



Corona Projects

DEVELOPMENT APPLICATION
STATEMENT OF ENVIRONMENTAL EFFECTS

Conversion of an existing carport to a garage

19 Mary Street Beacon Hill

August 2025

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PROJECT DETAILS

Client: Ms Gemma Lumley
Subject land: 19 Mary Street Beacon Hill
Lot Description: Lot 5 Section F in Deposited Plan 39105
Proposed development: Conversion of an existing carport to a garage

The report is prepared by Ellie Zhang
Bachelor of Arts and Social Sciences (USYD)

The report is reviewed by Mathew Fortunato
Bachelor of Architecture and Environments (USYD)

I certify that the contents of the Statement of Environmental Effects to the best of my knowledge, has been prepared as follows:

- In accordance with Section 4.12 of the Environmental Planning and Assessment Act 1979 and Clause 24 of the Environmental Planning and Assessment Regulation 2021;
- The statement contains all available information that is relevant to the environmental impact assessment of the proposed development;
- To the best of my knowledge the information contained in this report is neither false nor misleading.

Quality Management

Rev.	Description	Date	Written By	Reviewed By
A	Final Report	04.08.2025	EZ	MF

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1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared for Ms Gemma Lumley to accompany a Development Application (DA) to Northern Beaches Council for the conversion of an existing carport to a garage at 19 Mary Street Beacon Hill.

More specifically, the proposed development comprises of:

- Conversion of an existing carport into a garage with a sliding door for rear access;
- Removal of a metal shed from the carport and fencing to the backyard; and
- Construction of strip drains for stormwater management.

The proposal is permissible with consent and is suitable for the site and the area. The proposal has been designed to relate to its site and to the streetscape in terms of appearance, envelope, setbacks, bulk, and scale. The proposal will operate without any significant impact to the amenity of neighbouring properties.

The purpose of this SEE is to:

- Describe the site to which the application applies and its context;
- Describe the proposed development
- Describe the legislative framework against which the application is to be assessed and determined; and
- Provide an assessment of the environmental impacts in accordance with the Section 4.15 of the EP&A Act 1979.

This Statement has been prepared in reference to the following:

Document	Author	Date
Architectural Plans	Corona Projects	August 2025
Bushfire Hazard Assessment Report	Steve Brooks Bushfire Consultant	12 September 2025
Geotechnical Letter	Rapid Geo	24 September 2025
Survey Plan	Altitude Surveys	10 July 2025
Concept Stormwater Plan	D.T Civil	27 August 2025
Waste Management Plan	Corona Projects	-

2.0 SITE ANALYSIS & CONTEXT

2.1 The Site

The site is located at 19 Mary Street Beacon Hill and is legally described as Lot 5 Section F in Deposited Plan 939105. The site is located on the southern side of Mary Street, between O’Connors Road and Dresden Avenue.

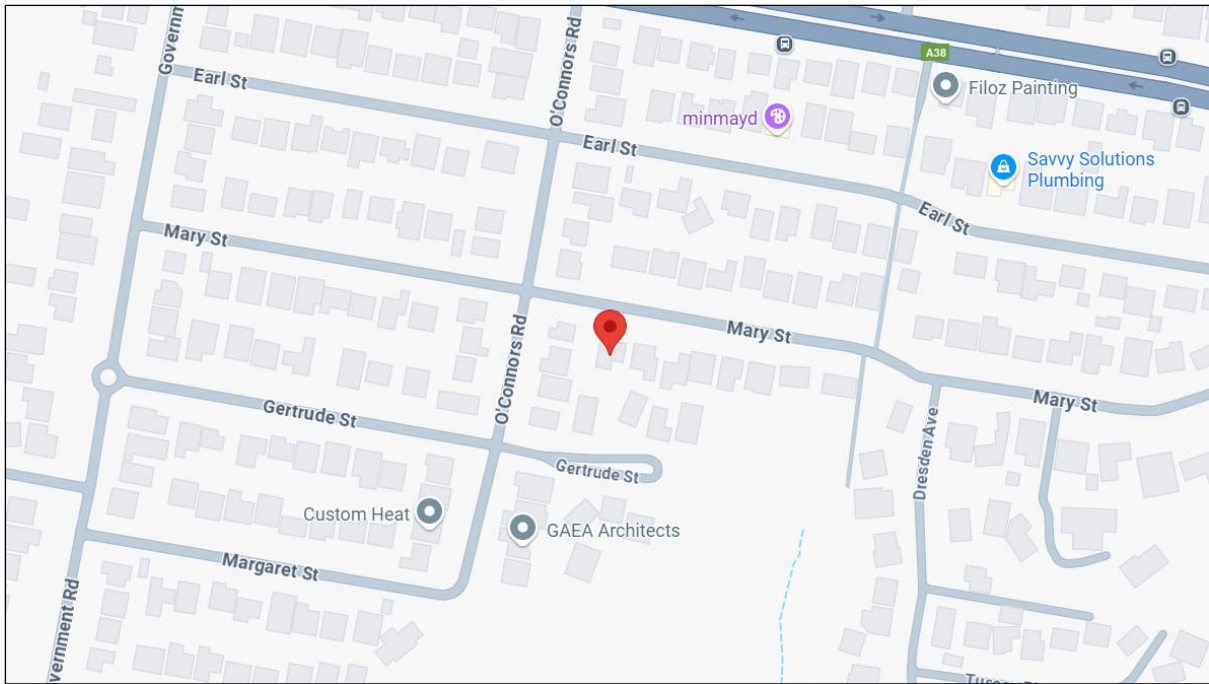


Figure 1: Site Locality Map (Google Maps 2025)

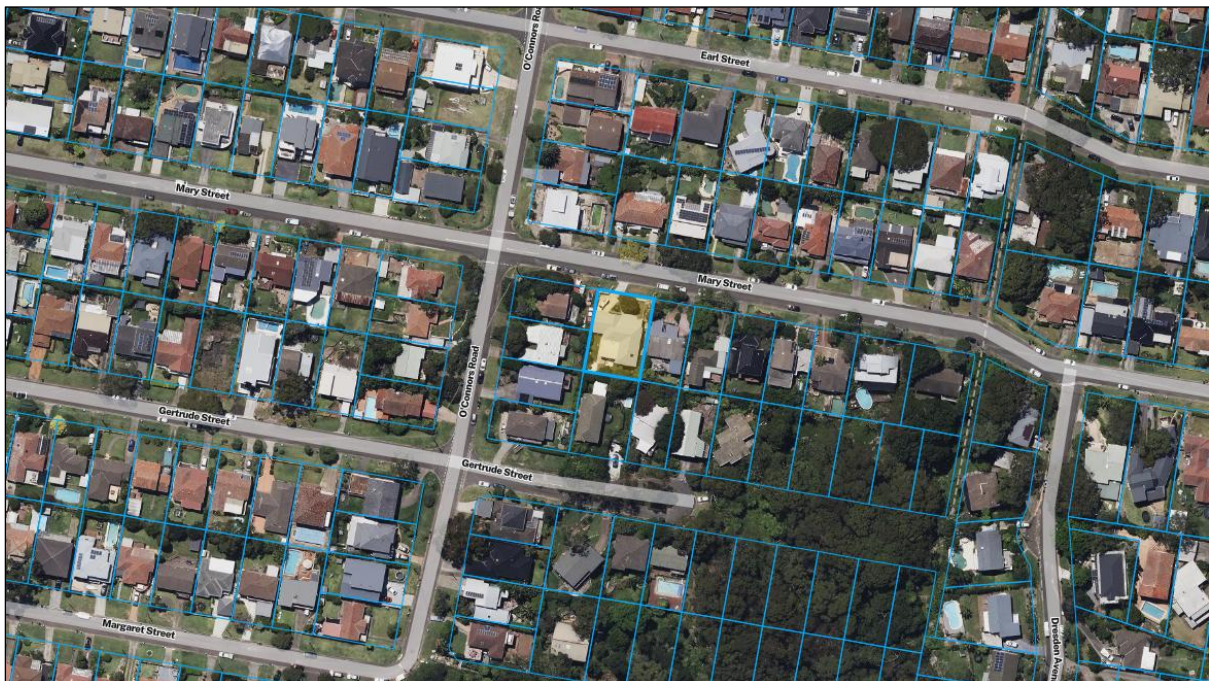


Figure 2: Aerial Map (NSW SIX Maps 2025)

The site is rectangular with a total area of 639.4 square metres by survey, with a 20.98 metre street frontage to Mary Street. The western and eastern side boundaries measure 30.48 metres. The rear boundary measures 20.98 metres. The site falls from the street towards the rear by approximately 3.2 metres.

The site currently contains a one and two storey clad dwelling house with a metal roof. The front setback area is partially landscaped with groundcovers and partially paved with concrete leading to the dwelling and existing carport. To the west, the site contains a metal carport attached to the dwelling house. To the rear, the site is landscaped with trees, shrubs, and grass, and includes a pebbled area in the southwestern corner. Vehicular access is available from Mary Street.

The land is zoned R2 Low Density Residential under the provisions of Warringah Local Environmental Plan 2011 (LEP). The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.



Figure 3: Subject site as viewed from Mary Street (Corona Projects 2025)



Figure 4: Existing carport attached to the dwelling (Corona Projects 2025)



Figure 5: Carport with direct access to the dwelling and the rear yard looking to the south (Corona Projects 2025)



Figure 6: Rear yard of the site looking to the south (Corona Projects 2025)

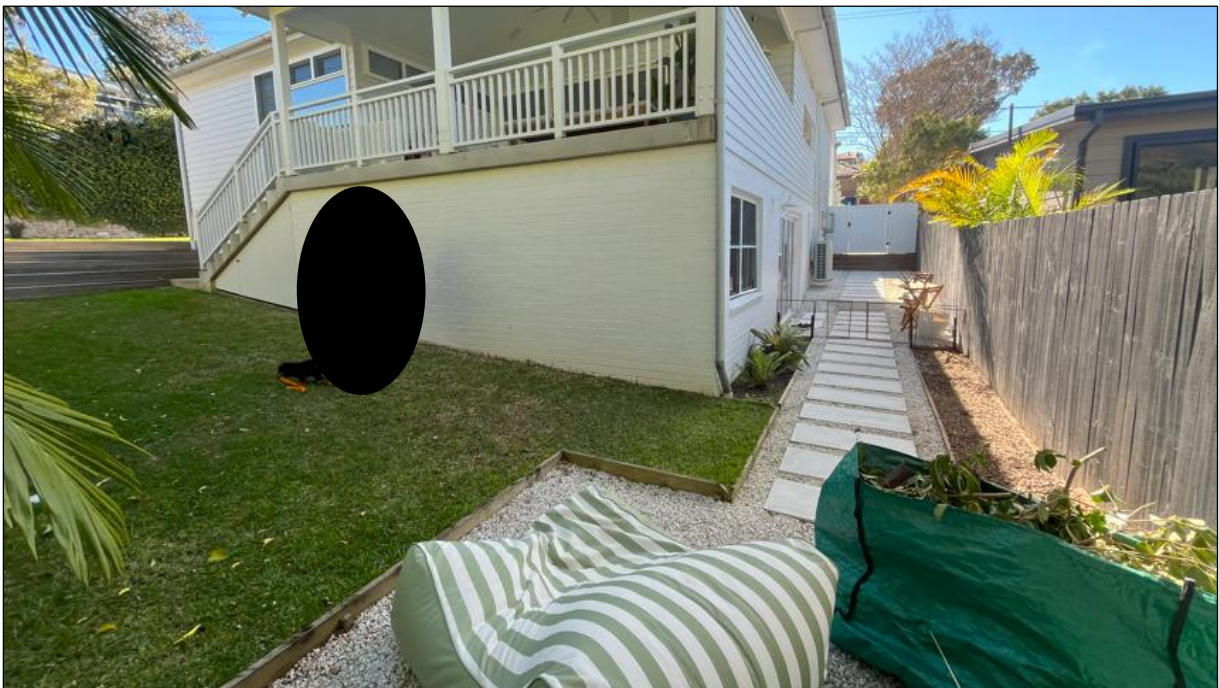


Figure 7: Existing rear yard looking to the north (Corona Projects 2025)

2.2 The Locality

The site is located within the local residential area of Beacon Hill. The locality comprises residential development of buildings heights typically of one to two storeys.

The site adjoins a one-storey clad dwelling house with a metal roof to the east at No.21 Mary Street. To the west, the site adjoins two double storey clad dwellings with tile roofs at No.13 and No.15 O'Connors Road. The rear of the site is adjoined by a dwelling house at No.24 Gertrude Street.



Figure 8: *Adjoining property to the east at No.21 Mary Street (Google Maps 2025)*



Figure 9: Adjoining property to the west at No.13 O'Connors Road as viewed from Mary Street (Google Maps 2025)



Figure 10: Adjoining dwelling to the west at No.15 O'Connors Road as viewed from O'Connors Road (Google Maps 2025)

2.3 Development History

A search on Council's DA Tracker found the following results for development applications associated with the site.

Application Number	Description	Determination & Date
IOC2023/0010	<i>Interim OC by Private Certifier - Alterations and Additions to an existing dwelling including a first-floor addition and new carport - Outstanding Works-Carry out Works to first floor.</i>	Submitted—21 August 2023
NOC2019/0711	<i>Notification Of Commencement - Alterations and Additions to an existing dwelling including a first-floor addition and new carport</i>	Submitted—21 June 2019
CC2019/0653	<i>Alterations and Additions to an existing dwelling including a first-floor addition and new carport</i>	Determined—19 June 2019
DA2018/0635	<i>Alterations and Additions to an existing dwelling including a first-floor addition and new carport</i>	Determined—20 February 2019

Table 1. Development History

3.0 THE PROPOSAL

3.1 Overview

The Development Application proposes the conversion of an existing carport to a garage at 19 Mary Street Beacon Hill.

More specifically, the proposed development comprises of:

- Conversion of an existing carport into a garage with a sliding door for rear access;
- Removal of a metal shed from the carport and fencing to the backyard; and
- Construction of strip drains for stormwater management.

The proposal has been designed to relate to its site and to the streetscape in relation to appearance, envelope, setbacks, bulk, and scale. The contemporary design utilises high quality materials and detailing to present an unobtrusive visual outcome for the locality.

Please refer to plans prepared by Corona Projects.

3.2 Numerical Overview

A brief numerical overview of the development parameters for the proposed development is included in Table 1 below.

Component	Proposal
Site area	639.4m ²
Height (Garage)	2.76m
Landscaped Area	As per existing
Site Coverage / BUA	As per existing
Private Open Space	As per existing
Boundary setbacks (Garage)	
Front	6.79m
Side (W)	0.235m
Rear	16.32m
Car spaces	1 – As per existing

Table 1: Key development components

4.0 STATUTORY PLANNING FRAMEWORK AND ENVIRONMENTAL ASSESSMENT

This Chapter provides an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

4.1 Statutory and Policy Compliance

The relevant matters for consideration under Section 4.15(a) of the EP&A Act, 1979, are identified as:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- Warringah Local Environmental Plan 2011
- Warringah Development Control Plan 2011

The primary statutory document that relates to the subject site and the proposed development is Warringah Local Environmental Plan 2011. The primary non-statutory plan relating to the subject site and the proposed development is Warringah Development Control Plan 2011.

4.1.1 State Environmental Planning Policy (Resilience and Hazards) 2021

This Policy is to provide for a state-wide planning approach to the remediation of contaminated land. Subject to Clause 4.6, considerations should be given to the suitability of land in terms of contamination.

The subject site has a long history of being used for the residential purpose. Thus, the land is not likely to be contaminated and, given that no change of use is proposed, no further consideration is required under Clause 4.6(1)(b) and (c) of the Resilience and Hazards SEPP.

4.1.2 Warringah Local Environmental Plan 2011

Zoning and permissibility

The site is located in Zone R2 Low Density Residential.

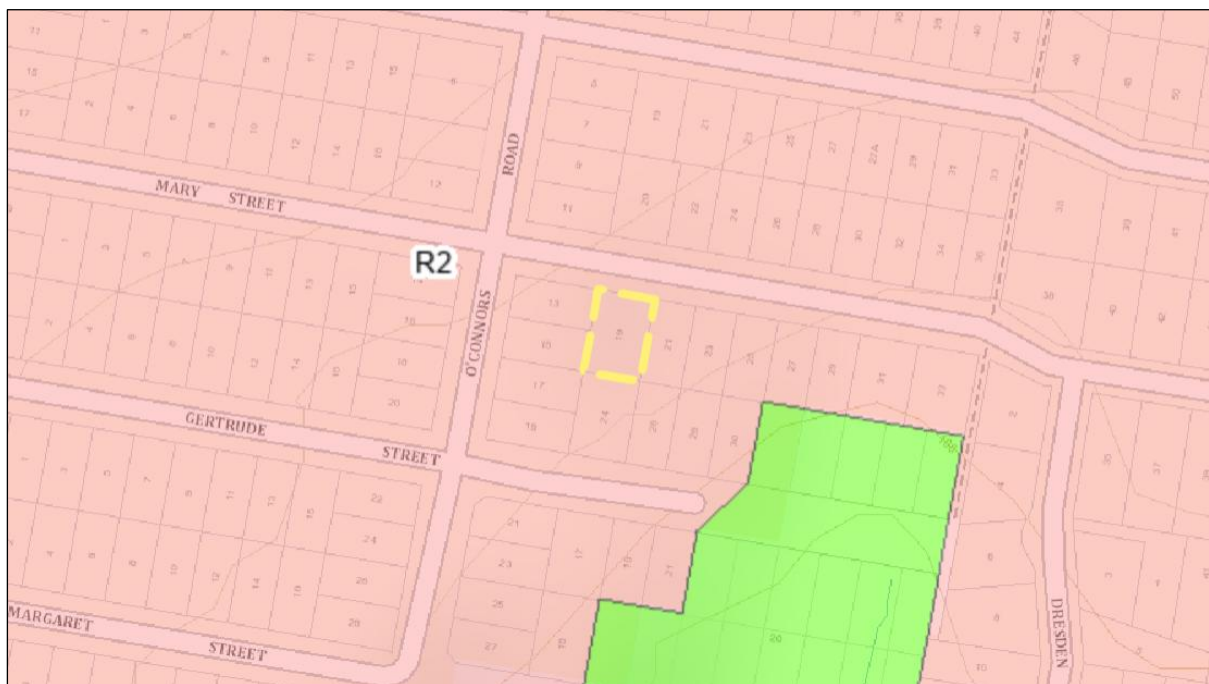


Figure 11: Land Zoning Map (NSW Spatial Planning Viewer 2025)

The development is identified to be ancillary development to an existing *dwelling house*, which is permitted with consent in the R2 Low Density Residential zone.

The objectives of the zone are:

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day-to-day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

The proposed development supports the objectives of the zone by providing a new enclosed garage for the current residents of the existing dwelling. The development does not detract from the residential use and provides a high standard of design through the utilisation of quality materials to achieve a high level of residential amenity. The proposed development maintains the low-density residential character of Beacon Hill.

Clause 4.3 Height of buildings

The LEP Height of Building Map stipulates that the maximum building height permitted for the site is 8.5 metres. The proposed development does not exceed the maximum permitted building height for the site.

Clause 4.4 Floor space ratio

The LEP Floor Space Ratio Map does not stipulate a maximum floor space ratio permitted for the site.

Clause 5.10 Heritage Conservation

The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.

Clause 6.4 Development on sloping land

The objectives of this clause are to minimise the risks of landslides, stormwater runoff, and subsurface flow impacts from development on or near sloping land, to protect the stability of the subject site and surrounding properties. The Landslip Risk Map stipulates that the subject site is located within Area B. The proposed weatherboard garage will be a lightweight, enclosed structure and does not include any excavation to the site and therefore will not generate any geotechnical impacts on the land. The proposed development does not pose any significant adverse impacts on properties in the vicinity of development sites resulting from landslides. The proposed development minimises the impacts of stormwater runoff and does not adversely affect the stability of the land. The proposal provides for new stormwater drainage to the garage to ensure that the subsurface flow conditions are not adversely affected by the residential development and proposes suitable stormwater plan for stormwater disposal on site. Please refer to the geotechnical letter prepared by Rapid Geo submitted along with this application.

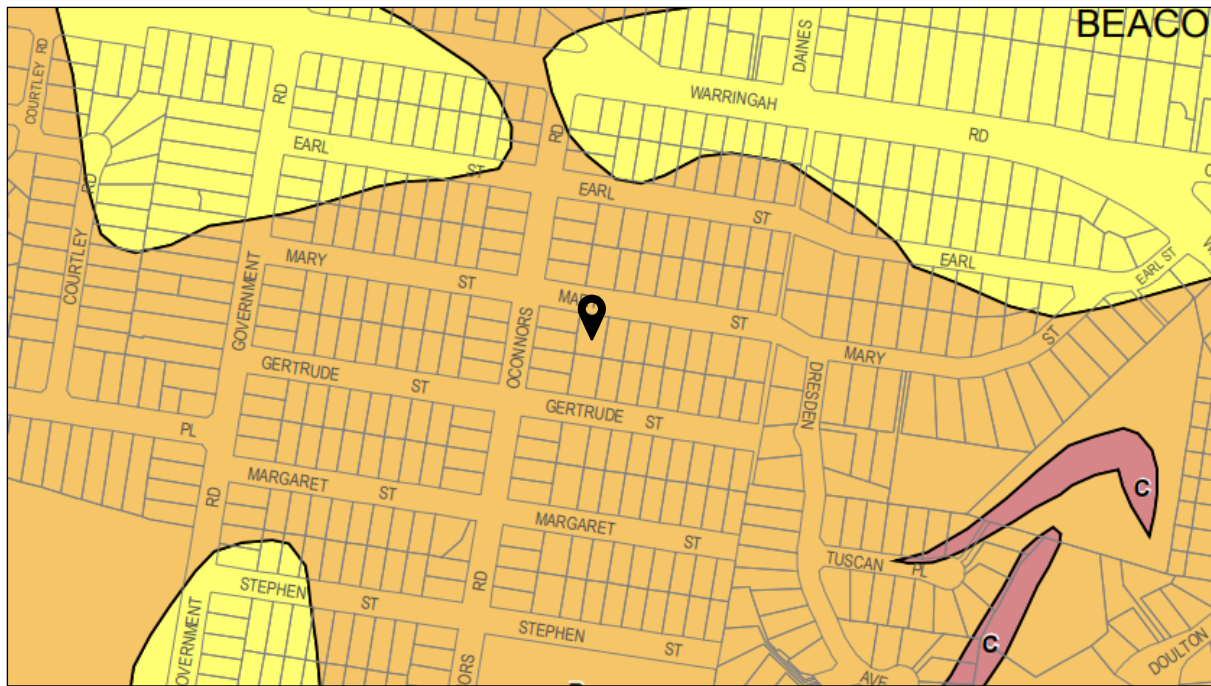


Figure 12: Landslip Risk Map (Northern Beaches Council 2025)

Bushfire Prone Land (Non-EPI)

The Bushfire Prone Land Map stipulates that the rear of the site is located within the bushfire-prone land, specifically within the Vegetation Buffer. The proposed development will be constructed in accordance with the bushfire measures contained in the Bushfire Assessment Report prepared by Steve Brooks Bushfire Consultant submitted along with this application.

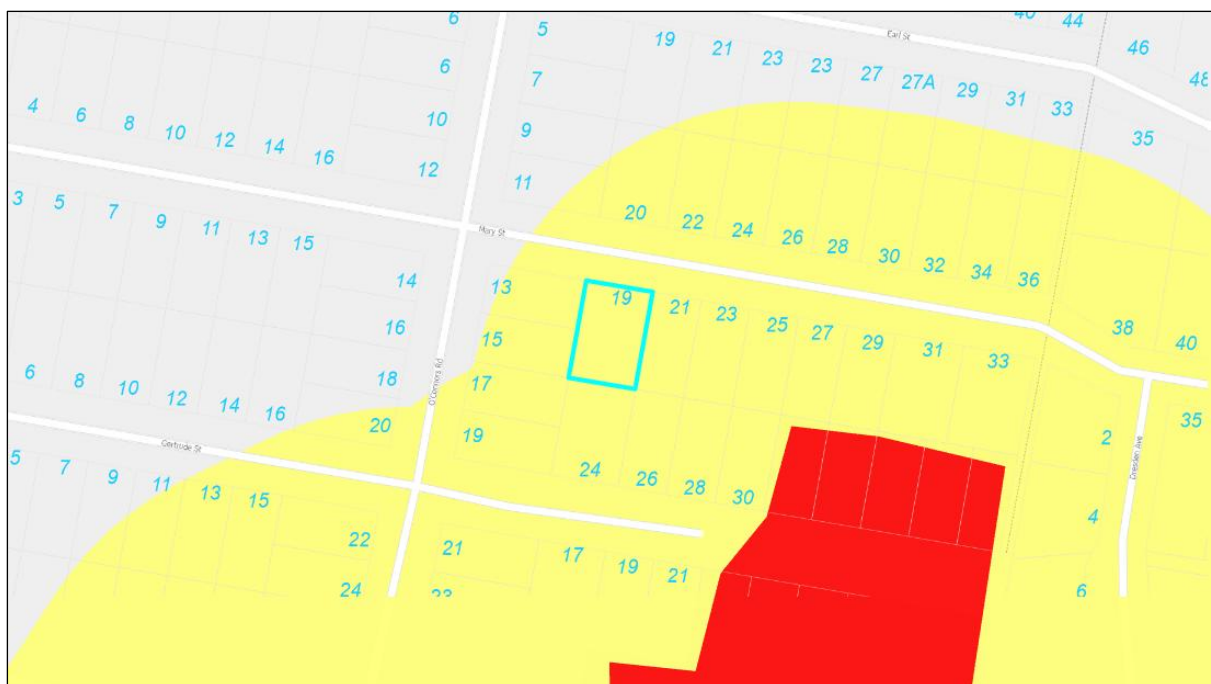


Figure 13: Bush Fire Prone Land Map (Northern Beaches Council 2025)

4.1.3 Warringah Development Control Plan 2011

The development achieves a high level of compliance with the provisions of Warringah Development Control Plan 2011.

Control		Comment	Compliance
Part B Built Form Controls			
B1 Wall Heights			
1	Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	The walls of proposed garage are to be below the maximum wall height limit measured from the existing ground level.	Complies
B3 Side Boundary Envelope			
1	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: <ul style="list-style-type: none">• 4 metres;• 5 metres as identified on the map.	As per the Side Boundary Envelopes map, the required side boundary envelope is 4m. The proposed development complies with the side boundary envelope.	Complies
B4 Site Coverage			
1	Development on land shown coloured on the DCP Map Site Coverage shall not exceed the maximum site coverage shown on the map. Where shown on the map as: <ul style="list-style-type: none">• 33.3% - the total building footprint(s) must not cover more than 33.3% of the site area, and• 20% = 3,500m2 or 30% <3,500m2 - the total building footprint(s) must not cover more than 20% of the site area except on allotments having an area of less than 3,500m2 where the total building footprint/s must not cover more than 30% of the site area.	The site is not coloured on the DCP Map Site Coverage.	Not Applicable
B5 Side Boundary Setbacks			

Control	Comment	Compliance
1	Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map. Minimum side boundary setback = 0.9m	Merit Assessment
2	Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences. The proposal remains of a reasonable scale and is not visually dominant when viewed from the public domain. It allows for reasonable sharing of views between the public place and neighbouring properties. The proposed garage provides a clear separation between the neighbouring property at 13 O'Connor Street and the subject site and therefore ensures privacy. The proposed garage does not adversely impact solar access to the site or adjoining properties.	

B6 Merit Assessment of Side Boundary Setbacks

1	Side boundary setbacks will be determined on a merit basis and will have regard to: <ul style="list-style-type: none"> streetscape; amenity of surrounding properties; and setbacks of neighbouring development 	The proposed garage is in suitable height, bulk and scale with the use of compatible colours and materials and therefore will not adversely impact the established streetscape. The proposed development will not adversely affect the amenity of neighbouring properties or setbacks of neighbouring development.	Merit Assessment
2	Generally, side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.		

Control		Comment	Compliance
B7 Front Boundary Setbacks			
1	Development is to maintain a minimum setback to road frontages.	The minimum front setback is 6.5m. The proposed garage will be set back 6.79m from the street frontage and will maintain the existing driveway arrangement on site.	Complies
2	The front boundary setback area is to be landscaped and generally free of any structures, basements, carparking or site facilities other than driveways, letter boxes, garbage storage areas and fences.		
B9 Rear Boundary Setbacks			
1	Development is to maintain a minimum setback to rear boundaries.	The minimum rear setback required is 6m. The proposed garage has a rear setback of 16.32m and therefore complies with the control.	Complies
2	The rear setback area is to be landscaped and free of any above or below ground structures.	The proposal maintains the existing landscaped area in the rear yard.	Complies
Part C Siting Factors			
C2 Traffic, Access and Safety			
1	Applicants shall demonstrate that the location of vehicular and pedestrian access meets the objectives.	The proposal maintains the existing vehicular crossing to the site.	Complies
C3 Parking Facilities			
1	<p>The following design principles shall be met:</p> <ul style="list-style-type: none">Garage doors and carports are to be integrated into the house design and to not dominate the façade. Parking is to be located within buildings or on site.;Laneways are to be used to provide rear access to carparking areas where possible;Carparking is to be provided partly or fully underground for apartment buildings and other large-scale developments;Parking is to be located so that views of the street from front windows are not obscured; and	<p>The garage door will be integrated into the existing dwelling and will not visually dominate the façade. The proposed garage is to attached the existing dwelling on site.</p> <p>The subject site does not adjoin a laneway at the rear.</p> <p>The proposed garage will replace the existing carport on site and will not obstruct views of the street from the front windows.</p> <p>The garage opening has a width of 3.855m, facing Mary Street.</p>	Complies

Control	Comment	Compliance
<ul style="list-style-type: none"> Where garages and carports face the street, ensure that the garage or carport opening does not exceed 6 metres or 50% of the building width, whichever is the lesser. 		

C4 Stormwater

1	<p>Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.</p> <p>The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management for Development Policy.</p>	<p>The proposed stormwater design is in accordance with the Council's Water Management for Development Policy.</p> <p>Refer to the Concept Stormwater Plan submitted with this application for further details.</p>	Complies; refer to Concept Stormwater Plan
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C8 Demolition and Construction

1	All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.	<p>The proposal complies with the relevant Waste Management Guidelines.</p> <p>A Waste Management Plan has been submitted with this development application.</p>	Complies
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C9 Waste Management

1	All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.	As above.	
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Part D Design**D1 Landscaped Open Space and Bushland Setting**

1	The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:	The DCP Map Landscaped Open Space and Bushland Setting stipulates that the minimum required landscaped area is 40%.	As per existing
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Control	Comment	Compliance
<p>a) Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation;</p> <p>b) The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation;</p> <p>c) Landscaped open space must be at ground level (finished); and</p> <p>d) The minimum soil depth of land that can be included as landscaped open space is 1 metre.</p>	The proposed development retains the landscaped open space on site.	

D2 Private Open Space

1	Residential development is to include private open space for each dwelling.	Private Open Space (POS) will remain as existing.	Complies				
2	<div>The minimum area and dimensions of private open space are as follows:</div> <table><tr><th>Dwelling Type</th><th>Area and Minimum Dimensions per dwelling</th></tr><tr><td>Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms</td><td>A total of 35m² with minimum dimensions of 3 metres</td></tr></table>			Dwelling Type	Area and Minimum Dimensions per dwelling	Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms	A total of 35m ² with minimum dimensions of 3 metres
Dwelling Type	Area and Minimum Dimensions per dwelling						
Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms	A total of 35m ² with minimum dimensions of 3 metres						
3	Private open space is to be directly accessible from a living area of a dwelling and be capable of serving as an extension of the dwelling for relaxation, dining, entertainment, recreation and children's play.	The POS will remain directly accessible from the living area of the existing dwelling.	Complies				

D6 Access to Sunlight

1	Development should avoid unreasonable overshadowing any public open space.	The proposal will not result in overshadowing of any public open space.	Complies
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D7 Views

1	Development shall provide for the reasonable sharing of views.	The development provides for the reasonable sharing of views and will	Complies
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Control	Comment	Compliance
	not unreasonably restrict neighbouring views.	

D10 Building Colours and Materials

1	In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.	The materials and finishes are compatible with the existing dwelling on site and the surrounding environment.	Complies
3	The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.	The colours and materials used for the new garage will complement the existing external dwelling façade.	Complies

D11 Roofs

2	Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.	The proposal includes a flat roof that will use materials and colours compatible with the existing dwelling, maintaining the aesthetic quality of the streetscape.	Complies
5	Roofing materials should not cause excessive glare and reflection.	The roofing materials will not result in creating excessive glare or reflection.	Complies

Part E The Natural Environment**E10 Landslip Risk**

1	The applicant must demonstrate that: <ul style="list-style-type: none"> • The proposed development is justified in terms of geotechnical stability; and • The proposed development will be carried out in accordance with good engineering practice. 	The site is located within Area B - Flanking Slopes from 5 to 25 degrees. The proposed garage is a lightweight structure and therefore is not anticipated to generate any geotechnical impacts.	Complies
2	Development must not cause detrimental impacts because of stormwater discharge from the land.	The development is designed appropriately with the consideration of stormwater discharge so that it does not have detrimental impacts on the land.	Complies
3	Development must not cause detrimental impact on the existing subsurface flow conditions including those of other properties.	The works do not result in detrimental impacts upon the existing subsurface flow conditions of the adjacent properties.	Complies

Control	Comment	Compliance
<p>4</p> <p>To address Requirements 1 to 3:</p> <p>ii) For land identified as being in Area B or Area D:</p> <p>A preliminary assessment of site conditions prepared in accordance with the Checklist for Council's assessment of site conditions (see Notes) must be carried out for development. The preliminary assessment must be prepared by a suitably qualified geotechnical engineer/engineering geologist and must be submitted with the development application.</p> <p>If the preliminary assessment determines that a geotechnical report is required a report must be prepared by a suitably qualified geotechnical engineer / engineering geologist and must be submitted with the development application.</p> <p>Also, if the preliminary assessment determines that a geotechnical report is required a hydrological assessment of stormwater discharge and subsurface flow conditions, prepared by a suitably qualified geotechnical/hydrological engineer, must be submitted with the development application.</p>	<p>Refer to the attached geotechnical letter prepared by Rapid Geo.</p>	<p>Complies</p>

Part H Appendices

Appendix 1 Car Parking Requirements

-	Residential		The proposal maintains one (1) parking space to the existing dwelling.	Complies
	Use	Requirement		
	Dwelling house and dual occupancy	2 spaces per dwelling, except for land known as Belrose Corridor (see Part G4) which has a maximum of 2 car spaces.		

4.1.4 Draft Planning Instruments

Northern Beaches Council does not have any current Draft Planning Instruments that apply to the proposed development, thus as demonstrated, the development achieves a high level of compliance with the applicable Environmental Planning Instruments.

4.2 Impacts of the Development

As noted in the above assessment against the provisions of the relevant Environmental Planning Instruments and Development Control Plan, the development is of a minor scale and nature, and does not present unreasonable environmental, social, and economic impacts.

4.2.1 Natural and Built Environment Impacts

The development does not impact upon native vegetation, soil conditions, foreshore environment or air quality. The proposed built form allows the neighbouring sites to retain their access to privacy, solar access, pleasant outlook, and overall residential amenity. outdoor areas on site that allow for sufficient amenity and recreation will not be affected by the proposed development. The proposed works do not require the removal of any significant vegetation.

4.2.2 Social and Economic Impacts

The development increases the amenity of the property with the new enclosed garage. The development will be compatible with the streetscape and enhance the essential amenity to the subject site. The short-term economic impacts are positive, with the generation of employment opportunity through the physical construction stages. The use of high-quality materials will ensure a durable final built outcome, reducing the need to rebuild in the near future, resulting in a positive long term financial and sustainability outcome. The proposal does not engender any negative social or economic outputs.

4.3 Suitability of the Site

The subject site is considered suitable in size and shape to accommodate the conversion of a carport to a new garage. The proposal does not introduce any incompatible uses to the site. The works are permissible under the R2 Low Density Residential zone.

4.3.1 Access to Services

The site is located within an established residential area with excellent access to services and public transport. As the site is within an established urban area, electricity, sewer, telephone, and water services are readily available to the subject site.

4.3.2 Parking and Access

The on-site parking provided complies with the parking requirements as prescribed by Warringah Development Control Plan 2011. It provides a logical and considered approach to the provision of off-street car parking. The design and layout of on-site parking is compliant with AS2890.1.

4.3.3 Hazards

The site is in an area recognised by Council as being subject to landslip and bushfire. The impact on landscaping within the 'vegetation buffer' zone on the site, as well as the proposed development, has been discussed above in the LEP assessment. The proposed garage will be of a lightweight, enclosed structure replacing the existing carport with no excavation of the land required. The proposal does not include new habitable spaces or impact the Planning for Bushfire Protection requirements. Therefore, the proposed development is not expected to increase the likelihood of such hazards occurring and is deemed appropriate in this instance.

4.4 The Public Interest

The proposal is considered to be in the public interest as it produces nominal environmental, social, and economic impacts. Furthermore, the proposed development has been designed to relate to the size, shape and context of the site and has been designed in accordance with the desired future character for development in the area.

The proposal seeks to provide a residential development that makes efficient use of space on the site to provide for a new enclosed garage attached to the existing dwelling. In addition, the proposal has been designed to minimise as far as practical any adverse effects on existing and future neighbouring properties. The proposal is consistent with the applicable LEP and DCP provisions except where identified and justified in this Statement of Environmental Effects. Accordingly, the proposed development is considered to be in the public interest.

5.0 CONCLUSION

The Statement of Environmental Effects (SEE) has been prepared to consider the environmental, social, and economic impacts of the conversion of an existing carport to a new garage at 19 Mary Street Beacon Hill. The report has addressed the applicable policies and plans, and has provided an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

The application proposes a permissible development within the subject site locality. The proposal incorporates appropriate design considerations to minimise any adverse impacts on the natural and built environment, and the amenity of the surrounding neighbourhood.

Given the benefits of the development and compliance with the relevant policies and plans, we conclude that the proposed development at 19 Mary Street Beacon Hill as described in this application is reasonable and supportable, and worthy of approval by Northern Beaches Council.

Prepared By:



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