

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1415

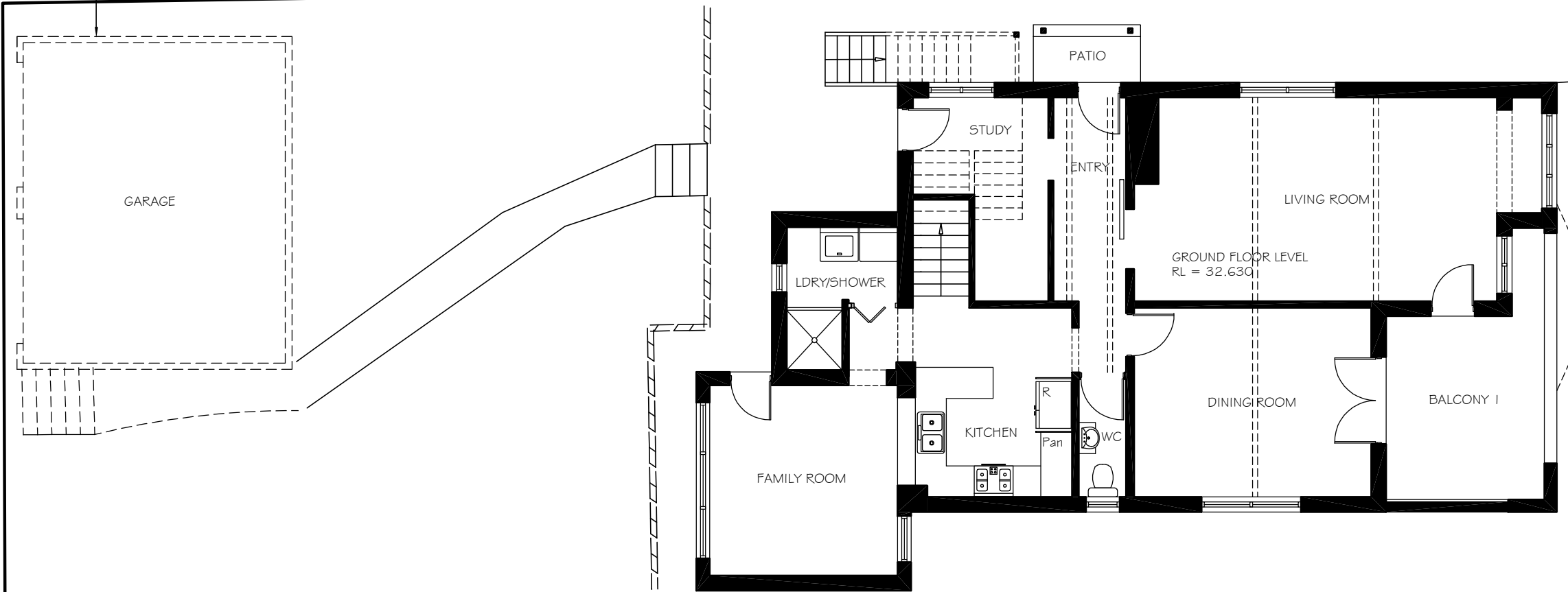
LEGEND:

Ⓢ	SMOKE ALARM
ⓕ	FAN MECHANICAL
DP	DOWN PIPE
⊠	M/HOLE (ACCESS TO ROOF)
↓tap	EXTERNAL TAP
⏏	METER BOX
⚡	GAS METER
AC	AIR-CONDITION UNIT
X	SKYLIGHT
fw	FLOOR WASTE
—	EXISTING WALLS
==	DEMOLITION WALLS
===	NEW WALLS

NOTES

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3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3786.
5. All storm water to be connected to street gutters as per council requirements
6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be verified by the builder
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors .

REMOVE GARAGE AND PATHS AREAS
MAKE GOOD ADJOINING
SURFACES AS NECESSARY.



EXISTING/ DEMOLITION

GARAGE FLOOR PLAN

SCALE 1:100

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services
0404 037 606

email:sammyfedele@iprimus.com.au

JENNY BARR

PROPOSED : NEW DETACHED GARAGE AND STUDIO,
TO EXISTING RESIDENCE,

ADDRESS : 23 KANGAROO STREET DP 735841
MANLY LOT 21
NSW 2095

PLAN

SCALE: 1:100

DATE: 14.02.2019

REV: JOB: 08/18

SHEET No :

DA 02

A3

NOTES

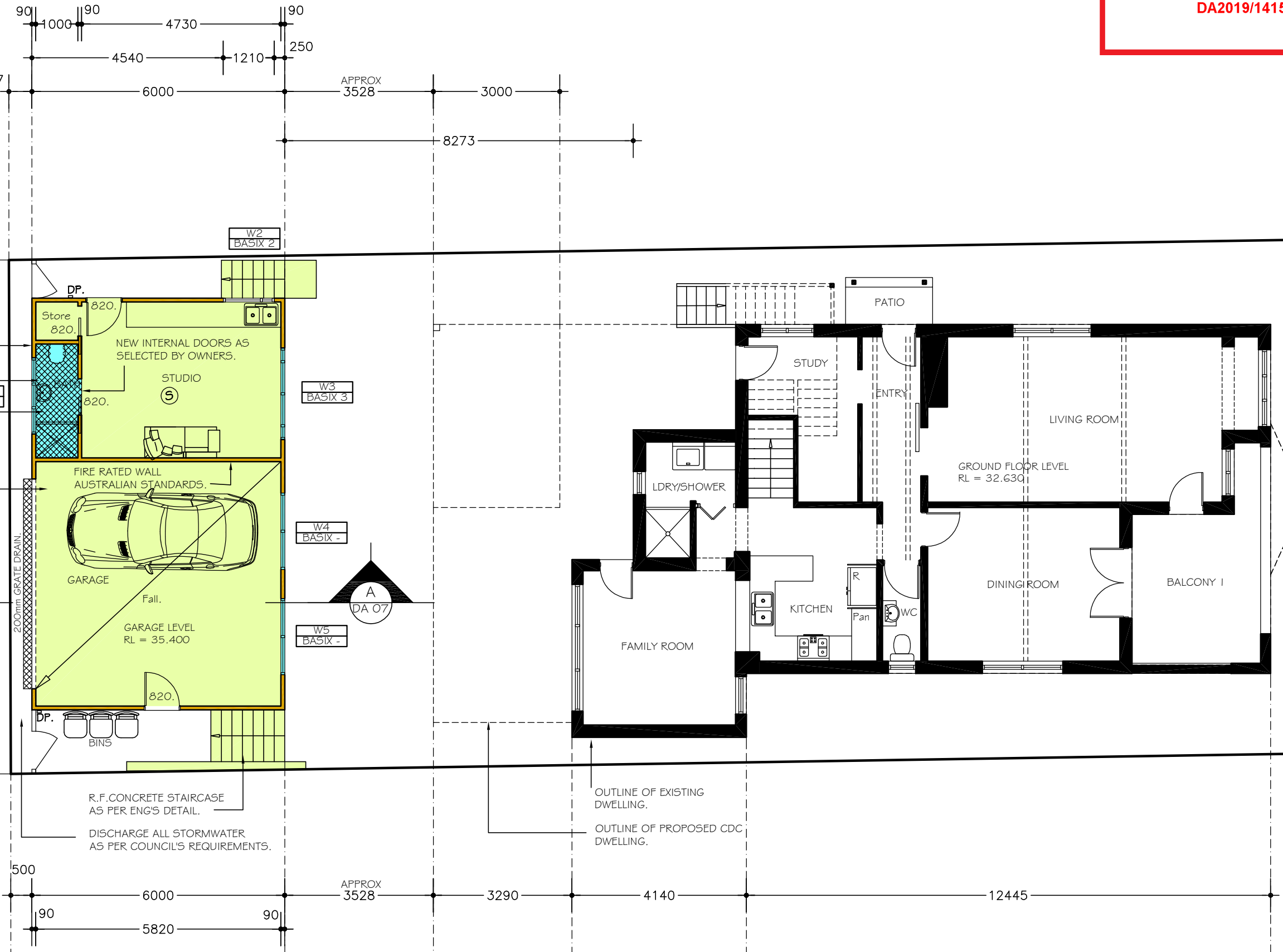
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VENEER (TIMBER) CONSTRUCTION WITH 13mm PLASTERBOARD INTERNAL FINISH AND SELECTED TIMBER ARCHITRAVE .

SELECT NON-SLIP FLOOR TILE TO ALL WET AREAS

ALL WETS AREA TO BE WATERPROOF AS PER AUSTRALIAN STANDARDS.

R.F.CONCRETE FOOTINGS AND FOUNDATIONS TO STRUCTURAL ENGINEERS DETAILS AND DESIGNS.



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GARAGE FLOOR PLAN
SCALE 1:100

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DA 03

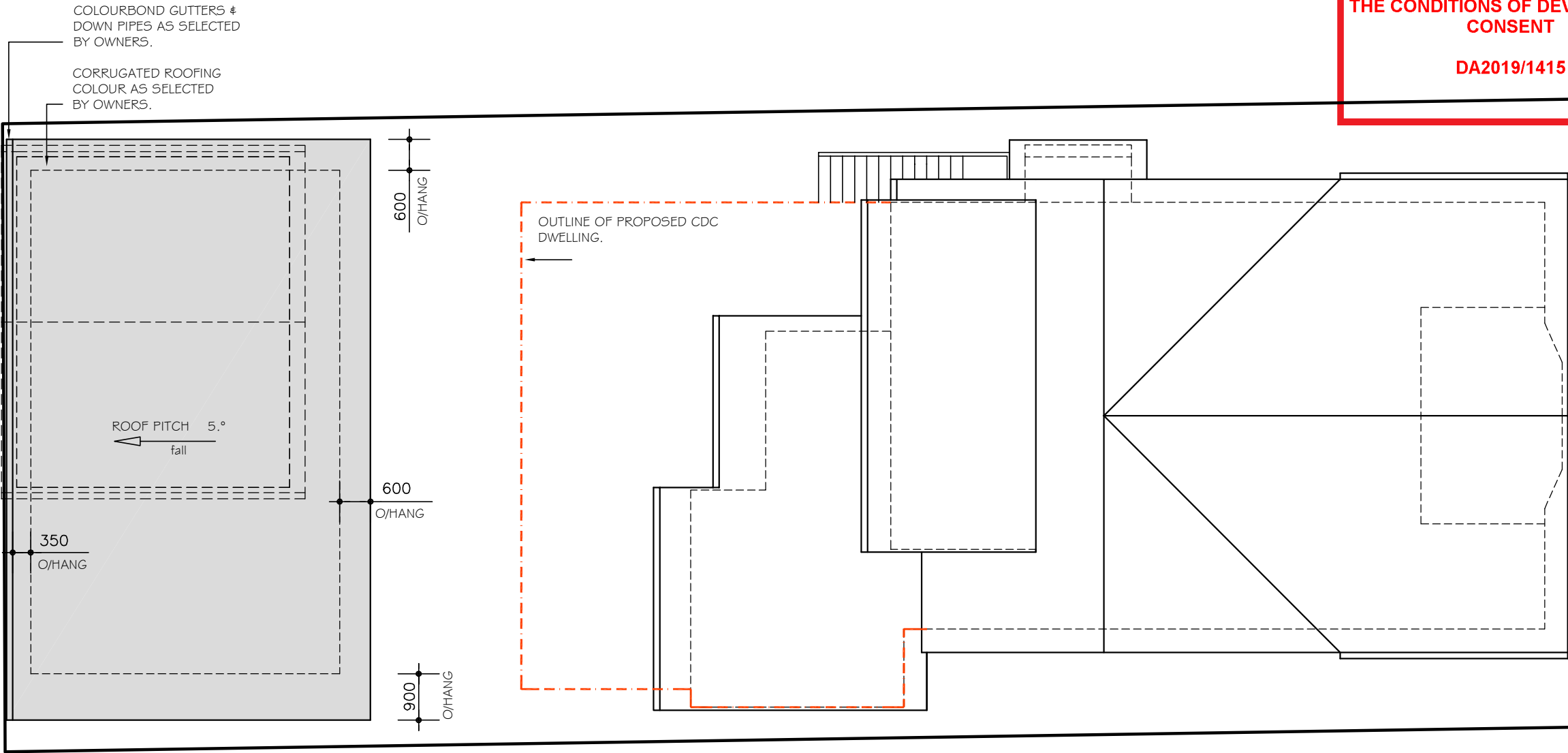
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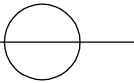
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PROPOSED
ROOF PLAN
SCALE 1:100



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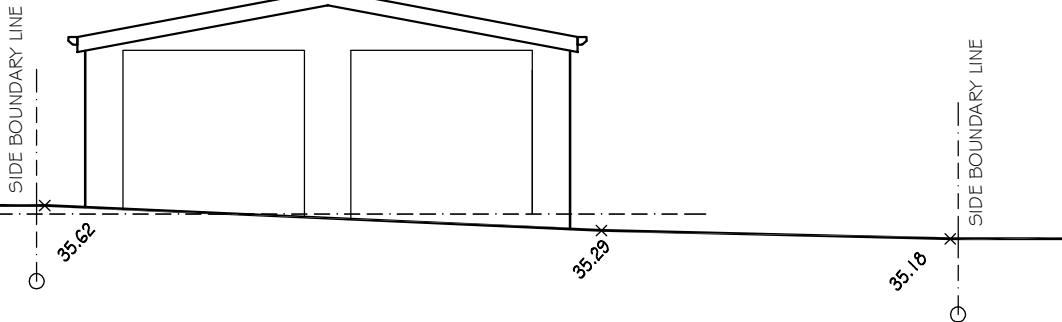
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RIDGE LEVEL
RL = 38.470

GARAGE LEVEL
RL = 35.400



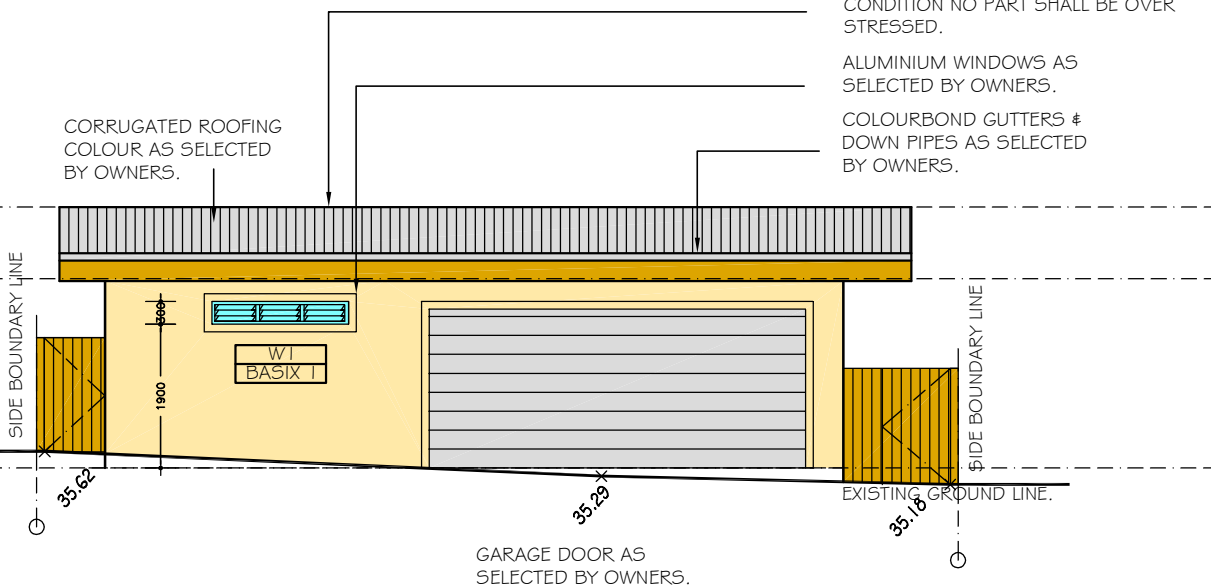
EXISTING
WEST ELEVATION

SCALE 1:100

RIDGE LEVEL
RL = 38.850

CEILING LEVEL
RL = 37.900

GARAGE LEVEL
RL = 35.400

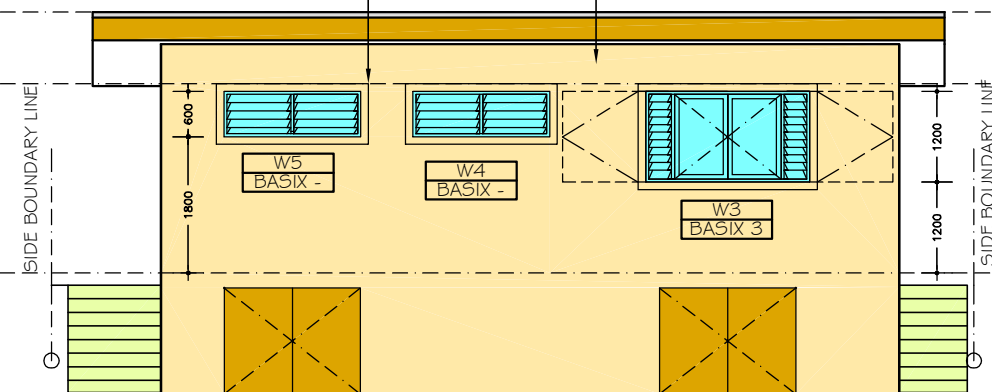


PROPOSED
WEST ELEVATION

SCALE 1:100

200mm PRIMELINE WEATHERBOARDS
SMOOTH, COLOUR AS SELECTED BY
OWNERS.

100mm BAND.



PROPOSED
EAST ELEVATION

SCALE 1:100

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ADDRESS : 23 KANGAROO STREET DP 735841
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ELEVATION

SCALE: 1:100

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ELEVATION

SHEET No. :

SCALE: 1:100

DA 06

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REMOVE GARAGE AND PATHS AREAS#
MAKE GOOD ADJOINING
SURFACES AS NECESSARY.

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MANLY NSW 2095

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RIDGE LEVEL
RL = 40.770

FIRST FLOOR LEVEL
RL = 36.030

GROUND FLOOR LEVEL
RL = 32.630

8.500 HEIGHT LIMIT

OUTLINE OF PROPOSED CDC
DWELLING.

OUTLINE OF EXISTING
DWELLING.

GUTTER 35.92

GARAGE LEVEL
RL = 35.400

REAR BOUNDARY LINE

**PROPOSED
NORTH ELEVATION**
SCALE 1:100

8.500 HEIGHT LIMIT

PROPOSED DETACHED
GARAGE AND STUDIO,
REMOVE GARAGE AND PATHS AREAS#
MAKE GOOD ADJOINING
SURFACES AS NECESSARY.

RIDGE LEVEL
RL = 38.850

CEILING LEVEL
RL = 37.900

GARAGE LEVEL
RL = 35.400

WEATHER STRIP TO
ALL EXTERNAL
DOORS.
SIDE DOORS AS
SELECTED BY OWNERS.

**PROPOSED
SOUTH ELEVATION**
SCALE 1:100

OUTLINE OF PROPOSED CDC
DWELLING.

OUTLINE OF EXISTING
DWELLING.

GUTTER 35.92

GUTTER 35.29

RIDGE LEVEL
RL = 40.770

FIRST FLOOR LEVEL
RL = 36.030

GROUND FLOOR LEVEL
RL = 32.630

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BASIX NOTES

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2. b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements

W1 W 0.54 O O none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W2 N 1.4 O O eave/verandah/pergola/balcony >=600 mm

standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W3 E 2.6 O O external louvre/blind (adjustable) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

