant provisions of the BCA and Australian Standards

☐	Dilapidation report	☐	Details of fire resisting construction
☐	Site management plan	☐	Sound transmission and insulation details
☐	Sediment control plan	☐	Acoustic engineers details
☐	Engineering details for shoring/underpinning	☐	Disabled access details
☐	Engineering details including all proposed elements	☐	Adaptable housing details
☐	Hydraulics details	☐	Mechanical ventilation details
☐	Sydney water notice of requirements	☐	Energy efficiency details
☐	Road/footpath and driveway details	☐	Swimming pool safety requirements

Reference no

/

Note The following schedules will be completed by Accredited Certifiers and returned to you

Schedule 3
(Clause 4)

Registered surveyors reports

To ensure that the height bulk area and location of the development complies with the Development Consent or Complying Development Certificate the following survey reports are required to be submitted to Accredited Certifiers

- | | |
|-------------------------------------|---|
| ☐ | Survey showing the setting out of the development including bearing and distances from boundaries |
| ☐ | Survey showing the height and location of the formwork for floors of the building works including any basements |
| ☒ | Survey showing the location of external walls new fences and retaining walls within 200mm of any boundary |
| ☒ | Survey showing the location of the ridge ^{Flux} level (highest point of the building) |
| ☐ | Survey showing the height (the reduced level) and location of the swimming pool coping before concrete pour |

Schedule 4
(Clause 14)

Final Compliance Verification

If Accredited Certifiers Pty Ltd are unable to inspect the following matters An Accredited Certifiers Officer will mark the following matter with a [x] to indicate a compliance certificate must be submitted from a competent person prior to the issue of an occupation certificate by this office confirming compliance with the BCA and relevant Australian Standards

- | | |
|-------------------------------------|---|
| ☒ | 3 1 3 Termite risk management |
| ☐ | 3 3 4 Weatherproofing of masonry |
| ☐ | 3 5 1 Roof cladding |
| ☐ | 3 5 2 Gutters and downpipes |
| ☒ | 3 5 3 Wall cladding |
| ☒ | 3 6 0 Glazing |
| ☐ | 3 7 1 Fire separation |
| ☒ | 3 7 2 Smoke alarms |
| ☐ | 3 7 3 Heating appliances |
| ☒ | 3 8 1 Wet area |
| ☐ | 3 8 3 Facilities |
| ☐ | 3 8 4 Light |
| ☐ | 3 8 6 Sound insulation |
| ☐ | 3 9 1 Stair construction |
| ☐ | 3 9 2 Balustrades |

Approved: P. H. Law Address: _____

Dated:

BJP/RSS/AO

BJP/RSS/A0
BJP/RSS/A1
BJP/RSS/A2
BJP/RSS/A3
BJP/RSS/A4
BJP/RSS/A5
BJP/RSS/A6
BJP/RSS/A7
BJP/RSS/A8
BJP/RSS/A9
BJP/RSS/A10
BJP/RSS/A11
BJP/RSS/A12

THE

11:200
UR
RK S

Dated: 02 JAN 2009

**Free verification on the
Accredited Certifiers
Ph: 02 8338 1961 Fax: 02 8338 1971
Construction Certificate**

d: Wendell

arkhouse@bigpond.com

Drawing B JP/RSS/A0

Prevailing sea breezes

BRICK HOUSE
TILE ROOF
No. 1

D.P.
348894
C

BRICK HOUSE
METAL ROOF
No. 6

Prevailing sea breezes

THE BOULEVARDE

DECEMBER 22 9AM

EXISTING HOUSE LOCATION
EXISTING SHADOWS

SITE PLAN
Scale 1:200@A3
Date 10 September 2008
BJP/RSS/A2

ROSS STREET

Widened Access

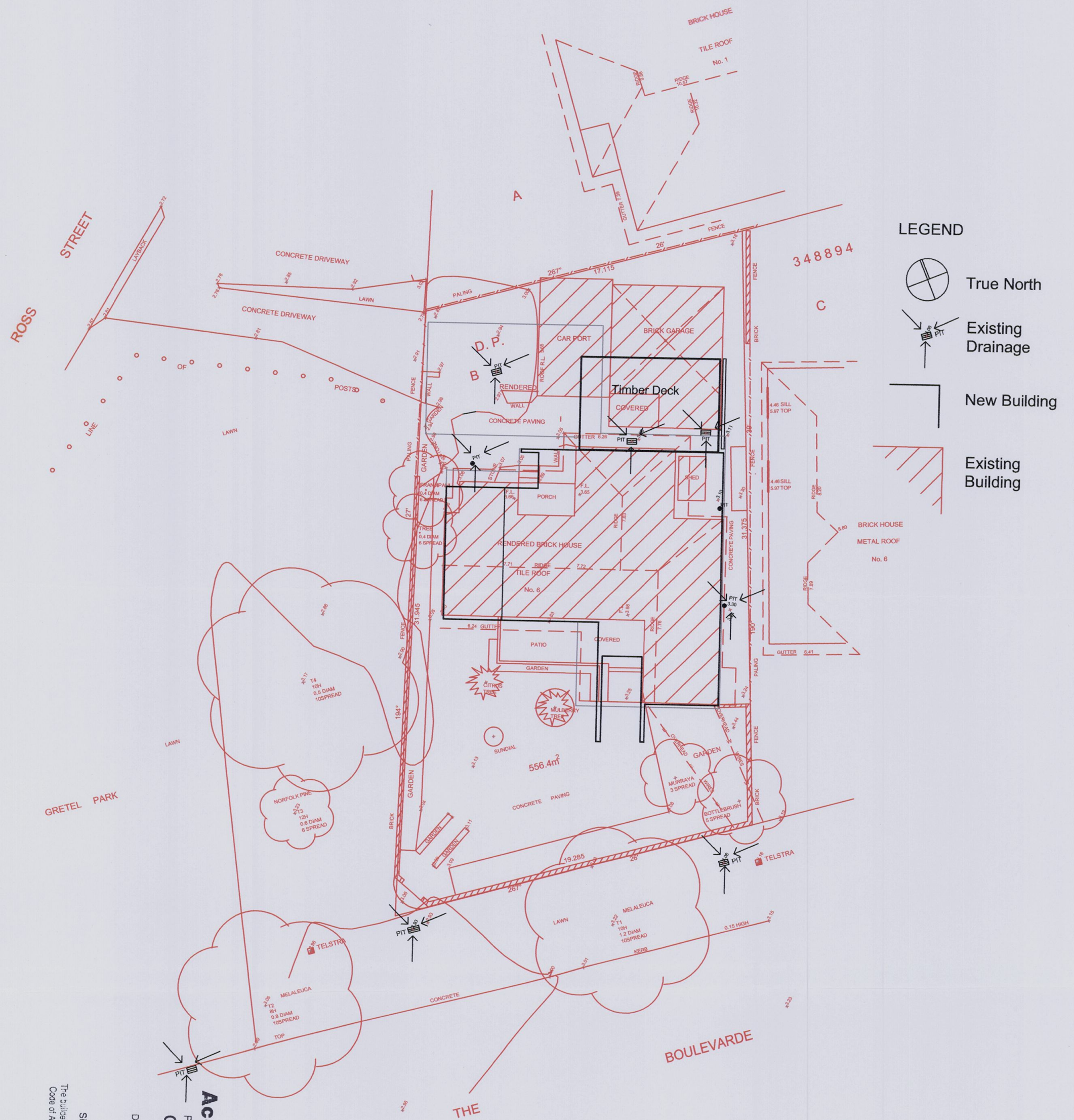
Park

Accredited Certifiers

Construction Certificate

Dated: 02 FEB 2009

Signed: *M. Muller*
The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions



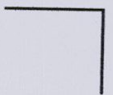
LEGEND



True North



Existing Drainage



New Building



Existing Building

Accredited Construction Certificate

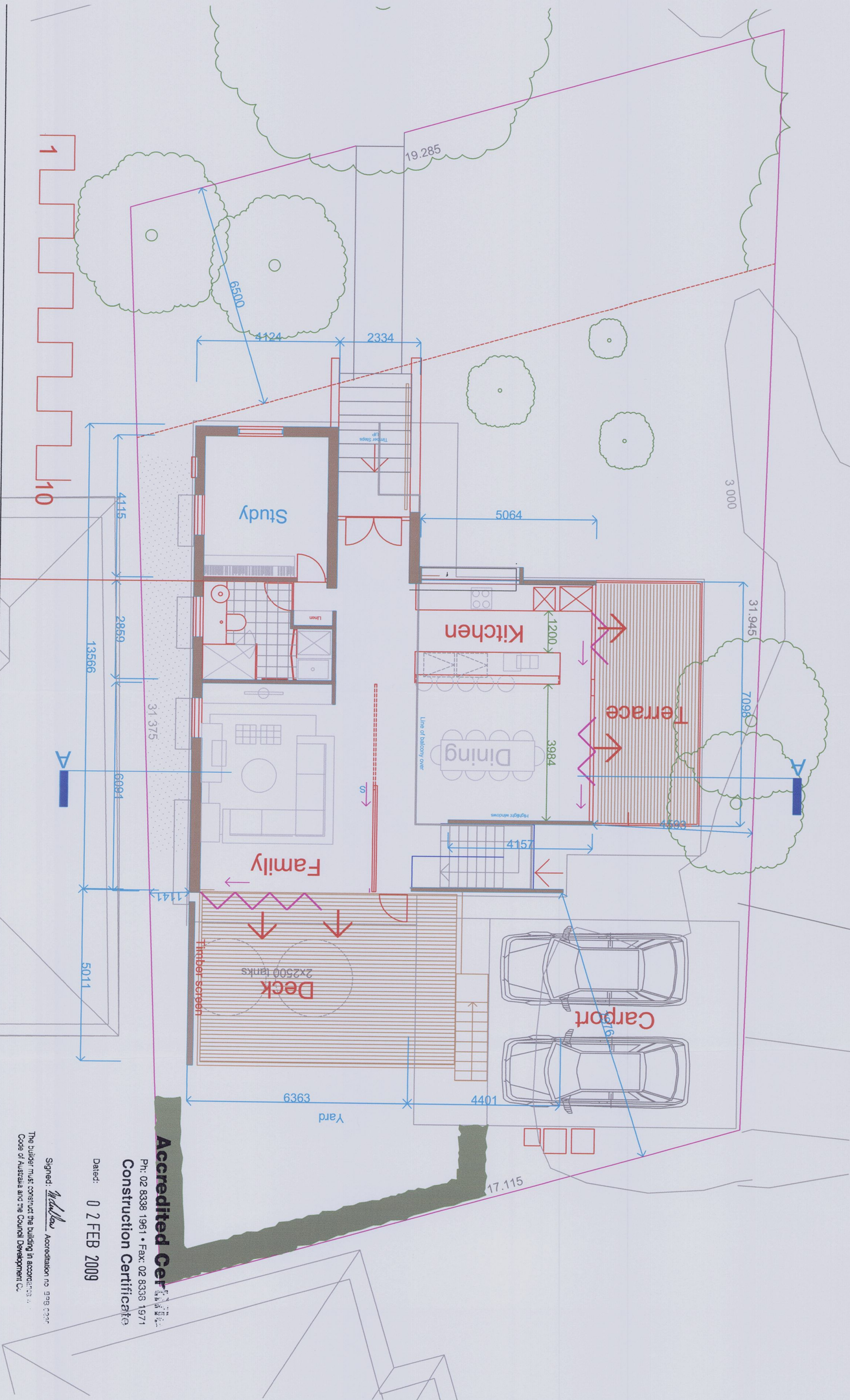
Ph: 02 8338 1961 • Fax: 02 8338 1571

Construction Certificate

Dated: 02 FEB 2009

Signed: *Michael* Accreditation no. BFB 0236

The builder must construct the building in accordance with the Building Code of Australia and the Council Development Control Regulations.



Accredited Construction Certificate
Ph: 02 8338 1961 • Fax: 02 8338 1971

Dated: 02 FEB 2009

Signed: *Matthew*
The builder must construct the building in accordance with the Code of Australia and the Council Development Co.

BJP Architects 0439483 997
arkhouse@bigpond.com

LIVING
Lot B DP348894

Scale 1:100@A3
Date 10 Sept 2008

Drawing BJP/RSS/A3



Stokes House #6 The Boulevard Newport 2106



BJP Architects 0439483 997
arkhouse@bigpond.com

Ph: 02 8338 1961 • Fax: 02 8335 1571
Construction Certificate

Dated: 02 FEB 2009

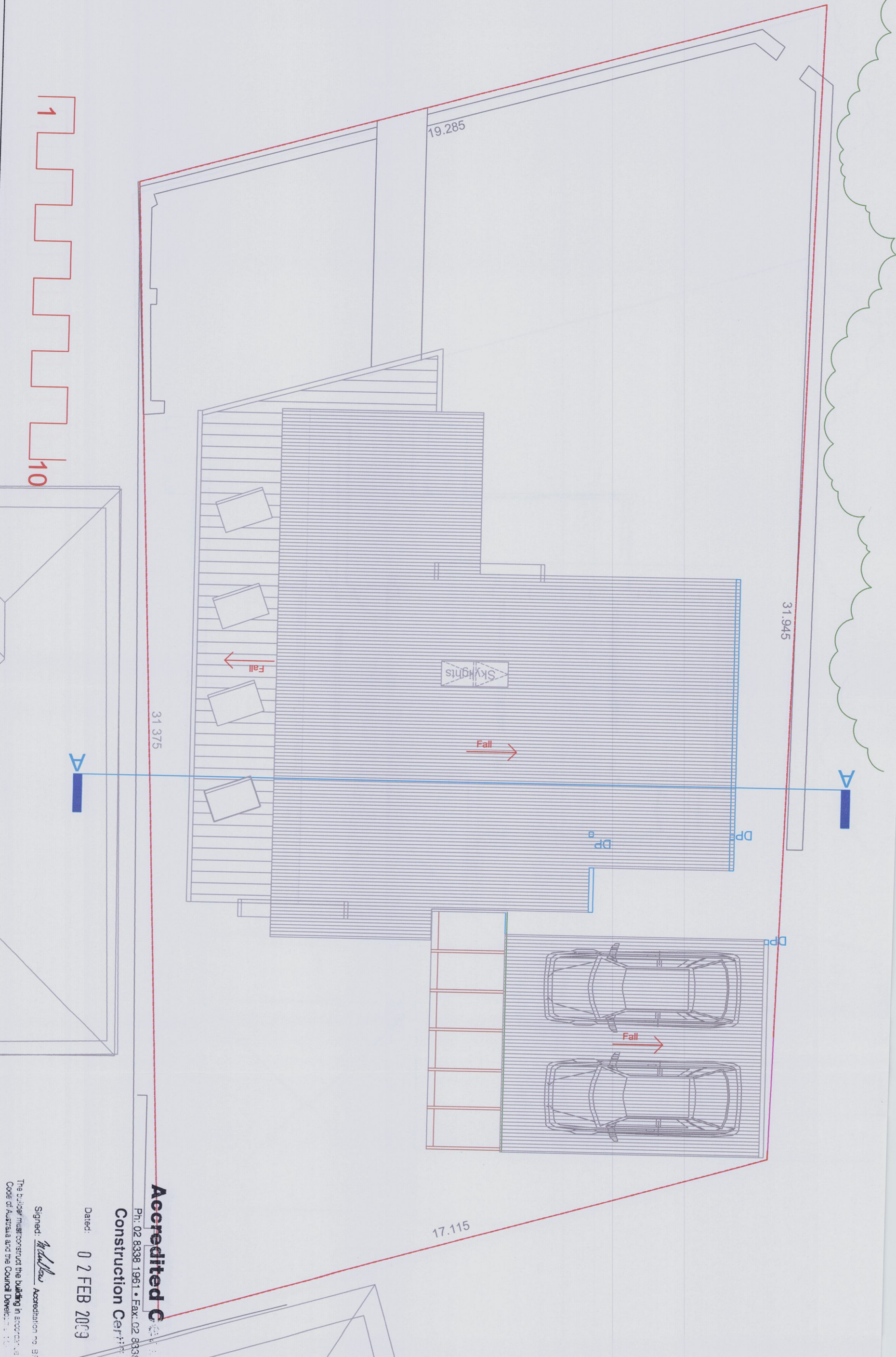
Signed: M. Mulder Accreditation no. BDB 0236

BJP Architects 0439483 997

BEDROOMS

Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing B/J/P/RSS/A4



Accredited C

Ph: 02 8338 1961 • Fax: 02 8338 1962
Construction Centre

Dated: 02 FEB 2009

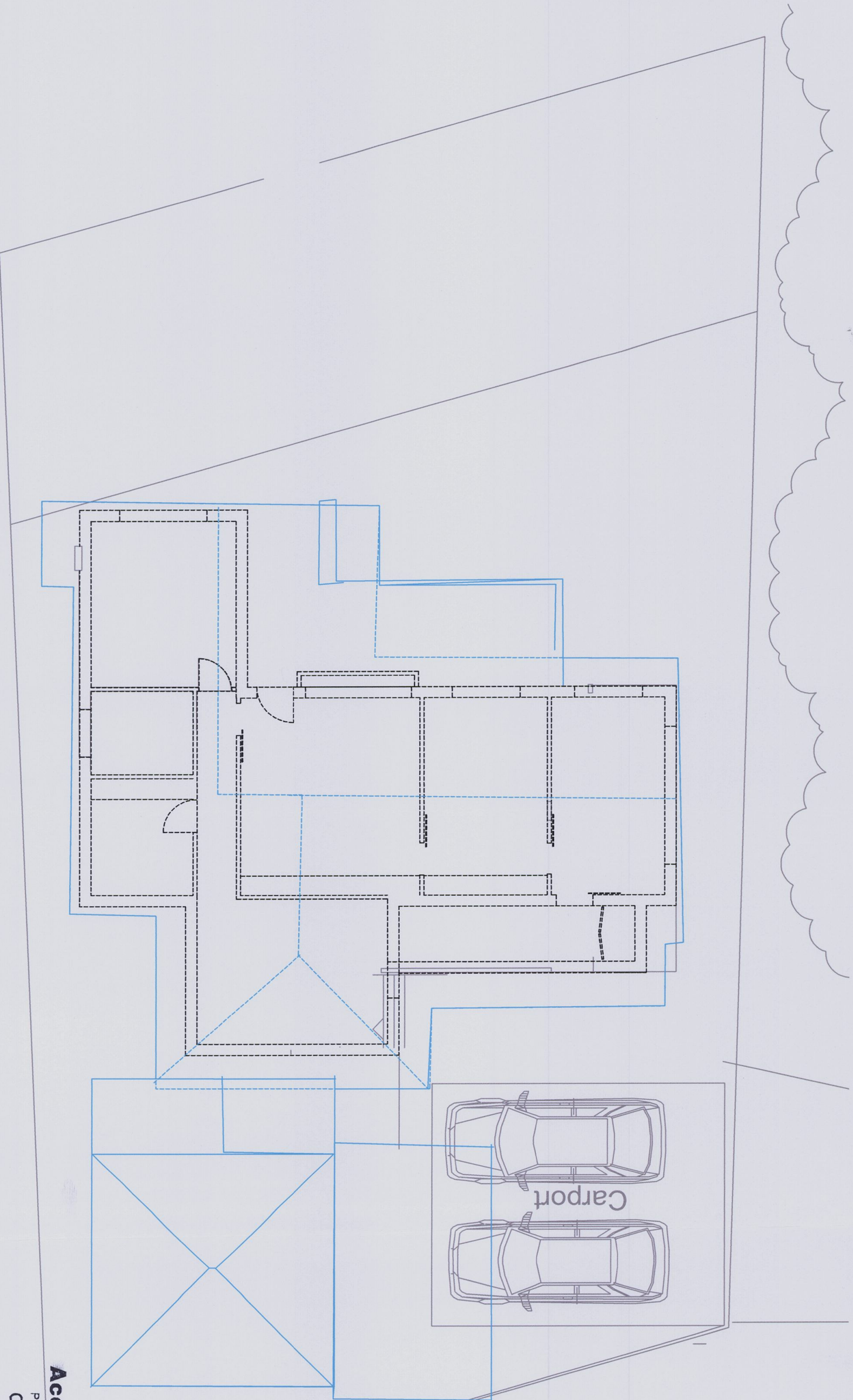
Signed: *Matthew* Accreditation no. 8935
The builder must construct the building in accordance with the
Code of Australia and the Council Development

Stokes House #6 The Boulevard Newport 2106
BJP Architects 0439483 997
arkhouse@bigpond.com

ROOF
Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008



Drawing B JB/BSG/AF



1 10

Accredited C

Ph: 02 8338 1961 • Fax: 02 8338 1571
Construction Cert

Dated: 02 FEB 2009

Signed: *Michael* Accreditation No. BP6 022
The Builder must construct the building in accordance with the
Code of Australia and the Council De

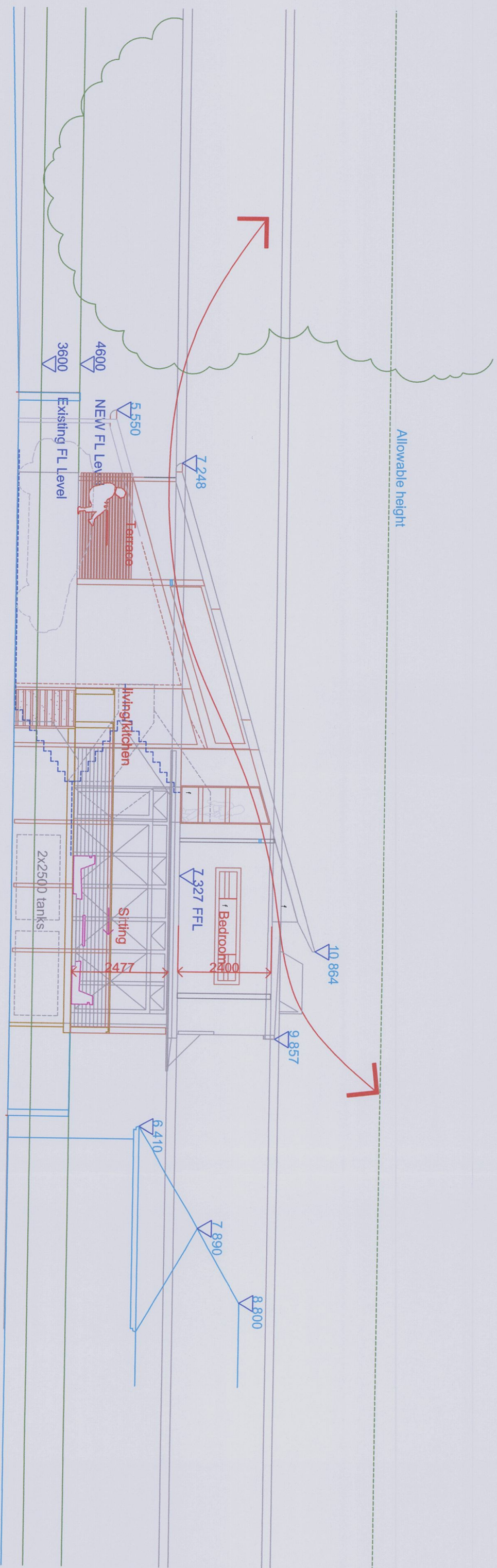


Stokes House #6 The Boulevard Newport 2106

BJP Architects 0439483 997
arkhouse@bigpond.com

EXISTING
Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing BJP/RSS/A6



SECTION AA

Accredited C

Ph: 02 8338 1961 • Fax: 02 8338 1962
Construction Co. Pty. Ltd.

Date: 02 FEB 2009

Signed: *Matthew* Accreditation No. 12345
The builder must construct the building in accordance with the Building Code of Australia and the Council Deeds.



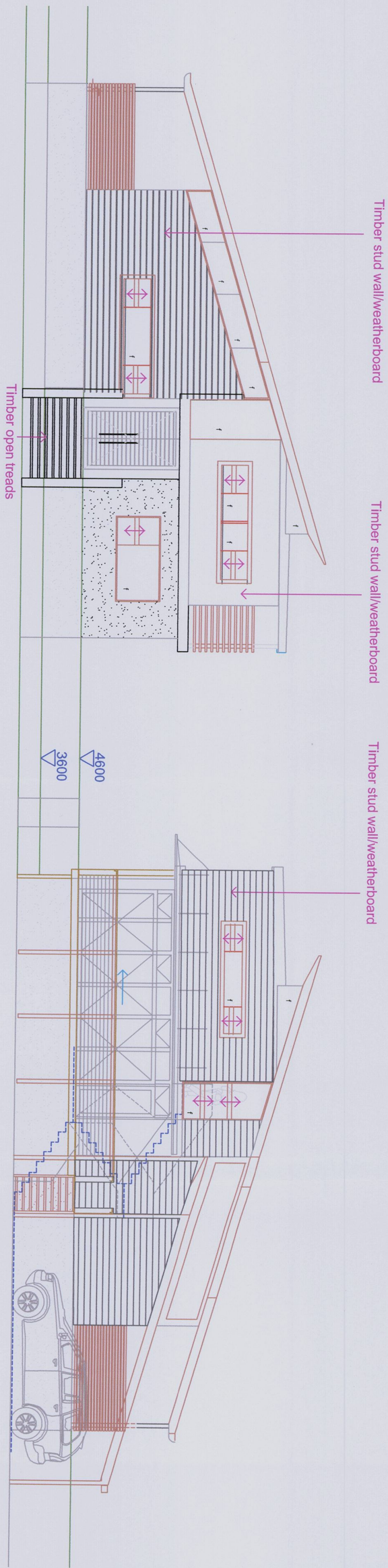
Stokes House #6 The Boulevard Newport 2106

BJP Architects 0439483 997
arkhouse@bigpond.com

SECTION AA

Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing R.IP/RSS/A7



SOUTH (FRONT) ELEVATION

NORTH ELEVATION



Accredited

Ph: 02 8338 1961 • Fax: 02 8336 1977
Construction Certification

Dated: 02 FEB 2003

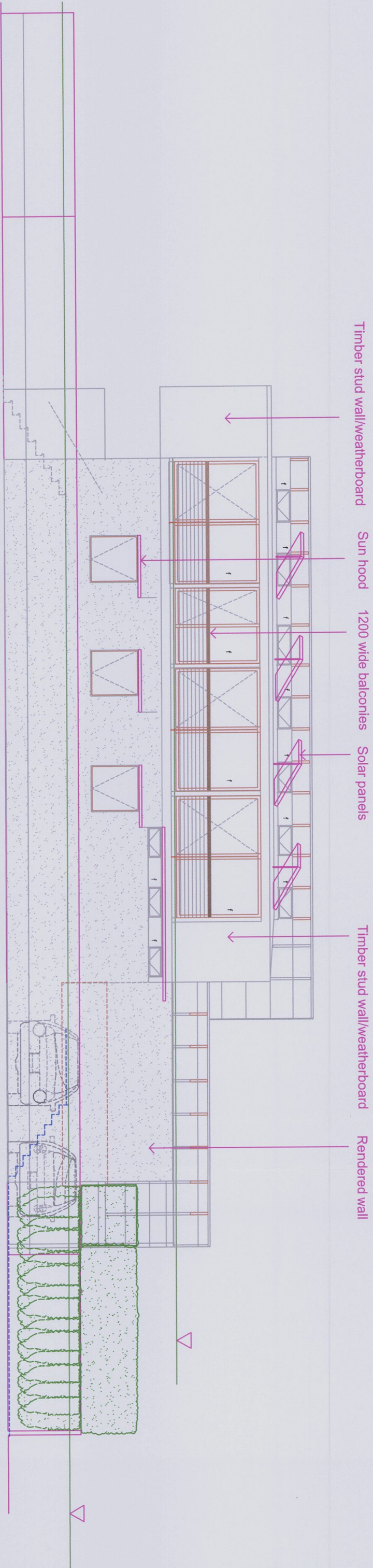
Signed: *Michael* Accreditation no. B318 0268
The builder must construct the building in accordance with the Building Code of Australia and the Council Development Control Regulations.

Stokes House #6 The Boulevard Newport 2106

BJP Architects 0439483 997
arkhouse@bigpond.com

NS ELEVATION
Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing B JB/PSC/A9



EAST ELEVATION

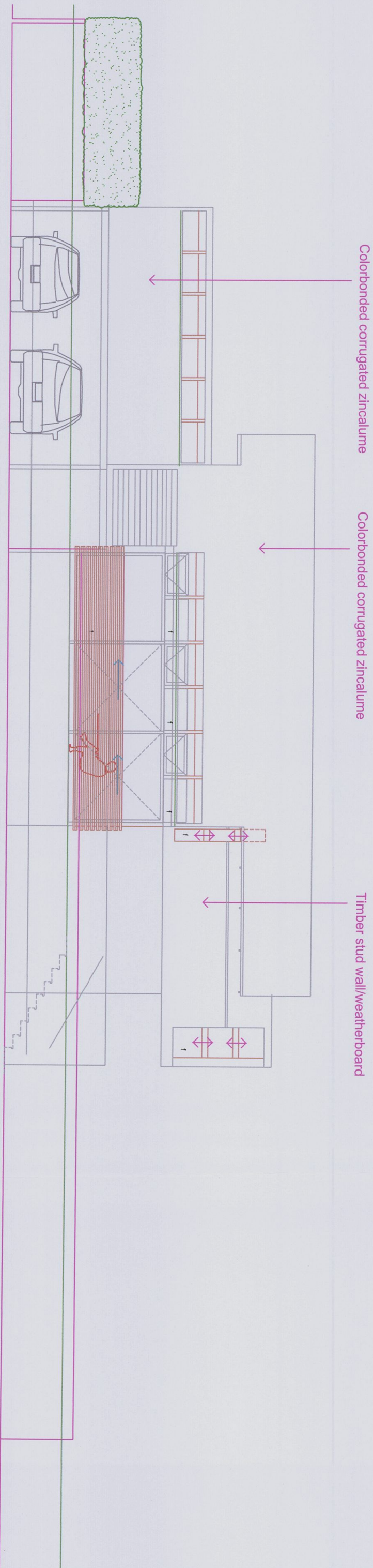


Stokes House #6 The Boulevard Newport 2106

BJP Architects 0439483 997
arkhouse@bigpond.com

EAST ELEV
Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing BJP/RSS/A9



WEST ELEVATION



Accredited Certificate
Ph: 02 8338 1961 • Fax: 02 8338 1971
Construction Certificate

Dated: 02 FEB 2009

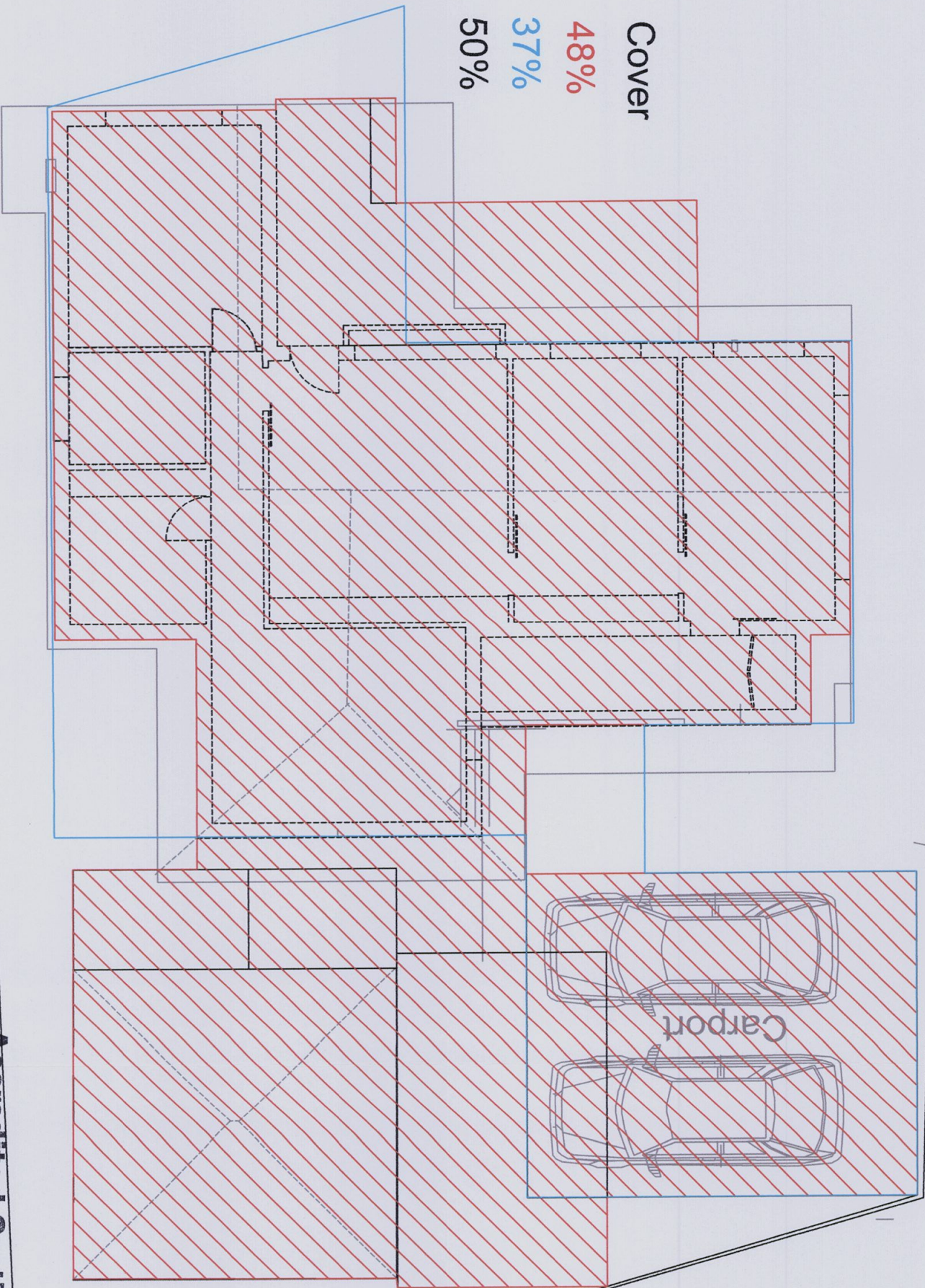
Signed: *Michael*
Accreditation no. BPB 0251
The builder must construct the building in accordance with the Building Code of Australia and the Council Development Consent Conditions.

BJP Architects 0439483 997
arkhouse@bigpond.com
Stokes House #6 The Boulevard Newport 2106

WEST ELEV
Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing B1B/PSS/A10

Site	556.4m2	Cover	
Existing	267m2	48%	
New	207m2	37%	
Allowable		50%	



Accredited Certifiers
Ph: 02 8338 1961 • Fax: 02 8338 1971
Construction Certificate

Dated: 02 FEB 2009

Signed: *[Signature]* Accreditation no. SPB 0236
The builder must construct the building in accordance with the building
Code of Australia and the Council Development Consent Conditions.

1 10

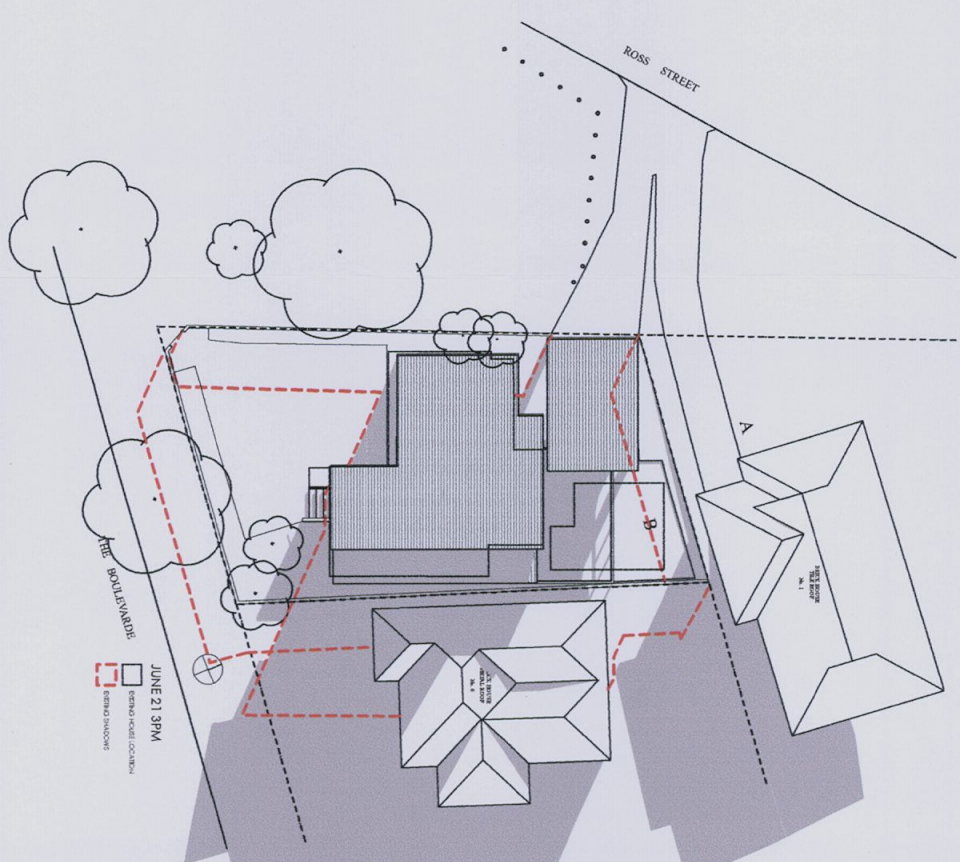
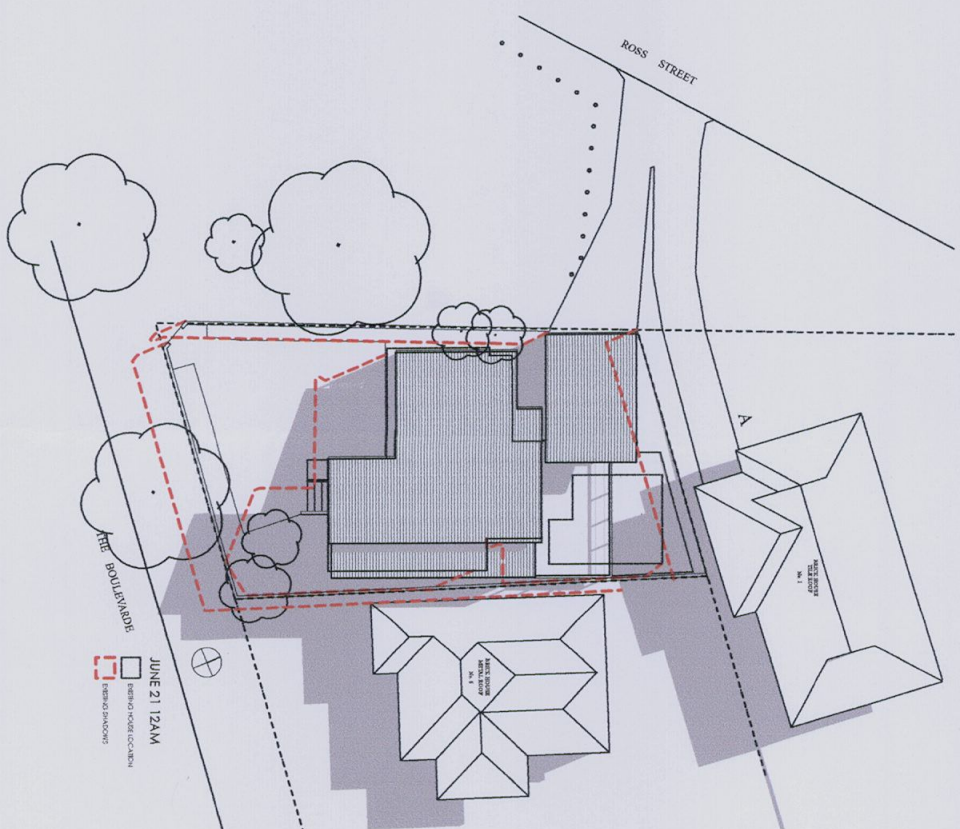
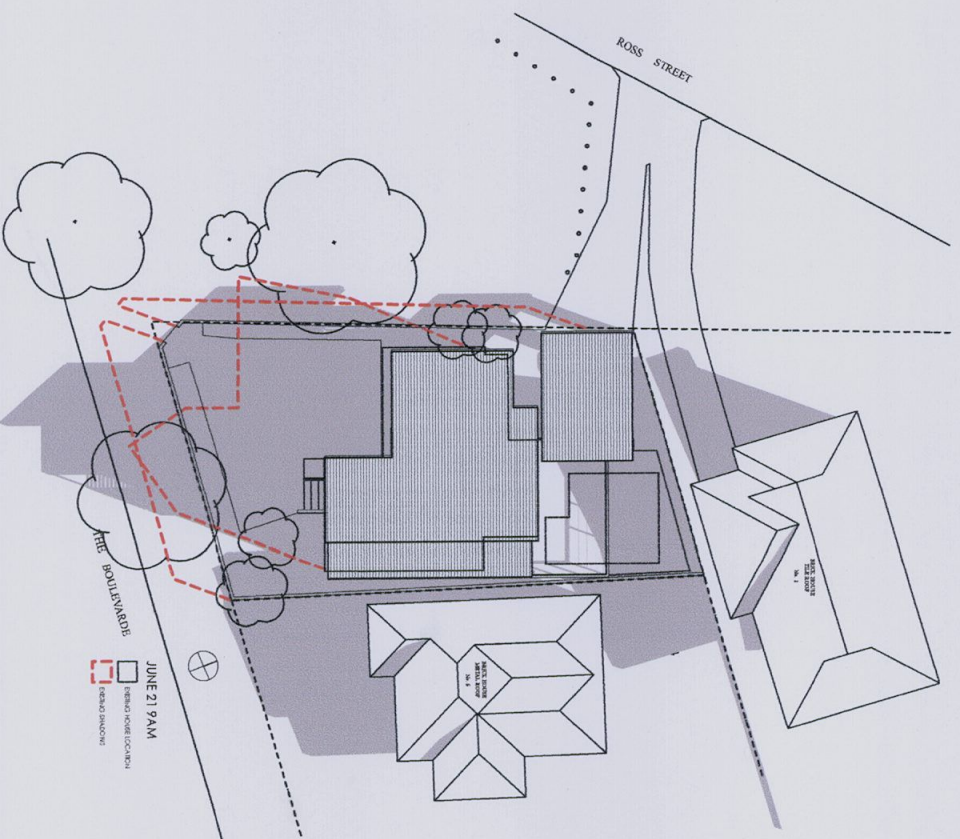


Stokes House #6 The Boulevard Newport 2106

BJP Architects 0439483 997
arkhouse@bigpond.com

AREAS
Lot B DP348894
Scale 1:100@A3
Date 10 Sept 2008

Drawing BJP/RSS/A11



Accredited Certifiers

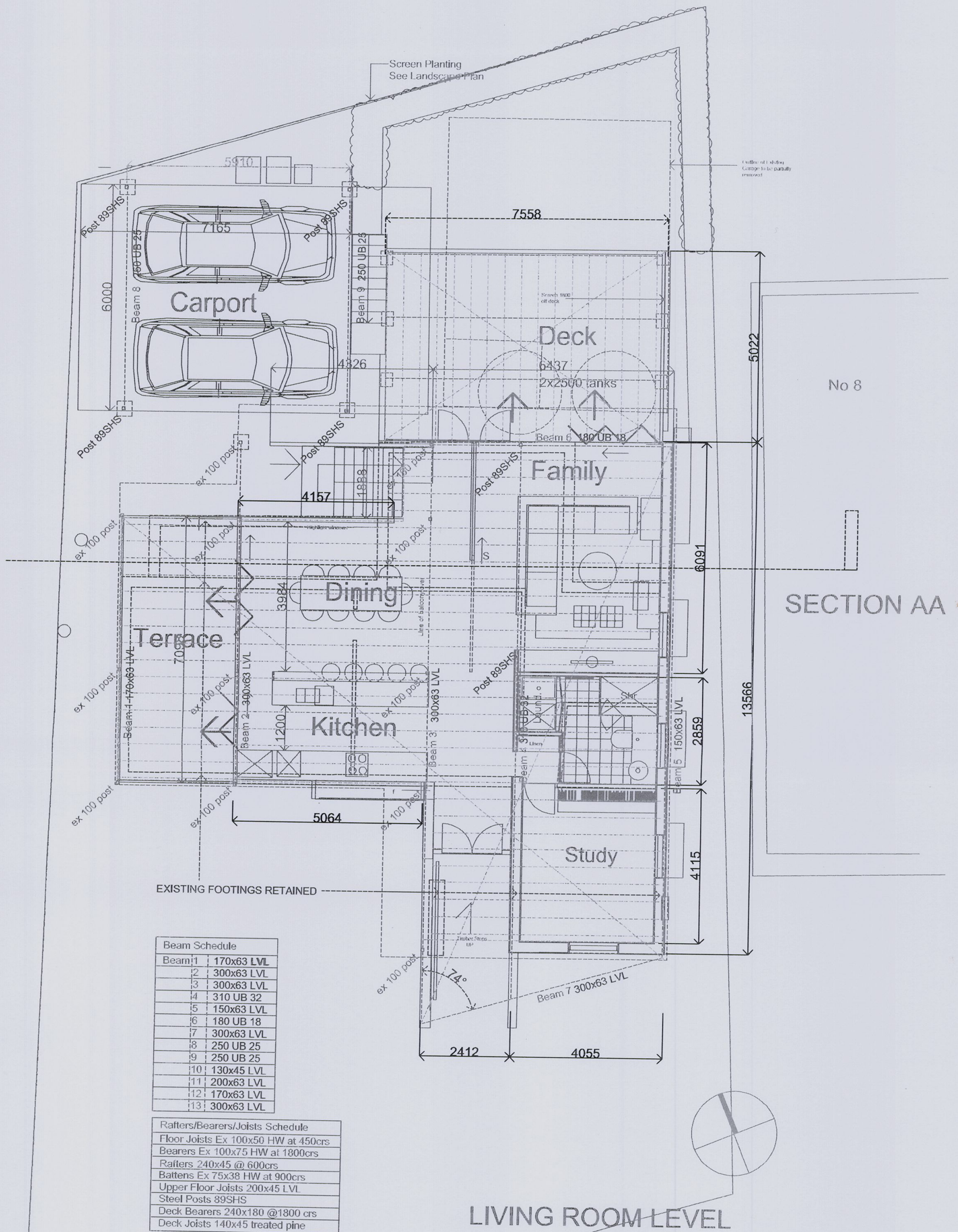
Ph: 02 8338 1961 • Fax: 02 8338 1971
Construction Certificate

Dated: 02 FEB 2009

Signed: *Michael* Accreditation no. BFB 0295

The builder must construct the building in accordance with the building Code of Australia and the Council Development Consent Conditions.

STOKES HOUSE
SUN / SHADE DIAGRAMS
21 JUNE
1:500 080728



PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer

I hold the following qualifications M. Eng. Sc.

F.I.E. Aust. N Per 3 Civil & Structural No. 149788

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian/Industry standards.

JACK HODGSON
Name

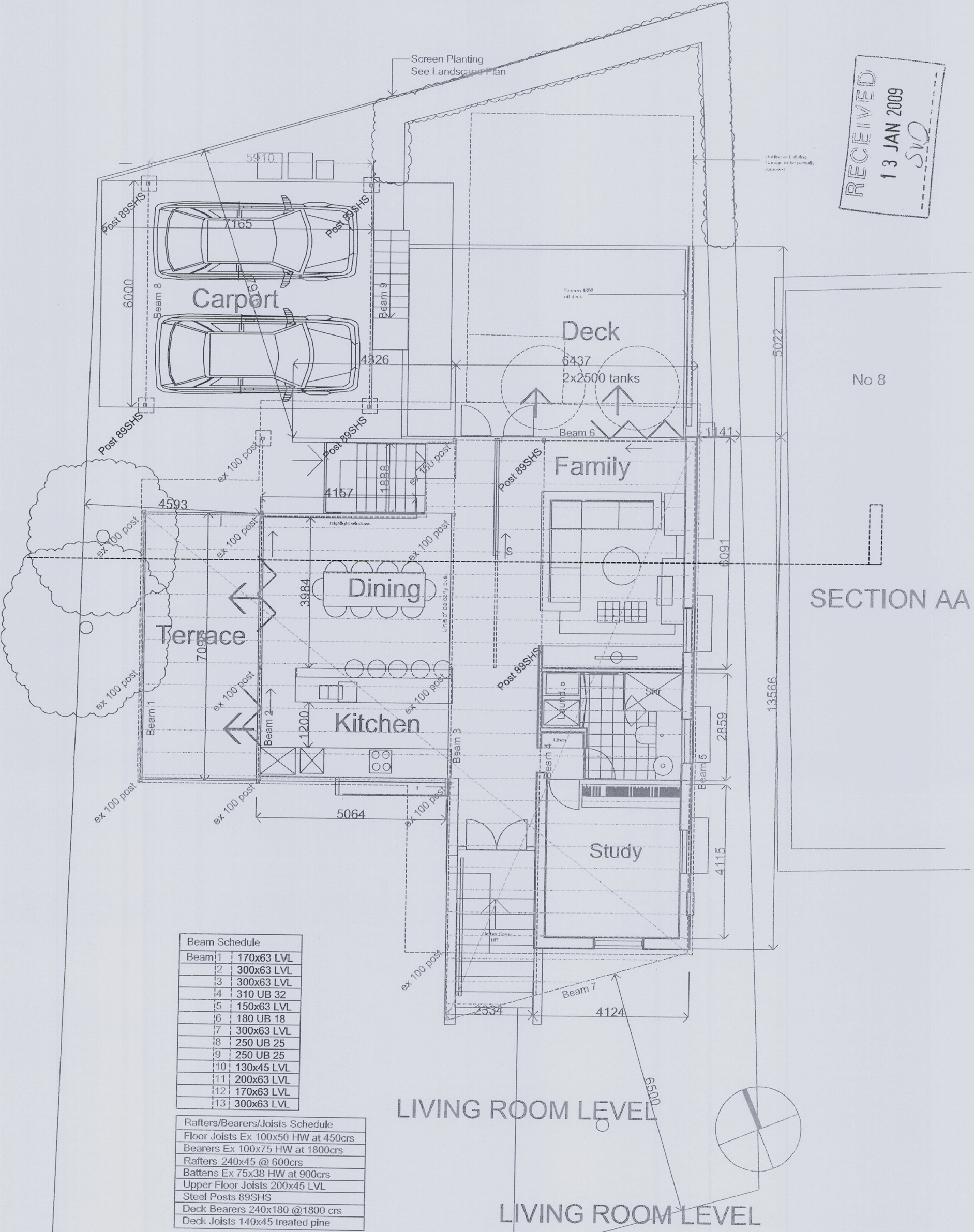
14/1/09
Date

J. Hodgson
Signature

ALTERATIONS AND ADDITIONS TO A
HOUSE FOR ROB AND SOPHIE STOKES
6 THE BOULEVARDE NEWPORT 2107
LOT B DP 348894 PITTWATER COUNCIL
BJPARCHITECTS
1012 Barrenjoey Road Palm Beach 2108
02 9974 3205 (f)02 9974 3050 (mob)0439 483 997
arkhouse@bigpond.com

ALL DIMENSIONS SHOULD BE DETERMINED
OFF THE JOB AND DIMENSIONS SHOWN ARE
INDICATIVE ONLY.
DATE 01/01/2009 SCALE 1:100@A3
DRAWING BJP/S/STRUCT S0.1.0

RECEIVED
13 JAN 2009
SVO



Beam Schedule	
Beam 1	170x63 LVL
2	300x63 LVL
3	300x63 LVL
4	310 UB 32
5	150x63 LVL
6	180 UB 18
7	300x63 LVL
8	250 UB 25
9	250 UB 25
10	130x45 LVL
11	200x63 LVL
12	170x63 LVL
13	300x63 LVL

Rafters/Bearers/Joists Schedule	
Floor Joists	Ex 100x50 HW at 450crs
Bearers	Ex 100x75 HW at 1800crs
Rafters	240x45 @ 600crs
Battens	Ex 75x38 HW at 900crs
Upper Floor Joists	200x45 LVL
Steel Posts	89SHS
Deck Bearers	240x180 @1800 crs
Deck Joists	140x45 treated pine

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer
I hold the following qualifications M. Eng. Sc.
F.I.E. Aust. N Per 3 Civil & Structural No. 149768

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian/Industry standards.

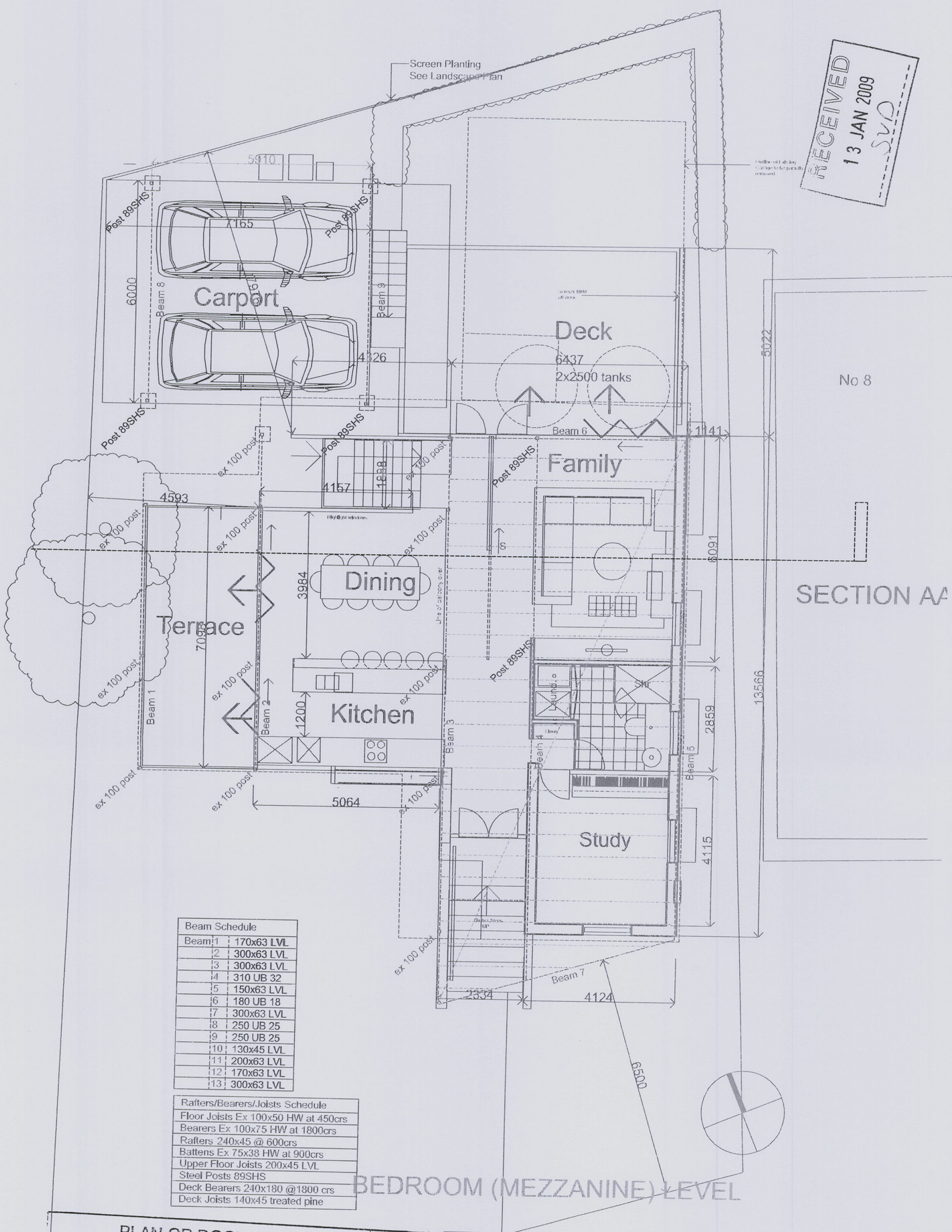
JACK RODGSON 14/1/09
Name Date Signature

ALTERATIONS AND ADDITIONS TO A
HOUSE FOR ROB AND SOPHIE STOKES
6 THE BOULEVARDE NEWPORT 2107
LOT B DP 348894 PITTWATER COUNCIL

BJPARCHITECTS
1012 Barrenjoey Road Palm Beach 2108
02 9974 3205 (f) 02 9974 3050 (mob) 0439 483 997
arkhouse@bigpond.com

ALL DIMENSIONS SHOULD BE DETERMINED
OFF THE JOB AND DIMENSIONS SHOWN ARE
INDICATIVE ONLY.
DATE 01/01/2009 SCALE 1:100@A3
DRAWING BJP/S/STRUCT S02.0

RECEIVED
13 JAN 2009
SVD



Beam Schedule	
Beam 1	170x63 LVL
2	300x63 LVL
3	300x63 LVL
4	310 UB 32
5	150x63 LVL
6	180 UB 18
7	300x63 LVL
8	250 UB 25
9	250 UB 25
10	130x45 LVL
11	200x63 LVL
12	170x63 LVL
13	300x63 LVL

Rafters/Bearers/Joists Schedule	
Floor Joists	Ex 100x50 HW at 450crs
Bearers	Ex 100x75 HW at 1800crs
Rafters	240x45 @ 600crs
Battens	Ex 75x38 HW at 900crs
Upper Floor Joists	200x45 LVL
Steel Posts	89SHS
Deck Bearers	240x180 @ 1800 crs
Deck Joists	140x45 treated pine

BEDROOM (MEZZANINE) LEVEL

PLAN OR DOCUMENT CERTIFICATION

I, a qualified Civil & Structural Engineer
 holding qualifications M. Eng. Sc.
 N Per 3 Civil & Structural No. 149788
 am appropriately qualified to certify this component of the project
 and state that these plans or details comply with the conditions of
 consent. The provisions of the Building Code of Australia
 are appropriate Australian/Industry standards.

JACK HODGSON 14/1/09
 Name Date Signature

ALTERATIONS AND ADDITIONS TO A
 HOUSE FOR ROB AND SOPHIE STOKES
 6 THE BOULEVARDE NEWPORT 2107
 LOT B DP 348894 PITTWATER COUNCIL

BJPARCHITECTS
 1012 Barrenjoey Road Palm Beach 2108
 02 9974 3205 (02 9974 3050 (mob) 0439 483 997
 arkhouse@bigpond.com

ALL DIMENSIONS SHOULD BE DETERMINED
 OFF THE JOB AND DIMENSIONS SHOWN ARE
 INDICATIVE ONLY.
 DATE 01/01/2009 SCALE 1:100@A3
 DRAWING BJP/S/STRUCT S0.3.0

NEW RESIDENCE

FOR R and S Stokes
6 THE BOULEVARDE
NEWPORT NSW 2106
JANUARY 2109

1 1 CONTRACT	RAIA/MBA COST PLUS CONTRACT FF/C – REVISED EDITION (Third print – April 1997)
1 2 TIME	22 WEEKS 12 MONTHS MAINTENANCE PERIOD
1 3 TENDER	GUARANTEED MAXIMUM PRICE INCLUDING GST NO RISE AND FALL
1 4 NOTICES / FEES	ALLOW FOR AND PAY ALL FEES AND CHARGES AND GIVE ALL NOTICES TO LEGALLY REQUIRED ENTITIES INCLUDING LOCAL AUTHORITIES SYDNEY WATER ERGON ENERGY GAS SUPPLIER TELSTRA ETC
1 5 BUILDER S RESPONSIBILITY	THE BUILDER IS TO BE ENTIRELY RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION ALSO ANY ADJOINING BUILDING OR STRUCTURE ROADWAYS PAVEMENTS INSO FAR AS THEY MAY BE AFFECTED BY THE EXECUTION OF THE WORK PROVIDE A DELAPIDATION SURVEY FOR NEIGHBOURING PROPERTIES PRIOR TO CONSTRUCTION
1 6 SETTING OUT	THE BUILDER SHALL SET OUT THE WORKS AND SHALL PROVIDE ALL NECESSARY SET OUT DATA FOR SUB- CONTRACTORS AND SUPPLIERS
1 7 CODES / STANDARD	BCA AND SAA ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA BASIX LOCAL GOVERNMENT CODES AND RELEVANT AUSTRALIAN STANDARDS CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORK ALL MATERIALS TO BE NEW UNLESS OTHERWISE SPECIFIED THIS SPECIFICATION SUMMARY IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS A0 TO A12 INCLUSIVE AND STRUCTURAL ENGINEERS DRAWINGS WITH FIGURED DIMENSIONS TAKEN IN PREFERENCE TO SCALE ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH OCCUPATIONAL SAFETY and FROM THE HEALTH ACT 1984 AND THE OCCUPATIONALSAFETY AND HEALTH REGULATIONS 1996 PROVIDE ALL HARNESS ANCHOR POINTS SCAFFOLD ETC THAT MAY BE REQUIRED ENSURE ALL GUTTERS HAVE FALL AND CONNECT ALL GUTTERS TO NEW WATER TANKS

1 8 MATERIALS	NEW ADDITIONAL UNLESS OTHERWISE SPECIFIED TO CONFORM TO BCA AND SAA BEST OF THEIR RESPECTIVE TYPES FINAL SELECTION SUBJECT TO APPROVAL OF SAMPLES IF CALLED FOR
1 9 CLEANING OF WORKS	THE BUILDER SHALL KEEP THE WORKS AND SITE CLEAN AT ALL TIMES THE BUILDER SHALL PROGRSSIVELY CLEAN UP THE WORK AND SITE AND REMOVE ALL ACCUMULATED DISCARDED AND SURPLUS BUILDING MATERIALS AND DEBRIS
1 10 ADJOINING PROPERTY	CARE SHALL BE TAKEN THAT THE RIGHTS OF ALL ADJOINING OWNERS ARE FULLY PROTECTED
1 11 VARIATIONS TO CONTRACT	ALL VARIATIONS MUST HAVE WRITTEN CONSENT FROM THE ARCHITECT PRIOR TO COMMENCEMENT OF VARIATION VARIATIONS WITHOUT WRITTEN CONSENT WILL NOT BE APPROVED
1 12 PRIME COST / PC ITEMS	REFER SCHEDULES AT REAR OF THIS SPECIFICATION
2 1 VISIT SITE	BUILDER TO ACKNOWLEDGE SITE CONDITIONS ACCESS AND EXISTING CROSSOVER
2 2 SANITARY ACCOMMODATION	BUILDER TO PROVIDE
2 3 NOTICE BOARD	BUILDER TO ALLOW FOR AND FIX ON SITE ANY REQUIREMENTS LOCAL COUNCIL MAY REQUEST
2 4 DEMOLITION	REMOVE EXISTING BUILDING THE METHOD AND SEQUENCE FOR ALL DEMOLITION SHALL BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH THE WORK
2 5 SITE PREPARATION	BEFORE COMMENCING ANY EXCAVATION DETERMINE LOCATION OF ALL EXISTING SERVICES MAKE SEPARATE CONNECTION TO ALL SERVICE MAINS NECESSARY FOR TEMPORARY SERVICES REQUIRED DURING THE WORKS ANY TREES TO BE RETAINED ARE TO BE TAGGED ACCORDINGLY ON ADVICE FROM LANDSCAPE DESIGNER
2 6 EXCAVATION	IF ANY EXCAVATION TO BE CARRIED OUT FULLY TO ENGINEER'S SPECIFICATIONS
2 7 WHITE ANTS	IN ACCORDANCE WITH CURRENT REGULATIONS AND ARRANGE FOR INSPECTION OF EXISTING WORK AND

OBTAIN CERTIFICATE

2 8 COMPLETION

THE BUILDING WORK SHALL BE COMPLETED IN EVERY TRADE
ALL SURPLUS MATERIALS FORMWORK AND DEBRIS SHALL BE
REMOVED FROM THE SITE LABEL KEYS AND EQUIPMENT
PROFESSIONALLY CLEAN AND LEAVE SPOTLESS FOR
IMMEDIATE OCCUPATION

3 1 CONCRETE

GENERALLY

CONCRETE TO COMPLY WITH AS 3600 CONCRETE
STRUCTURES CODE STRIP AND PAD FOOTINGS AS CALLED
UP ON STRUCTURAL ENGINEERS DRAWINGS
SET DOWNS AND LEVELS TO SUIT FINAL FINISHES

3 2 BRICKWORK

GENERALLY

BRICKWORK TO COMPLY WITH THE SAA BRICKWORK CODE
AND A S 3700
BRICKS TO MATCH EXISTING IN 1 1 6 MORTAR
ALL CROSS WALLS FULLY BONDED
PIPES RAIN WATER PIPES WHERE INDICATED IN CAVITY
WALLS SERVICES BOXES AND HOLDING DOWN TIES TO
ROOF
ALL COLUMNS BEAMS PLATES AND LINTELS TO ENGINEER'S
DRAWINGS

EXTERNAL WALLS WALL FINISH TO BE EITHER SELECT
COLOUR RENDER OR FIXED TIMBER CLADDING SEE
RELEVANT SECTION OF THIS SPECIFICATION FOR DETAILS

INTERNAL WALLS SINGLE STUD WALLS UNLESS OTHERWISE
SPECIFIED WALL FINISH TO BE SELECT COLOUR PAINTED
PLASTERBOARD SEE RELEVANT SECTION OF THIS
SPECIFICATION FOR DETAILS

DO ALL MINOR AND ANY OTHER BRICKWORK ON SITE
WHICH IS NECESSARY FOR THE COMPLETION OF THE
WORKS

3 4 METALWORK

GENERALLY

CHECK DIMENSIONS ON THE JOB BEFORE COMMENCING
FABRICATION
PROTECT ALL METALWORK AGAINST DAMAGE BY IMPACT
STAINING CORROSION OR OTHER DEFACEMENT
NEW EXPOSED AND BUILT IN STEEL COLUMNS AND BEAMS
AS PER ARCHITECTURAL AND STRUCTURAL DRAWINGS AND
TO BE CARRIED OUT IN ACCORDANCE WITH THE ACSE
STRUCTURAL STEEL SPECIFICATION
BUILD IN PRIMED AND POWDER COATED COLUMNS
ALONG WITH HOT DIP GALVANISED SUPPORT LINTELS AS
REQUIRED

ALL EXTERNAL WORK TO BE HOT DIPPED GALVANISED
WELDS SHALL NOT BE MADE ON PREVIOUSLY GALVANISED
MEMBERS

BALUSTRADES ALL TO DETAIL TO BALUSTRADES
ON BALCONIES STRETCHED STAINLESS STEEL WIRE AT
100 CENTERS

GATES

CLIENT TO SUPPLY FEATURE TWIN METAL GATES INSTALL TO
LIFT CORRIDOR ON GARAGE LEVEL AS SHOWN IN
DRAWINGS

SUPPLY AND INSTALL METAL ENTRANCE GATE TO ENTRY
COURT WITH AUTOMATIC SECURE LOCKING

3 5 WINDOWS + DOORS

GENERALLY

REFER DOOR + WINDOW SCHEDULE

SUPPLY AND INSTALL TIMBER WRC WINDOW FRAMES AND
SLIDING DOORS ALL TO BE FIXED TO MANUFACTURER'S
SPECIFICATION PROVIDE ALL NECESSARY SUPER ALCOR
FLASHINGS FRAMES TO BE EITHER BUILT INTO BRICKWORK
AND PROTECTED OR SITE MEASURED AND FIXED INTO
LOCATIONS AT BUILDERS DISCRETION FRAMES TO BE
PROTECTED AT ALL TIMES WITH EITHER METHOD

FRAMES

TIMBER WRC

FIXED GLASS

INSTALLED TO CENTRE POSITION IN ALL FRAMES

BIFOLD DOORS

TIMBER WRC WITH CENTOR OR SIMILAR HARDWARE

3 6 GLAZING

GENERALLY

USE ONLY GLASS WHICH IS FREE FROM FLAWS AND THE BEST
OF THE RESPECTIVE KINDS AND OF WEIGHT FOR SIZE ALL IN
ACCORDANCE WITH RELEVANT CODES – AS1288

WORKMANSHIP

ALL GLASS SHALL BE ACCURATELY CUT TO FIT INTO REBATES
EXACTLY

ENSURE AN EVEN BEARING ALL AROUND THE PANES AND
WITH SUFFICIENT CLEARANCE TO ALLOW FOR EXPANSION
AND CONTRACTION DUE TO THE INFLUENCE OF THE SUN
ATMOSPHERIC CONDITIONS AND THE INTERNAL HEATING
OF THE BUILDING

ON COMPLETION ALL CRACKED SCRATCHED SCUFFED
OR BROKEN GLASS PANES SHALL BE REPLACED AND ALL
GLASS SHALL BE CLEANED ON BOTH FACES

OBSCURE GLAZING

WHERE OBSCURE GLAZING NOTED ON ELEVATIONS and SCHEDULES THIS IS TO BE WHITE TRANSLUCENT LAMINATED THICKNESSES AS PER CODES

MIRRORS

PROVIDE AND FIX 4 THICK CLEAR PLATE GLASS SILVERED MIRRORS TO SIZES DETAILED

SHOWER SCREENS

PROVIDE 15MM THICK TOUGHENED GLASS CLEAR IN SIZES DETAILED RECESS TOP GLAZING FRAME IN CEILING TO BE SET IN RECESSED FRAMES SUBJECT TO CLIENT PROVIDING SCREENS

3.7 CARPENTER & JOINER

GENERAL

ALL TIMBER FRAMING IS TO CONFORM WITH TIMBER FRAMING CODE AND ALL OTHER RELEVANT CODES AND BE SEASONED TIMBER

DECKING APPROVED HW TIMBER DECKING FIXED TO TIMBER FRAMING WHERE INDICATED ON PLANS TIMBER TREADS UP TO DECK

FLOORING SELECTED HW SPOTTED GUM OR SIMILAR HWD FLOORING SECRET NAILED TO HWD JOISTS AT 450 CENTERS ALLOW FOR 12% MOISTURE CONTENT OF TIMBER WHERE TIMBER FLOOR MEETS WALL AS SHOWN ON PLAN ALLOW FOR CONTINUOUS STOP END BEAD AT BASE OF GYPROCK

ALLOW FOR SANDING AND FINISHING

STEPS AND STAIRS SPOTTED GUM HARDWOOD TIMBER OPEN TREADS FIX TO SELECT TIMBER STRINGERS TO ARCHITECT'S SPECIFICATION

DOORS REFER DOOR SCHEDULE FOR INTERNAL TIMBER DOORS WITH TIMBER DOOR FRAMES

ARCHITRAVES

GAP DETAILED 10mm DSD PACKER FIXED TO REAR OF DOOR FRAMES TO DETAIL

HARDWARE

ALLOW THE AMOUNT OF \$5 000 FOR THE SUPPLY OF SELECTED DOOR HARDWARE AND ALL LOCKS ETC ALLOW FOR INSTALLING

3.8 INSULATION

ALLOW TO SUPPLY AND INSTALL R3.5 POLYESTER INSULATION BATTS TO TOP OF CEILINGS
R1.5 55mm THICK AERATED FOIL BACKED BUILDING

BLANKET UNDER ROOF SHEETING

3 10 TILER

GENERAL

ALL SURFACES WHICH ARE TO BE TILED SHALL BE THOROUGHLY CLEANED AND ALL FOREIGN MATTER REMOVED BEFORE THE COMMENCEMENT OF ANY TILING ALL TILING SHALL BE COVERED AND PROTECTED FROM CLIMATE AND BUILDING OPERATIONS GRADE ALL TILING TO EVEN AND CORRECT FALLS WHERE FALLS ARE NOT REQUIRED LAY LEVEL WITHOUT STEP OR BREAK AT CHANGE OF FLOOR LEVEL BUILDER TO ALLOW FOR THE FIXING OF SELECTED TILES TO WALL AND FLOOR AREAS AS INDICATED ON DRAWINGS ALL TILING TO BE SEALED WITH METHOD SELECTED BY CLIENT AND APPROVED BY MANUFACTURER FOR PARTICULAR INTERIOR AND EXTERIOR REQUIREMENTS

CHANGE IN FLOOR FINISH INSERT 25 X 4 ALUMINIUM STRIP FLOOR FINISH DIVIDER FLUSH WITH FINISHED FLOOR TO THE FULL WIDTH OF THE JUNCTION

WALL TILING SEE ROOM LAYOUTS

FLOOR TO CEILING JOHNSON TILES OR SIMILIAR IN STACK BOND JOINTS TO COINCIDE WITH FLOOR PIECES LAUNDRY KITCHEN FIX SPLASHBACK IN JOHNSON TILES OR SIMILIAR

FITTINGS SEE ROOM LAYOUTS

IN POSITIONS AS DIRECTED BY ARCHITECT FIX HEATED TOWEL RAILS SOAP HOLDERS HOOKS AND TOILET PAPER HOLDERS ALL SELECTED BY CLIENT

ALLOW P C SUM OF \$60 00/m² FOR FLOOR TILES AND \$55 00/m² FOR WALL TILES

3 9 ROOFER

GENERAL

USE ZINC OR PVC FOR ALL ROOF PLUMBING AND DRAINAGE ISOLATE COLORBONDED METAL ROOF FROM ALL OTHER METALS BUILDER TO APPROVE SUITABLE ISOLATION METHOD DO NOT USE OTHER METALS TO RECEIVE OR CARRY RUNOFF WATER OTHER THAN COLORBONDED ZINCALUME ALL FIXING IS TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S AND SUPPLIERS RECOMMENDATION AND RELEVANT STANDARDS AND CODES

SARKING AND INSULATION

ALLOW TO SUPPLY AND INSTALL R3 5 POLYESTER INSULATION BATTS TO TOP OF CEILINGS R1 5 55mm THICK AERATED FOIL BACKED BUILDING

BLANKET UNDER ROOF SHEETING

FASCIAS
FIX PRESSED COLORBONDED FASCIA PANEL FIXED
ROOFING TO DETAIL BUILDER TO APPROVE METHOD OF
FIXING

4 1 CLADDING

REFER ELEVATIONS FOR EXTENT

4 2 PLASTERER + RENDERER

GENERAL
RELEVANT BRICK WALLS SHALL BE BRUSHED CLEAN JOINTS
RAKED OUT AND SURFACES THOROUGHLY WETTED AND
ALLOWED TO DRY PARTIALLY BEFORE COMMENCING
RENDER

CEMENT RENDER
NATURAL MEASURED SAND RENDER TO TAKE SELECT PAINT
FINISH OR WITH SELECT COLOUR INCLUDED IN RENDER
WHERE NOTED ON ELEVATIONS
MAXIMUM THICKNESS OF FINISHING COAT SHALL BE 12MM

INTERNAL RENDER
IF ANY GENERALLY FLOAT AND SET IN HARDWALL PLASTER
COMPLETE WITH METAL CORNER BEADS TO SALIENT
ANGLES

CEILINGS AND EXTERNAL SOFFIT LINING REFER TO
ARCHITECTURAL CEILING PLANS
CEILINGS 13MM PLASTERBOARD WITH PERIMETER
SHADOWLINE ANGLE (RONDO' P50 SHADOWLINE
STOPPING ANGLE)
EXTERNAL LINING VERSILUX SHEETING WITH EXPOSED 10MM
JOINTS TO EXTERNAL SOFFIT LININGS WHERE INDICATED ON
CEILING PLANS FINISH LEVEL WITH ADJOINING SOFFIT
LINING WITH EXPOSED 10MM JOINT BETWEEN

4 3 PAINTER

GENERAL
ENSURE THAT THE BACKGROUND IS SUITABLE TO RECEIVE
THE APPLIED MATERIALS AND THAT ALL MOISTURE INGRESS
AND MOVEMENT THAT WOULD LEAD TO COATING FAILURE
IS ELIMINATED

EXTERNAL

GALV METAL 1 COAT NEUTRALISING PRIMER
 2 COATS WHITE PRIMER
 2 COATS GLOSS ENAMEL

RENDER 1 COAT 100% ACRYLIC SEALER

	2 COATS 100% ACRYLIC
TIMBER BATTENS	1 COAT SELECTED CLEAR STAIN 2 COATS CLEAR SEALER
<u>INTERNAL TIMBER</u>	1 COAT PRIMER 2 COATS WHITE UNDERCOAT 2 FINISHING COATS ENAMEL
CEILING/PLASTERB	1 COAT SEALER 2 COATS 100% FLAT ACRYLIC
HARDWALL PLASTER	1 COAT ENAMEL SEALER 1 COAT 100% UNDERCOAT ACRYLIC 2 COAT 100% SATIN ACRYLIC FINISH

ALL PAINTING TO MATCH SAMPLES APPROVED ON SITE AND SHOULD ANY DAMAGE OCCUR THE WHOLE OF THE PLANE OF THE WALL IN WHICH THE DAMAGE OCCURS IS TO BE REPAINTED

4 4 CABINETWORK

SEE P C ALLOWANCE FOR THE SUPPLY AND SECURE FIXING OF ALL CABINETS LISTED NEATLY FINISH TO WALLS AND FLOORING INTERSECTIONS CLEAR SILICON JOINT BETWEEN WALLS AND BENCH TOPS

GROUND LEVEL PREP AREA CABINETS AND SHELVING
KITCHEN UNDERBENCH CABINETS
UPPER LEVEL MASTER BED TV RECESS ROBES ENSUITE CABINETS

DOOR FURNITURE
ALL DOOR FURNITURE TO BE BRUSHED STAINLESS STEEL FINISH SIMILAIR TO LOCKWOOD TO BE SELECTED BY CLIENT and PURCHASED BY BUILDER

ALLOW FOR MASTER KEYING OF DOORS

ALLOW FOR MORTICE LATCHES INTERNALLY

ALL DOORS TO HAVE 100mm x 75mm ROLLER BALL STAINLESS STEEL FINISHED HINGES WITH STAINLESS STEEL PHILLIP SCREW FIXINGS

5 1 DRAINAGE

SEWER
ALL SEWER DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES AND THE HYDRAULIC ENGINEERS DETAILS
SEWER DRAINAGE IS TO BE PIPED AND DISCHARGED INTO

THE EXISTING SYSTEM TO THE COMPLETE SATISFACTION OF
THE AUTHORITY CONCERNED
NO DRAINAGE LINE WILL BE VISIBLE

STORMWATER

RAINWATER TO BE RETAINED ONSITE IN TWO X 2500L
RETENTION TANKS BELOW OUTSIDE DECK CONNECT WITH
ALL RAINWATER PIPES VIA PVC PIPING IN COMPLETE
ACCORDANCE WITH AND TO THE APPROVAL OF THE
AUTHORITY CONCERNED

EXTERIOR PAVING AND LANDSCAPE DRAINAGE EXISTING
EXTERNAL LANDSCAPE DRAINS TO BE UTILIZED DRAIN AT
BASE OF BUILDING WHERE INDICATED ON ARCHITECTURAL
DRAWINGS AND WHEN ADVISED BY ARCHITECT IF IN
DOUBT

5 2 PLUMBING

GENERAL

THE WHOLE OF THE PLUMBING IS TO BE CARRIED OUT IN
ACCORDANCE WITH THE REGULATIONS OF THE LOCAL
AUTHORITY AND A CERTIFICATE FROM THE AUTHORITY
GIVEN TO THE PROPRIETOR ON COMPLETION
EXTENT OF WORK COMPRISES THE SUPPLY DELIVERY
INSTALLATION TESTING AND MAINTAINING OF SANITARY
PLUMBING SERVICES AND ASSOCIATED EQUIPMENT TO NEW
KITCHEN LAUNDRY AND BATHROOMS AS INDICATED ON
THE ARCHITECTURAL DRAWINGS

ALL WORKS TO BE CARRIED OUT BY OR UNDER THE DIRECT
SUPERVISION OF A LICENSED SANITARY PLUMBER

THE COMPLETE PLUMBING INSTALLATION SHALL BE TESTED
AT REGULAR INTERVALS BY THE BUILDER AND TO THE
REQUIREMENTS OF THE AUTHORITY VERIFY WITH THE SUPPLY
AUTHORITY POSITIONS AND LEVELS OF SUPPLY SERVICES

PROVIDE AND FIX NEW SOLAR HOT WATER SYSTEM WITH
ELECTRIC BOOSTER AS SELECTED BY CLIENT

WATER SUPPLY

ALLOW FOR CONNECTION FROM EXISTING WATER METER
IN COPPER AND ACCESSORIES CONNECTIONS AND MAINS
STOP COCKS

SANITARY PLUMBING

SANITARY PLUMBING SHALL BE INSTALLED IN PVC PIPING
FITTINGS AS APPROVED BY AUTHORITIES

CLEANING AND FINISHING

AT COMPLETION OF THE WORK THE PLUMBING SYSTEMS
SHALL BE FLUSHED AND ALL WASTE TRAPS CLEANED PRIOR
TO HANDING OVER THE INSTALLATION TO THE PROPRIETOR

PROVIDE NEW HOSE COCKS EXTERNALLY WHERE DIRECTED
IN 19MM COPPER PIPEWORK

FIXTURES

<u>SHOWER RM-</u>	WALL BASIN BOTTLETRAP W C SHOWER WASTE
<u>BATH 3-</u>	WALL BASIN BOTTLETRAPS SHOWER WASTE
<u>WC3-</u>	WALL BASIN BOTTLETRAP W C
<u>LAUNDRY</u>	SINK WASHER DRYER
<u>BATH 2-</u>	DOUBLE WATER PLANE BATH SHOWER WASTE SELECTED HEATED TOWEL RAIL
<u>WC 2-</u>	WALL BASIN BOTTLETRAP W C
<u>KITCHEN-</u>	DOUBLE SINK DISHWASHER
<u>ENSUITE-</u>	BASIN LET INTO VANITY TO DETAIL SHOWER WASTE W C BOTTLETRAP

TAPS AND OUTLETS
ALL TAPS AND OUTLETS TO BE SELECTED AND SUPPLIED BY
CLIENT UNLESS OTHERWISE NOTED

5 6 ELECTRICAL

GENERALLY
THE ELECTRICAL INSTALLATION SHALL BE CARRIED OUT IN
ACCORDANCE WITH THE S A A WIRING CODES AND
RELEVANT SUPPLY AUTHORITY S REQUIREMENTS
THE WORK SHALL INCLUDE THE SUPPLY INSTALLATION
TESTING AND COMMISSIONS OF ALL ELECTRICAL SERVICES
SHOWN ON THE PLANS AND SPECIFIED HEREIN

EARTHING
PROVIDE A COMPLETE COMBINED EARTH LEAKAGE AND
EARTHING SYSTEM CIRCUIT BREAK EQUAL TO CLIPSAL IN

ACCORDANCE WITH THE REQUIREMENTS OF THE SUPPLY
AUTHORITY FOR BOTH SINGLE AND THREE PHASE CIRCUITS
AIR-CONDITIONING ON SEPARATE CIRCUITS

HOUSE CONNECTION

FROM EXISTING HOUSE SERVICE POST WHERE INDICATED
ON DRAWING PROVIDE UNDERGROUND SERVICE TO
HOUSE

SWITCHES

STAINLESS STEEL FACE PLATE WITH WHITE SWITCH CLIPSAL
SERIES ALLOW FOR MULTI GANG PLATES

POWER POINTS

STAINLESS STEEL FACE PLATE WITH WHITE SWITCH CLIPSAL
SERIES

ALLOW FOR MOUNTING ACCESSORIES

WIRING INSTALLATION

ALL SWITCH DROPS AND POWER POINT RISERS SHALL BE
CONCEALED GENERAL PURPOSE OUTLETS TO BE INSTALLED
AT 300 mm ABOVE FLOOR OR 1050mm ABOVE FLOOR
OVER BENCHES

POSITION OF GENERAL POWER OUTLETS AND LIGHT POINTS
AS PER DRAWING ALL 12 VOLT LIGHTS TO BOTH GROUND
AND FIRST FLOORS SELECTED LIGHT SETS TO BE ON
DIMMERS

CLIENT TO PROVIDE ALL LIGHT FITTINGS AND BUILDER TO
ALLOW FOR INSTALLATION

SEPARATE SWITCHES TO GARDEN LIGHTS TO ENTRANCE OF
RESIDENCE

SEPARATE SWITCHES TO GARDEN LIGHTS AT REAR AND
WESTERN SIDE OF RESIDENCE

INSTALL GAS CONNECTIONS TO GAS FIREBOX IN LIVING
ROOM HOT PLATES TO KITCHEN AND GAS BAYONET
EXTERNALLY FOR BARBECUE CONNECTION

ALLOW FOR WIRING UP TV WITH ANTENNA TO LIVING /
DINING ROOM FAMILYROOM AND STUDY
FIX ANY HI FI EQUIPMENT ETC PROVIDED BY CLIENT TO
LOCATIONS SELECTED

APPLIANCES

BUILDER TO ALLOW FOR THE INSTALLATION OF THE
FOLLOWING

MIELE STAINLESS STEEL 5 BURNER GAS COOKTOP

MIELE SINGLE ELECTRIC WALL OVENS

MIELE INTEGRATED STAINLESS STEEL DISHWASHER

EXHAUST HOOD OVER HOT PLATES DISCHARGED THRU
ROOF

LABELLING METER BOX
ALL ITEMS OF ELECTRICAL DISTRIBUTION EQUIPMENT
CIRCUITS ETC SHALL BE CLEARLY LABELLED TO INDICATE
THEIR FUNCTION

SUB-BOARDS
PROVIDE FOR THE INSTALLATION OF A SUB- BOARD IN THE
HOUSE IN AN EXACT LOCATION TO BE SELECTED

CEILING FANS
SUPPLY AND INSTALL 2 EXHAUST FANS SIMILAR TO ' XPELAIR '
IN POSITIONS TO BE SELECTED

TELEPHONES
SUPPLY AND INSTALL TELEPHONES AND CONNECTIONS AS
INDICATED ON DRAWINGS INSTALL IN RIGID PVC
CONCEALED CONDUITS

SECURITY SYSTEM
PROVIDE SUPPLY FROM METER BOARD TO SECURITY SYSTEM
SUB-CONTRACTOR TO SUPPLY FROM SECURITY SYSTEM TO
EQUIPMENT TO BE SELECTED BY OWNER

5.7 GAS FITTING

GENERAL
CARRY OUT WORK IN ACCORDANCE WITH RULES AND
REGULATIONS OF SUPPLY AUTHORITY CONCERNED AND IN
ACCORDANCE WITH NATURAL GAS CODE

SERVICE
INSTALL SERVICES WITH COPPER PIPES AND FITTINGS

METER
EXTEND FROM NEW GAS METER HOUSING NEW FITTINGS TO
COMPLETE JOB SEE DRAWINGS FOR LOCATIONS OF GAS
POINTS and LOCATION OF METER BOX

APPLIANCES
GAS HOT PLATE IN KITCHEN
EXTERNAL GAS POINT FOR BBQ

TESTING
THE COMPLETED WORKS WILL BE SUBJECT TO PRESSURE TEST
IN ACCORDANCE WITH AUTHORITIES REQUIRED

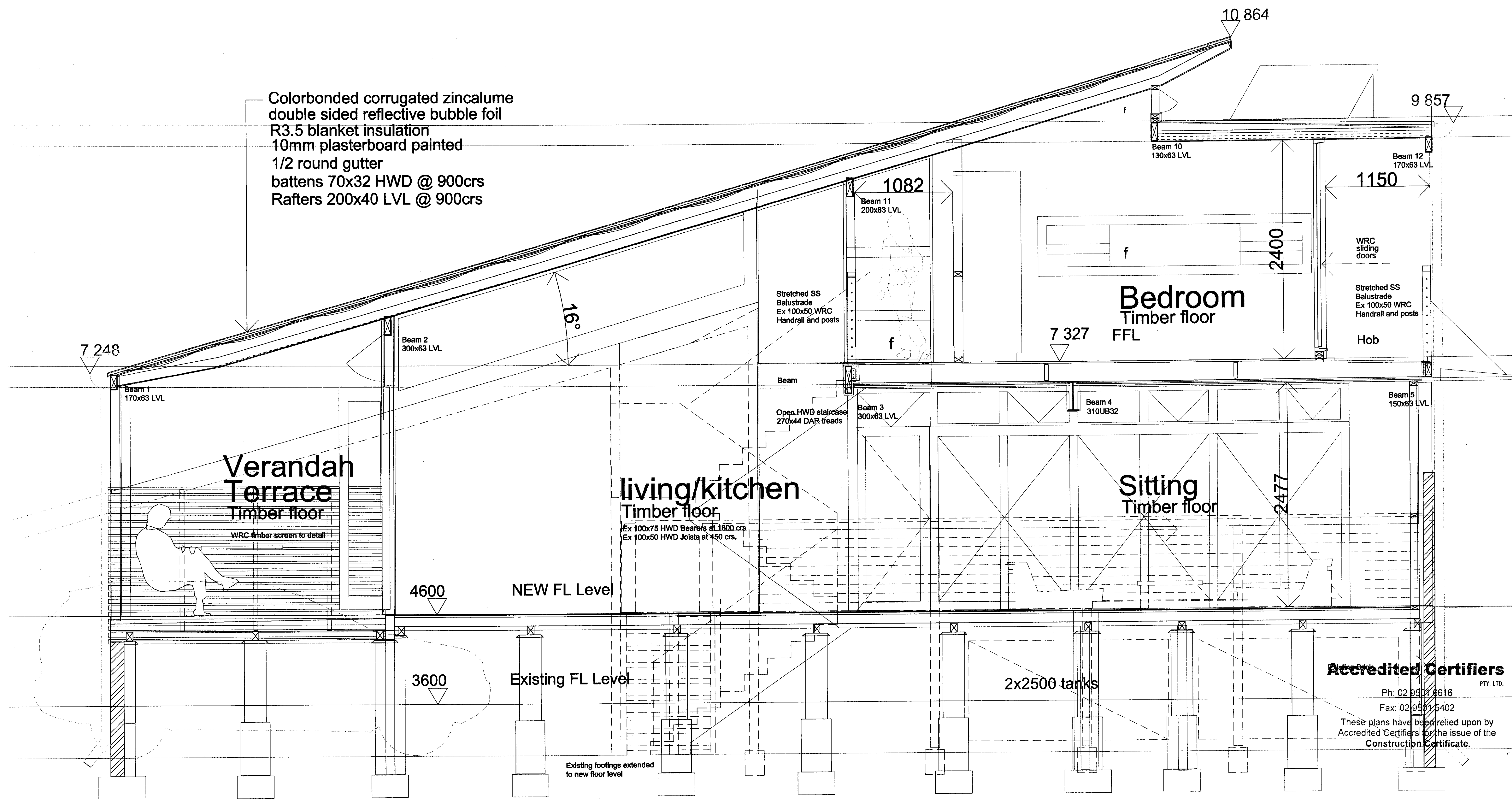
APPENDIX I	PRIME COST SUMS	
	DOOR HARDWARE	\$5 000
	CABINETS	

SHOWER ROOM	\$
BEDS 2 3 4 ROBES	\$10 000
LAUNDRY	\$2 000
BATHROOM 2 AND 3CABINETS	\$2 000
KITCHEN	\$35 000
MASTER BED ROBE	\$3 000
ENSUITE	\$2 000
FLOOR FINISHES	
WALL TILES (SUPPLY ONLY)	\$50 00 PER SQ M
FLOOR TILES (SUPPLY ONLY)	\$60 00 PER SQ M

APPENDIX II

ARCHITECTURAL DRAWINGS

- BJP/RSS/A0
- BJP/RSS/A1
- BJP/RSS/A2
- BJP/RSS/A3
- BJP/RSS/A4
- BJP/RSS/A5
- BJP/RSS/A6
- BJP/RSS/A7
- BJP/RSS/A8
- BJP/RSS/A9
- BJP/RSS/A10
- BJP/RSS/A11
- BJP/RSS/A12



Accredited Certifiers
 Ph: 02 9501 6616
 Fax: 02 9501 5402
 These plans have been relied upon by
 Accredited Certifiers for the issue of the
 Construction Certificate.

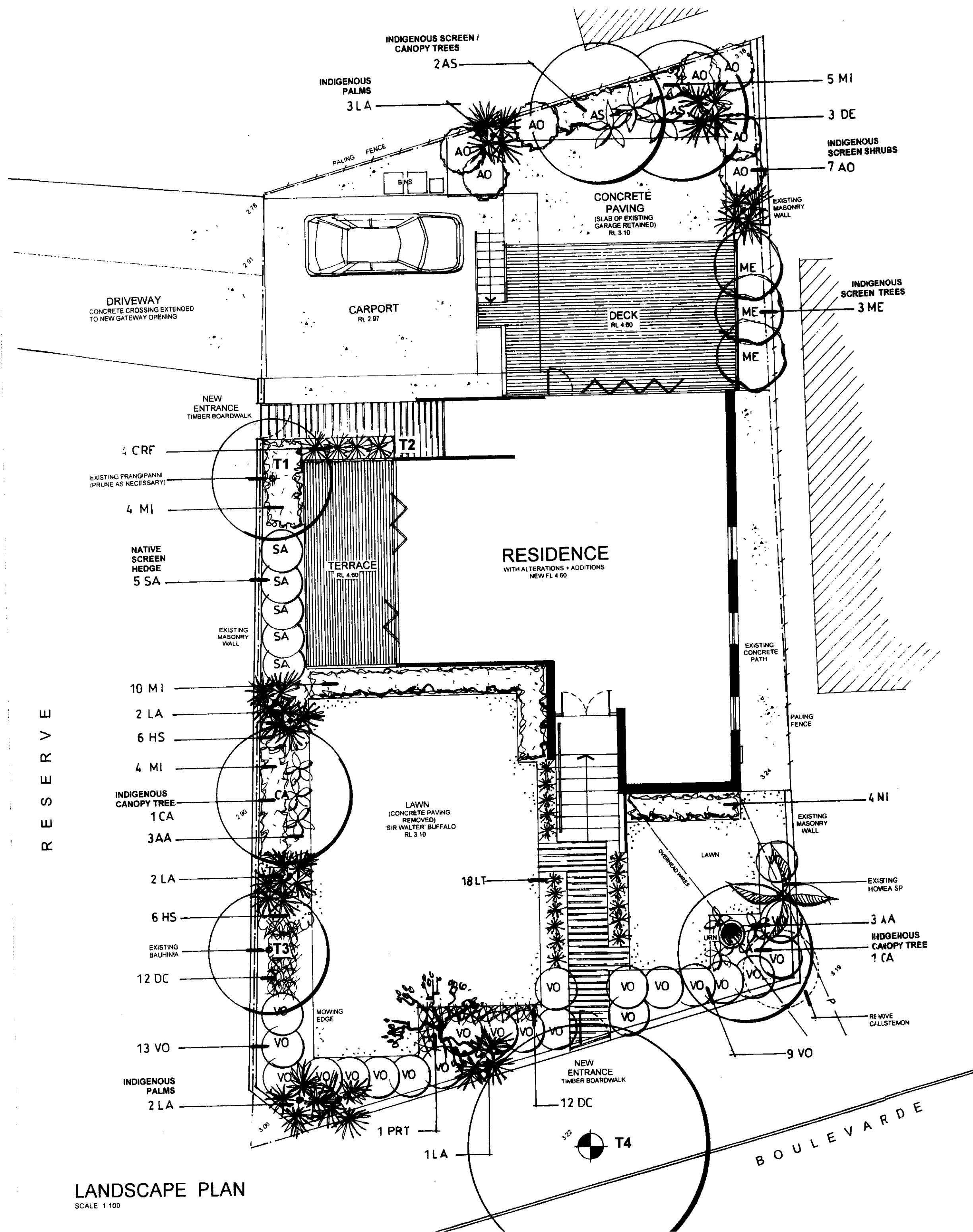
SELECTED DETAILS AT 1:200

Stokes House #6 The Boulevarde Newport 2106 Lot B DP 348894

Date 10 Sept 2008
Drawing BJP/RSS/D
BJP Architects 0439483 997
arkhouse@bigpond.com

PLAN OR DOCUMENT CERTIFICATION		
I am a qualified Civil & Structural Engineer		
and the following qualifications M. Eng. Sc.		
NS. Aust. N Per 3 Civil & Structural No. 149788		
After I am appropriately qualified to certify this component of the project.		
I hereby state that these plans or details comply with the conditions of		
development consent. The provisions of the Building Code of Australia		
and/or appropriate Australian/industry standards.		
ACK HODGSON	Date	Signature

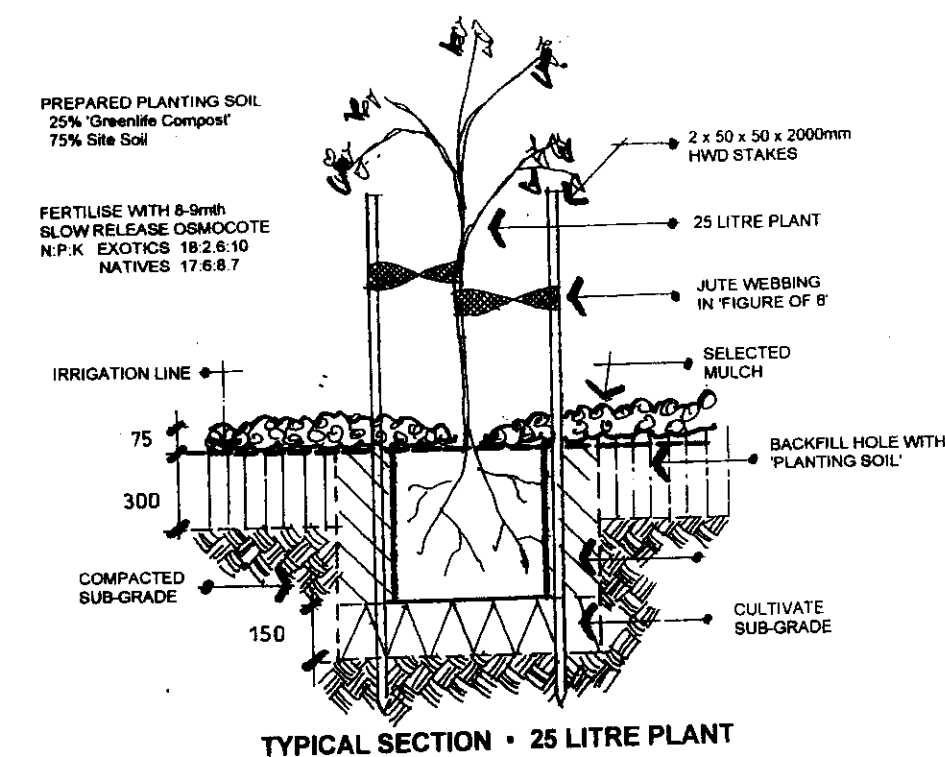
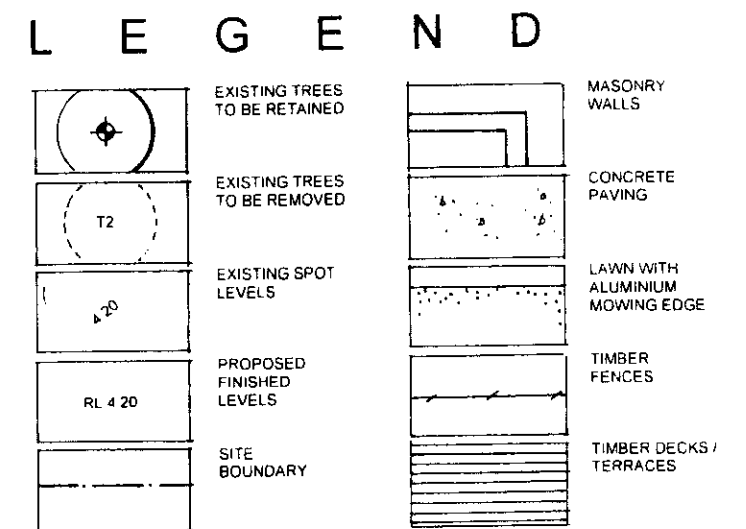
RECEIVED
13 JAN 2009
SVD



EXISTING VEGETATION SCHEDULE

NO	SPECIES	TRUNK ^a	HEIGHT	SPREAD	STATUS
T1	PLUMERIA RUBRA	400MM	4M	6M	RETAIN
T2	PLUMERIA RUBRA	MULTI	3M	2M	TRANSPLANT
T3	BAUHINIA SP	200MM	4M	4M	RETAIN
T4	MELALEUCA QUINQUEVERVIA	1000MM	10M	8M	RETAIN + PROTECT

PROPOSED PLANTING SCHEDULE



NOTE PLAN SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS PREPARED BY BJP ARCHITECTS APPROVED DEVELOPER NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH DEVELOPER	TRISH DOBSON LANDSCAPE ARCHITECT - HORTICULTURIST 34A MATTHEW STREET, NEWPORT NSW 2107 ph 02 9918 8005 mb 0404 99302 email tdobson@bigpond.net.au
	
	PROJECT STOKES HOUSE 6 THE BOULEVARDE NEWPORT
	DRAWING LANDSCAPE PLAN DEVELOPMENT APPLICATION
	SCALE 1:100 DATE 20/8/08 JOB 0820 ISSUE DA
DWG 0820 / DA-L01	