

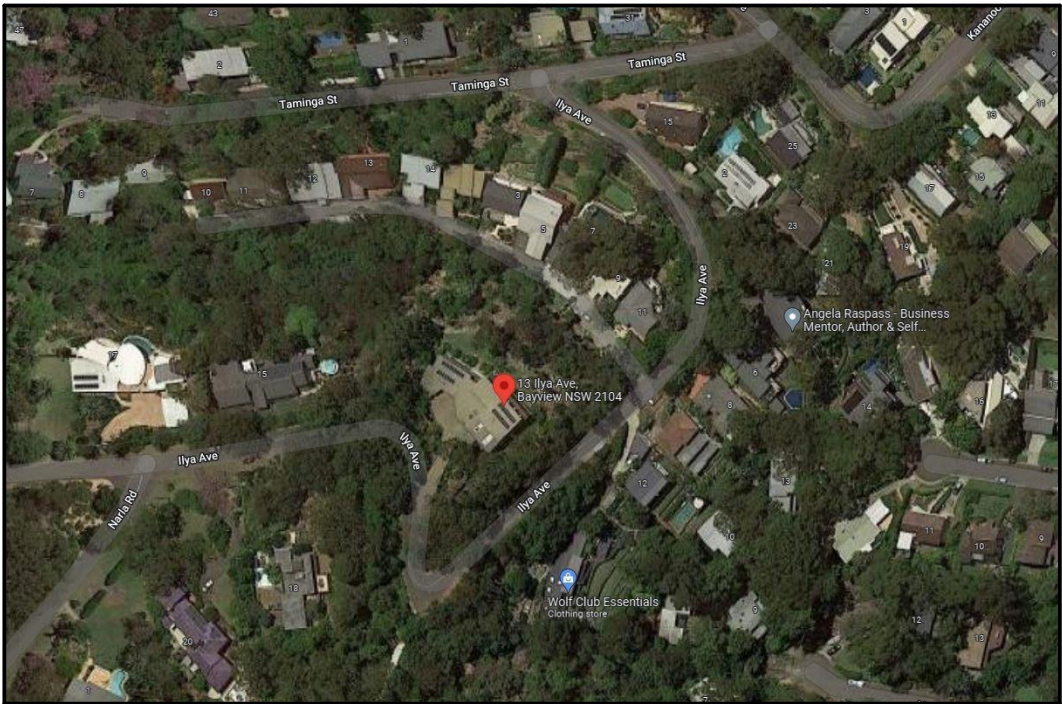
DEVELOPMENT APPLICATION

13 ILYA AVENUE - BAYVIEW

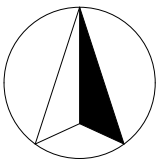
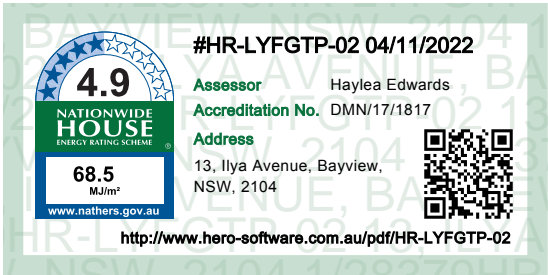


INDEX OF DRAWINGS:

- DA.01 SITE PLAN (SCALE1:500)
- DA.02 SITE ANALYSIS PLAN
- DA.03 TOP TERRACE FLOOR PLAN
- DA.04 LOWER GROUND FLOOR PLAN
- DA.05 GROUND FLOOR PLAN
- DA.06 NORTH ELEVATION
- DA.07 EAST ELEVATION
- DA.08 WEST ELEVATION
- DA.09 SOUTH ELEVATION / BASIX NOTES
- DA.10 SECTION AA / SPECIFICATION NOTES
- DA.11 ROOF PLAN AND STORMWATER CONCEPT PLAN
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- DA.15 SHADOW DIAGRAM JUNE21 @ 9AM
- DA.16 SHADOW DIAGRAM JUNE21 @ 12NOON
- DA.17 SHADOW DIAGRAM JUNE21 @ 3PM



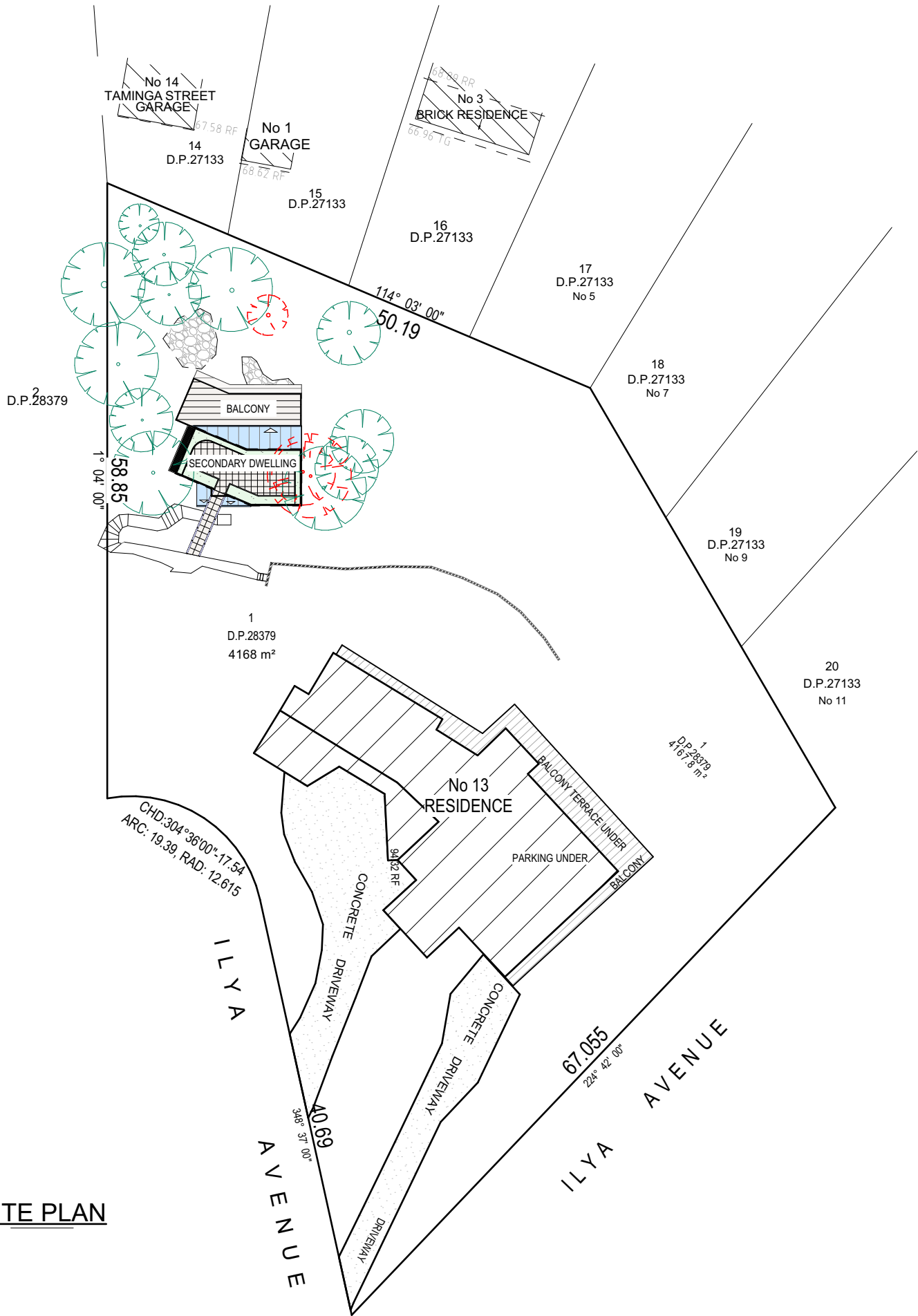
ARTIST IMPRESSION



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SITE PLAN



4.9

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

68.5

MJ/m²

www.nathers.gov.au

#HR-LYFGTP-02 04/11/2022

Assessor Haylea Edwards

Accreditation No. DMN/17/1817

Address
13, Ilya Avenue, Bayview,
NSW, 2104

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TRUE NORTH:



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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SITE PLAN

DATE:
April/22

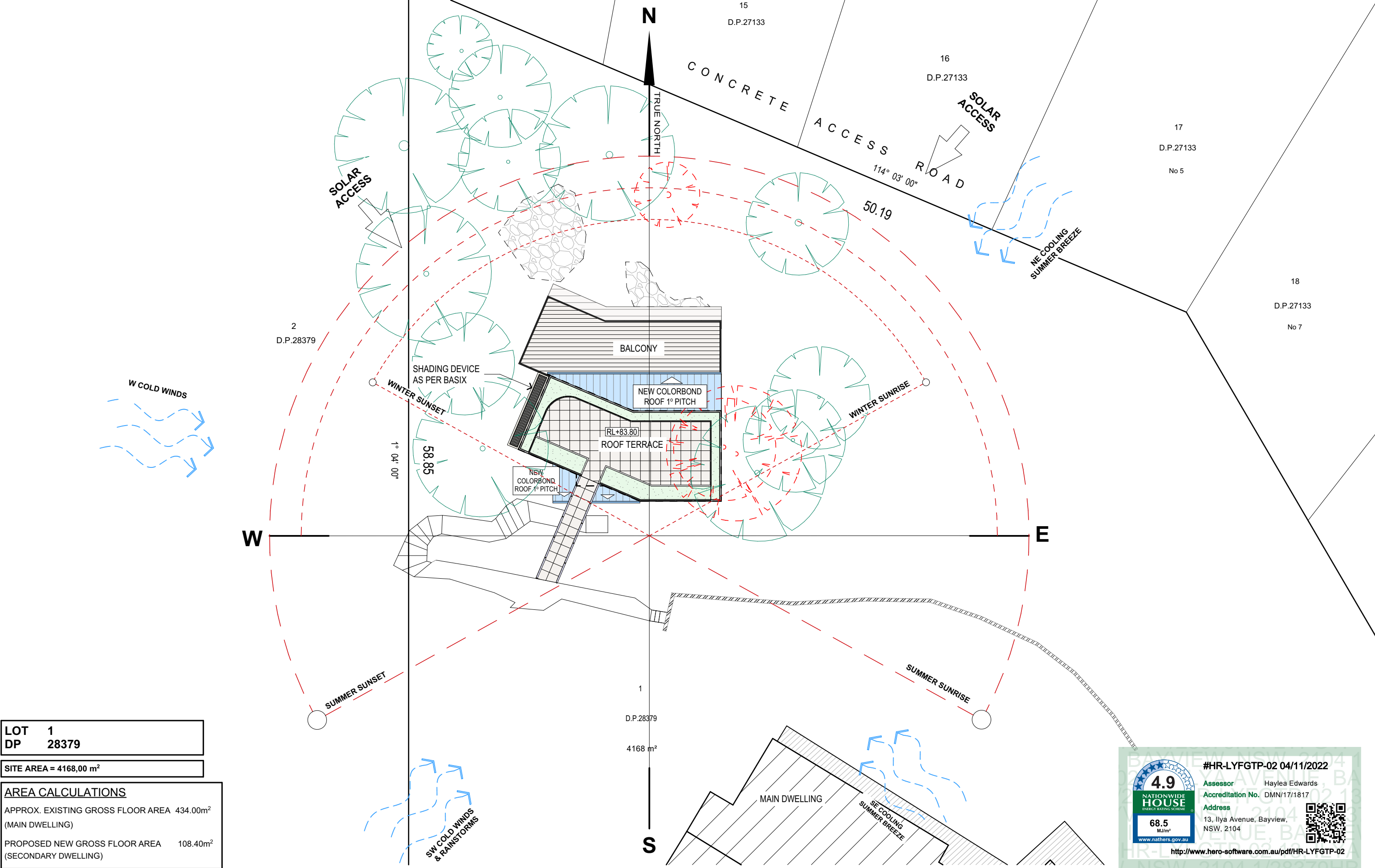
JOB No:
1021/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:500 @ A3

DRAWING No:
DA.01



LOT 1
DP 28379

SITE AREA = 4168,00 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 434.00m²
(MAIN DWELLING)

PROPOSED NEW GROSS FLOOR AREA 108.40m²
(SECONDARY DWELLING)

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SITE ANALYSIS PLAN

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April/22

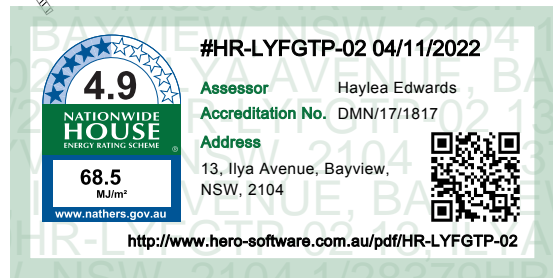
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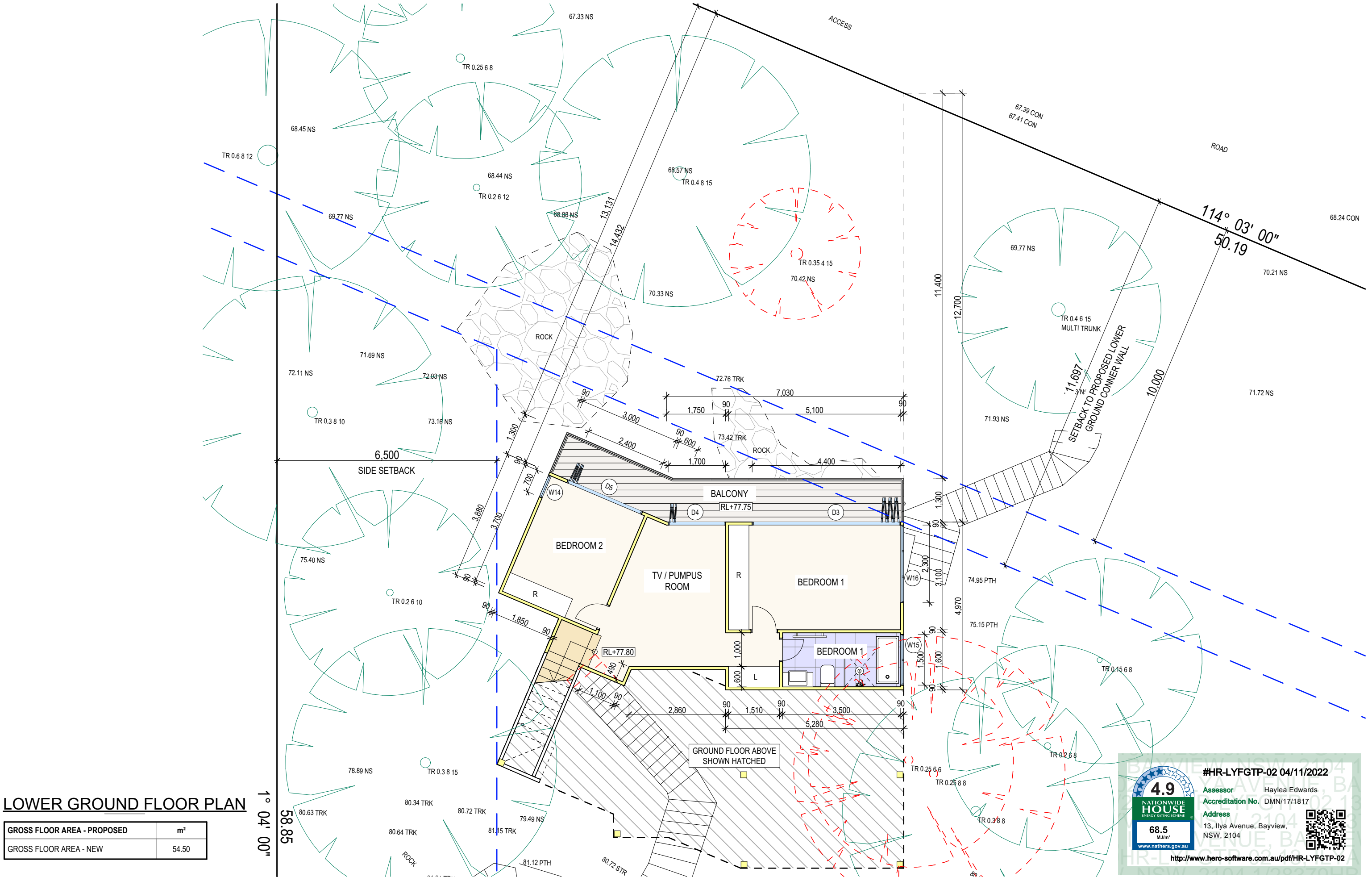
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DRAWING No:
DA.02

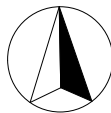




LOWER GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	54.50

TRUE NORTH:



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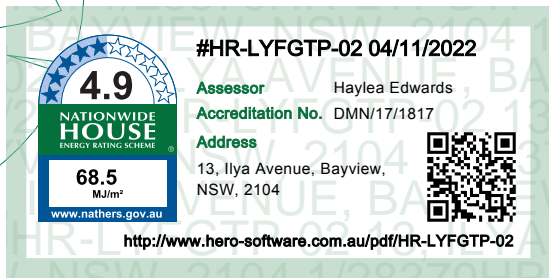
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SCALE:
1:100 @ A3

DRAWING No:
DA.04



GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	53.90

TRUE NORTH:



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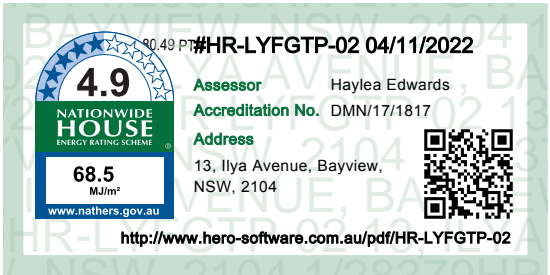
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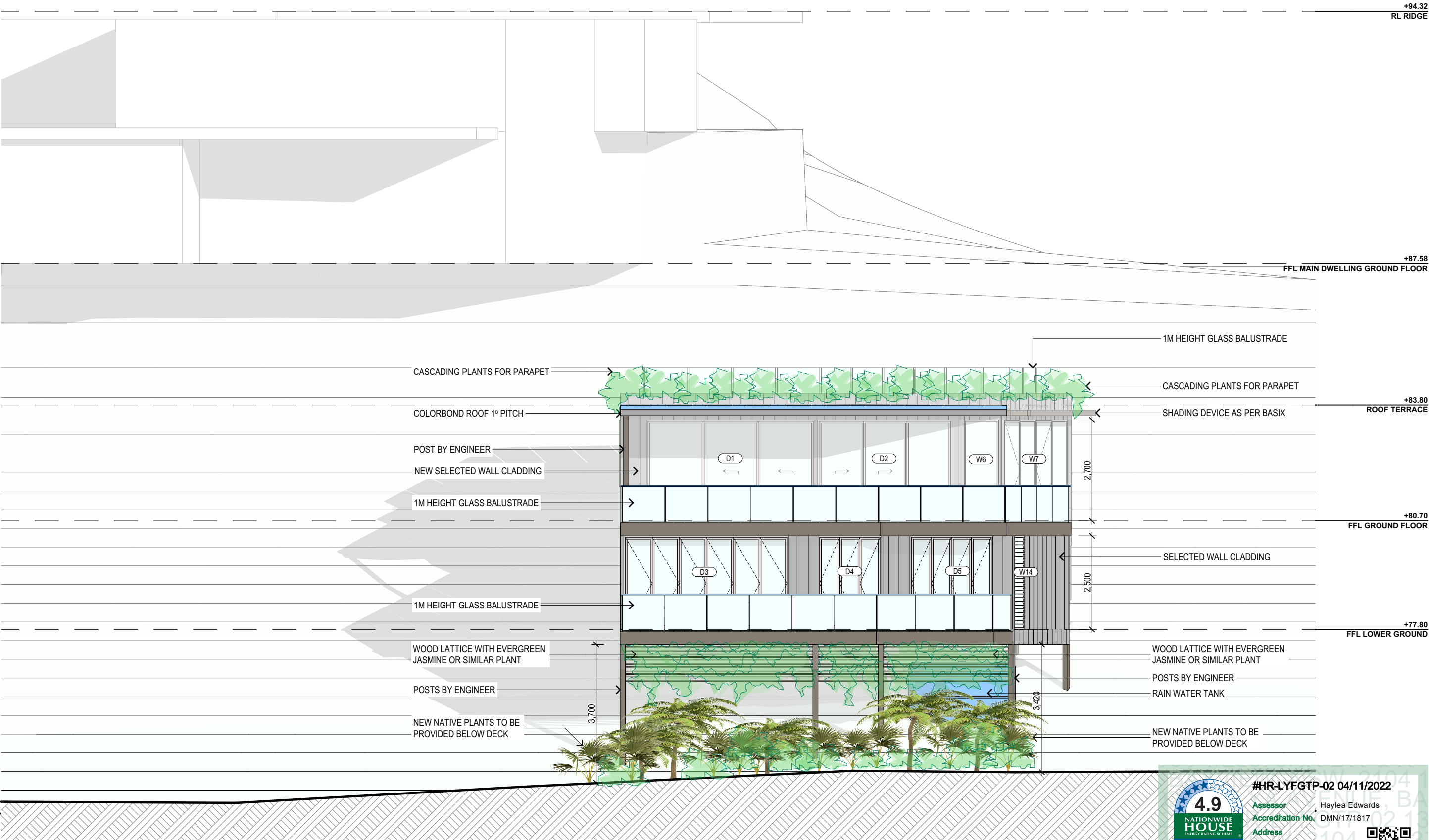
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NORTH ELEVATION

4.9

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

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MJ/m²

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QR CODE

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87.58
FL MAIN DWELLING GROUND FLOOR

83.80
TOOF TERRACE

80.70
FL GROUND FLOOR

77.80
FL LOWER GROUND

CASCADING PLANTS FOR PARAPET

TOPROOF TERRACE BRIDGE

SELECTED WALL CLADDING

8.5m MAX. BUILDING HEIGHT

1M HEIGHT GLASS BALUSTRADE

CASCADING PLANTS FOR PARAPET

NEW COLORBOND FLAT
ROOF 1° PITCH

POST BY ENGINEER

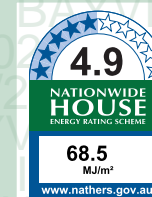
1M HEIGHT GLASS BALUSTRADE

SELECTED WALL CLADDING

1M HEIGHT GLASS BALUSTRADE

WOOD LATTICE WITH
EVERGREEN JASMINE OR
SIMILAR PLANT

NEW NATIVE PLANTS TO BE
PROVIDED BELOW DECK



#HR-LYFGTP-02 04/11/2022

Assessor Haylea Edwards
Accreditation No. DMN/17/1817

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EAST ELEVATION

=

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PROPOSED NEW SECONDARY DWELLING
13 ILYAAVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
EAST ELEVATION

DATE:
April/22

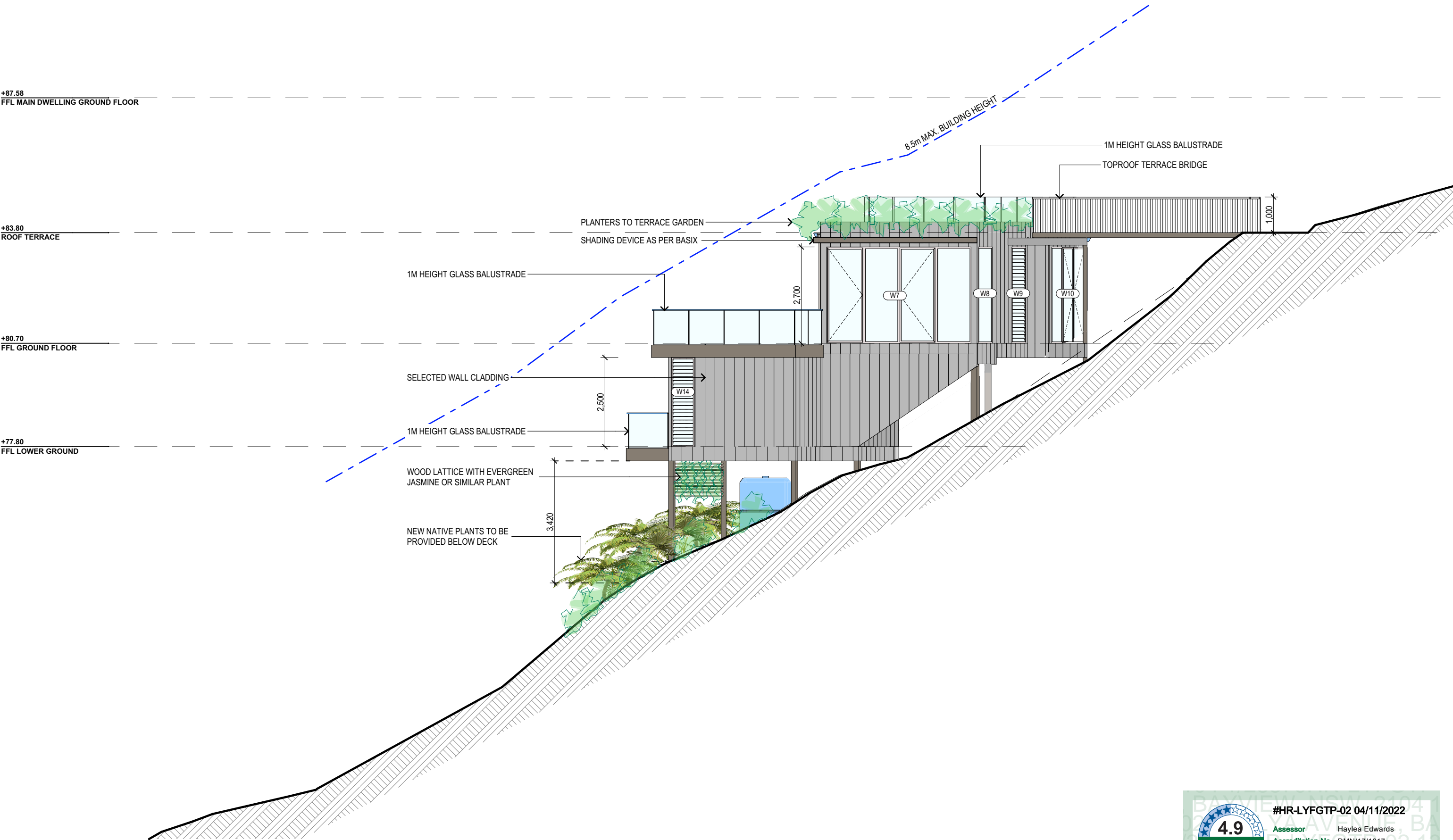
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1021/22

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WEST ELEVATION

=

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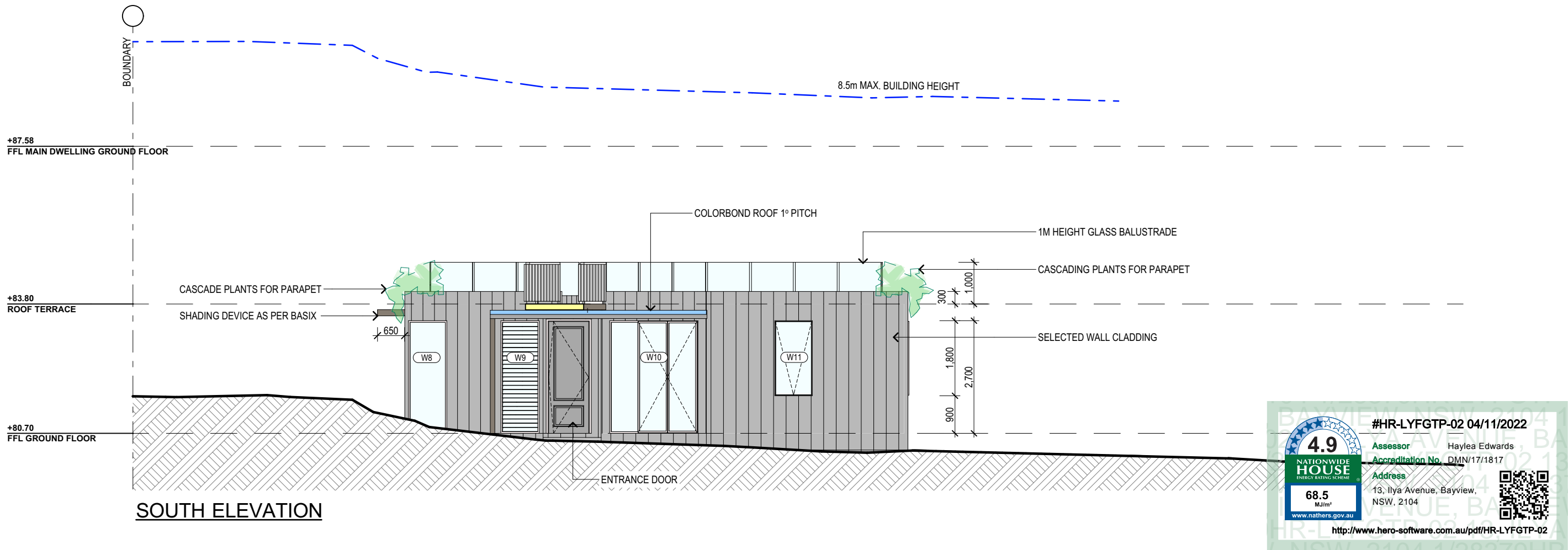
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PROPOSED NEW SECONDARY DWELLING 13 ILYAAVENUE - BAYVIEW NSW 2104 CLIENT: Rex Pemberton	DRAWING TITLE: WEST ELEVATION
-------------------------------------------------------------------------------------------------	----------------------------------

DATE: April/22	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.08



SOUTH ELEVATION

BASIX REQUIREMENT:

BASIX INCLUSIONS FOR 13 ILYA AVENUE - BAYVIEW

External walls

Lightweight cladding on framed walls with R2.5 insulation (insulation only value)
External colour:
Medium (0.475 < SA < 0.7)

Walls within dwellings

Plasterboard on studs, no insulation required
Plasterboard on studs with R2.5 insulation on the internal walls of bathroom and laundry and habitable areas

Glazing doors/windows

Glazed windows and doors:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%)

Group B - sliding doors/windows + fixed glazing + louvred windows

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Upgrades as per NatHERS certificate:

Group A - awning + bifold + casement windows + hinged glazed doors

U-value: 2.20 (equal to or lower than) SHGC: 0.32 (±10%)

Group B - sliding doors/windows

U-value: 3.60 (equal to or lower than) SHGC: 0.54 (±10%)

Group B - Fixed glazing

U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%)

Group B - Louvred windows

U-value: 4.90 (equal to or lower than) SHGC: 0.33 (±10%)

Given values are AFRC total window system values (glass and frame)

External colour:

Medium (0.475 < SA < 0.7)

Floors

Suspended timber floor with R4.0 insulation (insulation only value) to open and enclosed suspended areas

Roof and ceilings

Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above

External colour

Medium (0.475 < SA < 0.7)

Ceiling penetrations

Sealed LED downlights, as per electrical plan, modelled as 150mm diameter.

Sealed externally ducted exhaust fans, modelled as 200mm diameter

Ceiling fans 1300mm diameter to bedrooms, living room and rumpus

Penetrations not to exceed NatHERS certificate

Floor coverings

Tiles to wet areas; carpet with rubber underlay to bedrooms and rumpus; timber elsewhere

External shading

Shading as per stamped drawings

Ventilation

All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights will be sealed.

BASIX Water Commitments

Fixtures

Install showerheads minimum rating of 3 stars - High flow (>7.5 and <= 9 litres/min)

Install toilet flushing system with a minimum rating of 4 stars in each toilet

Install tap with a minimum rating of 3 stars in the kitchen

Install taps with a minimum rating of 3 stars in each bathroom

Alternative water

Install rainwater tank, minimum 3,000L capacity collected from min. 150m² roof area.

Tank connected to - at least one outdoor tap, and all toilets

BASIX Energy Commitments

Hot water system

Gas instantaneous - 6 Stars

Cooling system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Day-night zoned

Heating system

1-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Day-night zoned

Ventilation

Bathrooms - individual fan, externally ducted to roof or façade, manual on/off switch

Kitchen - individual fan, not ducted, manual on/off switch

Laundry - individual fan, externally ducted to roof or façade, manual on/off switch

Other

Electric cooktop & electric oven

Outdoor clothes drying line

Alternative Energy

1kW PV System

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PROPOSED NEW SECONDARY DWELLING
13 ILYA AVENUE - BAYVIEW NSW 2104

CLIENT:
Rex Pemberton

DRAWING TITLE:
SOUTH ELEVATION / BASIX NOTES

DATE:
April/22

JOB No:
1021/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.09

SPECIFICATION NOTES

INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

EXTERNAL WALLS:

- LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.
- LIGHTWEIGHT METAL WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.5.

FLOOR:

- GROUND FLOOR TO BE SUSPENDED TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:

- ALL WATERPROOFING TO AS 3740
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS

BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING
- NCC VOL.2 PART 3.5.1.
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

ROOF TILES OR SHINGLES:

- NCC VOL.2 PART 3.5.2.

CONCRETE:

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

BRICK AND BLOCKWORK:

- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.

CARPENTRY:

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

TIMBER FRAMING:

- TO COMPLY WITH NCC VOL.2 PART 3.4
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.

FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

CONCRETE BLOCKS OR BRICKS:

- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

DOORS & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH AS4654

+87.58

FFL MAIN DWELLING GROUND FLOOR

+83.80

ROOF TERRACE

+80.70

FFL GROUND FLOOR

+77.80

FFL LOWER GROUND

WOOD LATTICE WITH EVERGREEN JASMINE OR SIMILAR PLANT

NEW NATIVE PLANTS TO BE PROVIDED BELOW DECK

SECTION A-A

GLAZING:

- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

SMOKE DETECTORS/ALARMS:

- NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

STAIRS, HANDRAILS AND BALUSTRADES:

- NCC VOL.2 PARTS 3.9.1 AND 3.9.2
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.

STORMWATER:

EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

4.9

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

68.5

MJ/m²

www.nathers.gov.au


#HR-LYFGTP-02 04/11/2022

Assessor Haylea Edwards

Accreditation No. DMN/17/1817

Address 13, Ilya Avenue, Bayview, NSW, 2104

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NOTES (E & OE)

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CLIENT:
Rex Pemberton

DRAWING TITLE:
SECTION AA / SPECIFICATION NOTES

DATE:
April/22

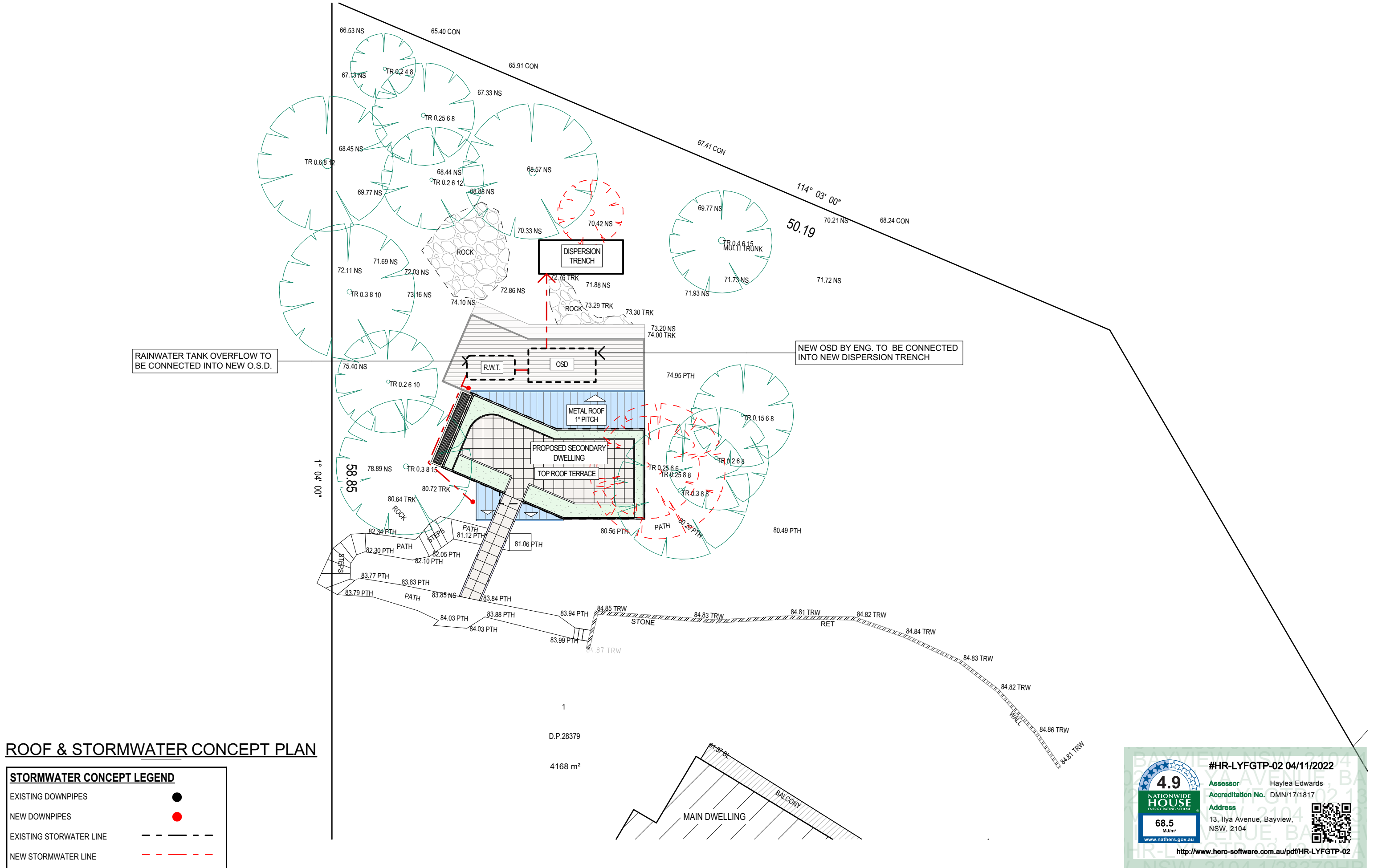
JOB No:
1021/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.10



ROOF & STORMWATER CONCEPT PLAN

STORMWATER CONCEPT LEGEND

EXISTING DOWNPIPES

NEW DOWNPIPES

EXISTING STORMWATER LINE

NEW STORMWATER LINE

TRUE NORTH:

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DRAWING TITLE:ROOF & STORMWATER CONCEPT PLAN

DATE:April/22

JOB No:1021/22

DRAWN BY:LB

CHECKED BY:JJ

SCALE:1:200 @ A3

DRAWING No:DA.11

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AssessorHaylea Edwards

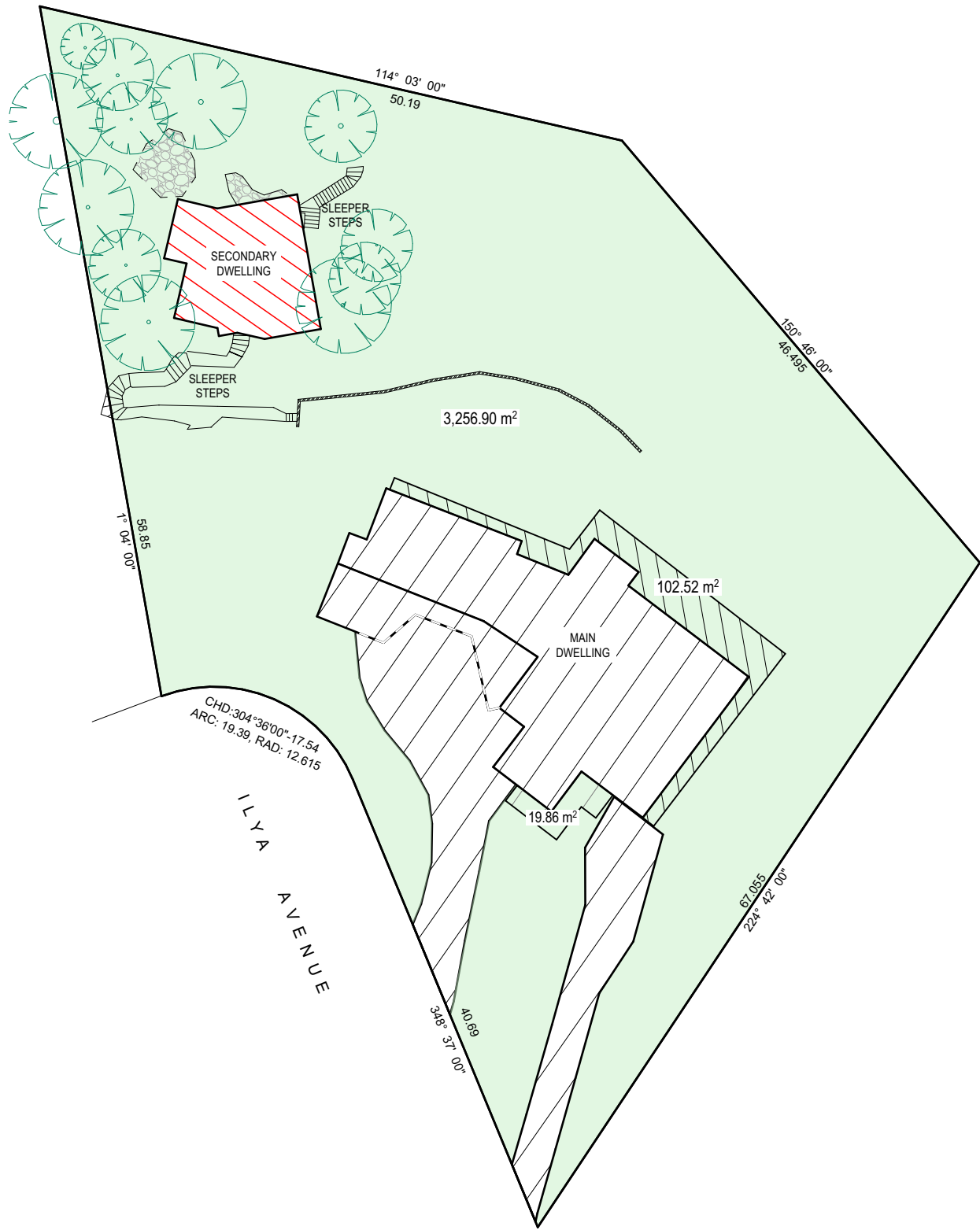
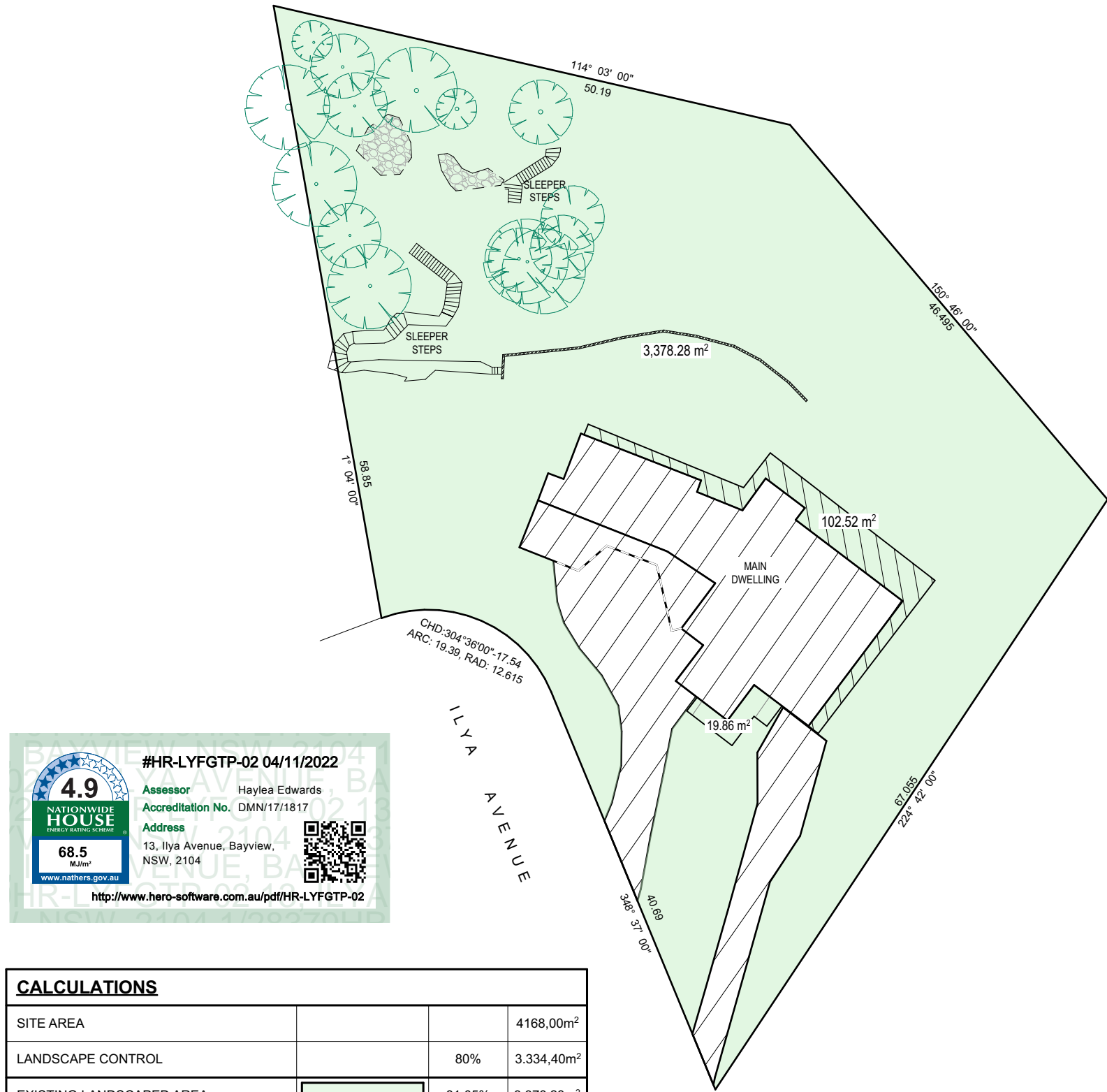
Accreditation No. DMN/17/1817

Address13, Ilya Avenue, Bayview, NSW, 2104

68.5 MJ/m²

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CALCULATIONS			
SITE AREA			4168,00m²
LANDSCAPE CONTROL		80%	3.334,40m²
EXISTING LANDSCAPED AREA		81.05%	3.378,28m²
OUTDOOR RECREATIONAL AREA (6%)			122.38m²
TOTAL NEW LANDSCAPED AREA		78.14%	3256,90m²
EXISTING HARD SURFACE AREA			789,72m²
NEW HARD SURFACE AREA			121,38m²
TOTAL HARD SURFACE AREA		21.86%	911,10m²

EXISTING LANDSCAPE CALCULATION PLAN

PROPOSED LANDSCAPE CALCULATION PLAN

TRUE NORTH:

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CLIENT:
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LANDSCAPED AREA CALCULATION PLAN

DATE: April/22	DRAWN BY: LB	SCALE: 1:500 @ A3
JOB No: 1021/22	CHECKED BY: JJ	DRAWING No: DA.12



EVERGREEN JASMINE



KANGAROO PAW



LOMANDRA CONFERTIFOLIA



EMU BUSH



TRAILING ROSEMARY



SILVER FALLS

SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD
	NATIVE PLANTS (EXAMPLES):			
	LOMANDRA CONFERTIFOLIA	Seascape	0.6 m	0.6m
	EMU BUSH	Eremophila Maculate	1.0 m	1m
	KANGAROO PAW	Anigozanthos	2.5 m	3m
	SELECTED CASCADE PLANTS (EXAMPLES):			
	SILVER FALLS	Dichondra	1.0 m	0.5m
	TRAILING ROSEMARY	Anigozanthos	0.5 m	3m
	SELECTED PLANTS BY CLIENT	-	-	-
	EXISTING TREE TO REMAIN	-	-	-
	EXISTING PALM TREE TO REMAIN	-	-	-
	EXISTING TREE TO BE REMOVED	-	-	-

TRUE NORTH:



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CLIENT:
Rex Pemberton

DRAWING TITLE:
LANDSCAPE CONCEPT PLAN

DATE:
April/22

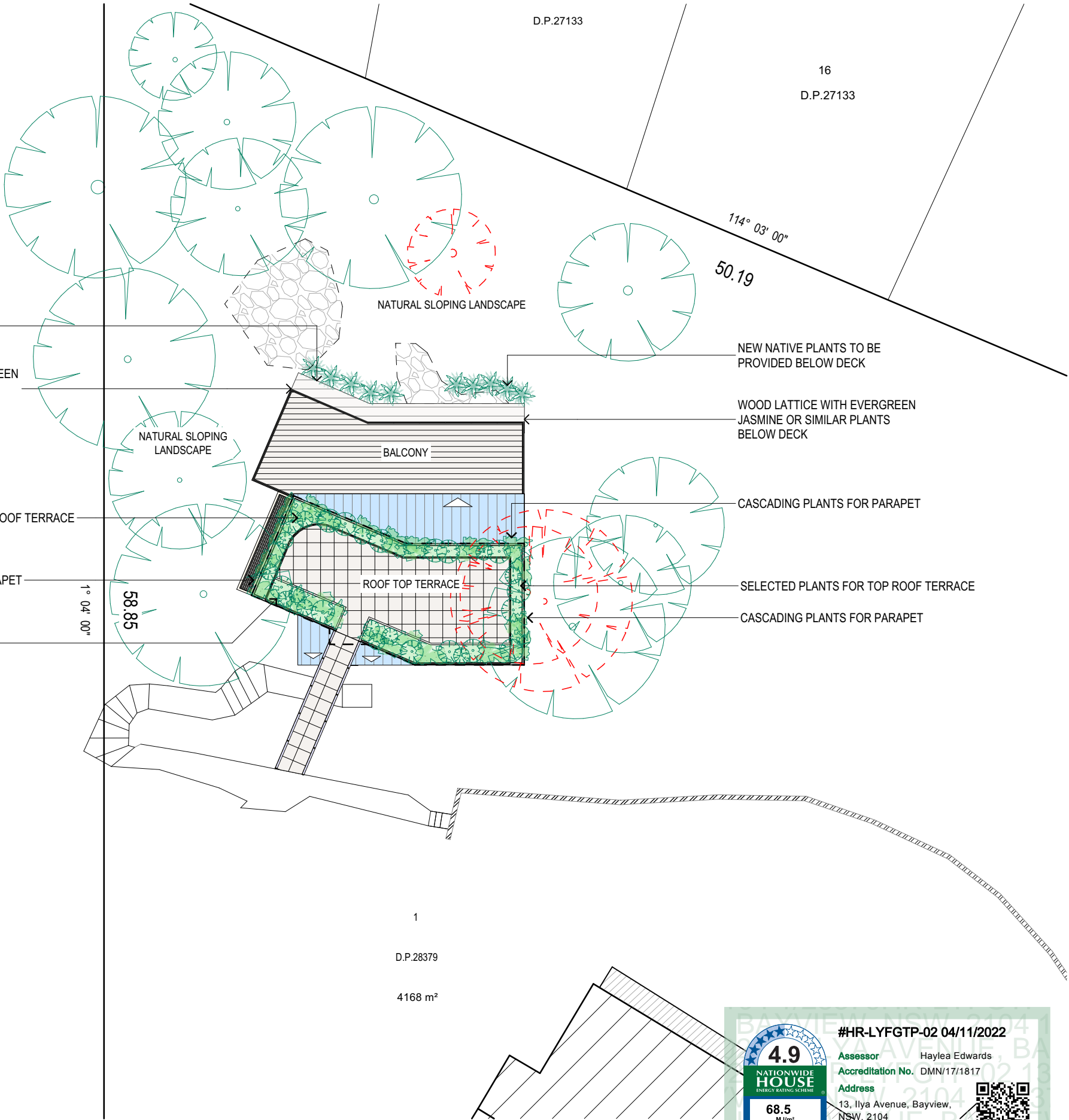
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1021/22

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CHECKED BY:
JJ

SCALE:
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DRAWING No:
DA.13



LANDSCAPE CONCEPT PLAN

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Assessor Haylea Edwards
Accreditation No. DMN/17/1817
Address 13, Ilya Avenue, Bayview, NSW, 2104

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NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

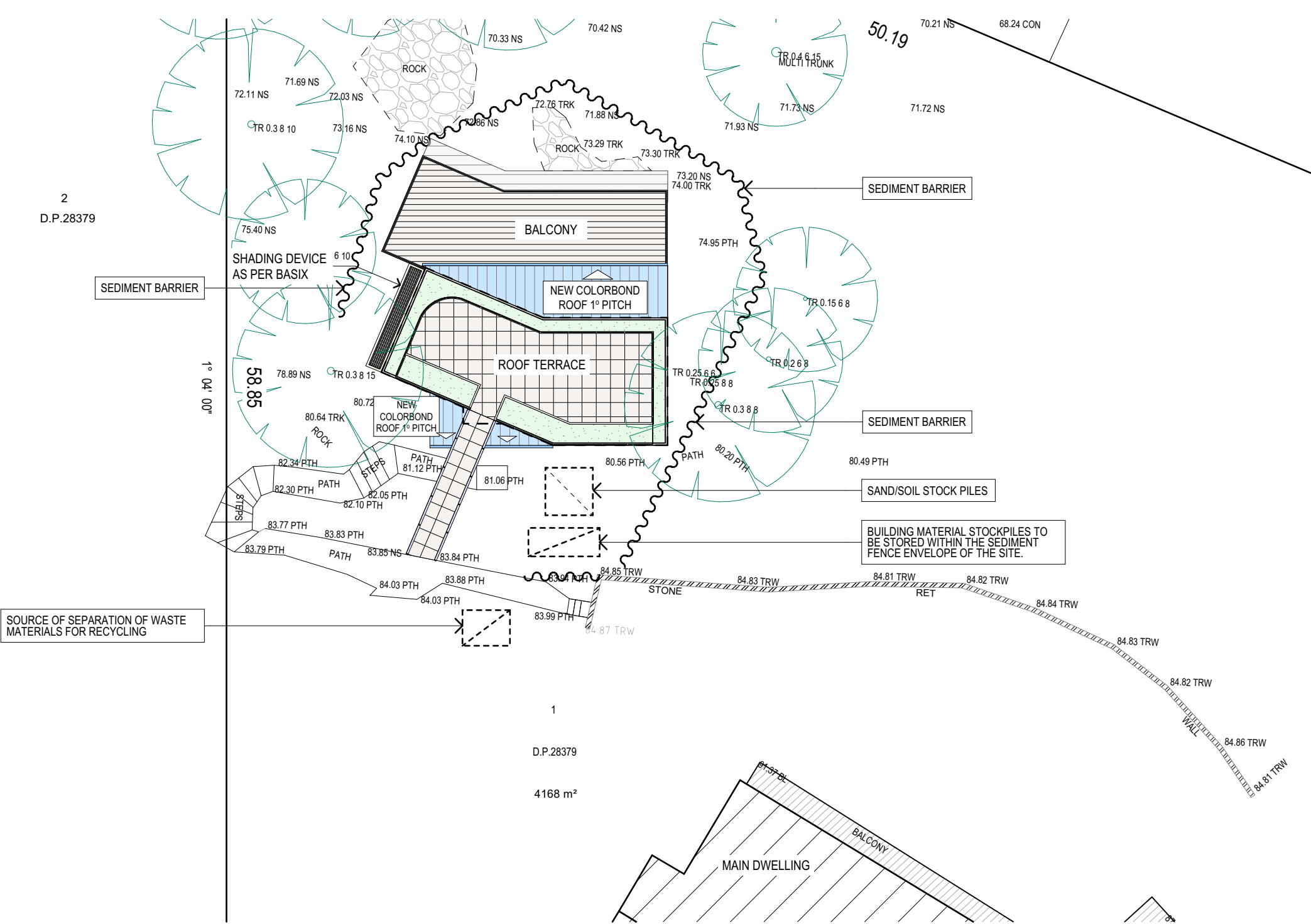
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

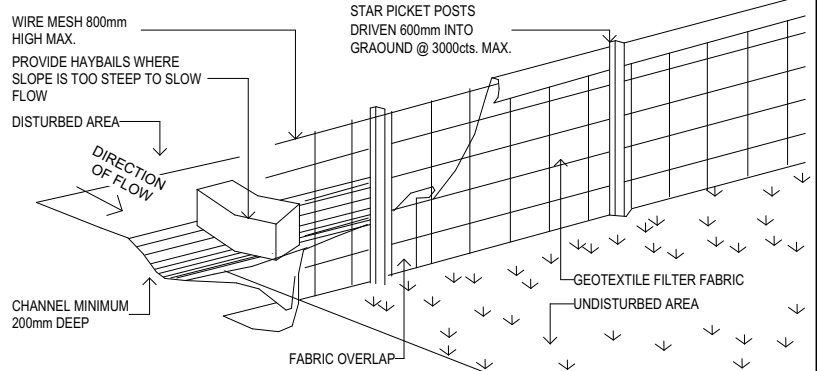
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

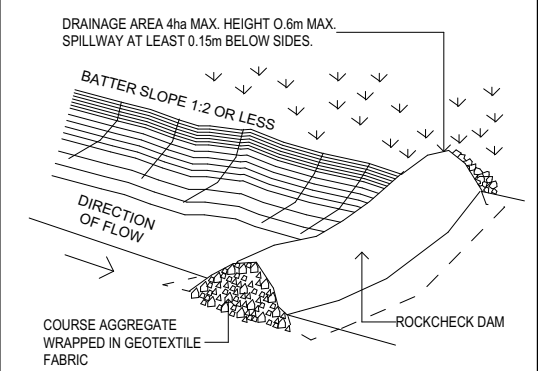


EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

68.5 MJ/m²

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#HR-LYFGTP-02 04/11/2022

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CLIENT:
Rex Pemberton

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE
MANAGFMNT PI AN

DATE:
April/22

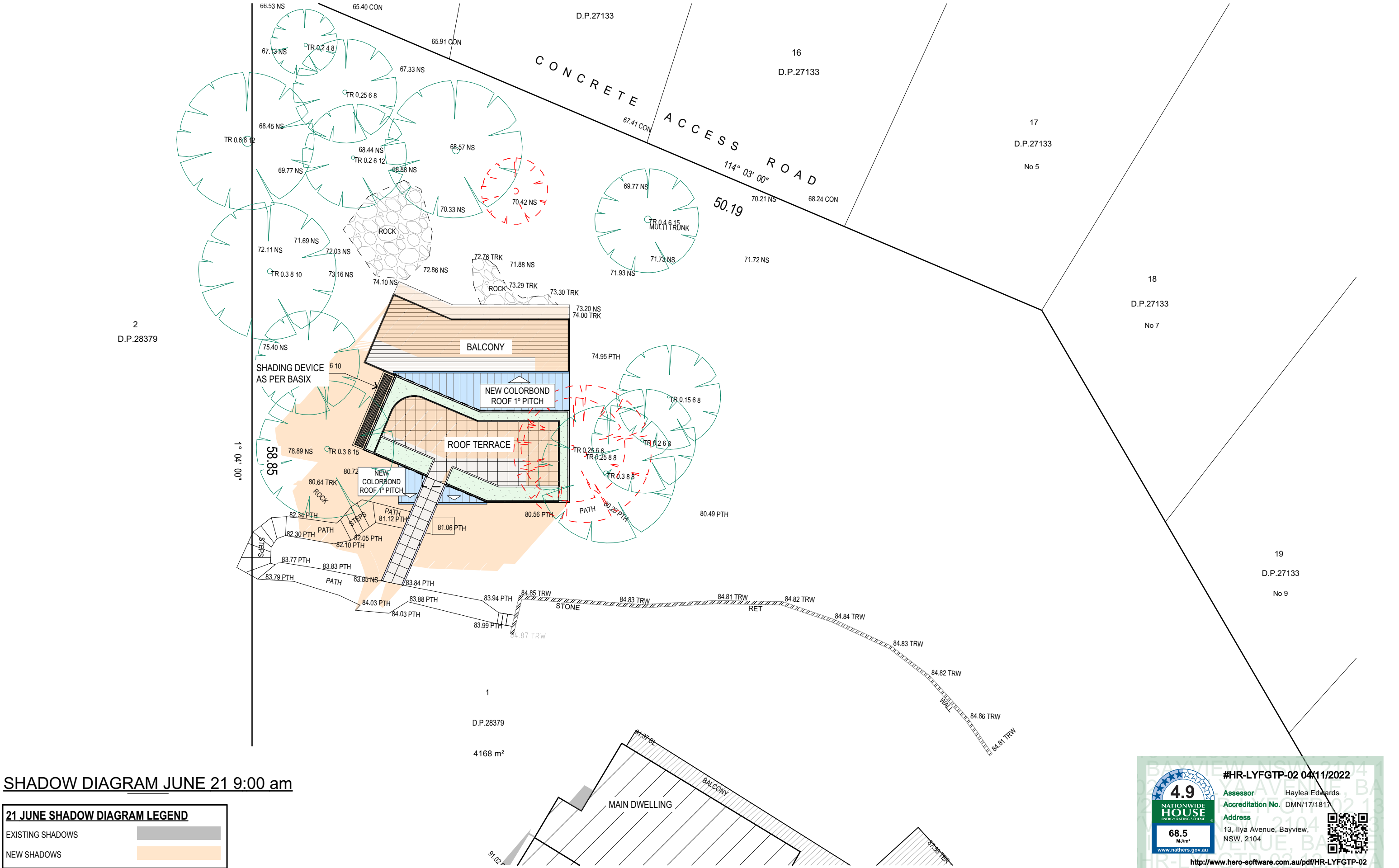
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LB

SCALE:
1:200 @ A3

JOB No:
1021/22

CHECKED BY:
JJ

DRAWING No:
DA.14



SHADOW DIAGRAM JUNE 21 9:00 am

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



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PROPOSED NEW SECONDARY DWELLING
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CLIENT:
Rex Pemberton

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 9:00 am

DATE:
April/22

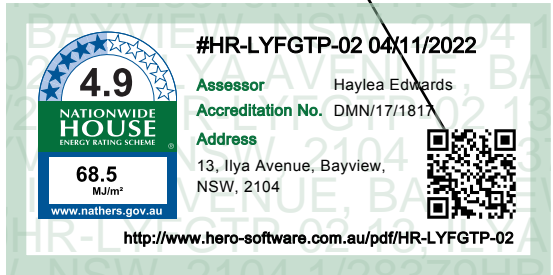
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1021/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.15



SHADOW DIAGRAM @ 12 NOON

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



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CLIENT:
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DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 12 noon

DATE:
April/22

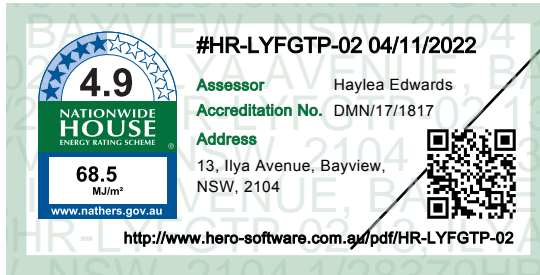
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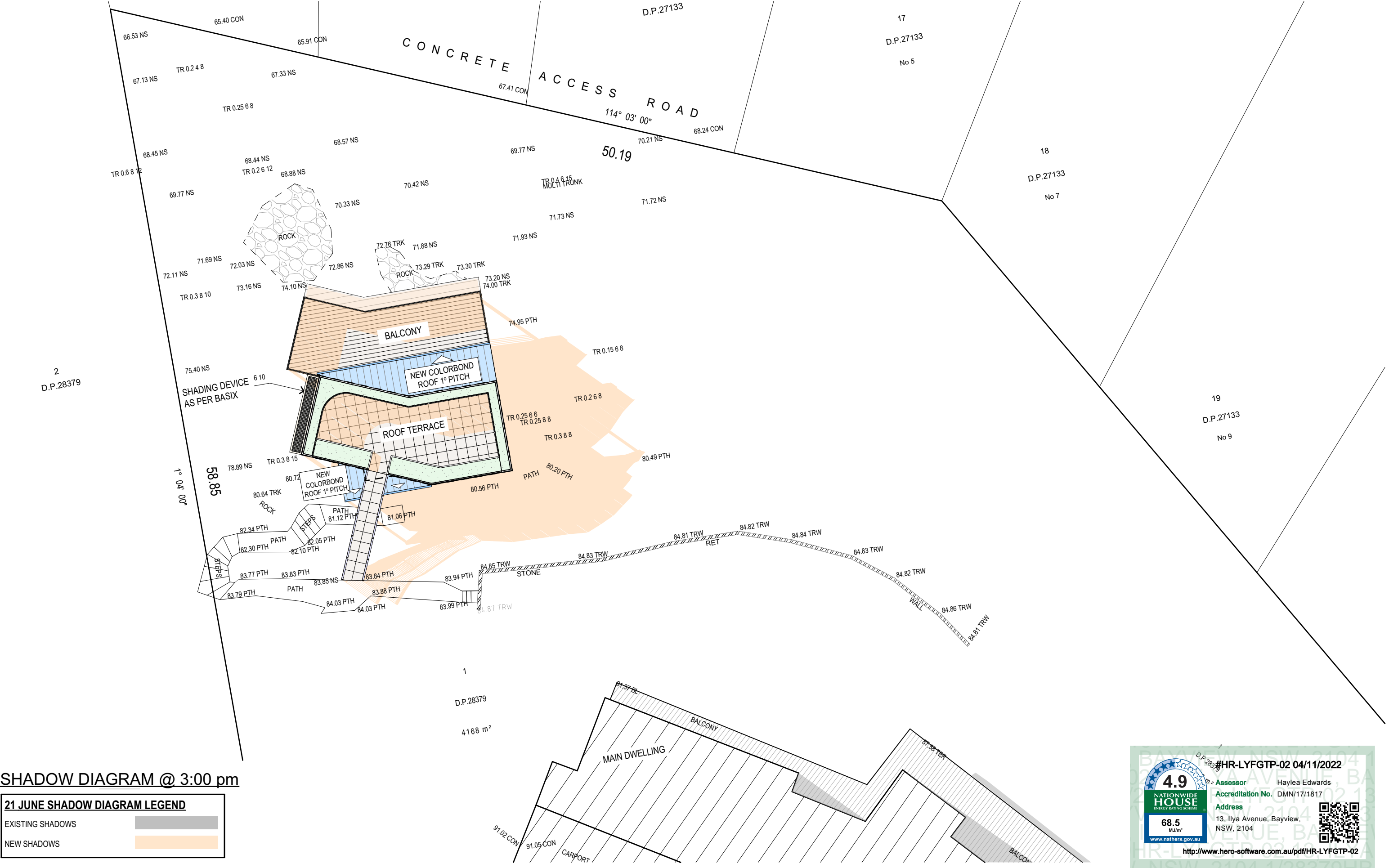
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CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.16





SHADOW DIAGRAM @ 3:00 pm

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS
NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

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DATE:
April/22

JOB No:
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DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
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