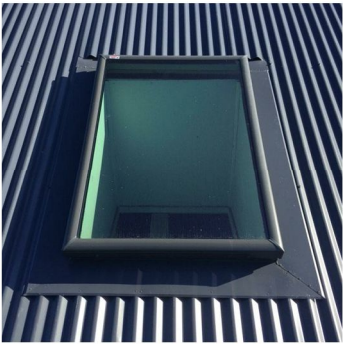




SKYLIGHTS - VELUX / CUSTOM



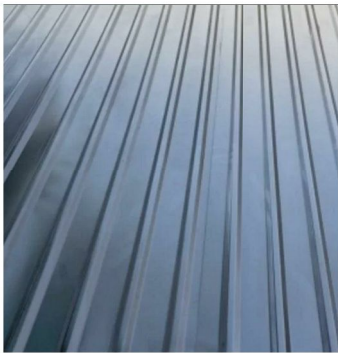
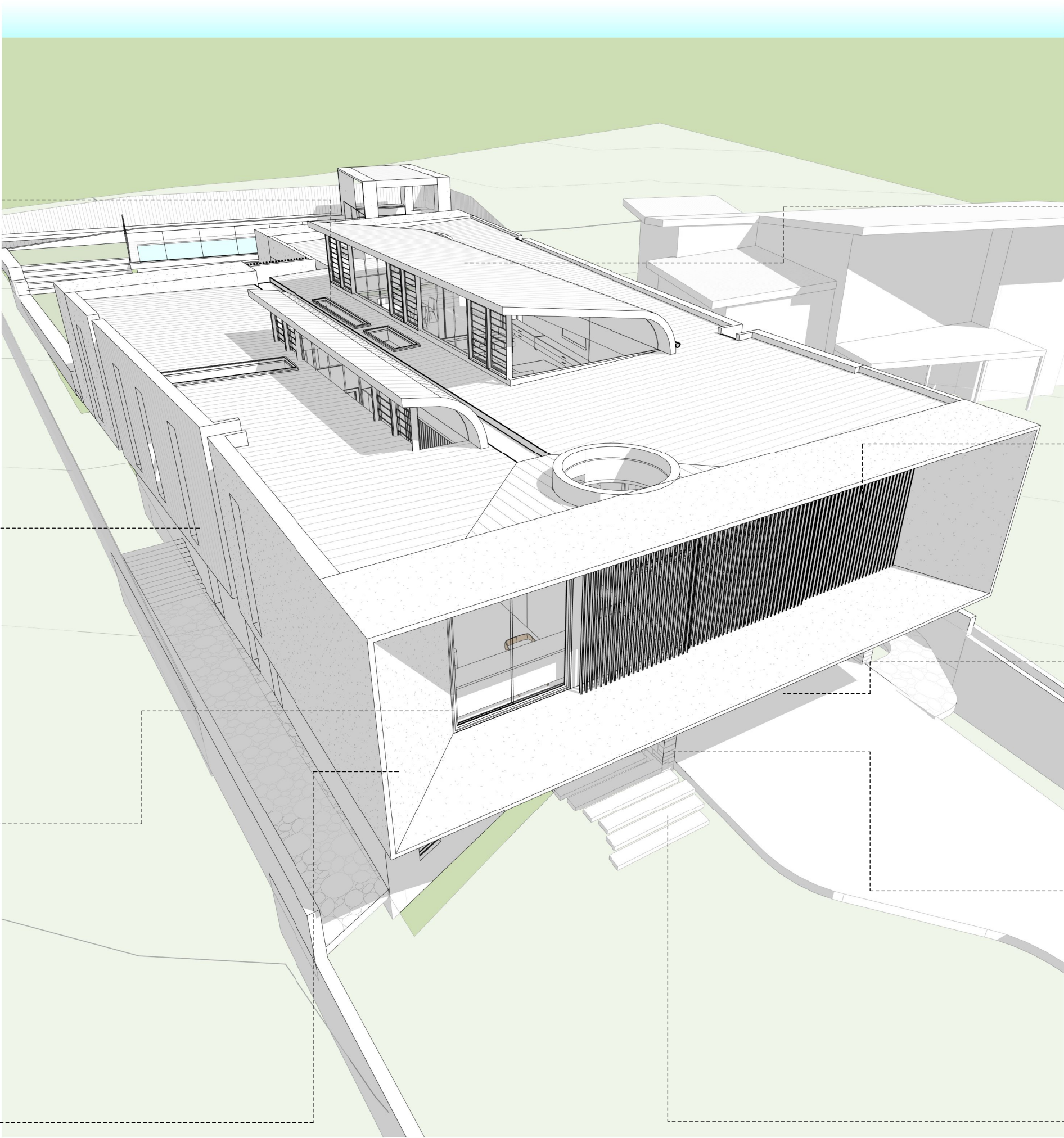
CLADDING - STANDING SEAM.
COLOUR: DARK GREY



WINDOWS/DOORS - BLACK
ALUMINIUM



FEATURE WALL - OFF-FORM
CONCRETE



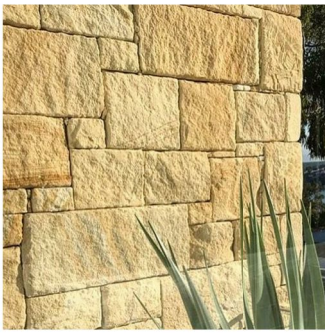
ROOF - TRIMDEK / KLIP LOK
COLOUR: GREY



SCREENS - TIMBER/ALUMINIUM
BATTENS (TIMBER GRAIN)



TIMBER BATTEN GARAGE
DOOR



STONE CLAD FEATURE
WALLS OR SIMILAR



STONE STEPPERS



location plan
1 HAREWOOD PL, WARRIEWOOD NSW 2102

PROJECT DESCRIPTION:

Proposed new residential dwelling located in 1 Harewood Pl, Warriewood.
The subject site is identified as being located within the Northern Beaches Council Area.

The extent of the proposed works includes:

- Demolition of existing house and driveway
- New Driveway
- New Two Storey Residence
- New swimming pool & cabana

The extent of the Proposed works are illustrated on the Architectural Plans prepared by Hot House Architects

DA SHEET LIST

DA_001	COVER SHEET
DA_002	SITE ANALYSIS
DA_090	DEMOLITION PLAN - LOWER LEVEL
DA_091	DEMOLITION PLAN - UPPER LEVEL
DA_100	LOWER LEVEL / STREET LEVEL
DA_101	UPPER LEVEL
DA_103	ROOF PLAN
DA_200	ELEVATIONS
DA_201	ELEVATIONS
DA_300	SECTIONS
DA_350	DRIVEWAY DETAILS
DA_600	SITE MANAGEMENT PLAN
DA_701	LANDSCAPE PLANS & COMPLIANCE
DA_800	SHADOW DIAGRAMS - WINTER 21 JUNE

1 EXTERNAL FINISHES

CONSULTANTS:

Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m: 0433 775 490
info@hthousestudio.com

Arbortist:
Hugh The Arbortist
Hugh Wilkinson
0426 367 701
hugh@hughthearbortist.com.au
www.hughthearbortist.com.au

Surveyor:
CMS SURVEYORS PTY LTD
208A SOUTH CREEK ROAD,
DEE WHY, NSW
Phone: (02) 9971 4802
Email: info@cmsurveyors.com

Energy Assessor:
Residential Certifying Specialist
Paul Graham
(02) 9130 2068
PO Box 3138, Tamarama NSW 2026
paul@houseenergycertified.com
www.houseenergycertified.com

Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0401 450 989
dave@nda.liv
www.nda.liv

Stormwater Engineer:
NY Civ
Yousef Radd
m: 0413 842 613
ahmed@nycivilengineering.com.au
www.nycivilengineering.com.au

Geotechnical Engineer:
White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7590 3214
info@whiteteo.com.au
www.whiteteo.com.au

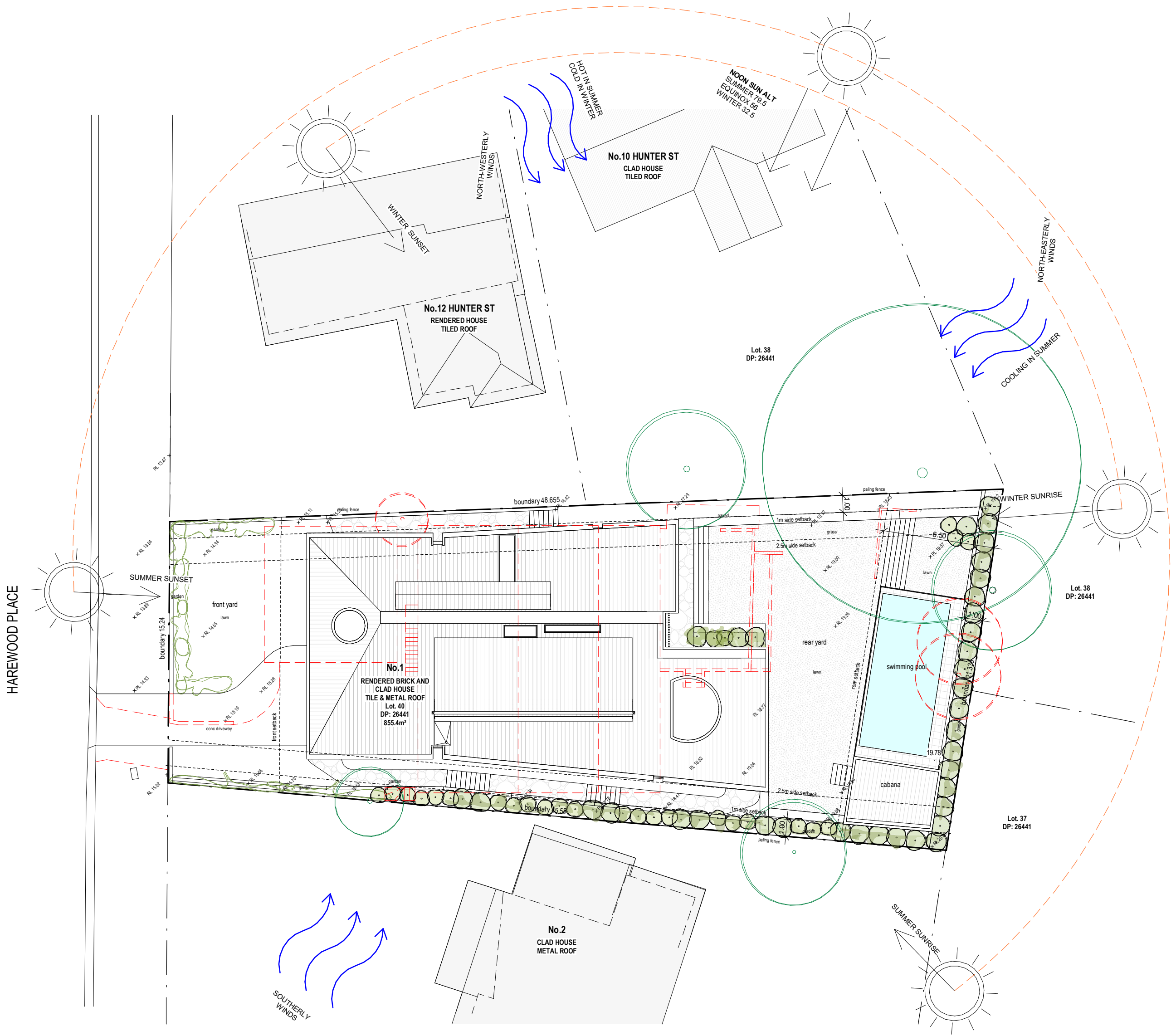
CLIENT:
LUKE & JULIE PRESTON

PROJECT:
ALTERATIONS & ADDITIONS

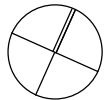
ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

DRAWING TITLE:
COVER SHEET

PROJECT NO.	DRAWN	CHECKED
1072HHA	MS	WC
DATE	DRAWING NO	REVISION NO
28 September 2023	DA_001	A
SIZE	SCALE	
A2	1 : 25	



FOR DEVELOPMENT
APPLICATION ONLY



LEGEND:	
DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE.
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS.

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA.
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY.

1 SITE
1 : 200



1 : 100

BASIS COMMITMENTS: 1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIS CERTIFICATION. 2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIS GLAZING REQUIREMENTS.	NOTES: ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODES OF AUSTRALIA. DRAWINGS TO BE READ IN CONJUNCTION WITH BASIS CERTIFICATE AND T&C SURVEY.
--	--

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN
ACCORDANCE WITH APPLICABLE AUSTRALIAN
STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIC
CERTIFICATE AND THE SURVEY



PRINT DATE: 23/09/2023 2:54:47 PM PRINT SIZE: A2

NOTES:

Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention.

Use figured dimensions only. Do not scale drawings.

All work shall comply with the Building Code of Australia and relevant Australian standards.

© COPYRIGHT: Hot House Projects Pty Ltd

Information contained on this drawing is the copyright of Hot House Projects Pty Ltd. Copying, or part of, without written permission infringes Copyright.

Hot House Projects Pty Ltd T/A Hot House Architects

ISSU
A

DESCRIPTION
DA Issue

DATE
28/09/23

CONSULTANTS:

Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m: 0433 775 490
info@hthousestudio.com

Hugh The Arborist
Hugh Millington
0426 367 701
hugh@hughthearborist.com.au
www.hughthearborist.com.au

Surveyor:
CMS SURVEYORS PTY LTD
2/99A SOUTH CREEK ROAD
DEE WHY, NSW
Phone: (02) 9971 4802

Energy Assessor:
Residential Certifying Specialist
Paul Gradwell
(02) 9130 2068
PO Box 3136 Tamarama NSW 20
paul@houseenergycertified.com
www.houseenergycertified.com

Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0401 450 989
dave@nda.live
www.nda.live

Stormwater Engineer:
NY Civil
Youssef Riad
m: 0413 942 613
admin@nycivilengineering.com.au
www.nycivilengineering.com.au

White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7900 3214
info@whitegeo.com.au
www.whitegeo.com.au

CLIENT:
LUKE & JULIE PRESTON

PROJECT:

ALTERATIONS & ADDITIONS

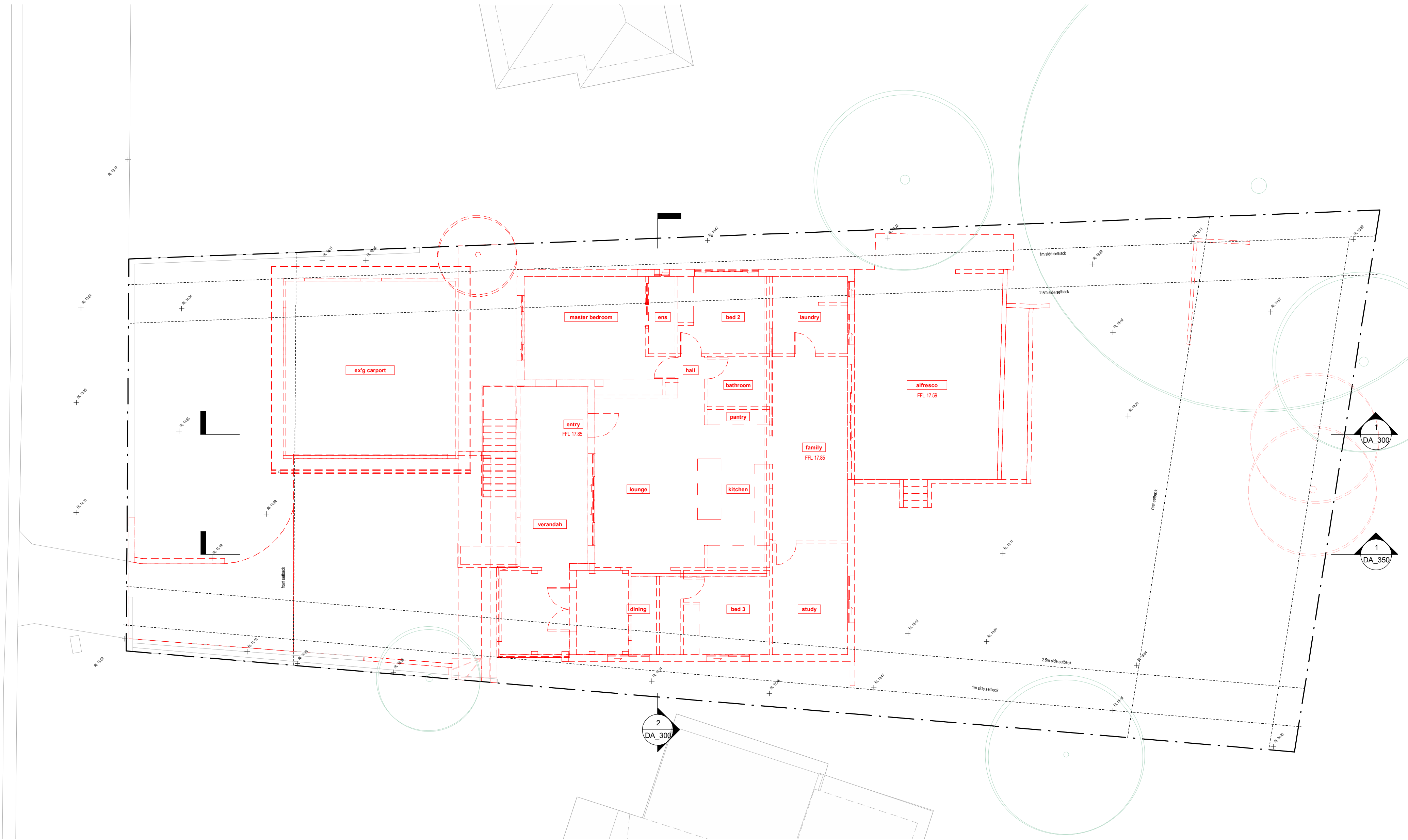
ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

DRAWING TITLE:

DEMOLITION PLAN - LOWER LEVEL

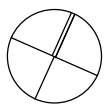
PROJECT NO.	DRAWN	CHECKED
1072HHA	MS	WC

DATE	28 September 2023	DRAWING NO	REVISION
SIZE	A2	Scale As indicated	DA 090 A



1 UPPER LEVEL
1 : 100

FOR DEVELOPMENT
APPLICATION ONLY



LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN
OVERLAND FLOW

BASIS COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIS CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIS GLAZING REQUIREMENTS
NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIS CERTIFICATE AND THE SURVEY

HOT HOUSE
ARCHITECTS

61 2 9999 0668
+61 0433 775 490
se 8 11 level 1 bungan st
mona vale nsw 2106
po box 26 newport nsw 2106
info@hthousestudio.com
www.hthousestudio.com
Nominated Architect:
Wade Stewart Cogle
NSW ARB Registration:
18971

PRINT DATE: 28/09/2023 2:54:48 PM PRINT SIZE: A2
NOTES:
Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention.
Use figured dimensions only. Do not scale drawings.
All work shall comply with the Building Code of Australia and relevant Australian standards.
© COPYRIGHT: Hot House Projects Pty Ltd
Information contained on this drawing is the copyright of Hot House Projects Pty Ltd. Copying, or part of, without written permission infringes Copyright.
Hot House Projects Pty Ltd TAs Hot House Architects

ISSUE
A

DESCRIPTION
DA Issue

DATE
28/09/23

CONSULTANTS:

Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m: 0433 775 490
info@hthousestudio.com

Arbortist:
Hugh The Arbortist
Hugh Willington
0426 367 701
hugh@hughthearbortist.com.au
www.hughthearbortist.com.au

Surveyor:
CMS SURVEYORS PTY LTD
208A SOUTH CREEK ROAD,
DEE WHY, NSW
Phone: (02) 9971 4802
Email: info@cmsurveyors.com

Energy Assessor:
Residential Certifying Specialist
Paul Grubwell
(02) 8130 2068
PO Box 3138, Tamarama NSW 2026
paul@houseenergycertified.com
www.houseenergycertified.com

Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0417 450 989
dave@nda.nsw.gov.au
www.nda.nsw.gov.au

Stormwater Engineer:
NY CIVIL
Yousef Ried
m: 0413 842 613
ahmed@nycivilengineering.com.au
www.nycivilengineering.com.au

Geotechnical Engineer:
White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7590 3214
info@whitetechnical.com.au
www.whitetechnical.com.au

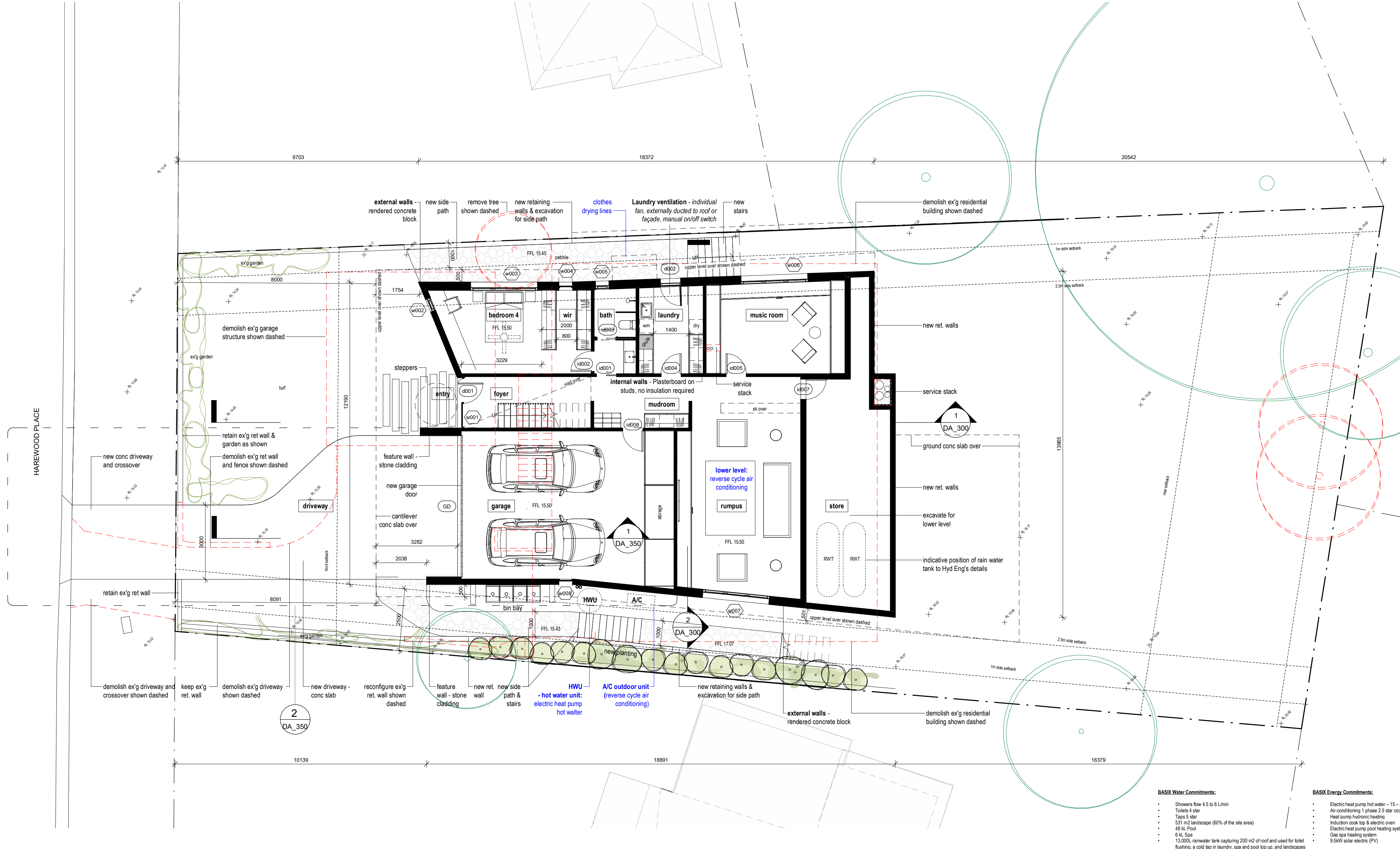
CLIENT:
LUKE & JULIE PRESTON

PROJECT:
ALTERATIONS & ADDITIONS

ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

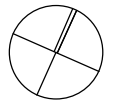
DRAWING TITLE:
DEMOLITION PLAN - UPPER LEVEL

PROJECT NO. 1072HHA	DRAWN MS	CHECKED WC
DATE 28 September 2023	DRAWING NO DA_091	REVISION NO A
SIZE A2	SAs indicated	



2 PROPOSED LOWER
1 : 100

FOR DEVELOPMENT
APPLICATION ONLY



LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN
OVERLAND FLOW

- BASIX Water Commitments:**
- Showers flow 4.5 to 6 L/min
 - Toilets 4 star
 - Taps 5 star
 - 531 m2 landscape (60% of the site area)
 - 48 KL Pool
 - 6 KL Spa
 - 15,000L rainwater tank capturing 200 m2 of roof and used for toilet flushing, a cold tap in laundry, spa and pool top up, and landscapes

- BASIX Energy Commitments:**
- Electric heat pump hot water – 15 – 21 STCs
 - Air-conditioning 1 phase 2.5 star cooling
 - Heat pump hydronic heating
 - Induction cook top & electric oven
 - Electric heat pump pool heating system
 - Gas spa heating system
 - 9.5kW solar electric (PV)

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED ACCORDANCE WITH BASIX CERTIFICATE AND THE SURVEY

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX AS PER BASIX GLAZING REQUIREMENTS



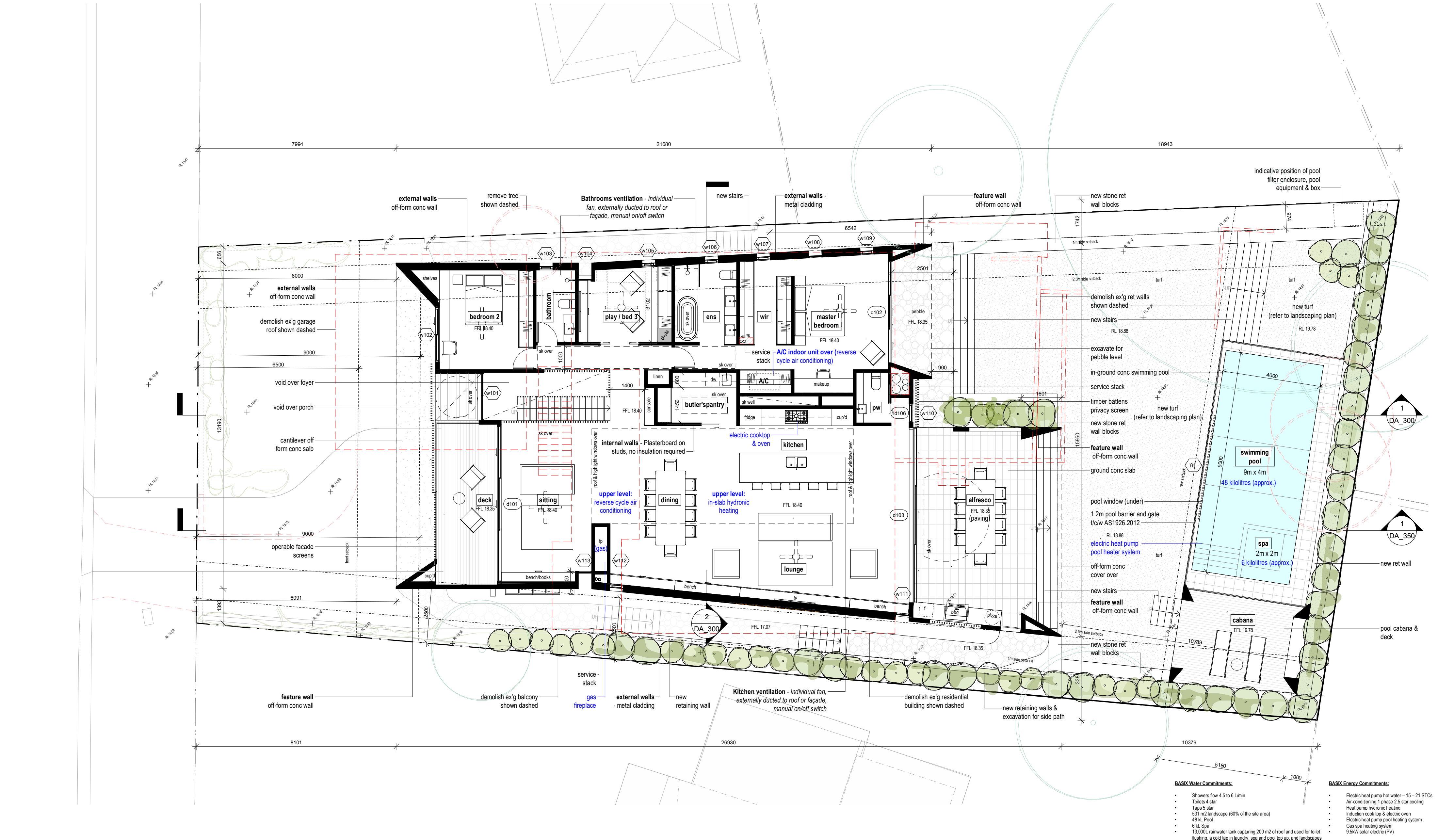
61 2 9999 0668
+61 0433 775 490
se 8 11 level 1 bungan st
mona vale nsw 2106
po box 26 newport nsw 2106
info@hthousestudio.com
www.hthousestudio.com
Nominated Architect:
Wade Stewart Cogle
NSW ARB Registration:
18971

PRINT DATE: 28/09/2023 2:54:50 PM PRINT SIZE: A2
ISSUE: A
DESCRIPTION: DA Issue
DATE: 28/09/23
CONSULTANTS:
Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m: 0433 775 490
p: 0433 775 490
info@hthousestudio.com
Surveyor:
CMS SURVEYORS PTY LTD
208A SOUTH CREEK ROAD
DEE WHY NSW
Phone: (02) 9971 4802
Email: info@cmsurveyors.com
Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0411 450 989
dave@nbsa.live
www.nbsa.live
Geotechnical Engineer:
White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7790 3214
info@whiteteo.com.au
www.whiteteo.com.au
Stormwater Engineer:
NY CIVIL
Yoursell Road
m: 0413 842 613
whit@nycivilengineering.com.au
www.nycivilengineering.com.au
Energy Assessor:
Residential Certifying Specialist
Paul Grahed
(02) 9130 2068
PO Box 3138, Tamarama NSW 2026
paul@houseenergycertified.com
www.houseenergycertified.com
Architect:
Hugh The Architect
Hugh The Architect
0426 367 701
hugh@hughtheartist.com.au
www.hughtheartist.com.au

NOTES:
Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention.
Use figured dimensions only. Do not scale drawings.
All work shall comply with the Building Code of Australia and relevant Australian standards.
© COPYRIGHT: Hot House Projects Pty Ltd
Information contained on this drawing is the copyright of Hot House Projects Pty Ltd. Copying, or part of, without written permission infringes Copyright.
Hot House Projects Pty Ltd TAs Hot House Architects

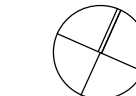
CLIENT:
LUKE & JULIE PRESTON
PROJECT:
ALTERATIONS & ADDITIONS
ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

DRAWING TITLE:
LOWER LEVEL / STREET LEVEL
PROJECT NO.
1072HHA
DATE
28 September 2023
SIZE
A2
DRAWN
MS
CHECKED
WC
DRAWING NO
DA_100
REVISION NO
A



2 PROPOSED UPPER
1 : 100

FOR DEVELOPMENT
APPLICATION ONLY



LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN
OVERLAND FLOW

- BASIX Water Commitments:**
- Showers flow 4.5 to 6 L/min
 - Toilets 4 star
 - Taps 5 star
 - 531 m2 landscape (60% of the site area)
 - 48 KL Pool
 - 6 KL Spa
 - 15,000L rainwater tank capturing 200 m2 of roof and used for toilet flushing, a cold tap in laundry, spa and pool top up, and landscapes
- BASIX Energy Commitments:**
- Electric heat pump hot water – 15 – 21 STCs
 - Air-conditioning 1 phase 2.5 star cooling
 - Heat pump hydronic heating
 - Induction cook top & electric oven
 - Electric heat pump pool heating system
 - Gas spa heating system
 - 9.5kW solar electric (PV)
- BASIX COMMITMENTS:**
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY
- NOTES:**
- ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA



61 2 9999 0668
+61 0433 775 490
se 8 11 level 1 bungan st
mona vale new 2106
po box 26 newport nsw 2106
info@hthousestudio.com
www.hthousestudio.com
Nominated Architect:
Wade Stewart Cogle
NSW ARB Registration:
10971

PRINT DATE: 28/09/2023 2:55:01 PM PRINT SIZE: A2
ISSUE: A
DESCRIPTION: DA Issue
DATE: 28/09/23
CONSULTANTS:
Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m 0433 775 490
info@hthousestudio.com
Surveyor:
CMS SURVEYORS PTY LTD
208A SOUTH CREEK ROAD
DREE WY, NSW
Phone: (02) 9971 4802
Email: info@cmsurveyors.com
Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0411 450 989
dave@nda.liv
www.nda.liv
Geotechnical Engineer:
White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7900 3214
info@whitegeo.com.au
www.whitegeo.com.au
Stormwater Engineer:
NY CIVIL
Yoursaf Road
m 0413 942 613
ahmed@nycivilengineering.com.au
www.nycivilengineering.com.au
Energy Assessor:
Residential Certifying Specialist
Pearl Grinstead
(02) 9130 2068
PO Box 3138, Tamarama NSW 2026
pau@houseenergycertified.com
www.houseenergycertified.com
Arbortist:
Hugh The Arbortist
Pearl Grinstead
(02) 9130 2068
hugh@hughthearbortist.com.au
www.hughthearbortist.com.au

NOTES:
Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention.
Use figured dimensions only. Do not scale drawings.
All work shall comply with the Building Code of Australia and relevant Australian standards.
© COPYRIGHT: Hot House Projects Pty Ltd
Information contained on this drawing is the copyright of Hot House Projects Pty Ltd. Copying, or part of, without written permission infringes Copyright.
Hot House Projects Pty Ltd TAs Hot House Architects

CLIENT:
LUKE & JULIE PRESTON
PROJECT:
ALTERATIONS & ADDITIONS
ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

DRAWING TITLE:
UPPER LEVEL
PROJECT NO.
1072HHA
DATE
28 September 2023
SIZE
A2
DRAWN
MS
DRAWING NO
DA_101
CHECKED
WC
REVISION NO
A

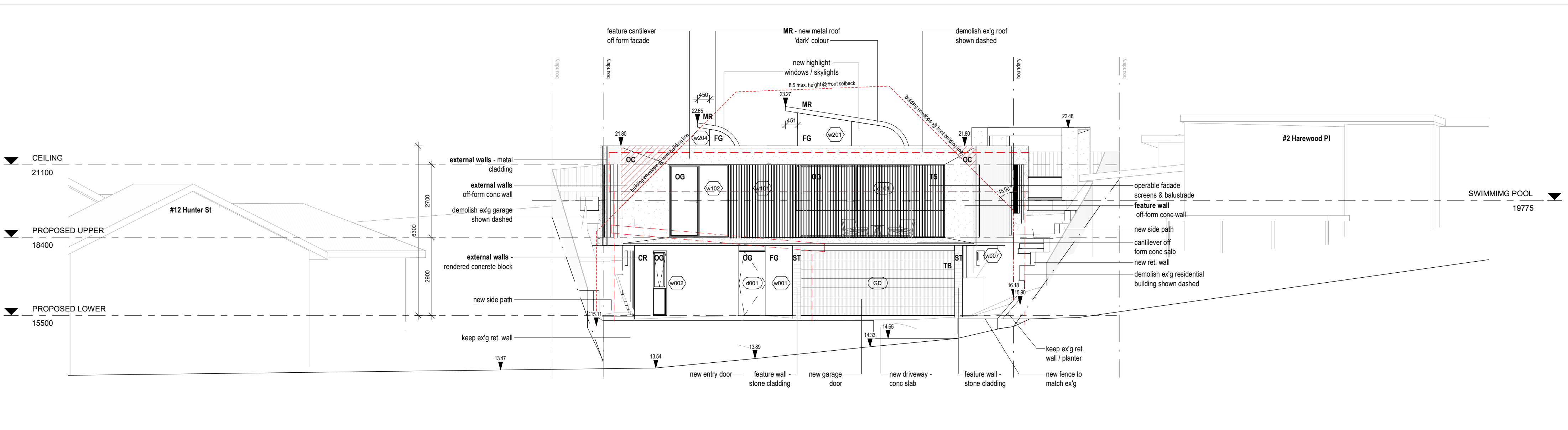
ISSUE
A

CLIENT:
LUKE & JULIE PRESTON

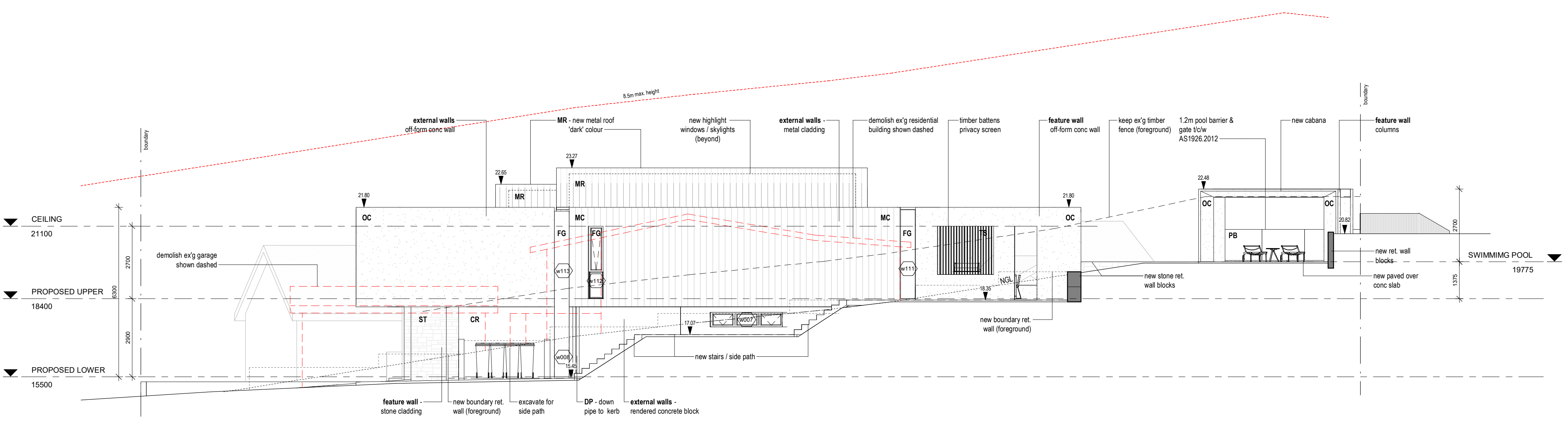
PROJECT:
ALTERATIONS & ADDITIONS

ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

DRAWING TITLE:			
ROOF PLAN			
PROJECT NO.	DRAWN	CHECKED	
1072HHA	MS	WC	
DATE	DRAWING NO		REVISION NO
28 September 2023			
SIZE			
A2	DA_103		A



1 WEST / STREET ELEVATION
1 : 100



2 SOUTH
1 : 100

LEGEND:

BAL	BALUSTRADE	FBK	FACE BRICK	MC	METAL CLADDING	SK	SKYLIGHT
BOY	BOUNDARY	FC	FIBER CEMENT SHEET	MR	METAL ROOF	TB	TIMBER BATTENS
CB	CONCRETE BLOCK	FG	FIXED GLASS	OC	OFF-FORM CONCRETE	TBC	TO BE CONFIRM
CONC	CONCRETE	FP	FIREPLACE	OG	OPERABLE GLASS	TI	TIMBER
CR	CONCRETE RENDER	FW	FLOOR WASTE	OH	OVER HANG	TF	TIMBER FLOOR
DP	DOWN PIPE	GD	GRADED DRAIN	PB	POOL BARRIER	TS	TIMBER SCREEN
EXG	EXISTING	GL	GLASS BALUSTRADE	ST	STONE CLADDING	WR	WALK IN ROBE

LEGEND:

DEMOLISH	NEW WORK	BOUNDARY	OVERHEAD	HIDDEN	OVERLAND FLOW
----------	----------	----------	----------	--------	---------------

FOR DEVELOPMENT APPLICATION ONLY

BASIC COMMITMENTS:

1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE.

2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY.

NOTES:

ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA.

HOT HOUSE ARCHITECTS

61 2 9999 0668
+61 0433 775 490

se 8 11 level 1 bungan st
mona vale nsw 2106
po box 26 newport nsw 2106

info@hthousestudio.com
www.hthousestudio.com

Nominated Architect:
Wade Stewart Cogle
NSW ARB Registration:
18971

PRINT DATE: 28/09/2023 2:55:03 PM PRINT SIZE: A2
ISSUE: A

NOTES:

Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention.

Use figured dimensions only. Do not scale drawings.

All work shall comply with the Building Code of Australia and relevant Australian standards.

© COPYRIGHT: Hot House Projects Pty Ltd

Information contained on this drawing is the copyright of Hot House Projects Pty Ltd. Copying, or part of, without written permission infringes Copyright.

Hot House Projects Pty Ltd TAs Hot House Architects

CONSULTANTS:

Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m 0433 775 490
info@hthousestudio.com

Surveyor:
CMS SURVEYORS PTY LTD
208/4 SOUTH CREEK ROAD
DEE WY, NSW
Phone: (02) 9971 4802
Email: info@cmsurveyors.com

Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0411 450 989
dave@nda.nsw.gov.au
www.nda.nsw.gov.au

Stormwater Engineer:
NY CIVIL
Yousaf Riaz
m 0413 942 813
ahmed@nycivilengineering.com.au
www.nycivilengineering.com.au

Geotechnical Engineer:
White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7590 3214
info@whitetechnical.com.au
www.whitetechnical.com.au

Architect:
Hugh The Architect
Paul Grinstead
(02) 9130 2068
0426 367 701
hugh@hughtheartist.com.au
www.hughtheartist.com.au

Residential Certifying Specialist:
Residential Certifying Specialist
Paul Grinstead
(02) 9130 2068
0426 367 701
paul@houseenergycertified.com
www.houseenergycertified.com

CLIENT:
LUKE & JULIE PRESTON

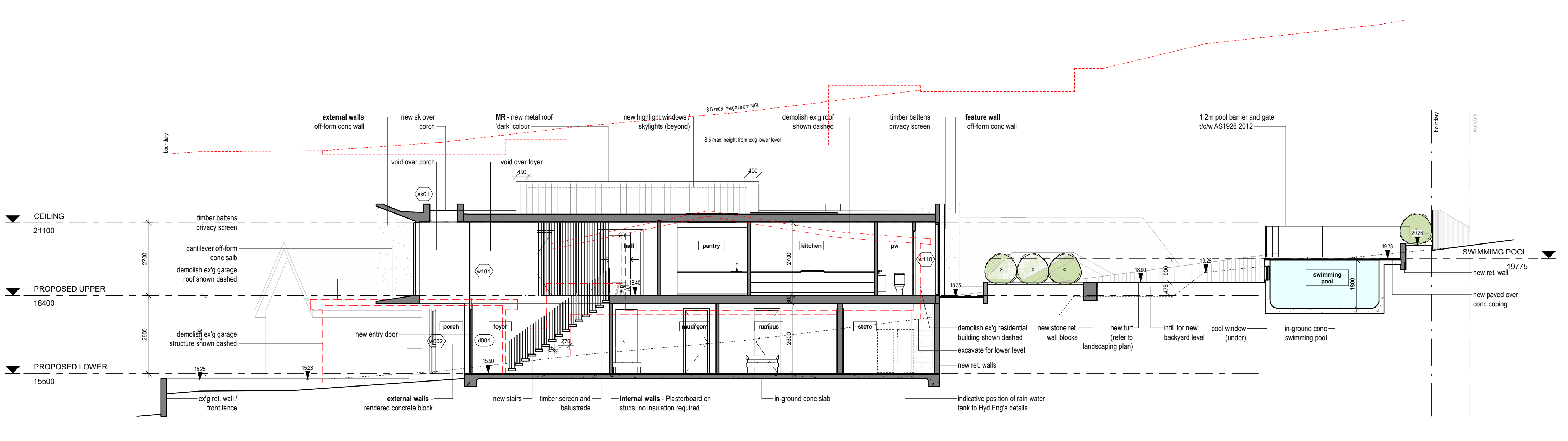
PROJECT:
ALTERATIONS & ADDITIONS

ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

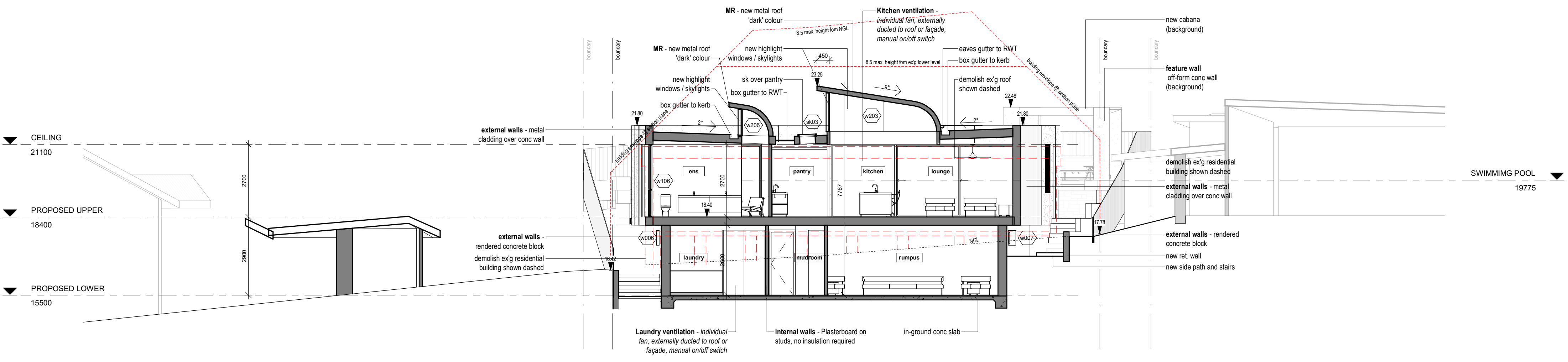
DRAWING TITLE:
ELEVATIONS

PROJECT NO. 1072HHA	DRAWN MS	CHECKED WC
DATE 28 September 2023	DRAWING NO. DA_200	REVISION NO. A
SIZE A2	SAs indicated	





1 Section 2
1 : 100



2 Section 3
1 : 100

LEGEND:

BAL	BALUSTRADE	FBK	FACE BRICK	MC	METAL CLADDING	SK	SKYLIGHT
BOY	BOUNDARY	FC	FIBER CEMENT SHEET	MR	METAL ROOF	TB	TIMBER BATTENS
CB	CONCRETE BLOCK	FG	FIXED GLASS	OC	OFF-FORM CONCRETE	TBC	TO BE CONFIRM
CONC	CONCRETE	FP	FIREPLACE	OG	OPERABLE GLASS	TI	TIMBER
CR	CONCRETE RENDER	FW	FLOOR WASTE	OH	OVER HANG	TF	TIMBER FLOOR
DP	DOWN PIPE	GD	GRATED DRAIN	PB	POOL BARRIER	TS	TIMBER SCREEN
EXG	EXISTING	GL	GLASS BALUSTRADE	ST	STONE CLADDING	WR	WALK IN ROBE

LEGEND:

DEMOLISH	NEW WORK	BOUNDARY	OVERHEAD	HIDDEN	OVERLAND FLOW
----------	----------	----------	----------	--------	---------------

BASIC COMMITMENTS:

1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE

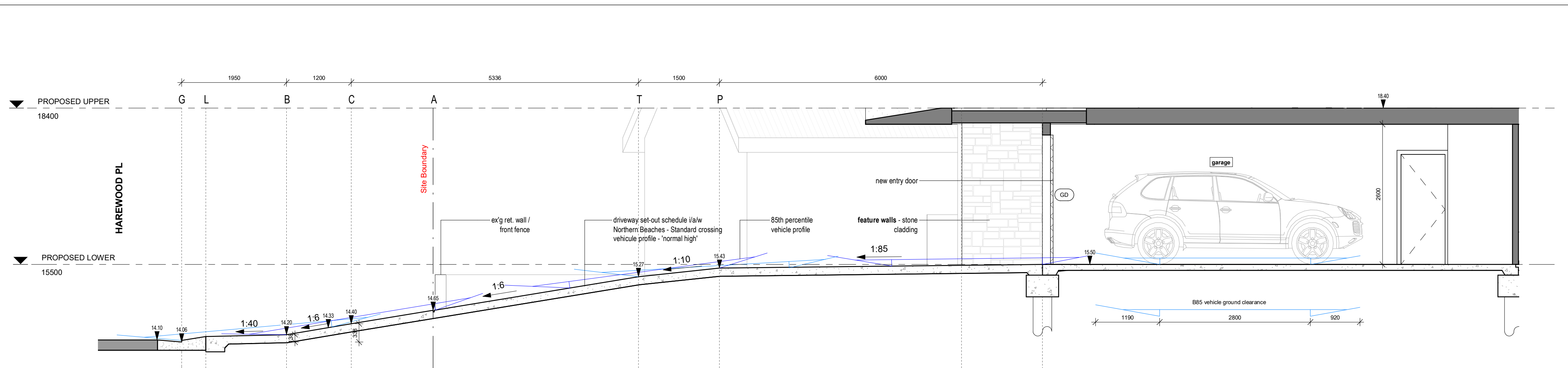
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

NOTES:

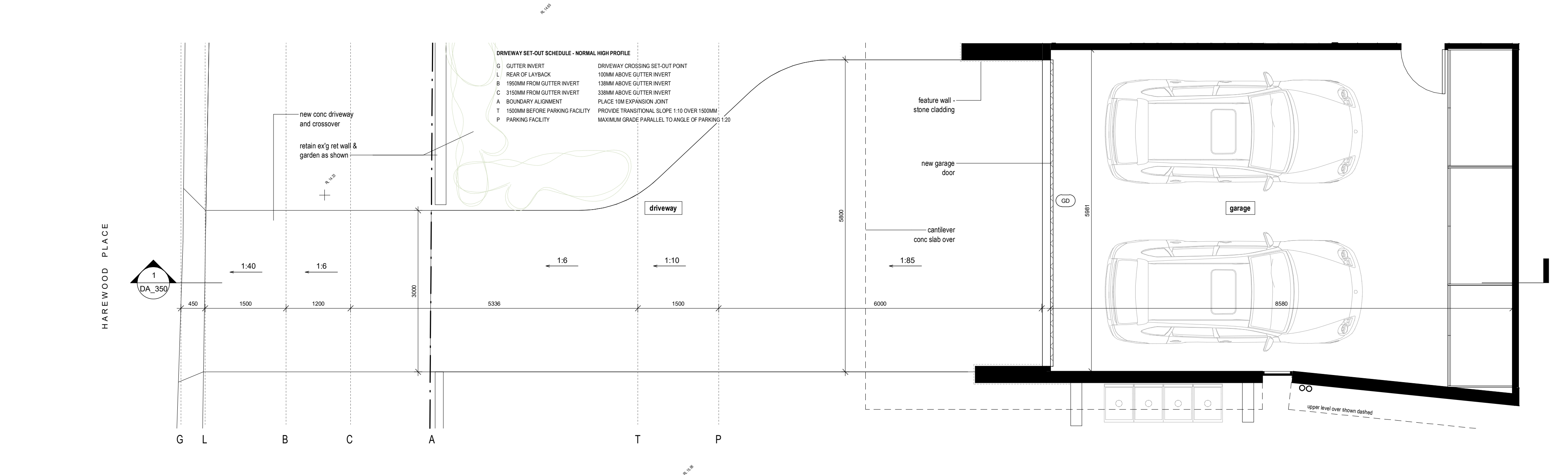
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA

DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

FOR DEVELOPMENT APPLICATION ONLY



1 DRIVEWAY DETAIL SECTION
1 : 50



2 DRIVEWAY PLAN
1 : 50

LEGEND:

BAL	BALUSTRADE	FBK	FACE BRICK	MC	METAL CLADDING	SK	SKYLIGHT
BOY	BOUNDARY	FC	FIBER CEMENT SHEET	MR	METAL ROOF	TB	TIMBER BATTENS
CB	CONCRETE BLOCK	FG	FIXED GLASS	OC	OFF-FORM CONCRETE	TBC	TO BE CONFIRM
CONC	CONCRETE	FP	FIREPLACE	OG	OPERABLE GLASS	TI	TIMBER
CR	CONCRETE RENDER	FW	FLOOR WASTE	OH	OVER HANG	TF	TIMBER FLOOR
DP	DOWN PIPE	GD	GRADED DRAIN	PB	POOL BARRIER	TS	TIMBER SCREEN
EXG	EXISTING	GL	GLASS BALUSTRADE	ST	STONE CLADDING	WR	WALK IN ROBE

LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

BASIC COMMITMENTS:

1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIC CERTIFICATE

2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED IN CONJUNCTION WITH BASIC CERTIFICATE AND THE SURVEY

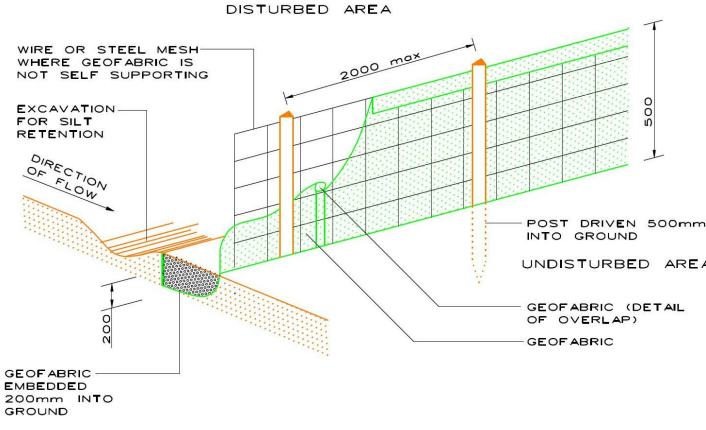
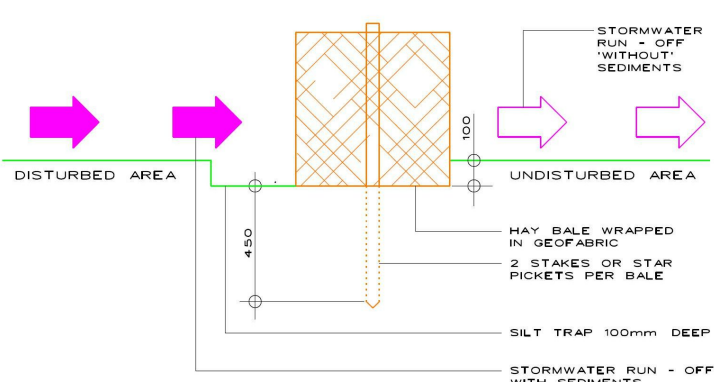
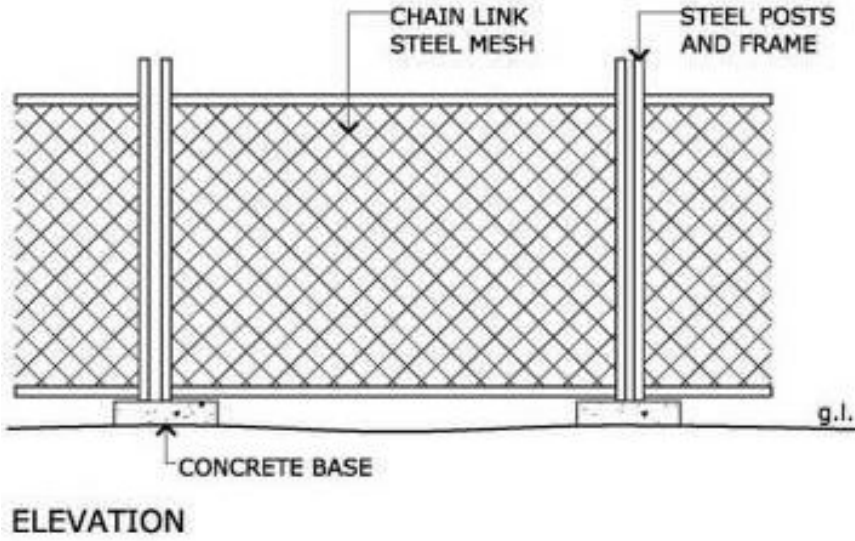
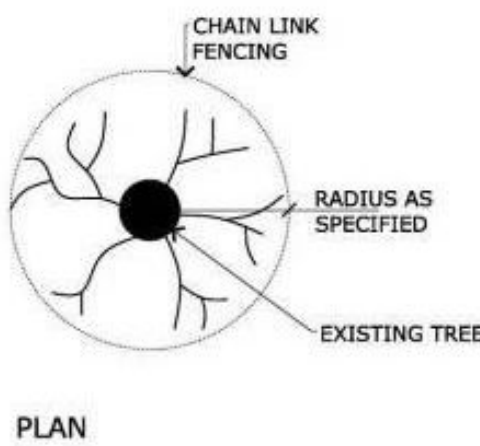
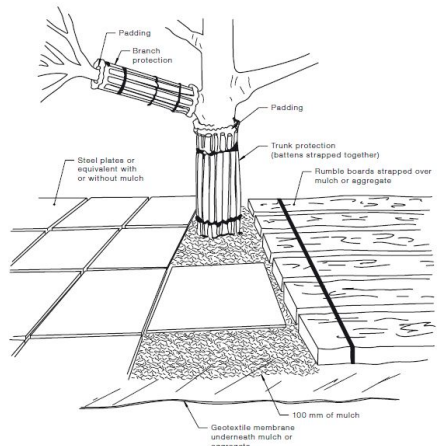
NOTES:

ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA

FOR DEVELOPMENT APPLICATION ONLY

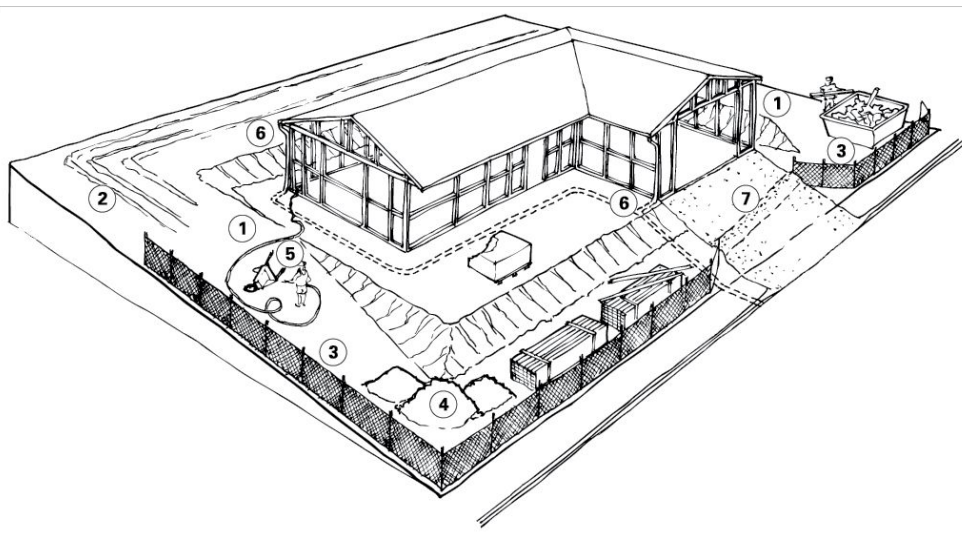
CONSTRUCTION & WASTE MANAGEMENT LEGEND

- TREE PROTECTION ZONE
- - - SITE FENCE
- OVERLAND FLOW
- - - SILT BARRIER
- DOMESTIC BIN STORAGE
- DOMESTIC BIN ROUTE



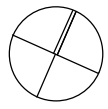
EROSION AND SEDIMENT CONTROL MEASURES:

1. MINIMISE DISTURBANCE.
2. DIVERSION DEVICES.
3. SEDIMENT BARRIERS.
4. SECURE STOCKPILES.
5. OTHER CONTAINMENTS.
6. EARLY STORMWATER CONNECTION.
7. CONTROLLED ACCESS POINT



1 SITE MANAGEMENT
1 : 200

FOR DEVELOPMENT
APPLICATION ONLY



- LEGEND:
- DEMOLISH
 - NEW WORK
 - BOUNDARY
 - OVERHEAD
 - HOOD
 - OVERLAND FLOW

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA

HOT HOUSE
ARCHITECTS

61 2 9999 0668
+61 0433 775 490
se 8 11 level 1 bungan st
mona vale nsw 2106
po box 26 newport nsw 2106
info@hthousestudio.com
www.hthousestudio.com
Nominated Architect:
Wade Stewart Cogle
NSW ARB Registration:
10971

PRINT DATE: 28/09/2023 2:55:16 PM PRINT SIZE: A2
NOTES:
Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention.
Use figured dimensions only. Do not scale drawings.
All work shall comply with the Building Code of Australia and relevant Australian standards.
© COPYRIGHT: Hot House Projects Pty Ltd
Information contained on this drawing is the copyright of Hot House Projects Pty Ltd. Copying, or part of, without written permission infringes Copyright.
Hot House Projects Pty Ltd TAs Hot House Architects

ISSUE
A

DESCRIPTION
DA Issue

DATE
28/09/23

CONSULTANTS:

Architect:
HOT HOUSE ARCHITECTS
PO Box 26, NEWPORT NSW 2106
m: 0433 775 490
info@hthousestudio.com

Surveyor:
CMS SURVEYORS PTY LTD
208A SOUTH CREEK ROAD,
DEE WHY, NSW
Phone: (02) 9971 4802
Email: info@cmsurveyors.com

Arbortist:
Hugh The Arbortist
Pear Creek
(02) 9130 2068
PO Box 3138, Tamarama NSW 2026
pau@houseenergycertified.com
www.houseenergycertified.com

Energy Assessor:
Residential Certifying Specialist
Pear Creek
(02) 9130 2068
PO Box 3138, Tamarama NSW 2026
pau@houseenergycertified.com
www.houseenergycertified.com

Town Planner:
Northern Development Assessment
Dave Moody
Mobile: 0411 450 989
dave@nda.lve
www.nda.lve

Stormwater Engineer:
NY CIVIL
Yoursell Road
m: 0413 842 613
ahm@nycivilengineering.com.au
www.nycivilengineering.com.au

Geotechnical Engineer:
White Geotechnical Group
1/5 South Creek Rd, Dee Why 2099
(02) 7500 3214
info@whitegeo.com.au
www.whitegeo.com.au

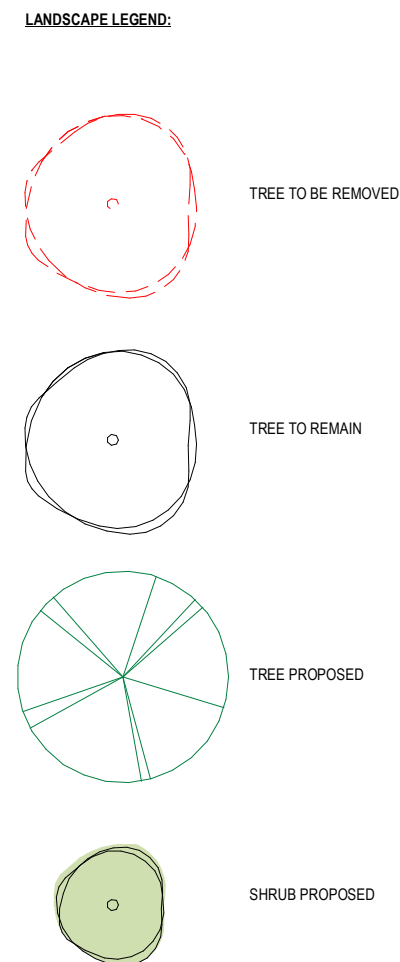
CLIENT:
LUKE & JULIE PRESTON

PROJECT:
ALTERATIONS & ADDITIONS

ADDRESS:
1 HAREWOOD PL, WARRIEWOOD

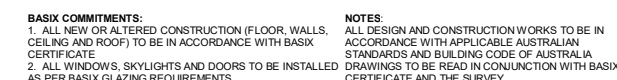
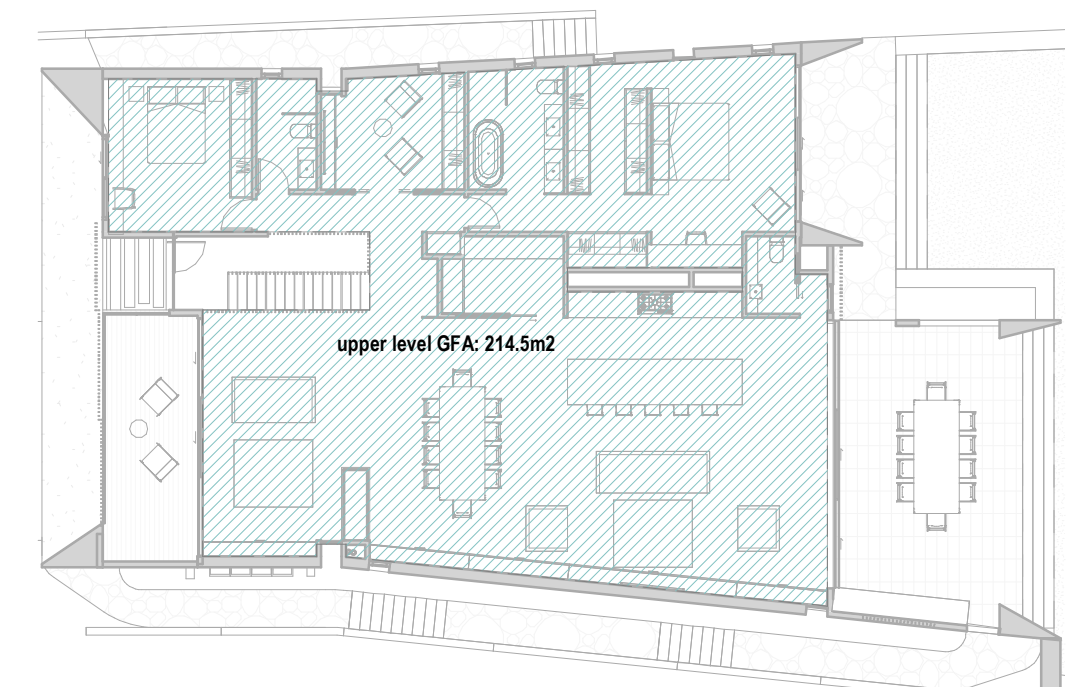
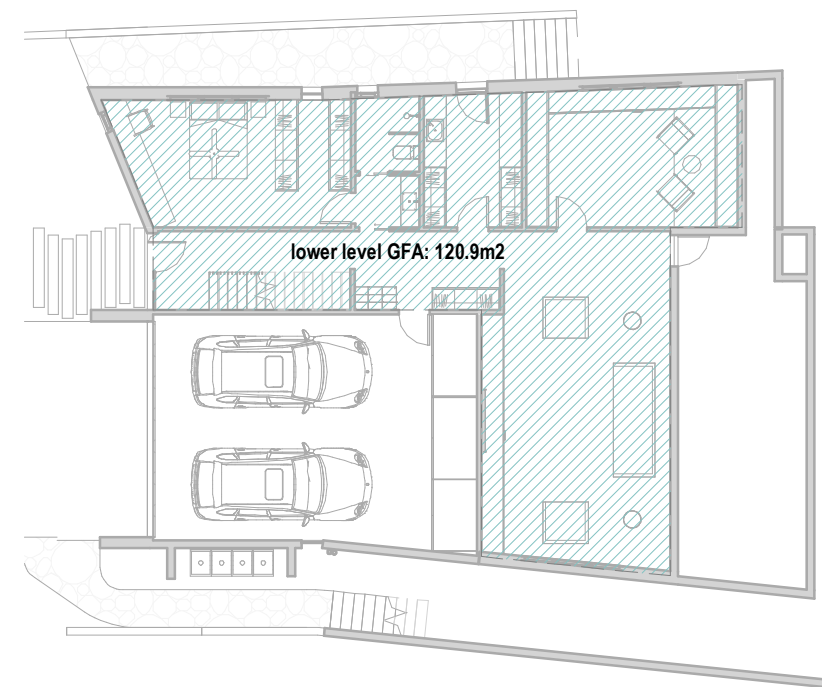
DRAWING TITLE:
SITE MANAGEMENT PLAN

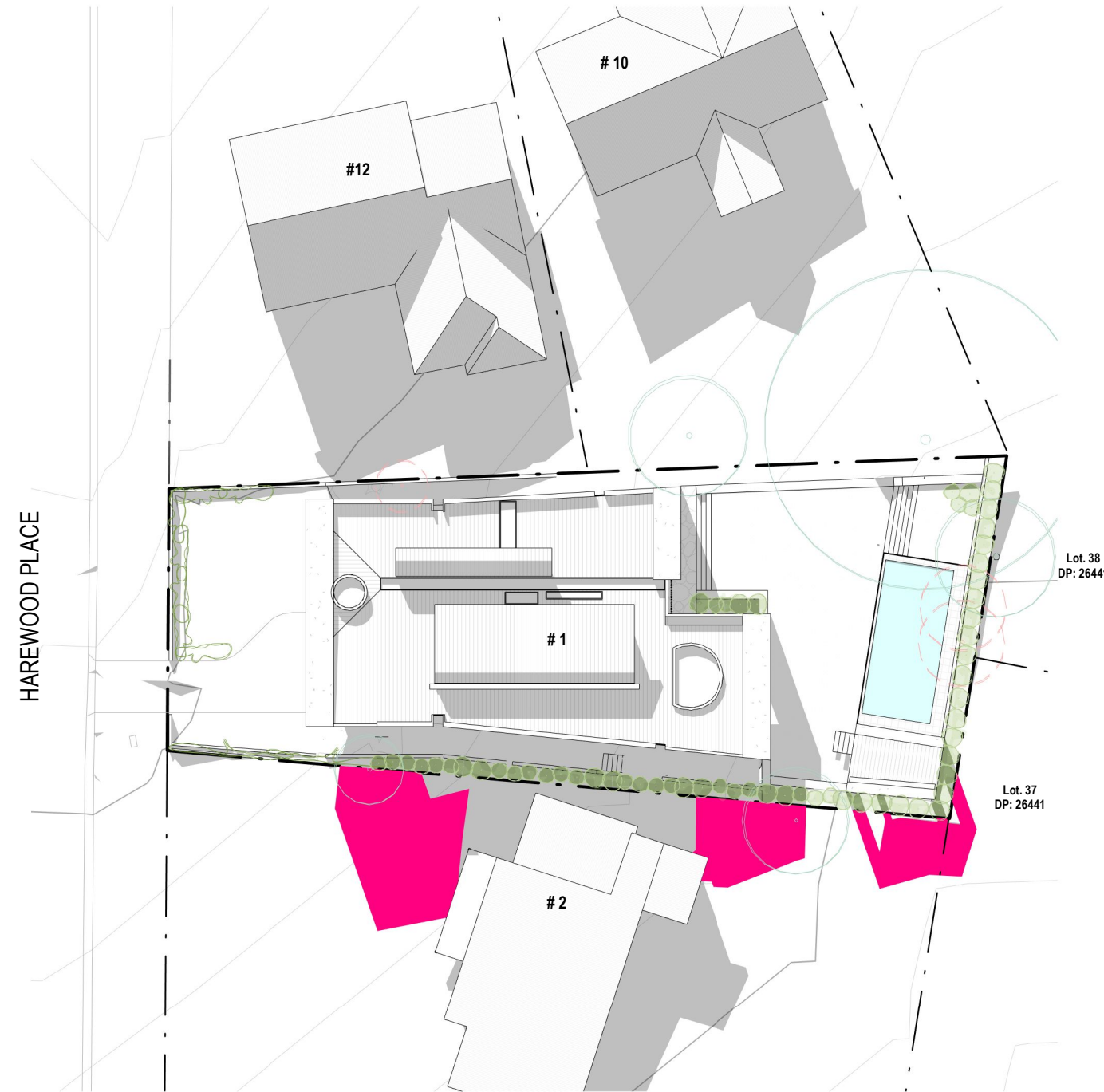
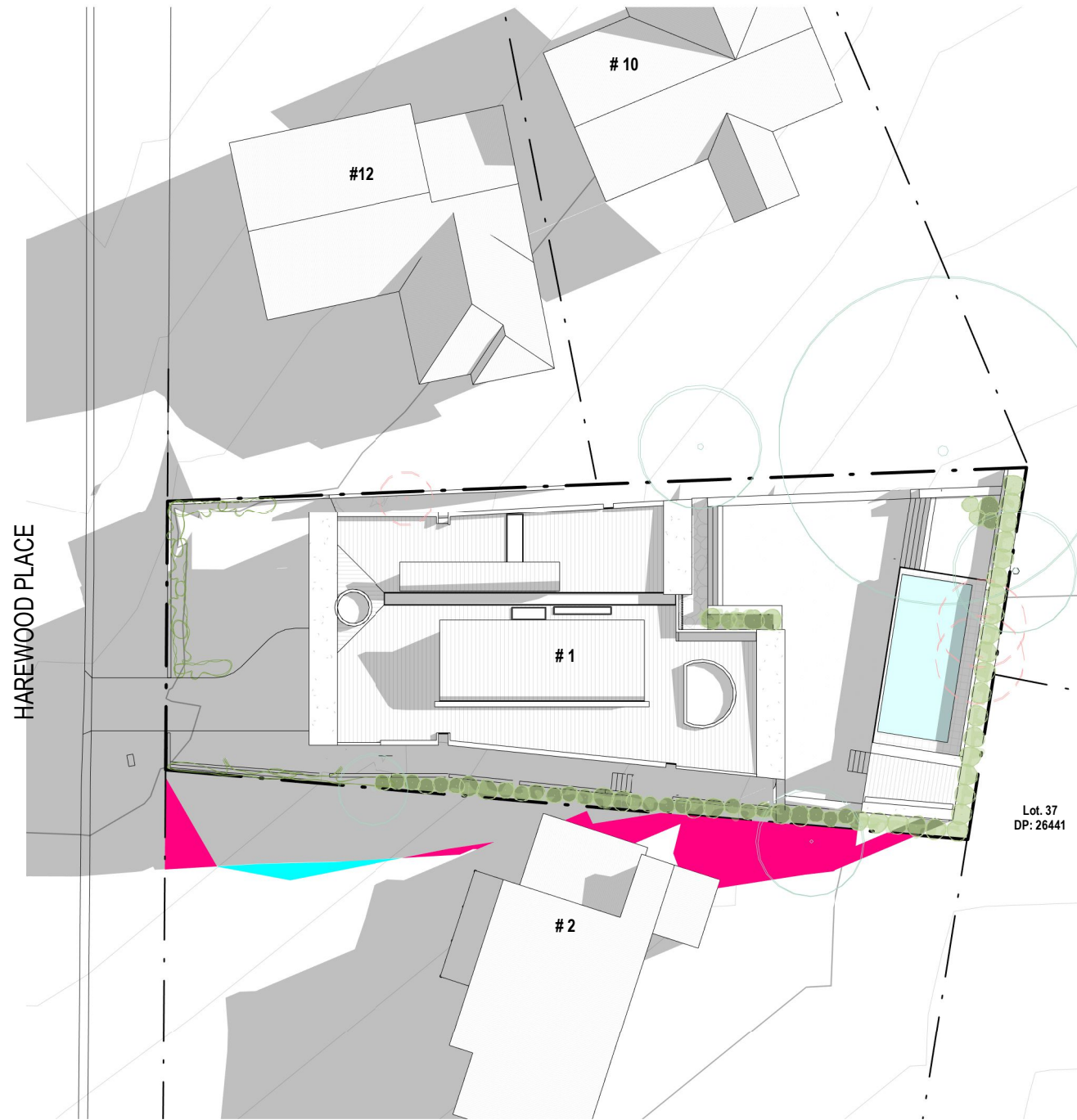
PROJECT NO.	DRAWN	CHECKED
1072HHA	MS	WC
DATE	DRAWING NO	REVISION NO
28 September 2023	DA_600	A
SIZE	SAs indicated	
A2		



4 Landscape Plan
1 : 200

COMPLIANCE & CALCULATION TABLE				
Land Zoning (Pittwater LEP2014)	C4 - Environmental Living			
Height of Building	8.5 m			
Floor Space Ratio	N/A			
Heritage Item or Heritage Conservation Area	No			
Foreshore Building Line	No			
Land Reservation Acquisition	No			
Acid Sulfate Soils	Class 5			
Minimum Lot Size	550 m²			
Site Area	855.4m²			
	Existing	Proposed	Required	Compliance
GFA	175.0m²	335.4m²	N/A	
Landscaped Area (DCP) (6% of the total site area may be provided as impervious landscape)	469.5 m² (54.8%) + 51.3 (6%) = 520.8m² (60.8%)	461.6 (54%) + 51.3 (6%) = 513.9m² (60%)	513.24m² (60% total Site)	Yes
Landscaped Front of Building (between the front boundary and any built structures)	98m² (56% front)	123m² (70% front)	(60% front)	Yes
Private Open Space (DCP - min 80m2 of private open space)	>80m²	190m²	80m² (dim>3m)	Yes
Private Open Space - Principal Area (DCP - min 16m2 of Principal Area within POS)	>16 m2	41m² (alfresco)	min. 16m²	Yes
Building Height	6.1 m	8.2 m	Max of 8.5m	Yes
Building Envelope:	no complies	no complies (improves ex'g)	45 deg. from 3.5m height	No / Merit based
Front Building Line (DCP)	6.00m (garage) 14.37m (house)	9.71m (lower level) 8.00m (upper level)	min. 6.5m front setback	Yes
Side Setbacks (DCP)	0.9m and 1.0m	1.0m and 2.5m	min. 1.0m and 2.5m	Yes
Rear Setback (DCP)	17.44m (ex'g house) 12.88m (ex'g paving)	16.80m (house) 11.78m (alfresco)	min. 6.5m rear setback	Yes Yes
Pool Setback (DCP) minimum setback from the boundary to the pool coping	N/A	1.00m	min. 1m side setback	Yes
	N/A	1.18m	min. 1m rear setback	Yes
Eaves	450mm	450mm	min. 450mm	Yes
Front Fences Height (Front and side fences within the front building setback)	0.6m - 1.2m	as ex'g	max. 1m	Ex'g non-compliance





additional shadows cast on neighbouring properties

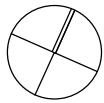
subtracted shadows cast on neighbouring properties

1 SHADOWS - 9AM
1 : 350

2 SHADOWS - 12PM
1 : 350

3 SHADOWS - 3PM
1 : 350

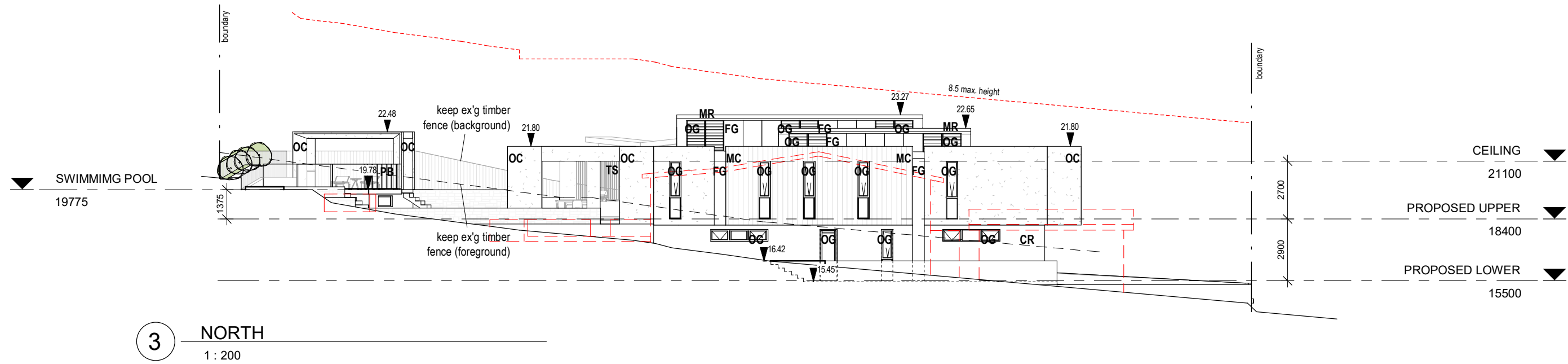
FOR DEVELOPMENT
APPLICATION ONLY



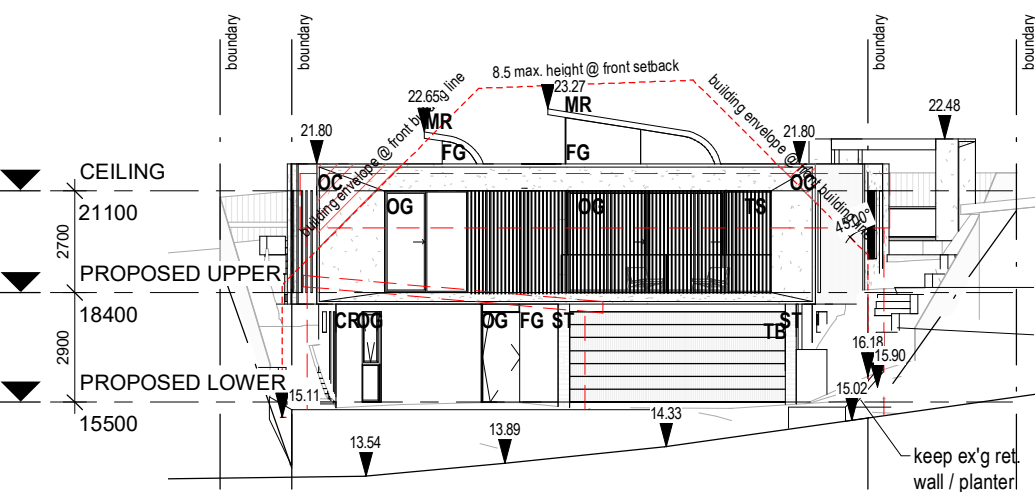
LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN
OVERLAND FLOW

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED IN CONJUNCTION WITH BASIX AS PER BASIX GLAZING REQUIREMENTS

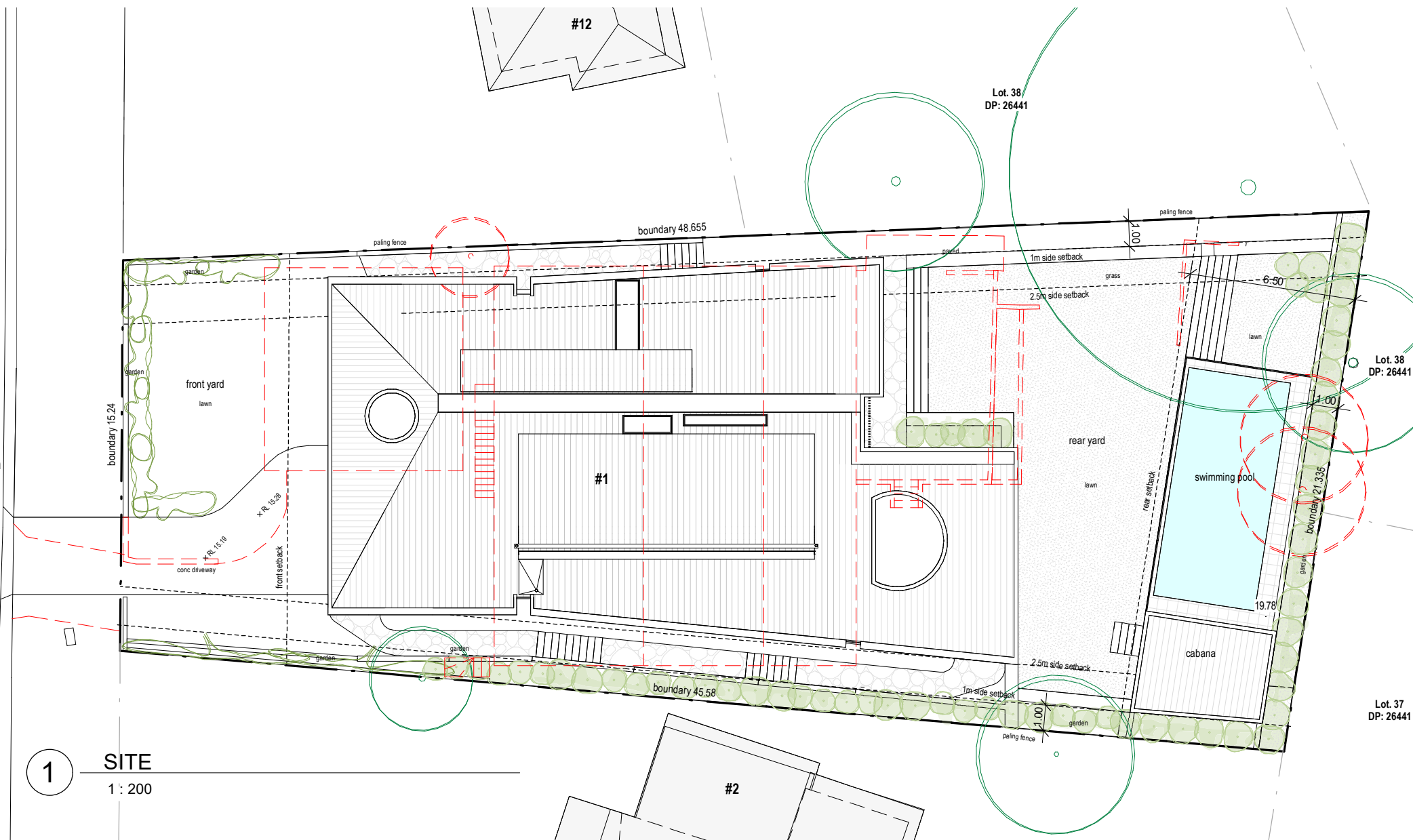
NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY



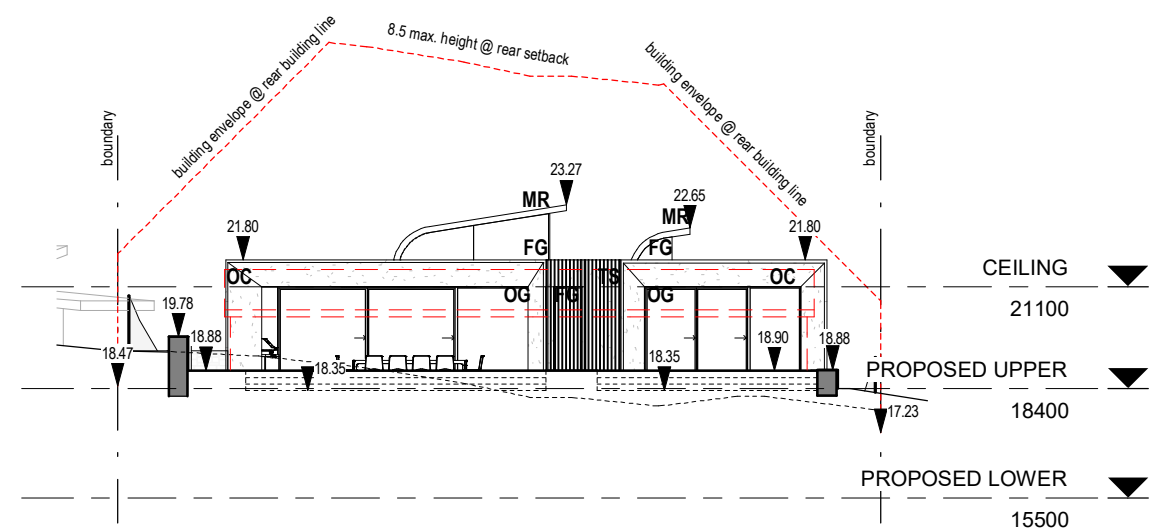
3 NORTH
1 : 200



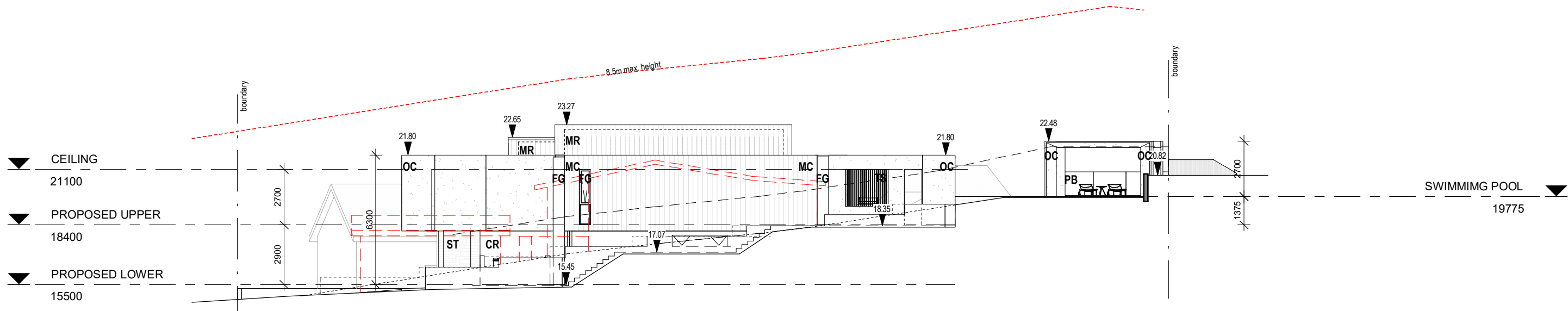
2 WEST / STREET ELEVATION Copy 1
1 : 200



1 SITE
1 : 200



5 EAST Copy 1
1 : 200



4 SOUTH
1 : 200

LEGEND:

BAL BALUSTRADE
BOY BOUNDARY
CB CONCRETE BLOCK
CONC CONCRETE
CR CONCRETE RENDER
DP DOWN PIPE
EXG EXISTING

FBK FACE BRICK
FC FIBER CEMENT SHEET
FG FIXED GLASS
FP FIREPLACE
FM FLOOR WASTE
GO GRATED DRAIN
GL GLASS BALUSTRADE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

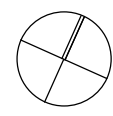
MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

MC METAL CLADDING
MR METAL ROOF
OC OFF-FORM CONCRETE
OG OPERABLE GLASS
OH OVER HANG
PB POOL BARRIER
ST STONE CLADDING

SK SKYLIGHT
TB TIMBER BATTENS
TBC TO BE CONFIRM
TI TIMBER
TF TIMBER FLOOR
TS TIMBER SCREEN
WIR WALK IN ROBE

FOR DEVELOPMENT
APPLICATION ONLY



LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN
OVERLAND FLOW

BASIC COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE.
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS.

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA.
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY.