
From: VMDC Planning [REDACTED]
Sent: Monday, 30 September 2024 9:47 AM
To: Planning Panels - Northern Beaches
Cc: Northern Beaches designs
Subject: 2 October 2024 - Northern Beaches Local Planning Panel - Late Submission
Attachments: NBLPP Submission September 2024.pdf; Pittwater Council Building_Certificate BC0017_16.pdf; Final Occupation Certificate October 2019.pdf; Final Survey dated 19 March 2019 .pdf; Structural Certification February 2015.pdf; R. Balas Structural Plans.pdf

Categories: NBLPP

Attn: Ms Heidi Young

Hi Heidi,

On behalf of my clients, we would like to offer the attached late additional submission for the Panel's review.

We are in support of the officers recommendation however we would like to offer the following information to address the accommodation for a deferred commencement consent and look forward to detailing our comments with the Panel.

Should you require anything further, please do not hesitate to contact me.

Regards,

Vaughan

vaughanmilligan
DEVELOPMENT CONSULTING PTY LTD

Vaughan Milligan Development Consulting Pty Ltd

Commercial | Residential Town Planning Consultants

PO Box 49
Newport Beach NSW 2106
P: [REDACTED]

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27 September 2024

The Chairman
Northern Beaches Local Planning Panel
PO Box 82
MANLY NSW 1655

Dear Chairman & Panel Members,

Development Application No: DA2024/0543
Date of Meeting: 2 October 2024
Premises: 14 Bassett Street, Mona Vale
Proposed Development: Alterations and additions to a dwelling house

On behalf of the property owners & Northern Beaches Designs, we offer this late submission for the Panel's review in deliberations regarding the above item to be considered at Council's Northern Beaches Local Planning Panel meeting of 2 October 2024.

We refer specifically to the recommendation within the staff report for the issue of a Deferred Commencement Consent due to uncertainty in relation to the approval history of the existing western access stairs and lift shaft which provide access to the existing roof level and the staff recommendation for the applicant to obtain a Building Information Certificate prior to the consent becoming operational.

We have obtained approval history for the site from Northern Beaches Council which confirms the following chronology of the written relevant approval history for the site:

- **CDC0138/15** for *"Demolition of existing building"* determined 21 September 2015
- **CDC0165/15** for *"Construction of a new two storey dwelling, new pool and internal alterations to secondary dwelling to revert to a cabana and associated yard storage area"* determined 26 October 2015
- **BC0017/16** - Building Information Certificate issued by Pittwater Council and dated 7 March 2016 which refers to *"As built concrete footings, concrete floor slab, walls and columns to Level 1, together with the suspended concrete floor slab, walls and columns to Level 2 of a dwelling under construction on the above allotment"*.

The certificate notes that it relies on a Structural Certificate prepared by R Balas Consulting Pty Ltd dated 25 February 2016.

The Structural Certificate dated 25 February 2016 makes specific reference to structural engineering drawings prepared by R. Balas Consulting P/L dated 28 July 2015, Reference

....1/2

1239 – S01 to S09 which clearly note the lift shaft and the western access stairs as being part of the existing constructed works addressed in the Building Information Certificate.

At the completion of the works, a final inspection was conducted on 18 October 2019 and a Final Occupation Certificate No 15/0916/01 dated 22 October 2019 was issued by Building Certificates Australia Pty Ltd, which noted that it relied on the Building Information Certificate issued by Pittwater Council dated 7 March 2016.

The Final Occupation Certificate also includes a Final Survey Report prepared by SDG Land Development Solutions, dated 19 March 2019 which includes the lift shaft to the roof level and the western access stairs.

Through the issue of the Final Occupation Certificate with the supporting documentation, the Private Certifier for the development was satisfied that the works within the site were complete and consistent with the Complying Development Certificate and as endorsed by Pittwater Council in its issue of the Building Information Certificate dated 7 March 2016, we consider that the western access stairs and lift shaft have been previously approved through the review of the site's approval history.

On this basis, we ask that the Panel considers the officer's recommendation and if in support of the proposal, a Development Consent be issued without reliance on a deferred commencement format.

We look forward to discussing our proposal with the Panel to assist in its deliberations.

Please contact me on 9999 4922 or 0412 448 088 should you wish to discuss this response.

Yours faithfully,

A black rectangular box redacting the signature of Vaughan Milligan.

VAUGHAN MILLIGAN

Annexure: NBC Approval History

Business Hours:
8.00am to 5.30pm, Monday to Thursday
8.00am to 5.00pm, Friday

Building Certificate No: BC0017/16

7 March 2016

PETER CARL CORDONY
14 BASSETT STREET
MONA VALE NSW 2103

Dear Sir/Madam

Application for a Building Certificate

Property: 14 BASSETT STREET MONA VALE NSW 2103

Please find enclosed a Building Certificate issued in response to your application.

Yours faithfully

Wal Dover
SENIOR BUILDING SURVEYOR

BUILDING CERTIFICATE NO: BC0017/16
UNDER SECTION 149A OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)

THE PITTWATER COUNCIL

CERTIFIES THAT in relation to the building or part identified below, the Council –

- (a) By virtue of anything existing or occurring before the date of inspection stated in this certificate; or
- (b) Within 7 years after that date by virtue of the deterioration of the building or part solely by fair wear and tear, WILL NOT –
- (c) Make an order requiring the building to be repaired, demolished, altered or rebuilt by reason only of its design, appearance, form of construction or state of repair; or
- (d) Take proceedings for an order or injunction requiring the demolition, alteration, addition, or rebuilding of or to the building or part, by reason only of its design, appearance, form of construction or state of repair; or
- (e) Take proceedings in relation to any encroachment by the building or part onto land vested in or under the control of the Council.

IDENTIFICATION OF BUILDING

Property Address: **14 BASSETT STREET MONA VALE NSW 2103**

Nearest Cross Street: **Stanley Street** Side of Street: **North**

Classification of Building: **10b** Whole/Part: **Part of Building**

Description: **As built concrete footings, concrete floor slab, walls and columns to Level 1, together with a suspended concrete floor slab, walls and columns to Level 2 of a dwelling under construction on the above allotment.**

Date of Inspection: **3/03/2016** Owner: **MARGOT E CORDONY**
PETER C CORDONY

Legal Description of Land: **Part Lot 23 Sec B DP 6195**

SCHEDULE

The following written information was used by the Council in deciding to issue this certificate:
Survey report prepared by SDG Surveyors, dated 23/02/2016, Ref No 6112; and structural certification by R Balas Consulting Pty Ltd dated 25/2/16.

Dated **7/03/2016**

Mark Ferguson
GENERAL MANAGER

.....
per:

Applicant's Name: **PETER CARL CORDONY, 14 BASSETT STREET MONA VALE NSW 2103**
NB:

- 1. An order made or proceedings taken in contravention of this certificate is of no effect.
- 2. The issue of a Building Certificate does not prevent
 - (i) orders from being made against any person in relation to matters detailed in the table to Section 121B of the Environmental Planning and Assessment Act, 1979 (as amended);
 - (ii) proceedings being taken against any person for failure to obtain development consent or to comply with any conditions of development consent, pursuant to Section 125 of the Environmental Planning and Assessment Act, 1979.

25 FEBRUARY 2016

CONSULTING CIVIL/STRUCTURAL ENGINEERS
43 AVOCA STREET

TO: THE PCA

STRUCTURAL CERTIFICATE

RE: NEW DWELLING AT 14 BASSETT STR. MONA VALE

We, R. Balas Consulting P/L being professional engineers certify that we have carried out periodic site inspections during the construction of the structural elements of the above project up to this date.

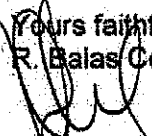
At the time of the inspections the work observed generally conformed with the intent of the design as conveyed by structural engineering drawings 1239 – S01 to S09.

The elements covered by this Certificate include:

1. Level 1 slab on ground and footings.
2. Level 1 concrete walls and columns.
3. Level 2 suspended slab.
4. Level 2 concrete walls and columns.

This certificate should not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations.

Yours faithfully,
R. Balas Consulting P/L


Raphael Balas
BE, MIE-Aust. CPEng.

CONSTRUCTION NOTES

GENERAL

- G1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT’S DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. THE ENGINEER’S DRAWINGS SHALL NOT BE SCALED.
- G3. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- G4. WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS AND THE LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- G5. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IS NOT AN AUTHORISATION FOR AN EXTRA. ANY EXTRA INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT BEFORE THE WORK COMMENCES. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
- G6. ALL LEVELS ARE EXPRESSED IN METRES.
- G7. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS:

INTERNAL AREAS = 1.50KPa
EXTERNAL AREAS = 3.00KPa

- G8. ALL NON LOAD BEARING WALLS SHALL BE KEPT CLEAR OF THE UNDERSIDE OF SLABS AND BEAMS BY 20mm UNLESS OTHERWISE SHOWN.

FOOTINGS

- F1. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 800KPa ON ROCK.
- F2. THE BUILDER SHALL OBTAIN APPROVAL FROM THE SUPERVISING ENGINEER AS TO THE SUITABILITY OF THE FOUNDATION MATERIAL PRIOR TO PLACING CONCRETE.
- F3. SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH APPROVED GRANULAR MATERIAL PLACED IN LAYERS NOT EXCEEDING 250mm AND COMPACTED TO 98% SMDD.

EXCAVATION ADJACENT TO EXISTING BUILDING

- E1. BUILDER TO MAINTAIN STABILITY OF ADJOINING BUILDINGS AND TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING AS REQUIRED TO PREVENT COLLAPSE OF GROUND DURING EXCAVATION WORKS.

STRUCTURAL TIMBER

- T1. TIMBER FRAMING CONSTRUCTION IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1684, NATIONAL TIMBER FRAMING CODE AND AS 1720.1 TIMBER FRAMING STRUCTURE DESIGN METHODS.

BRICKWORK & BLOCKWORK

- B1. ALL WORKMANSHIP & MATERIALS TO COMPLY WITH AS3700 S.A.A. MASONRY CODE.
- B2. MORTAR SHALL BE 1 PART CEMENT 4 PART SAND AND 0.25 PART LIME.
- B3. BRICKWORK OR BLOCKWORK SUPPORTING CONCRETE OR STEEL MEMBERS SHALL BE SEPARATED AT THE BEARING SURFACE BY 2 LAYERS OF "ALCOR"
- B4. BLOCKS SHALL BE STRENGTH GRADE MIN. 20MPa. ALL BLOCKS SHALL HAVE SHALLOW GROOVES FOR REINFORCEMENT. PROVIDE CLEANOUT HOLES IN BASE OF THE WALLS.
- B5. REMOVE ALL MORTAR DAGS BEFORE FILLING CORES WITH GROUT.
- B6. FILL ALL CORES WITH GROUT STRENGTH 25MPa, 10mm AGGREGATE MAX. SIZE (NOT MORE THAN 30 OF GROUT), SLUMP 230 ±30.
- B7. PROVIDE VERTICAL CONTROL JOINTS IN BLOCKWORK AT 9m MAX. CENTRES.

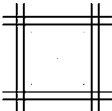
CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2. CONCRETE QUALITY:

ELEMENT	SLUMP	MAX. AGG.	CEMENT TYPE	ADMIX	CONC. GRADE	EXPOSURE CLASSIF'N	COVER U.N.O.
PAD FOOTING	80	20	GP	NIL	25MPa	A1	50
CONCRETE PIERS	80	20	GP	NIL	25MPa	A1	50
SLAB ON GROUND	80	20	GP	NIL	25MPa	A1	30 TOP
STRIP FOOTINGS	80	20	GP	NIL	25MPa	A1	50
SUSPENDED SLABS—EXTERNAL	80	20	GP	NIL	32MPa	A1	45 TOP 45 BOT.
SUSPENDED SLABS—INTERNAL	80	20	GP	NIL	32MPa	A1	25 TOP 20 BOT.
SUSPENDED BEAMS	80	20	GP	NIL	32MPa	A1	40 TO MAIN REINF. AND SIDES
COLUMNS	80	20	GP	NIL	32MPa	A1	50 TO MAIN REINF.
SWIMMING POOL	80	10	GP	NIL	32MPa	A1	MIN. 50
WALLS	80	10	GP	NIL	32MPa	A1	40 GENERALLY

- C3. COVER TO REINFORCEMENT ENDS TO BE 45mm U.N.O.
- C4. PROVIDE N12–300 SUPPORT BARS TO TOP AND BOTTOM REINFORCEMENT AS REQUIRED, LAP 450 U.N.O.
- C5. MAINTAIN COVER TO ALL PIPES, CONDUITS, REGLETS, DRIP GROOVES ETC.
- C6. LAPS IN REINFORCEMENT SHALL BE MADE ONLY WHERE SHOWN ON THE DRAWINGS UNLESS OTHERWISE APPROVED. LAP LENGTHS SHALL BE 40 BAR DIA. UNLESS NOTED OTHERWISE.
- C7. ALL COGS TO BE STANDARD COGS UNLESS NOTED OTHERWISE.
- C8. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE ENGINEER.
- C9. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- C10. ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS.
- C11. REINFORCEMENT SYMBOLS:
"S" STRUCTURAL GRADE DEFORMED BAR TO AS 1302
"Y" HOT ROLLED DEFORMED BAR TO AS 1302 GRADE 410
"R" STRUCTURAL GRADE PLAIN ROUND BAR TO AS 1302
"F" HARD DRAWN STEEL WIRE REINFORCING FABRIC TO AS 1304
"W" HARD DRAWN STEEL WIRE REINFORCING WIRE TO AS 1303
"N" PLAIN AND DEFORMED BAR GRADE D500N
"RF" PLAIN AND DEFORMED WIRE MESH GRADE D500L
THE NUMBER FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETRES.
- C12. CAMBER UNLESS NOTED OTHERWISE ON DRAWINGS. SLABS SHALL BE GIVEN A POSITIVE UPWARD CAMBER AT MIDSPAN OF 3mm PER 1000mm SPAN. METHOD OF CAMBERING IS TO BE AGREED WITH THE ENGINEER. BEAMS SHALL BE CAMBERED AS SHOWN ON DRAWINGS (NEGATIVE CAMBER IS NOT ALLOWED).
- C13. FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3610.
- C14. DURABLE CONCRETE DENOTED <D>. THE CONTRACTOR IS TO TAKE SPECIAL PRECAUTIONS TO IMPROVE THE LONG TERM PERFORMANCE OF THESE FACES OF CONCRETE. IN PARTICULAR NO METAL INSERTS, METAL BAR CHAIRS OR METAL FORM SPACERS OF ANY KIND ARE TO BE PLACED IN THE COVER ZONES WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER. OBSERVE NO NEGATIVE TOLERANCE REQUIREMENT ON COVER. TAKE SPECIAL CARE TO AVOID SCRAP TIE WIRE OR OTHER MATERIAL BEING PRESENT.
- C15. CALCIUM CHLORIDE IS NOT PERMITTED TO BE USED.

TYPICAL TRIMMER DETAIL AT PENETRATIONS

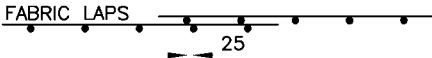


TYPICAL TRIMMERS AT RE-ENTRANT CORNER

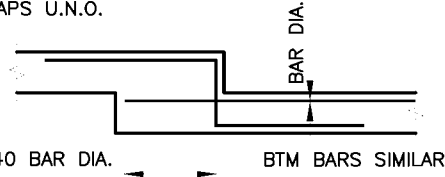
2N12 1200 LONG
TOP & BOTTOM



- C16. FABRIC END AND SIDE LAPS ARE TO BE PLACED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER’S REQUIREMENTS TO ACHIEVE A FULL TENSILE LAP. FABRIC SHALL BE LAID SO THAT THERE IS A MAXIMUM OF 3 LAYERS AT ANY LOCATION.



- C17. COGGED BAR LAPS U.N.O.



STRUCTURAL STEELWORK

- S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100.
- S2. WELDING SHALL BE PERFORMED BY AN EXPERIENCED OPERATOR IN ACCORDANCE WITH AS 1554.
- S3. BOLTS NOT DESIGNATED SHALL BE MIN. 2 BOLTS PER CONNECTION GRADE 8.8/S TO AS 1252 TIGHTENED TO A SNUG TIGHT FIT. BOLTS DESIGNATED "HS" SHALL BE HIGH STRENGTH STEEL BOLTS TO AS 1252 TIGHTENED TO A SNUG TIGHT FIT. BOLTS DESIGNATED "HSTB" SHALL BE HIGH STRENGTH STEEL BOLTS TO AS 1252 FULLY TENSIONED IN ACCORDANCE WITH AS 1511.
- S4. THE CONTRACTOR SHALL PROVIDE AND LEAVE IN PLACE UNTIL PERMANENT BRACING ELEMENTS ARE CONSTRUCTED SUCH TEMPORARY BRACING AS IS NECESSARY TO STABILISE THE STRUCTURE DURING ERECTION.
- S5. CONCRETE ENCASED STEELWORK SHALL BE WRAPPED WITH RF41 FABRIC AND GALVANISED U.N.O.
- S6. THE ENDS OF ALL TUBULAR MEMBERS ARE TO BE SEALED WITH NOMINAL THICKNESS PLATES AND CONTINUOUS FILLET WELD UNLESS OTHERWISE SHOWN.
- S7. CAMBER TO BE AS NOTED ON THE DRAWINGS.
- S8. BEFORE FABRICATION IS COMMENCED THE CONTRACTOR SHALL SUBMIT COPIES OF THE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. REVIEW DOES NOT INCLUDE CHECKING OF DIMENSIONS.
- S9. UNLESS OTHERWISE SPECIFIED ALL STEELWORK SHALL BE PAINTED WITH ONE SHOP COAT OF APPROVED ZINC RICH PRIMER. MEMBERS FIRE SPRAYED OR "HSTF" BOLTED CONNECTIONS MUST BE PAINTED.
- S10. EXCEPT WHERE OTHERWISE SHOWN WELDS TO BE 6mm CONTINUOUS FILLET LAID DOWN WITH AN APPROVED COVERED ELECTRODE.
- S11. ALL CLEATS AND GUSSETS SHALL BE 10mm THICK TYPICAL U.N.O.

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

**CONSULTING CIVIL / STRUCTURAL ENGINEERS
ABN 18 162 652 280**

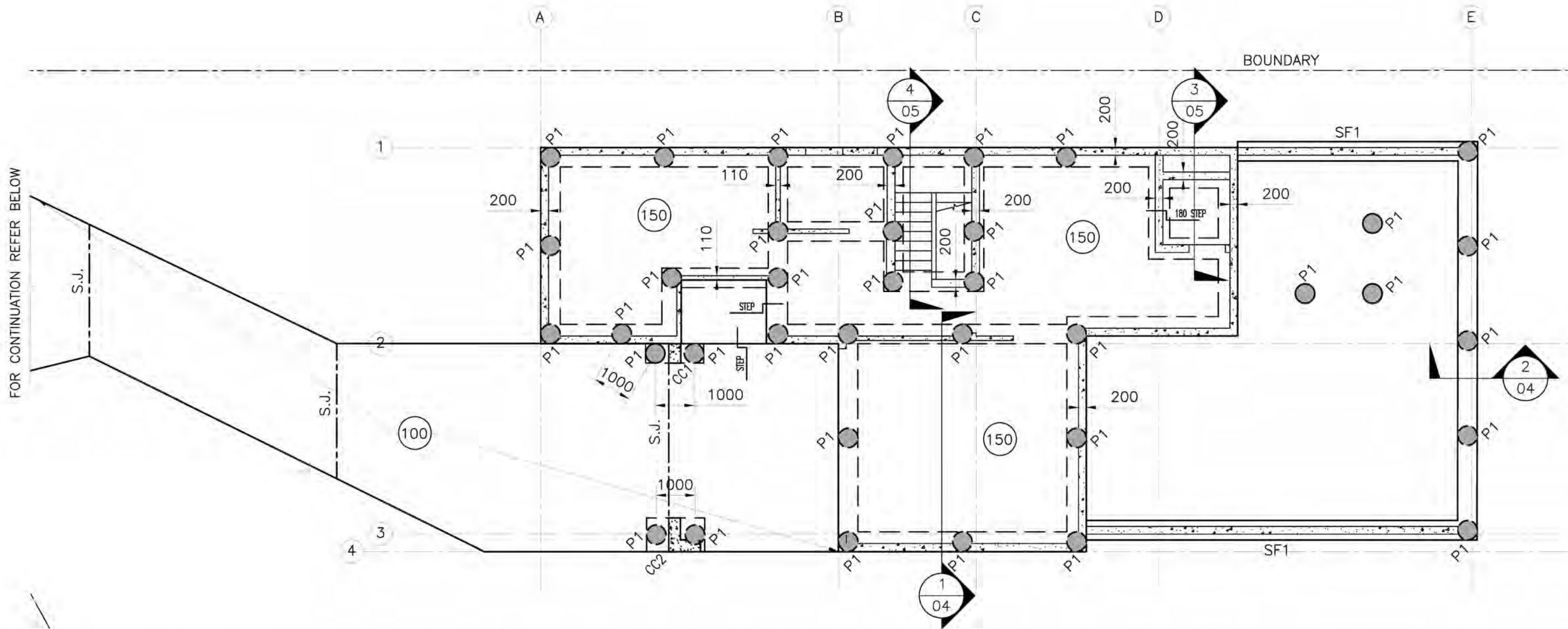
43 AVOCA STREET RANDWICK NSW 2031
TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

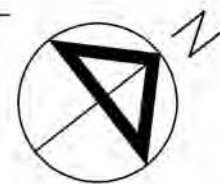
CONSTRUCTION NOTES

SCALE:	AS NOTED @ A3	CHECKED:	R.D.	DRAWING No:
DRAWN:	O.K.	APPROVED:		1239–S01
DATE:	28/07/2015	DATE:	28/07/2015	

FOR CONTINUATION REFER BELOW



DRIVEWAY CONTINUATION



LEVEL 1 FLOOR FRAMING PLAN

(150) INDICATES 150mm THICK SLAB ON GROUND, ON W/PROOF MEMBRANE; SL82 MESH TOP & BOTTOM; $F'_c=32\text{MPa}$

(100) INDICATES 100mm THICK SLAB ON GROUND; SL82 MESH TOP; 30mm COVER; $F'_c=25\text{MPa}$

P1 - $\phi 600$ PILE; SOCKET 0.5m INTO ROCK

BOUNDARY

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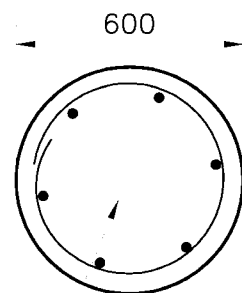
CONSULTING CIVIL / STRUCTURAL ENGINEERS
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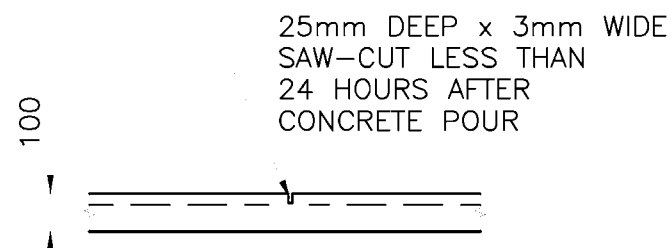
LEVEL 1 FLOOR FRAMING PLAN

SCALE:	1:100;1:20 @ A3	CHECKED:	R.D.	DRAWING No:
DRAWN:	O.K.	APPROVED:		1239-S02
DATE:	28/07/2015	DATE:	28/07/2015	

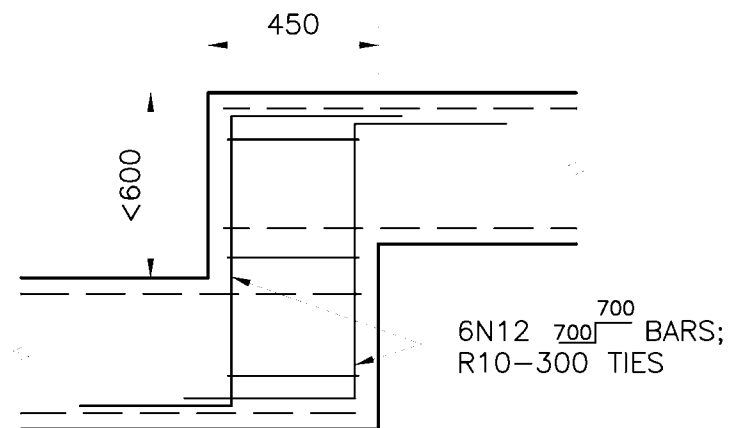


6N16 BARS;
R10-300 TIES

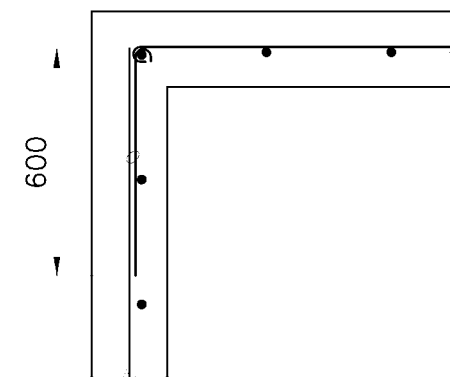
TYP. P1 DETAIL
SOCKET 500 INTO ROCK TYP.



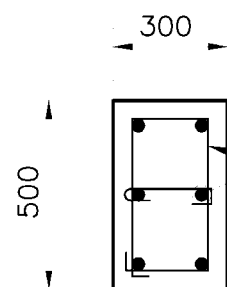
TYP. SAW-CUT JOINT
SHOWN S.J. ON PLAN



TYP. STRIP FOOTING
STEP DETAIL

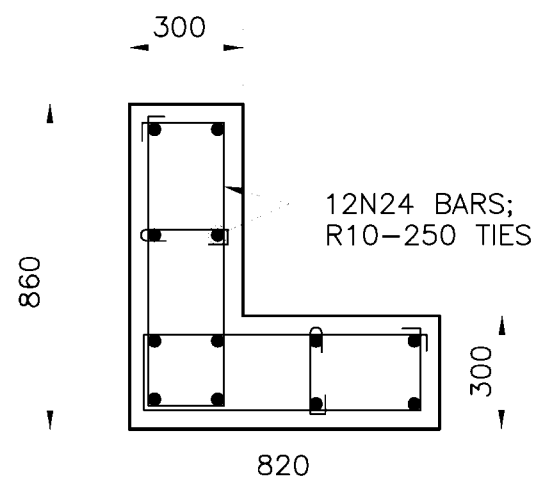


TYP. DINCEL
CORNER DETAIL

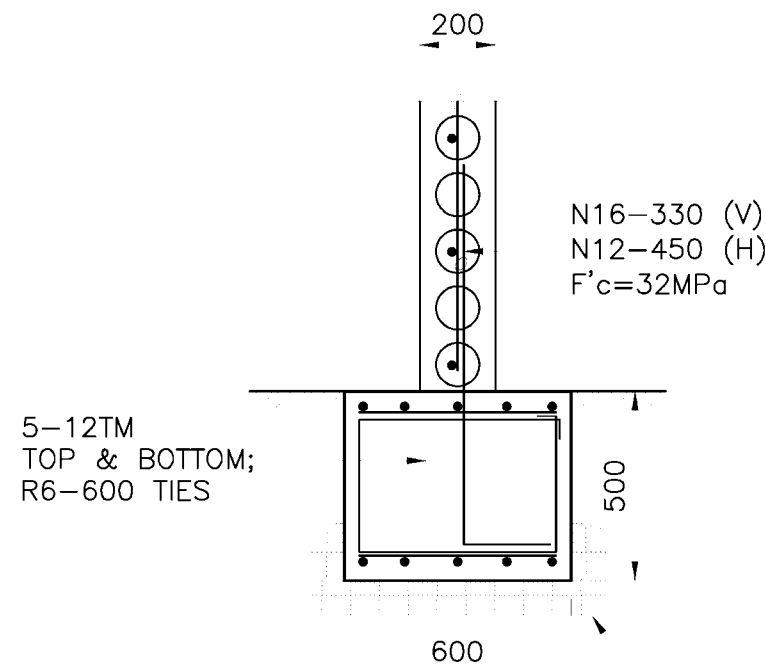


6N24 BARS;
R10-250 TIES
IN PAIRS

TYPICAL CC1 DETAIL
 $F'_c=40\text{MPa}$



TYPICAL CC2 DETAIL
 $F'_c=40\text{MPa}$



TYP. SF1 DETAIL

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

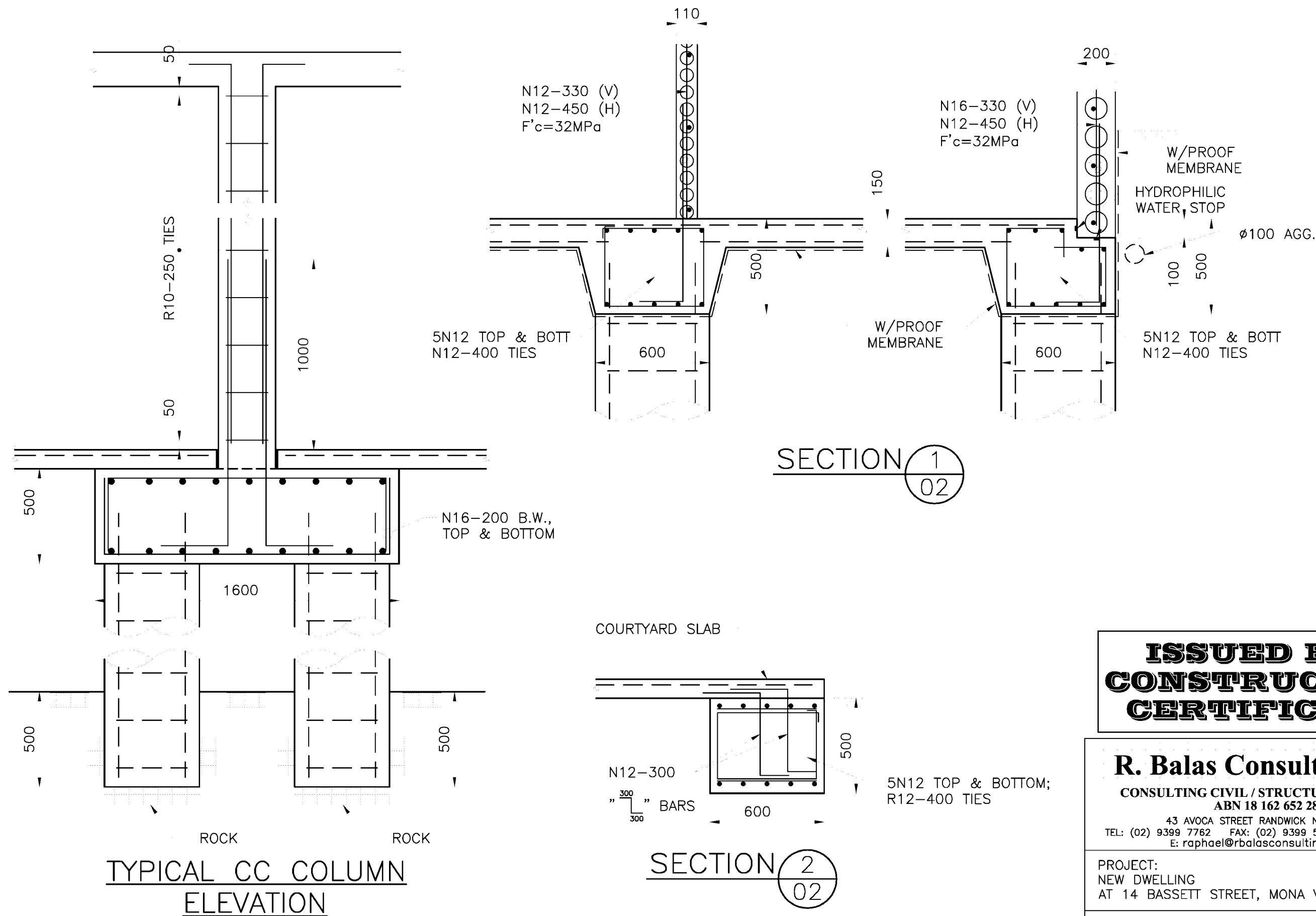
CONSULTING CIVIL / STRUCTURAL ENGINEERS
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PROJECT:
NEW DWELLING
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LEVEL 1 DETAILS - SHEET 1

SCALE:	1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S03
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



**ISSUED FOR
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R. Balas Consulting P/L

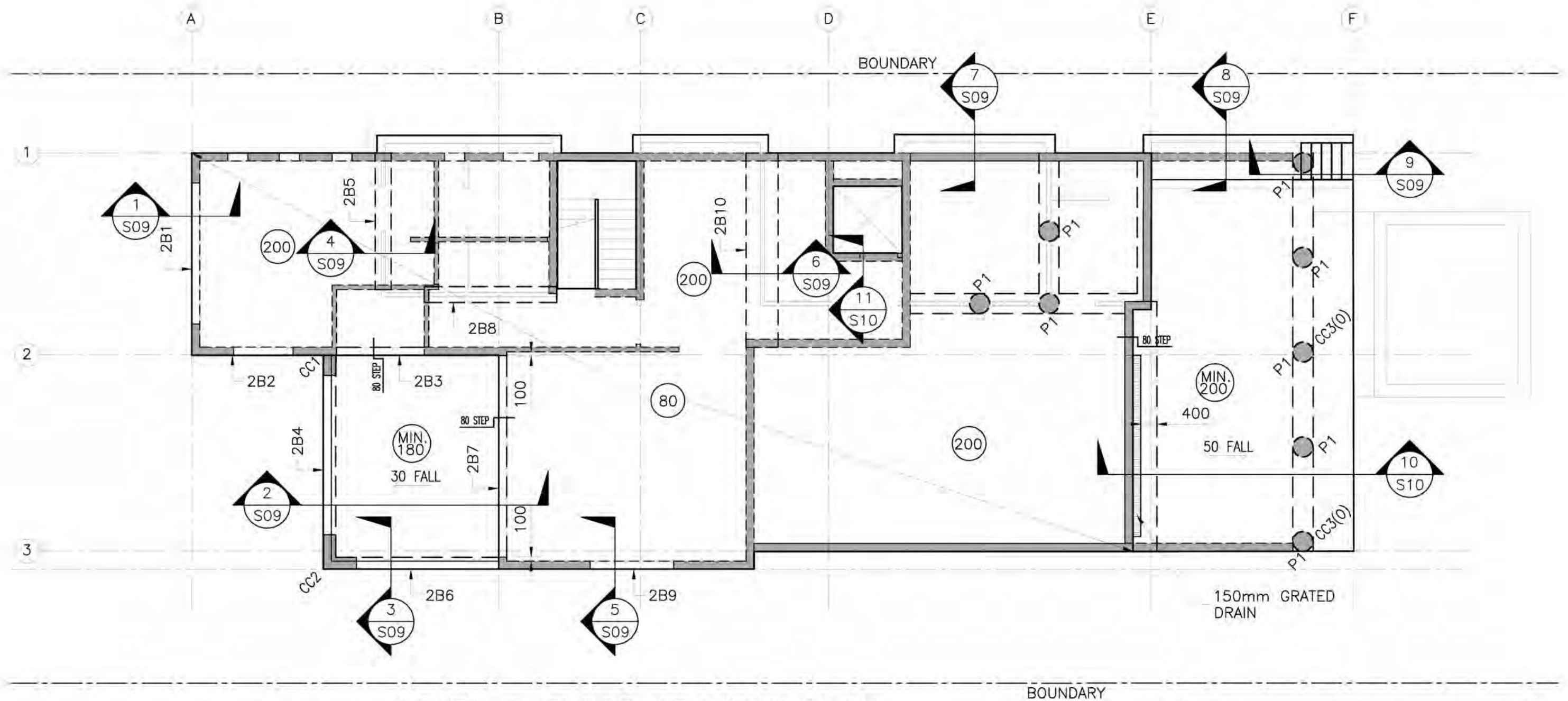
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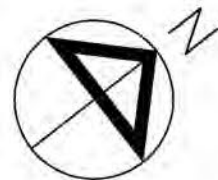
PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 1 DETAILS - SHEET 2

SCALE:	1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S04
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



LEVEL 2 FLOOR FRAMING PLAN



(200) INDICATES SLAB THICKNESS; $F'c=40\text{MPa}$

(80) INDICATES 80mm THICK TOPPING SLAB; SL81 TOP: $F'c=40\text{MPa}$
TO SUB-CONTRACTOR'S DETAILS

— DENOTES LOAD-BEARING WALLS UNDER

— DENOTES NEW WALLS OVER

NOTE: ADD "XYPEX" OR EQUIVALENT WATERPROOFING TO ALL
EXPOSED CONCRETE SURFACES.

LEVEL 2 MEMBER SCHEDULE

MARK	SIZE
2B1, 2B2, 2B3, 2B7, 2B9	700D x 200W REINFORCED CONCRETE BEAM
2B4, 2B6	MIN. 680D x 300W REINFORCED CONCRETE BEAM
2B5, 2B8	400D x 400W REINFORCED CONCRETE BEAM
2SB10	400D x 800W REINFORCED CONCRETE BEAM

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

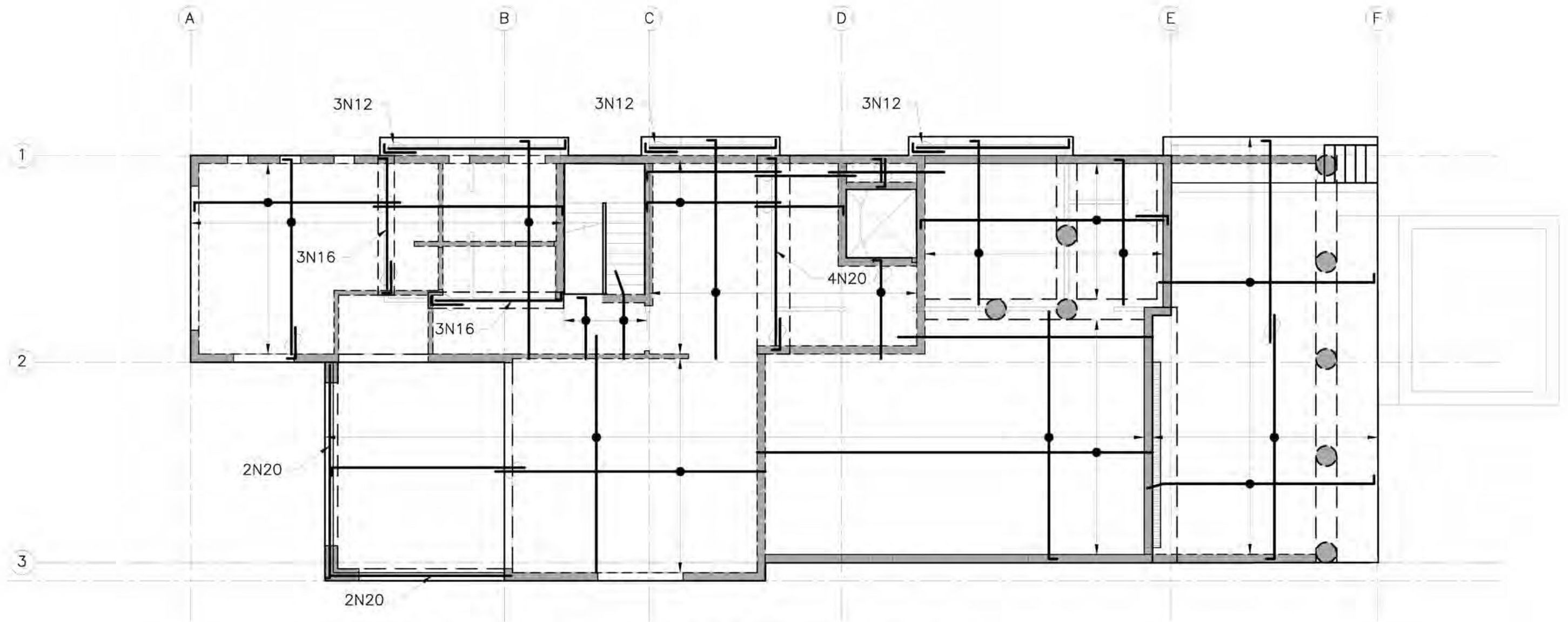
CONSULTING CIVIL / STRUCTURAL ENGINEERS
ABN 18 162 652 280

43 AVOCA STREET RANDWICK NSW 2031
TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 FLOOR FRAMING PLAN

SCALE: 1:100; 1:20 @ A3	CHECKED: R.D.	DRAWING No: 1239-S06
DRAWN: O.K.	APPROVED:	
DATE: 28/07/2015	DATE: 28/07/2015	



LEVEL 2 BOTTOM REINFORCEMENT PLAN

REINFORCEMENT TO BE N12-250 AS SHOWN

↔ REINFORCEMENT TO BE
LAID FIRST AND LAST

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

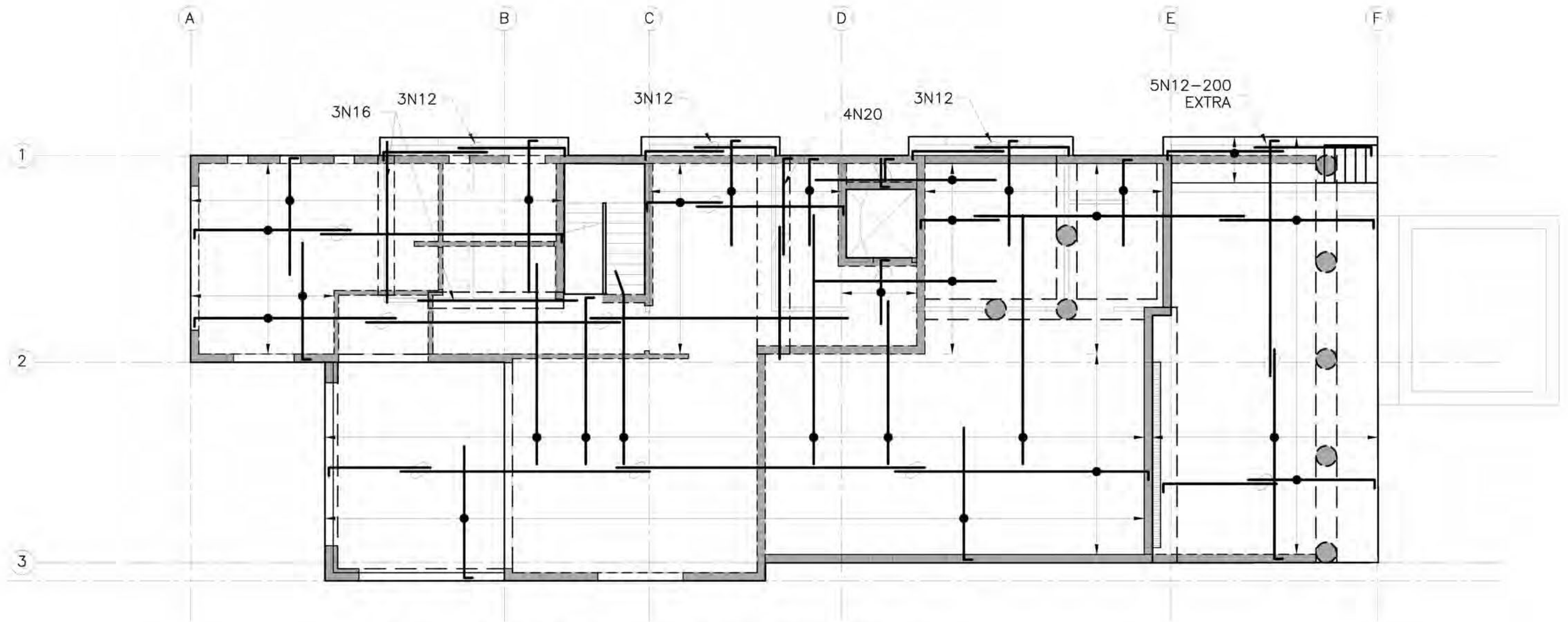
CONSULTING CIVIL / STRUCTURAL ENGINEERS
ABN 18 162 652 280

43 AVOCA STREET RANDWICK NSW 2031
TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 BOTTOM REINFORCEMENT PLAN

SCALE:	1:100;1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S07
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



LEVEL 2 TOP REINFORCEMENT PLAN

REINFORCEMENT TO BE N12-250 AS SHOWN

↗ REINFORCEMENT TO BE
LAID FIRST AND LAST

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

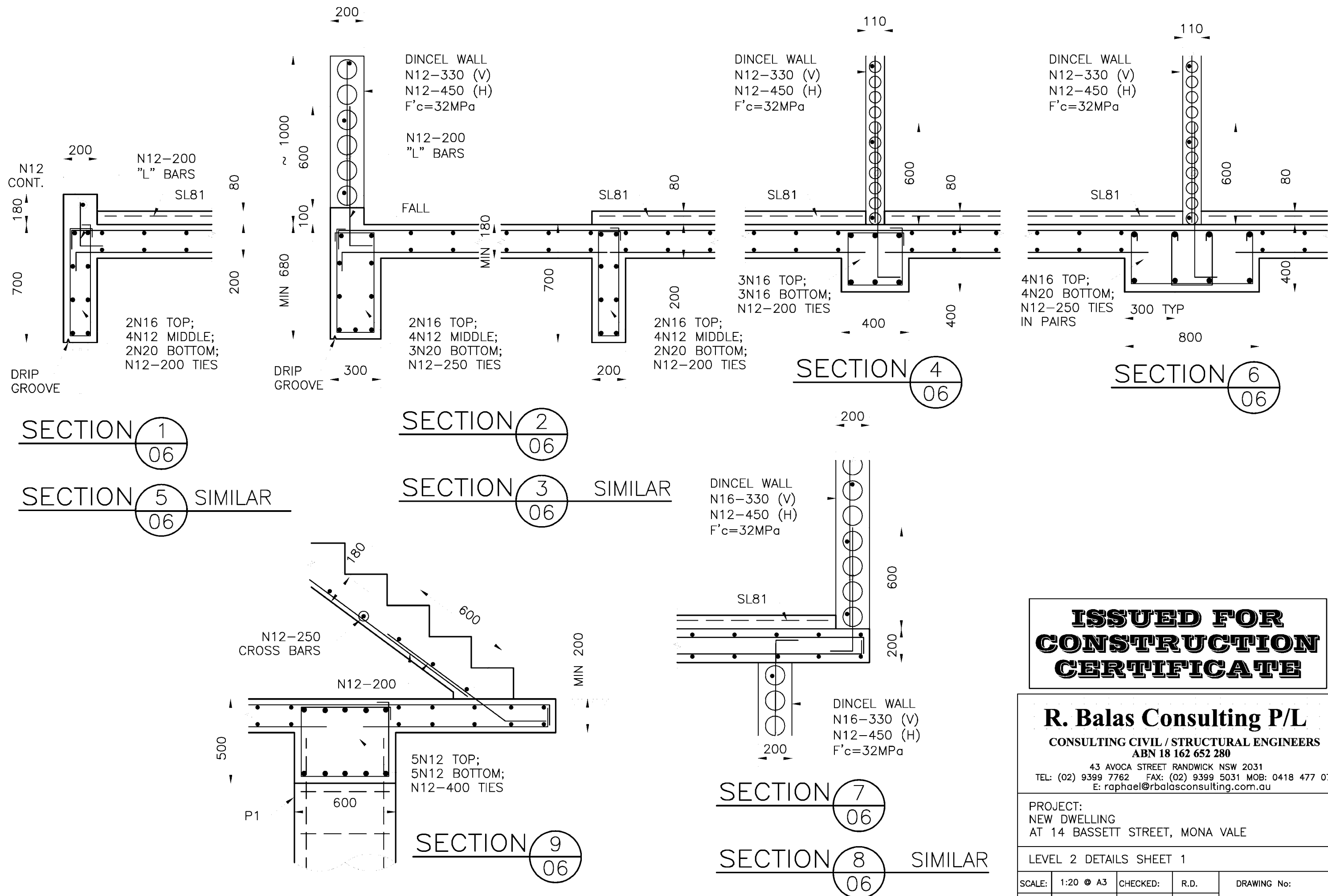
CONSULTING CIVIL / STRUCTURAL ENGINEERS
ABN 18 162 652 280

43 AVOCA STREET RANDWICK NSW 2031
TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 TOP REINFORCEMENT PLAN

SCALE:	1:100;1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S08
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L CONSULTING CIVIL / STRUCTURAL ENGINEERS ABN 18 162 652 280 43 AVOCA STREET RANDWICK NSW 2031 TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073 E: raphael@rbalasconsulting.com.au			
PROJECT: NEW DWELLING AT 14 BASSETT STREET, MONA VALE			
LEVEL 2 DETAILS SHEET 1			
SCALE:	1:20 @ A3	CHECKED:	R.D.
DRAWN:	O.K.	APPROVED:	
DATE:	28/07/2015	DATE:	28/07/2015
			DRAWING No: 1239-S09



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ABN 45 105 950 897

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- liaising with local authorities
- BCA compliance reporting
- building approvals
- strata approval

FINAL OCCUPATION CERTIFICATE 15/0916/01

Issued under Part 4A of the Environmental Planning and Assessment Act 1979 Sections 109C(1)(C) and 109H (Occupation/Use of a New Building)

APPLICANT DETAILS

Applicant:

Address:

Phone:

OWNER DETAILS

Name of the person having benefit of the development consent:

Address:

Phone:

DEVELOPMENT CONSENT AND DETAILS

Address of Development:

14 Bassett Street, Mona Vale NSW 2103

Complying Development Certificate Number:

115/16

Complying Development Certificate Issue Date:

8/04/2016

Certifying Authority:

Accredited Certifier, Mr. Orlando Da Silva

Description of Development

Alterations and additions to an existing partially constructed dwelling house, resulting in a 2 storey dwelling, new swimming pool and internal alterations to the existing secondary dwelling to revert to a cabana and associated yard storage area.

This Occupation Certificate excludes all works previously regularised by Building Certificate BC0017/16 as issued by Pittwater Council dated 07/03/2016.

Decision Made Under:

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 – Part 3 General Housing Code

BCA Classification:

Class 1a, 10a & 10b

Lot & DP:

Part Lot 23 Sec B DP 6195

Use:

Residential

PRINCIPAL CERTIFYING AUTHORITY

Certifying Authority:

Orlando Da Silva

Accreditation Body:

Building Professionals Board

Accreditation Number:

BPB 0081

DETERMINATION

Determination:

Approved

Type of Occupation Certificate:

Final Occupation Certificate (FOC)

List of Inspection dates and Documents Used to Support

Schedule 1

Determination:

Determination Date:

22/10/2019

I, Orlando Da Silva, as the certifying authority, state that:

- The health and safety of the occupants of the building have been taken into consideration where an interim occupation certificate is being issued, and
- A current development consent or complying development certificate is in force for the building, and
- If any building work has been carried out, a current construction certificate (or complying development certificate) has been issued with respect to the plans and specifications for the building, and
- The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia

Signed:

Dated: 22 October, 2019

Orlando Da Silva
Principal Certifying Authority

SCHEDULE 1: APPENDIX OF SUPPORTING DOCUMENTS FOR FOC 15/0916/01

CRITICAL STAGE INSPECTIONS (Section 109E (3) (d) of the Act & Clause 162A of the Regulation)

after excavation for, and prior to the placement of, any footings;	<i>Satisfied as per Council Building Certificate number BC0017/16 as issued by Pittwater Council dated 07/03/2016.</i>
prior to pouring any in-situ reinforced concrete building element;	<i>Satisfied as per Council Building Certificate number BC0017/16 as issued by Pittwater Council dated 07/03/2016.</i>
prior to covering waterproofing in any wet areas;	<i>Inspection carried out: 19 August 2016 (Internal)</i>
prior to covering any stormwater drainage connections;	<i>Inspection carried out: 19 August, 2016</i>
As soon as practicable after the pool barrier has been erected (Pools);	<i>Inspection carried out: 13 December 2016</i>
After the building work has been completed and prior to any occupation certificate.	<i>Inspection carried out: 18 October 2019</i>

1. STATUTORY DOCUMENTS

Completed Occupation Certificate Application Form:	<i>Received 13 May 2019</i>
--	-----------------------------

2. STRUCTURAL ENGINEERING CERTIFICATION

Structural Certification for all works carried out:	<i>Prepared by: R. Balas Consulting Pty Ltd, dated: 30 April 2019</i>
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3. STORMWATER AND DRAINAGE CERTIFICATION

Certification from the civil engineer confirming Stormwater / On site detention and drainage is in accordance with Council's Stormwater code, and approved Stormwater Plans:	<i>Prepared by: R. Balas Consulting Pty Ltd, dated: 10 May 2019</i>
--	---

4. FIRE SAFETY REQUIREMENTS

Certification of installation of a Smoke Alarm system in accordance with AS3786 and BCA 3.7.2.3. Smoke alarms must be connected to the consumer mains power:	<i>Certification provided by: Luke Mitchell of Waterview Electrical Services Pty Ltd, dated: 18 September 2018</i>
--	--

5. ENERGY EFFICIENCY

Certification to the effect that all requirements and recommendations contained in the BASIX report have been implemented into the construction of the building to achieve the calculated energy efficiency rating:	<i>Certification provided by: Peter Cordony Owner Builder Permit Number 422473P, dated: 28 March 2019</i>
BASIX Completion Receipt:	<i>Completion receipt No.: CR-RJIK0CGX-603000S, dated: 21/10/2019</i>

6. SWIMMING POOLS

Certification from the manufacturer or installer of the swimming pool / spa bath to the effect that the outlets for the unit have been installed to comply with the requirements of AS1926.3-2003, Swimming pool safety, Part 3: Water recirculation and filtration systems, so that each pump system has a means of releasing the vacuum pressure of an outlet from the pool / spa if it becomes blocked. And;	<i>Certification provided by: Rick Crambrook of Better Pools and Spas Australia Pty Ltd, dated: 14 June 2017</i>
Certification that as required under AS 2610.2, the requirements for entrapment hazards (in facilities such as spa pools) Spa;	<i>Certification provided by: Rick Crambrook of Better Pools and Spas Australia Pty Ltd, dated: 14 June 2017 (Plumbing)</i>
– Pools should be designed so pressure will be immediately released at a suction point from the spa pool if it becomes blocked. – Each pump should have a minimum of two operative suction points connected by a common line.	

- Suction points should be fitted as close as possible to the water surface as is practical without effecting the operation of the system.
- The suction points shall not be closer than 600mm.
- An emergency stop switch controlling all spa pool pumps, blowers and heaters shall be provided within 3 metres of the spa pool and shall be visible at all times.

Signage:

- Depth markers identifying shallow and deep parts of the pool, (Recommended for Private Pools)
- A complying resuscitation chart is to be located within the pool enclosure,
- Displayed signage stating the words:
 - (i) **“YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS SWIMMING POOL”**, and
 - (ii) **“POOL GATES MUST BE KEPT CLOSED AT ALL TIMES”**, and
 - (iii) **“KEEP ARTICLES, OBJECTS AND STRUCTURES AT LEAST 900 MILLIMETRES CLEAR OF THE POOL FENCE AT ALL TIMES”**,

7. MECHANICAL

Certification confirming Mechanical Ventilation works have been carried out in accordance with AS 1668:

Certification provided by: Peter Cordony Owner Builder Permit Number 422473P, dated: 12 August 2019

8. PLUMBING

Certification confirming Plumbing works have been carried out in accordance with AS 3500:

Certification letter provided by: Nicholas Anderson Licence 65114C, dated: 12 December 2017

Certification confirming Gas works have been carried out in accordance with AS 5601:

Certification letter provided by: Nicholas Anderson Licence 65114C, dated: 15 December 2017

9. ELECTRICAL

Certification confirming Electrical works have been carried out in accordance with AS 3000:

Certification letter provided by: Luke Mitchell, Licence No. 248512C, dated: 18 September 2018

10. WATERPROOFING

Certification that all new waterproofing to wet areas comply with 3.8.1.2 of the BCA and AS3740:

Certification letter provided by: Mathew Patten of MP Waterproofing Pty Ltd, dated: 19 August 2016 (Internal) States AS4654

Including verification that the waterproof application is an accredited product in accordance with Part A2.2 of the Building Code of Australia.

- ❖ Bathrooms,

11. GLAZING

Certification confirming Glazing to comply with AS 1288 and / or AS 2047

Certification letter provided by: Steven Hewitt of Dee Why Glass dated: 6 March 2019

- ❖ Windows;
- ❖ Doors;
- ❖ Shower Screens.

Compliance Certificate provided by Architectural Aluminium, dated 7 February 2019

12. PEST CONTROL

Certification to the effect that termite protection measures have been implemented into the building construction in accordance with AS3660.1 and the BCA:

Certification provided by: Peter Cordony Owner Builder Permit Number 422473P, dated: 28 March 2019

13. LANDSCAPING

Certification for all landscape works in accordance with the design documentation:

*Certification provided by: Peter Cordony Owner Builder
 Permit Number 422473P, dated: 28 March 2019*

14. FINAL SURVEY

Detailed survey of the new works, including RL levels for all floors, ridge lines of the building(s) and that there are no encroachments to Council property or to neighbouring lands. (Works-as-Executed) must identify (setback) and height (floor levels and overall) within the survey:

*Final Survey prepared by: Michael Trifiro of SDG,
 Drawing Reference: 6112, dated: 19 March 2019*

15. QUALITY OF WORKMANSHIP AND DISCLOSURE

Letter from the Principal Contractor confirming that:

- ❖ All works/installations undertaken on the development been carried out by appropriately licensed contractors,
- ❖ All work undertaken comply and satisfy the relevant Australian Standards, Building Code of Australia.
- ❖ Each tread and riser dimensions for each private and public (internal and external) stairway are constant throughout each respective stair flight.
- ❖ Any variations to the building design, as approved under the CDC, which may be contrary to the requirements of the Building Code of Australia, have been appropriately disclosed to the PCA.

*Certification provided by: Peter Cordony Owner Builder
 Permit Number 422473P, dated: 28 March 2019*

Building Design Certification from the architect to the effect that the building has been completed in accordance with the CDC schedule of finishes.

Provided by Tone Wheeler of Environa Studio, dated 8 May 2019

16. OTHER SUPPORTING DOCUMENTATION

Certification confirming Wire Balustrade complied with BCA Part 3.9.2.3 & 3.9.2.1

*Certification provided by: Peter Cordony Owner Builder
 Permit Number 422473P, dated: 28 March 2019*

22 October, 2019

Our reference: 15/0916



**Re: APPROVAL OF THE FINAL OCCUPATION CERTIFICATE NO.: 15/0916/01
BUILDING CERTIFICATE NO BUILDING CERTIFICATE BC0017/16 AS ISSUED BY PITTWATER COUNCIL
DATED 07/03/2016
14 BASSETT STREET, MONA VALE NSW 2103**

The determination of your Final Occupation Certificate has resulted in its approval. Accordingly and in accordance with Section 109H of the Environmental Planning and Assessment Act 1979, please find attached a copy of the Final Occupation Certificate within the enclosed USB.

Your Final Occupation Certificate has been approved by:

Principal Certifying Authority: Orlando Da Silva
Accreditation No.: BPB 0081

Relating to the Following Description of Construction Works at the project address: Alterations and additions to an existing partially constructed dwelling house, resulting in a 2 storey dwelling, new swimming pool and internal alterations to the existing secondary dwelling to revert to a cabana and associated yard storage area.

NOTE: The existing partially constructed dwelling house is regularised by Building Certificate BC0017/16 as issued by Pittwater Council dated 07/03/2016.

As required under the legislation, copies of the Final Occupation Certificate and documents relied upon have been forwarded to Northern Beaches Council (Pittwater) for their records. If you have any bonds with Council, please allow 1-2 weeks for Council to process and update their records before you request your bond back.

We would like to take this opportunity to thank you for using our services. Should you need to discuss any issues, please do not hesitate to contact the Principal Certifying Authority, Orlando Da Silva, on 02 8014 7720.

Yours sincerely,



Scott Kitching
Building Certificates Australia Pty Ltd

22 October, 2019

Our reference: 15/0916

The General Manager
Northern Beaches Council (Pittwater)
PO Box 882
Mona Vale NSW 2102

Attention: Planning Department

Re: APPROVAL OF THE FINAL OCCUPATION CERTIFICATE NO.: 15/0916/01
BUILDING CERTIFICATE NO.: BUILDING CERTIFICATE BC0017/16 AS ISSUED BY PITTWATER
COUNCIL DATED 07/03/2016.
14 BASSETT STREET, MONA VALE NSW 2103

The determination of the Final Occupation Certificate application under Section 109H of the Environmental Planning and Assessment Act 1979 has resulted in its approval. Accordingly, you will find all documentation relating to the approval attached.

This Final Occupation Certificate has been approved by:

Principal Certifying Authority: Orlando Da Silva
Accreditation No.: BPB 0081

Relating to the Following Description of Works: Alterations and additions to an existing partially constructed dwelling house, resulting in a 2 storey dwelling, new swimming pool and internal alterations to the existing secondary dwelling to revert to a cabana and associated yard storage area.

NOTE: The existing partially constructed dwelling house is regularised by Building Certificate BC0017/16 as issued by Pittwater Council dated 07/03/2016.

Please find attached the following documentation for your records within the enclosed USB / CD:

- ❖ Final Occupation Certificate – **FOC 15/0916/01**;
- ❖ Documentation used to determine the Final Occupation Certificate; and,
- ❖ A cheque for the Council's registration fee.

If you have any enquires regarding the details contained within the above, please do not hesitate to contact the undersigned.

Yours sincerely,



Scott Kitching
Building Certificates Australia Pty Ltd



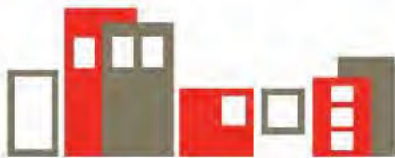
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ABN 45 105 050 897

- construction, compliance & occupation certificates
- fire safety inspections for building upgrades
- pre-development compliance advice
- principal certifying authority (PCA)
 - liaising with local authorities
 - BCA compliance reporting
 - building approvals
 - strata approval

RECORD OF INSPECTION – CRITICAL STAGE

Made pursuant to clause 162A, 162AB, EP&A Regulation 2000 and 109E (3) of the Act

PERSON WITH BENEFIT OF DEVELOPMENT CONSENT (NOTIFIED OF REQUIRED PCA INSPECTIONS)		DATE OF INSPECTION
[Redacted]		18 October 2019
DESCRIPTION OF DEVELOPMENT		
Address: 14 Bassett Street, Mona Vale NSW 2103 Our File number: 15/0916	BCA classification(s): Class 1a, 10a, 10b CDC No.: 115/16 DA No.: Council Building Certificate number BC0017/16 as issued by Pittwater Council dated 07/03/2016.	
HAS A SIGNIFICANT FIRE SAFETY MATTER BEEN IDENTIFIED		
☒ No		
☐ Yes		
TYPE OF INSPECTION PURSUANT TO SECTION 162A OF EP&A REGULATION 2000		
☒ After the building work has been completed and prior to any occupation certificate being issued in relation to the building. <i>(All classes)</i>		
INSPECTION COMMENTS		
In my opinion, based on a visual (non-destructive) inspection of the building works, at the time notice was given under 163 of the Regulation:		
☒ The building works inspected are satisfactory at time of inspection.		
☐ The building works inspected will be satisfactory, subject to site instructions being implemented, and evidence of compliance being provided.		
☒ The relevant building trade installation and commissioning certificates are to be provided as evidence of suitability that the building works inspected comply with the relevant BCA Clauses, Australian and Industry Standards. Refer to the PCA Checklist.		
☒ The development is at a stage suitable for application for an Occupation Certificate (OC). Refer to the OC checklist issued by the PCA which outlines all installation and commissioning certificates to be used as evidence of suitability and compliance.		
☐ The works are unsatisfactory and are not able to proceed until further notice*. See Comments below		
CERTIFYING AUTHORITY DETAILS		
Signed by:		
		
Orlando Da Silva – Accredited Certifier Building Certificates Australia Pty Ltd		
Name: Orlando Da Silva		
Accreditation Body: Building Professionals Board		
BPB Accreditation No.: BPB 0081		

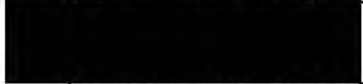


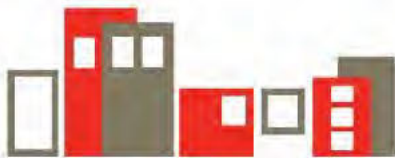
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RECORD OF INSPECTION – CRITICAL STAGE

Made pursuant to clause 162A, 162AB, EP&A Regulation 2000 and 109E (3) of the Act

PERSON WITH BENEFIT OF DEVELOPMENT CONSENT (NOTIFIED OF REQUIRED PCA INSPECTIONS)		DATE OF INSPECTION
		18 August 2016
DESCRIPTION OF DEVELOPMENT		
Address: 14 Bassett Street, Mona Vale NSW 2103 Our File number: 15/0916	BCA classification(s): Class 1a, , 10a, 10b CDC No.: 115/16 DA No.: Council Building Certificate number BC0017/16 as issued by Pittwater Council dated 07/03/2016.	
HAS A SIGNIFICANT FIRE SAFETY MATTER BEEN IDENTIFIED		
☒ No		
☐ Yes		
TYPE OF INSPECTION PURSUANT TO SECTION 162A OF EP&A REGULATION 2000		
☒ Prior to covering any stormwater drainage connections, <i>(All classes)</i>		
INSPECTION COMMENTS		
In my opinion, based on a visual (non-destructive) inspection of the building works, at the time notice was given under 163 of the Regulation:		
☐ The building works inspected are satisfactory at time of inspection.		
☐ The building works inspected will be satisfactory, subject to site instructions being implemented, and evidence of compliance being provided,		
☐ The relevant building trade installation and commissioning certificates are to be provided as evidence of suitability that the building works inspected comply with the relevant BCA Clauses, Australian and Industry Standards. Refer to the PCA Checklist.		
☐ The development is at a stage suitable for application for an Occupation Certificate (OC). Refer to the OC checklist issued by the PCA which outlines all installation and commissioning certificates to be used as evidence of suitability and compliance.		
☐ The works are unsatisfactory and are not able to proceed until further notice*. <i>See Comments below</i>		
CERTIFYING AUTHORITY DETAILS		
Signed by:  Orlando Da Silva – Accredited Certifier Building Certificates Australia Pty Ltd Name: Orlando Da Silva Accreditation Body: Building Professionals Board BPB Accreditation No.: BPB 0081		



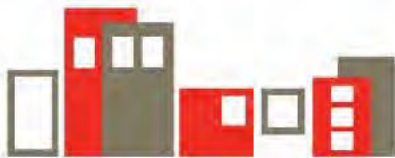
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RECORD OF INSPECTION – CRITICAL STAGE

Made pursuant to clause 162A, 162AB, EP&A Regulation 2000 and 109E (3) of the Act

PERSON WITH BENEFIT OF DEVELOPMENT CONSENT (NOTIFIED OF REQUIRED PCA INSPECTIONS)		DATE OF INSPECTION
[REDACTED]		13 December 2016
DESCRIPTION OF DEVELOPMENT		
Address: 14 Bassett Street, Mona Vale NSW 2103	BCA classification(s): Class 1a, 10a, 10b	
Our File number: 15/0916	Building Certificate BC0017/16 as issued by Pittwater Council dated 07/03/2016	
HAS A SIGNIFICANT FIRE SAFETY MATTER BEEN IDENTIFIED		
☒ No		
☐ Yes -		
TYPE OF INSPECTION PURSUANT TO SECTION 162A OF EP&A REGULATION 2000		
☒ As soon as practicable after the pool barrier has been erected, (Pools)		
INSPECTION COMMENTS		
In my opinion, based on a visual (non-destructive) inspection of the building works, at the time notice was given under 163 of the Regulation:		
☒ The building works inspected are satisfactory at time of inspection.		
☐ The building works inspected will be satisfactory, subject to site instructions being implemented, and evidence of compliance being provided,		
☒ The relevant building trade installation and commissioning certificates are to be provided as evidence of suitability that the building works inspected comply with the relevant BCA Clauses, Australian and Industry Standards. <i>Refer to the PCA Checklist.</i>		
☐ The development is at a stage suitable for application for an Occupation Certificate (OC). <i>Refer to the OC checklist issued by the PCA which outlines all installation and commissioning certificates to be used as evidence of suitability and compliance.</i>		
☐ The works are unsatisfactory and are not able to proceed until further notice*. See Comments below		
CERTIFYING AUTHORITY DETAILS		
Signed by:		
		
Michael Homery – Accredited Certifier		
Building Certificates Australia Pty Ltd		
Name: Michael Homery		
Accreditation Body: Building Professionals Board		
BPB Accreditation No.: BPB 2493		



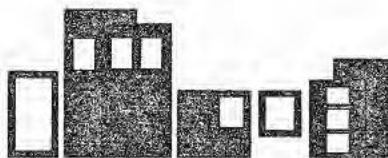
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- strata approval

RECORD OF INSPECTION – CRITICAL STAGE

Made pursuant to clause 162A, 162AB, EP&A Regulation 2000 and 109E (3) of the Act

PERSON WITH BENEFIT OF DEVELOPMENT CONSENT (NOTIFIED OF REQUIRED PCA INSPECTIONS)		DATE OF INSPECTION
[REDACTED]		19 August 2016
DESCRIPTION OF DEVELOPMENT		
Address: 14 Bassett Street, Mona Vale NSW 2103 Our File number: 15/0916		BCA classification(s): Class 1a, 10a, 10b Council Building Certificate number BC0017/16 as issued by Pittwater Council dated 07/03/2016.
HAS A SIGNIFICANT FIRE SAFETY MATTER BEEN IDENTIFIED		
☒ No		
☐ Yes		
TYPE OF INSPECTION PURSUANT TO SECTION 162A OF EP&A REGULATION 2000		
☒ Prior to covering waterproofing in any wet areas, (class 1 or 10 building, min. 10% of rooms with wet areas in a class 2, 3, 4 building)		
INSPECTION COMMENTS		
In my opinion, based on a visual (non-destructive) inspection of the building works, at the time notice was given under 163 of the Regulation:		
☒ The building works inspected are satisfactory at time of inspection.		
☐ The building works inspected will be satisfactory, subject to site instructions being implemented, and evidence of compliance being provided.		
☒ The relevant building trade installation and commissioning certificates are to be provided as evidence of suitability that the building works inspected comply with the relevant BCA Clauses, Australian and Industry Standards. <i>Refer to the PCA Checklist.</i>		
☐ The development is at a stage suitable for application for an Occupation Certificate (OC). <i>Refer to the OC checklist issued by the PCA which outlines all installation and commissioning certificates to be used as evidence of suitability and compliance.</i>		
☐ The works are unsatisfactory and are not able to proceed until further notice*. See Comments below		
CERTIFYING AUTHORITY DETAILS		
Signed by:  Michael Homery – Accredited Certifier Building Certificates Australia Pty Ltd Name: Michael Homery Accreditation Body: Building Professionals Board BPB Accreditation No.: BPB 2493		



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- pre-development compliance advice
- principal certifying authority (PCA)
 - liaising with local authorities
 - BCA compliance reporting
- building approvals
- strata approval

APPLICATION FOR AN OCCUPATION CERTIFICATE (OC)

Made Under Environmental Planning & Assessment Act & Regulation

Form 1001-1.0 (10/16/01) Date: 11/10/2015

This information has been provided & relied upon in good faith by the BCA, all conditions.

1. LOCATION & TITLE DETAILS OF THE LAND WHERE THE DEVELOPMENT WAS CARRIED OUT

Tenancy No., Level No.:	14
Street No. & Name:	BASSETT STREET
Suburb:	MONA VALE
Post Code:	2103
Lot & DP / SP No.:	LOT 23. DP 6195

Please Note:

- Building details must match Council's rate notices / your DA – please ensure this is title / DA address rather than the postal address.

2. BUILDING OWNER'S CONSENT (ONLY REQUIRED IF NOT THE ORIGINAL APPLICANT)

I / we, as the owner(s) of the land, consent to the making of this application.

Owner(s) Name: (Print Clearly, separate owners by a comma)		
Owner(s) Address:		
Contact No.:		Where applicable, apply strata seal here
Email:		
Signature(s):		
Date:		

Please Note:

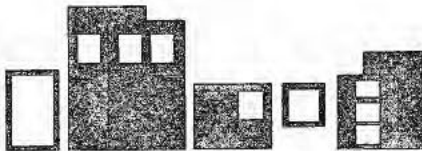
- If the owner is a company, this form must be signed by an authorised director of the company;
- All owner(s) / directors must sign this document or provide a Letter of Authority;
- If the property is a unit under strata title, relates to common property or a lot in a community title, this form must be signed by the chairperson or the secretary of the Body Corporate and / or Body Corporate seal of the appointed managing agent in the provided space above.

3. DETAILS OF THE APPLICANT

Name:	
'Care of' Party:	
Postal Address:	
Email:	
Contact No.:	

Please Note:

- This will be the main contact for the project and the entity that will receive all correspondence;
- Unless the builder / contractor owns the land, the builder cannot be the applicant;
- Applicant must sign declaration on Page 3.



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

Building Certificates Australia Pty Ltd

DEVELOPMENT CERTIFICATE

FOR INFORMATION

REFERENCE: 15/0916/01 DATE: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

4. DEVELOPMENT CONSENT AND DETAILS PERTAINING TO OC APPLICATION

☐ For works approved by a Council DA:

DA Number (+ S96s):

Council:

DA(+S96) Approval Dates:

DA Works Description:

CC Number(s):

Certifying Authority:

BCA Classification(s):

Approved Use:

Or,

☒ For works approved by a Complying Development Certificate (CDC):

CDC Number:

Certifying Authority:

CDC Works Description:

CDC Approval Date:

BCA Classification(s):

Approved Use:

115/16

B.C.A PTY LTD.

COMPLETION NEW DWELLING

23/3/2016 APPROVED. 8/4/2016

CLASS 1 & CLASS 10b.

R2. LOW DENSITY RESIDENTIAL.

5. TYPE OF OCCUPATION CERTIFICATE SOUGHT BY THIS OC APPLICATION

☒ Final Occupation Certificate (all works must be complete and all Conditions complied with).

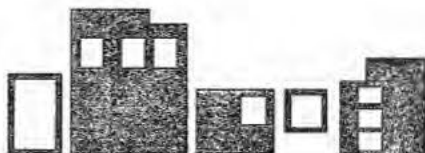
Or,

☐ Interim Occupation Certificate* (tables below to be clearly completed)

*Note – An interim OC does not cover an incomplete building nearing completion. It would cover a part of the building works that are fully completed, whilst clearly excluding an incomplete part. Excluded areas to be completed must be safely delineated and hoarded on site. All Conditions of Consent that state prior to issue of ANY Occupation Certificate, or prior to issue of an Interim Occupation Certificate, must be fully satisfied.

Parts of building works
fully completed and to be
covered by Interim OC

Part of building works
incomplete and to be
excluded by Interim OC



BUILDING CERTIFICATES AUSTRALIA PTY LTD
Building Regulations, Certification & Fire Safety Consultants
ABN 45 105 050 897

6. APPLICANT'S DECLARATION:

- I / we, as the applicant, confirm that all the relevant conditions of the Development Consent have been satisfied.
- The building works are consistent with all development approvals, plans, and specifications referenced therein.
- All works related to this development comply with the Building Code of Australia and all other relevant Australian Standards, and, if relevant, DA Consent conditions.
- I / we, as the applicant, confirm that all fields of this application have been completed correctly and, to the best of my knowledge, all information within this form is true and correct.

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Issue: 15/08/16/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent conditions.

Applicant Name:

Signature of Applicant:

Date:

9 MAY 2019

Note: Originals of this document must be returned to our office or received via high quality scan and email. (Faxes will not be accepted)

Note: All fields must be completed by the applicant; we accept no responsibility for wrong or false and misleading information provided.

Note: As we accept information in good faith, you are reminded that under the Environmental Planning and Assessment Regulation 2000, Clause 283, False or Misleading Statements – A person is guilty of an offence if the person makes any statement, knowing it to be false or misleading in an important respect, or in connection with any document lodged with the Director-General or a consent authority or certifying authority for the purposes of the Act or this Regulation. False information submitted will VOID any Certificate issued.

DOCUMENTS TO SUPPORT THIS APPLICATION FOR OCCUPATION CERTIFICATE

Please note: all certificates and forms must be signed, dated, include the name, qualifications and licence number of the signatory, and clearly describe the location of works and project description. All Certificates are to be submitted in PDF format.

Link to OC Building Component Installation Templates for use by Contractors (choose as relevant):

<https://www.dropbox.com/sh/r40af0hp7dkopiw/AAAOIPgllMk1ADQaexuio5Aqa?dl=0>

	Item	Provided (Y / N)
1.	This OC application form completed and returned	X
2.	Compliance Certificate from a <u>licensed electrician</u> certifying that smoke detectors have been provided and installed in accordance with the requirements of AS3786-1993 and BCA Volume Two Part 3.7.2	X
3.	Qualified <u>structural engineer's certificate</u> for reinforced concrete footings / slabs and steel and timber framing to BCA Part 3.2, 3.4, 3.9, 3.10, 3.11 and AS1170 series, AS1684.2 series, AS3600, AS3700-2011	X
4.	(Dual Occupancy) Compliance Certificate from <u>Principal Contractor</u> certifying that fire separating wall between the Class 1a buildings is compliant with BCA 3.7.1 and achieves an FRL of not less than 60 / 60 / 60, and, a) Commences at the footings or ground slab (see Figure 3.7.1.10); and, b) Extends to the underside of the non-combustible roof covering, with fire stopping between the construction joints (see Figure 3.7.1.10 and Figure 3.7.1.11). (A separating wall of lightweight construction must be tested in accordance with Specification C1.8 of the BCA Volume One)	
5.	(Dual Occupancy) Compliance Certificate from an <u>Acoustic Engineer</u> certifying that sound separating wall between the class 1a dwellings has been carried out in accordance with the requirements of BCA Table 3.8.6.1, 3.8.6.3, 3.8.6.4, and,	



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 Building Regulations, Certification & Fire Safety Consultants
 ABN 45 105 050 897

	Item	Provided (Y/N)	Provided (Y/N)
	c) Achieves the weighted sound reduction index with spectrum adaptation term (Rw+Ctr) and discontinuous construction requirements, as required by Table 3.8.6.1; and d) Has been installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4.		This report has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent conditions.
6.	Compliance Certificate from a <u>licensed water-proofer</u> certifying that waterproofing to all internal wet areas has been carried out in accordance with the requirements of AS3740-2010 and BCA Volume Two Part 3.8.1		
7.	Compliance CERTIFICATE from a <u>licensed water-proofer</u> certifying that waterproofing to all external above ground areas has been carried out in accordance with the requirements of AS4654.1 & .2-2012 and BCA Volume Two Part 3.8.1.3	X	
8.	Compliance Certificate from a <u>licensed pest controller</u> certifying that the new building works have been protected from subterranean termites in accordance with the requirements of AS3660.1-2014 and BCA Volume Two Part 3.1.3	X	
9.	Compliance Certificate from <u>licensed plumber / stormwater drainage engineer</u> for as-built storm-water drainage disposal components to AS3500.3-2015 – Plumbing and Stormwater Drainage Code, plus all BASIX requirements relating to stormwater disposal	X	
10.	Certification from <u>Principal Contractor / Owner Builder</u> as to the following: a) Damp proof courses and flashings to BCA 3.5.3.6 & AS2904-1995 b) Stairway Construction to BCA 3.9.1 c) Barriers and Balustrades to BCA 3.9.2 and AS1288-2006 (Glazed Balustrades) and AS1170.1-2002 (Structural Load Resistance)		
11.	Drainage Compliance Certificate from <u>licensed plumber</u> for all plumbing supply / drainage / gas fitting works provided - AS3500.4-2015 – Housing Installations		
12.	Electrical wiring certificate from <u>licensed electrician</u> to AS3000 – General Wiring Code	X	
13.	Certification from <u>mechanical installer</u> for new mechanical ventilation and air conditioning systems to BCA 3.8.5.0 and AS1668.2-2012		
14.	Registered Survey Report prepared by a <u>registered surveyor</u> for all new works set-out and carried out on site including but not limited to new structures in relation to all boundary clearances (front, sides, and rear at all articulated building points) and new structure finished RLs at ground, first floor, roof ridge lines	X	
15.	Glazing Certificate from supplier / manufacturer to certify that all new windows and glazed sets provided have been made and installed in accordance with AS1288 - 2006 & AS2047 - 1999, plus BASIX requirements	X	
16.	Certificate / Letter of Compliance from <u>Principal Contractor</u> certifying that all energy efficiency measures have been provided as required by the approved BASIX Report	X	
17.	Certificate / Letter of Compliance from <u>Principal Contractor</u> certifying that all works have been completed by Licensed Contractors on site in accordance with the Home Building Act and Regulations		
18.	Certification from <u>Design Architect</u> that building has been finished to the approved schedule of external finishes and materials		
19.	Certification from <u>Landscape Architect</u> that all landscaping has been installed and completed in accordance with the approved landscape plan		
20.	Certification from <u>Principal Contractor</u> all applicable openable bedroom windows (where drop is over 2m and sill height under 1.7m) comply to BCA 3.9.2.5 to restrict opening to 125mm or provide compliant screen barrier		
21.	<u>Council sign-off</u> for all driveway crossing and associated restoration works in public road reserve		
22.	Other:		
23.	Other:		

30 APRIL 2019

ABN 18 162 652 280

CONSULTING CIVIL/STRUCTURAL ENGINEERS

43 AVOCA STREET
RANDWICK 2031

PH: 9399 7762
FAX: 9399 5031

TO: THE PCA

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE
FOR INFORMATION

Reference: 1.00016/01 Date: 11/11/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

STRUCTURAL CERTIFICATE

RE: NEW DWELLING AT 14 BASSETT STR. MONA VALE

We, R. Balas Consulting P/L are professional structural engineers in accordance within the meaning of the BCA and I am an appropriately qualified and competent person in this area being listed in the National Engineering Register (NER).

This is to certify that we have carried out periodic site inspections during the construction of the structural elements of the project in accordance with standard practice. At the time of the inspections the work generally conformed with the intent of the design as conveyed by structural engineering drawings 1239 – S01 to S11.

The elements covered by this Certificate include:

1. Reinforcement to Level 1 slab on ground, footings and lift shaft.
2. Reinforcement to Level 1 concrete walls and columns.
3. Reinforcement to Level 2 suspended slab.
4. Reinforcement to Level 2 concrete walls and columns.
5. Reinforcement to Level 3 suspended slab.

This certificate should not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations.

Yours faithfully,
R. Balas Consulting P/L

Raphael Balas
BE, MIE-Aust. CPEng.

R. Balas Consulting P/L

ABN 18 162 652 280

10 MAY 2019

CONSULTING CIVIL/STRUCTURAL ENGINEERS

43 AVOCA STREET
RANDWICK 2031

Ph: 9399 7702
FAX: 9399 5031

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: L30018/01 Date: 22/04/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

TO: THE PCA

STORMWATER CERTIFICATE

RE: NEW DWELLING AT 14 BASSETT STR. MONA VALE

We, R. Balas Consulting P/L are professional structural engineers in accordance within the meaning of the BCA and I am an appropriately qualified and competent person in this area being listed in the National Engineering Register (NER).

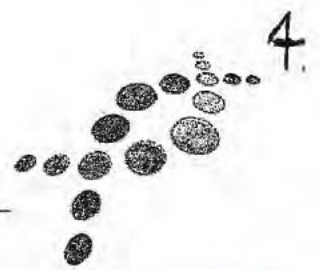
This is to certify that we have carried out periodic site inspections during the construction of the stormwater system in accordance with standard practice. At the time of the inspections the work observed generally conformed with the intent of the design as conveyed by engineering drawing 1239 – C01.

This certificate should not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations

Yours faithfully,
R. Balas Consulting P/L

Raphael Balas
BE, MIE-Aust. CPEng.

Waterview Electrical Services Pty Ltd

**PREMISES:**

14 Bassett Street
Mona Vale, NSW, 2103

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 12/11/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

I, Luke Mitchell, being a qualified licensed electrical contractor, hereby certify that I have
Selected, located, connected and installed smoke detector/alarms in accordance with

AS 3786-1993
AS 3000-2007
Part 3.7.2 of Volume 2 BCA

Number of Alarms	3
Date of Test	18/9/18

Luke Mitchell

Waterview Electrical Services Pty Ltd
Dated: 18/9/18
Licence No. 248512c

www.waterviewelectricalservices.com.au

1300 723 429
2 Waterview Street
Mona Vale NSW 2103

ENERGY EFFICEIENCY - 14 BASSETT STREET MONA VALE NSW

Building Certificates Australia Pty Ltd

COMPLIANCE CERTIFICATE
FOR INFORMATION

Reference: 15/0916/01 Date: 23/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

[REDACTED] being the owner builder , hereby certify that the recommendations and requirements contained in the BASIX report for -

14 Bassett Street Mona vale

Have been implemented into the construction of the building to achieve the calculated energy efficiency rating

[REDACTED]
Owner Builder - Permit Number 422473P

28 MARCH 2019.

[REDACTED]

14/06/2017

Better Pools and Spas Australia Pty Ltd
PO Box 79
GLENBROOK NSW 2773
Ph: 02 4739 2555 Fax: 02 4739 2500
Lic. No. 236441C

To whom it may concern,



RE: [REDACTED]
14 Bassett St Mona Vale

With reference to the above development and the swimming pool – water recirculation system,
I confirm that the water recirculation system installed complies with the Building code of
Australia and AS1926.3-2010.

If you require any further information, please do not hesitate to contact me on 0419 030 485.

Kind Regards,

Rick Crambrook
47-392555

SWIMMING POOL PLUMBING COMPLIANCE CERTIFICATE

BUILDING ADDRESS:

14 Bassett Street, Mona Vale

BUILDING DESCRIPTION:

Concrete Swimming Pool

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 11/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

AREA OF BUILDING (ENTIRE OR PART):

Entire

Pursuant to the provisions of Part 1.2 Clause 1.2.2 (a) (iii) of the Building Code of Australia 2016 Volume 2;

I/ We (name of installer) Rick Crambrook of (Company) Better Pools & Spas Aust P/L certify that the following swimming pool waste discharge system at the abovementioned project has been inspected after installation and completed in accordance with the following Performance Standards

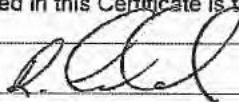
- Australian Standards AS 3500.2-2003; and
- Local Government Act 1993 and Local Government Regulation 2005.

I/We also confirm that:

- I am an appropriately qualified person and have a good working knowledge of the relevant codes and standards reference above.
- I have completed the abovementioned works in accordance the Complying Development approval documentation.
- Additional comments

The information contained in this Certificate is to the best of my knowledge and belief, true and accurate.

Signed:



Name:

Richard Crambrook

Qualifications/
Licence No.

236441C

Date:

14/6/2017

PH. 47 392 555

INSTALLATION CERTIFICATE – MECHANICAL VENTILATION

14 BASSETT STREET MONA VALE NSW

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

[REDACTED] being the owner builder , hereby certify that -

The Mechanical Ventilation in the kitchen ,laundry and bathroom at the above address has been installed in accordance with AS 1668.

[REDACTED]
Owner Builder - Permit Number 422473P

August 12th 2019,
[REDACTED]



Fair
Trading

CERTIFICATE OF COMPLIANCE - for Plumbing and Drainage Work

Please supply requested information correct and neatly

Owner's Copy

Serial No. E025619

PROPERTY & OWNERS DETAILS

House No	Street	Suburb	Postcode
14	Bassett St	MONA VALE	2106
Lot No	SP No	DP or PDP	Nearest Cross Street
23		6195	Orana Rd
Owner's Name	Full Address		
	14 Bassett St Mona Vale		

Building Certificates Australia Pty Ltd
OCCUPATION CERTIFICATE
FOR INFORMATION
This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

LICENCEE'S DETAILS

Full Name	Address for Notices	
Nicholas Anderson	34 Queens Pde NEWPORT NSW 2106	
Phone No.	Qualified Supervisor No.	Expiry Date
0411251256		
	Licence No.	Expiry Date
	65114C	26/06/2018

WORK OF WATER SUPPLY

Give full Description of Work to be carried out

- ☒ Install Water Supply
- ☐ Install Irrigation System
- ☐ On-site Alternative Water Services
- ☐ Install/Commission/Maintenance of Thermostatic Mixing Valve
- ☐ Connection to water supply
- ☐ Install, alter, disconnect or remove a backflow prevention device
- ☐ Other

PLUMBING WORK TO COMPLY WITH ☒ PCA ☐ ALTERNATIVE SOLUTION ☐ COMBINED

WORK OF SANITARY PLUMBING/DRAINAGE AND SUPPLY DRAINAGE PLAN

Give full Description of Work to be carried out

- ☒ Carry out work of sanitary plumbing/drainage
- ☐ Connection to Sewer
- ☐ Sewer Disconnection
- ☐ Carry out Trade Waste
- ☐ Other

DRAINAGE WORK TO COMPLY WITH ☒ PCA ☐ ALTERNATIVE SOLUTION ☐ COMBINED

SEWERAGE/WATER SERVICE INSPECTION FEE

Date Fee Paid	Date of Commencement of Work	Estimate Date of Completion
04/11/2015	04/11/2015	20/12/2016
Amount	Reference No:	Work Completed On:
406.00	AA201535230	12/12/2017

I Nicholas Anderson, Lic No 65114C certify the following matters for submission to the Regulator:

- a) I am the responsible person as that defined in the Plumbing and Drainage Act 2011. That is, I am the holder of the relevant contractor licence or supervisor certificate.
- b) The work was carried out by or under the supervision of me as the responsible person.
- c) Where required by section 11 of the Plumbing and Drainage Act 2011, I have given written notice of any identified pre-existing defective plumbing and/or drainage work Yes ☐ N/A ☒
- d) The work is code compliant in that it complies with the Plumbing Code of Australia and any other standard prescribed by the regulations.
- e) If any defect is found to be carried out by me within a period of two (2) years or within the time specified by the Regulator, from the date of the final inspection, and the Regulator certifies by written notice that in their opinion the defect is due to fault workmanship or defective materials, then I undertake to rectify such work at my sole expense, if directed by the Regulator within time specified by the Regulator.



Fair
Trading

*Serial No:

WV2091

Online Certificate Compliance Electrical Work (CCEW)

Any field marked with an * is mandatory

Building Certificates Australia Pty Ltd
OCCUPATION CERTIFICATE

INSTALLATION ADDRESS

Property Name

Floor

Unit

*Street Number

&/or

*Lot/RMB

14

*Street Name

Nearest Cross Street

Bassett Street

*Suburb

*State

*Post Code

Mona Vale

NSW

2103

*Pit/Pillar/Pole No.

*NMI

*Meter No.

*AEMO Metering Provider I.D.

CUSTOMER DETAILS



Please tick if Customer Address details same as installation details

*First Name

*Company Name

Floor

Unit

*Street Number

&/or

*Lot/RMB

14

*Street Name

Nearest Cross Street

Bassett Street

*Suburb

*State

*Post Code

Mona Vale

NSW

2103

Email

Office No.

Mobile No.

INSTALLATION DETAILS

*Type of Installation

Residential

Commercial

Industrial

Rural

Mixed Development

*Work carried out

New Work

Installed Meter

Network connection

Addition/alteration to existing

Install Advanced Meter

EV Connection

Re-inspection of non-compliant work

Non-Compliance No.

Special Conditions

Over 100 amps

Hazardous Area

Off Grid Installation

High Voltage

Unmetered Supply

Secondary Power Supply

*DETAILS OF EQUIPMENT

Select equipment installed and estimate increase of work affected by the work carried out

EQUIPMENT	RATING	NUMBER INSTALLED	PARTICULARS
✓ Switchboard	100A	2	Meterbox and Garage Sub Board
✓ Circuits			Lighting and Power Circuits
✓ Lighting			All New Lighting
✓ Socket Outlets			All New Power Outlets
✓ Appliances			Kitchen Appliances
Generation			
Storage			

***Meters - Installed (I), Removed (R), Existing (E)**

Master/Sub Status - No (N), Master (M), Sub (S)

[illegible]

Estimated increase in load A/ph

N/A

* Is increased load within capacity of installation/service mains?

Yes



No

*** Is work connected to supply? (pending DSNP inspection)**

Yes



No

INSTALLERS LICENSE DETAILS

*First Name

Luke

Floor

Unit

29

***Street Name**

Polo Ave

***Suburb**

Mona Vale

Email

luke@waterviewelectrical.com.au

***Last Name**

Mitchell

***Street Number**

&/or

***Lot/RMB**

14

Nearest Cross Street

***State**

NSW

*Post Code

2103

Office No.

Mobile No. _____

***Qualified Supervisors No. 2**

*Expiry Date

Or

*Contractor's License No.

248512C

*Expiry Date

30/05/2021

*TEST REPORT

In respect to the test carried out by me on the above mentioned installation, I certify that:

1. I have carried out the test below and that the installation has passed the following requirements:

- ☒ Earthing system integrity
- ☒ Residual current device operational
- ☒ Insulation resistance Mohms
- ☒ Visual check that installation is suitable for connection to supply
- ☒ Polarity
- ☐ Stand-Alone system complies with AS4509
- ☐ Correct current connections
- ☐ Fault loop impedance (if necessary)

All works comply with



2. I confirm that I have visually checked that the installation described in this Certificate complies with the relevant Acts, Regulations, Codes and Standards;

3. *The test was completed on 18/09/2018

TESTERS LICENSE DETAILS

☒ Please tick if Testers Lic. details same as Installers Lic. details

*First Name Luke		*Last Name Mitchell	
Floor 	Unit 29	*Street Number &/or 14	*Lot/RMB
*Street Name Polo Ave		Nearest Cross Street 	
*Suburb Mona Vale		*State NSW	*Post Code 2103
Email luke@waterviewelectrical.com.au		Office No. 	Mobile No.
*Qualified Supervisors No. 	*Expiry Date 	Or *Contractor's License No. 248512C	*Expiry Date 5/30/21

In my capacity as the Tester, I certify that the electrical work carried out on the above mentioned property was completed by the nominated electrician

*SUBMIT CCEW

Please select the energy provider for where this work has been carried out, to email a copy of this CCEW directly to that provider

Ausgrid

Please enter the meter providers email to send a copy of this CCEW directly to that provider

Please enter the property owner's email address to send a copy of this CCEW directly to the property owner

I certify that the information provided in this Certificate Compliance Electrical Work (CCEW) is true and correct.

*Signature

It is mandatory to sign this document if providing it as a printed copy

If submitting this CCEW electronically, please click the SUBMIT button to email a copy directly to the NSW regulator, the Service Provider, Meter Provider and Customer, as identified above.

SUBMIT

☒ CERTIFICATE OF COMPLIANCE

☐ CERTIFICATE OF INSPECTION

PROPERTY / VEHICLE OWNERS DETAILS

House/Unit No 14	Street Bassett	Suburb MONA VALE	Postcode 2102
Lot No 23	DP No	PDP or SP 6195	Nearest Cross Street Orana Rd
Owner's Name		Owner's Postal Address	

Municipality Shire of Northern Beaches
Municipality Shire of Northern Beaches Australia Pty Ltd
This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, OIA Consensus Conditions

VEHICLE DETAILS

Make	Model	Registration Number
Engine Number	Chassis / VIN Number	Hull ID No.

LICENSEE'S DETAILS

Name Nicholas Anderson	Postal Address 34 Queens Pde NEWPORT 2106
Phone No. 0411251256	Qualified Supervisor No.
Tradepersons Certificate No.	Expiry Date
Licence No. 65114C	Expiry Date 26/06/2018

INSTALLATION DETAILS

Type of Work ☐ New ☐ Alteration ☒ Extension ☐ Repair (specify)	Type of Gas ☒ Natural Gas ☐ LP Gas (Propane) ☐ LP Gas (Butane) ☐ LPG Autogas ☐ CNG Autogas ☐ Other	Fixed Installation ☐ Industrial ☐ Commercial ☒ Domestic Mobile Installation ☐ Caravan ☐ Marine Vessel ☐ Motor Vehicle	Date Work Commenced 4/11/2015 Meter No. ☒ Gas Leak Check Gas Leak Check Date 15/12/2017
--	--	---	---

APPLIANCES

Code	Type of Appliance	Quantity Connected
0	Stationary engine power or air conditioner	0
1	Cooktop or wok cooker	1
2	Refrigeration or Absorption chiller	0
3	Instantaneous water, pool or spa heater	2
4	Tank hot water heater	0
5	Hot plate, grill or BBQ	0
6	Oven for baking, curing or drying	0
7	Decorative flare or gas lights	0
8	Room heater or space heater	0
9	Other Appliances	1

AUTOGAS CONTAINERS

Brand	Serial Number	Water Capacity

In respect of the gasfitting work I certify that,

- The gasfitting work complies with ☒ AS5601 ☐ AS4041 ☐ AS1596 ☐ AS1425 ☐ AS2739
- I have tested the installation for defects immediately after the completion and inspected all containers and appliances connected to the installation; where gas work has been undertaken by me, and
- By ticking this box, I certify that the installation is in safe working order. ☐ (date)

OR,

- The following are defective ☐ gas installation, ☐ appliances(s), ☐ gas containers, ☐ gas regulators is/are defective for the following reason

--

- By ticking this box, I certify that I have attached a durable defect notice to the

☐ (date)



Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0816/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

CERTIFICATE OF COMPLIANCE

Client: Justice Building

Project: 14 Bassett Street. Mona Vale. NSW. 2103

Job Number: 288

Date Of Completion: 19/08/2016

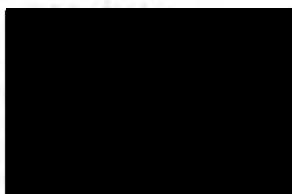
Work Areas: Internal Wet Areas

Membrane System: Ardex WPM 155

This is to certify that M P Waterproofing Pty Ltd has installed all materials in accordance to the manufactures specifications and to conform with the Australian Standards AS3740-2010 AS4654 Part 1-2012 & AS4654 Part 2-2012

Yours Faithfully

Mathew Patten





Architectural Aluminium

COMPLIANCE CERTIFICATE

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE
FOR INFORMATION

Reference: 100016/01 Date: 11/10/2019

This information has been provided & relied upon in good faith to confirm that the building has complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent conditions.

Architectural Aluminium provides a 6 year Guarantee against faulty Workmanship and Materials and is committed to the Industry Code of Conduct and has met all requirements under Australian



Architectural Aluminium

THE INSPECTION SERVICES OF
THE AWA ARE ACCREDITED.
INSPECTION AGENCY NO. 13739

The manufacturer certifies that the windows and doors supplied to:

Delivery Address: 14 BASSETT ST
MONA VALE

Delivered on: 28/7/2016

Have been manufactured to comply with the Australian Window Standard AS 2047 and Glass Standard AS1288 including human impact requirements as specified in the order. The windows and doors have been manufactured to comply with NCC energy efficiency and bushfire requirements as specified by the purchaser.

The windows have been manufactured to comply with:

Housing:	SLS Pa	ULS Pa	WPR Pa		SLS Pa	ULS Pa	WPR Pa
☐ N1	500	700	150	☐ C1	1400	2000	150
☐ N2	700	1000	150	☐ C2	2000	3000	200
☒ N3	1000	1500	150	☐ C3	2900	4400	300
☐ N4	1500	2300	200	☐ C4	4000	6000	450
☐ N5	2200	3300	300				
☐ N6	3000	4500	450				

For Other Construction:

Serviceability (SLS) _____ Pa

Ultimate (ULS) _____ Pa

Water Penetration Resistance _____ Pa

Energy Performance Ratings AFRC Results: U Value - Uw 4.20

☐ Refer Attached Schedule

Bushfire Prescriptive Measures AS3959: ☐ BAL-12.5 ☐ BAL-19 ☐ BAL-29 ☐ BAL-40 ☒ Not required/specified

Bushfire Tested to: ☐ AS1530.8.1 (BAL 40) ☐ AS1530.8.2 (BAL FZ) ☐ No testing

Signed Window Company:

Date:

7/2/19

The builder/installer certifies that the windows and doors supplied have been installed correctly in accordance with the requirements of the National Construction Code and the human impact glass located in the correct openings.



GLAZING CERTIFICATE
Cordony & Co Pty Ltd

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 12/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

SITE DETAILS

Street no: 14

Suburb: Mona Vale

Street Name: Bassett Street

State: NSW

DESCRIPTION OF WORK: Supply of

1. 10mm toughened glass Shower screen

Pursuant to the provisions of the Environment Planning and Assessment Regulations 2000 and Clause A2.2 of the Building Code of Australia:

I, Steven Hewitt of Dee Why Glass, hereby certify that all glazing supplied at the above mentioned address by Dee Why Glass Complies with

AS 2208 1996 AS/NZS 2208

Name: Steven Hewitt

Position: Contract Administrator

Company Name: Dee Why Glass Service

ABN: 44 897 709 340

Company Address: Unit 3 77-79 Bassett Street

Tel. 02 9970 0110

Mona Vale 2103

Signature:

Date: 6/03/2019

Unit 3, 77-79 Bassett Street
Mona Vale NSW 2103
Tel: 9972 0110
Fax: 9971 2560
www.deewhyglass.com.au
ABN: 44 897 709 340

TERMITE CERTIFICATION - 14 BASSETT STREET MONA VALE NSW

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 11/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

[REDACTED] being the owner builder , hereby certify that termite barrier system at

14 Bassett Street Mona vale

Have been implemented into the construction of the building via the DINCEL CONSTRUCTION SYSTEM to achieve the termite certification according to AS3660, 1-2014.

Attached is a copy of the Dincel Specification Sheet for the Termite Barrier .

[REDACTED]
Owner Builder - Permit Number 422473P

28 MARCH 2019.

[REDACTED]



Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 13/0816/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

DINCEL TERMITE BARRIER

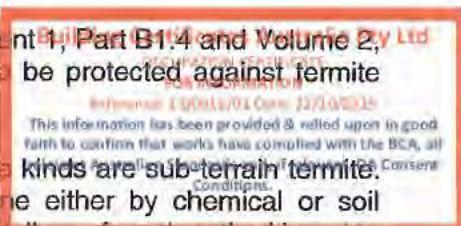
DISCLAIMER

The information contained in this document is intended for the use of suitably qualified and experienced engineers. This information is not intended to replace design calculations or analysis normally associated with the design and specification of buildings and their components. Dincel Construction System Pty Ltd accepts no liability for any circumstances arising from the failure of a specifier or user of any part of Dincel Construction System to obtain appropriate professional advice about its use and installation or from failure to adhere to the requirements of appropriate Standards and Codes of Practice, and relevant Building Codes.

TERMITE BARRIER TO COMPLY – AS3660.1-2014 – TERMITE BARRIER

The Building Code of Australia (BCA) 2016, Volume 1, Amendment 1, Part B1.4 and Volume 2, Part 3.1.3 states that primary building elements are required to be protected against termite damages.

Termites are wood eating insects. The most dangerous of these kinds are sub-terran termites. The prevention of termites entering into buildings can be done either by chemical or soil treatment or by having an impermeable barrier. The environmentally preferred method is not to use chemicals. It is known that termites do not eat polymers, such as rigid polyvinyl chloride. The tightness of interlocking wall modules and monolithic concrete construction of Dincel Wall leave no space for termites to enter into building environments.



Dincel Construction System adopts to have a termite barrier system which consists of monolithic wall-slab construction to deter the termites gaining concealed access to a building as recommended by the Australian Standard AS3660.1-2014 Termite Barrier.

Termites can enter the building's interior through wall cracks and wall joints. The wall joints associated with masonry brick, block, in-situ concrete and precast concrete are required to minimise wall crackings. If joints are provided, all walls in below ground conditions must have termite treatment in addition to conventional waterproofing requirements. As well accepted by the industry, because of its in-built crack inducers, Dincel Wall is a joint free wall system irrespective of its length. Dincel Wall has been used successfully in a 140 metre long wall without joints at the Cochlear Building in Macquarie University, Sydney.

The majority of concrete floor slabs, especially for housing, are small enough to build without joints as well. This eliminates the majority of the termite treatment (except at the service penetrations) provided that a monolithic connection between Dincel Wall floor slab is achieved.

Dincel Wall provides imperviousness even for 6m of head of water pressure as tested by the CSIRO, Australia ([Download – Waterproof Walls](#)) let alone termites.

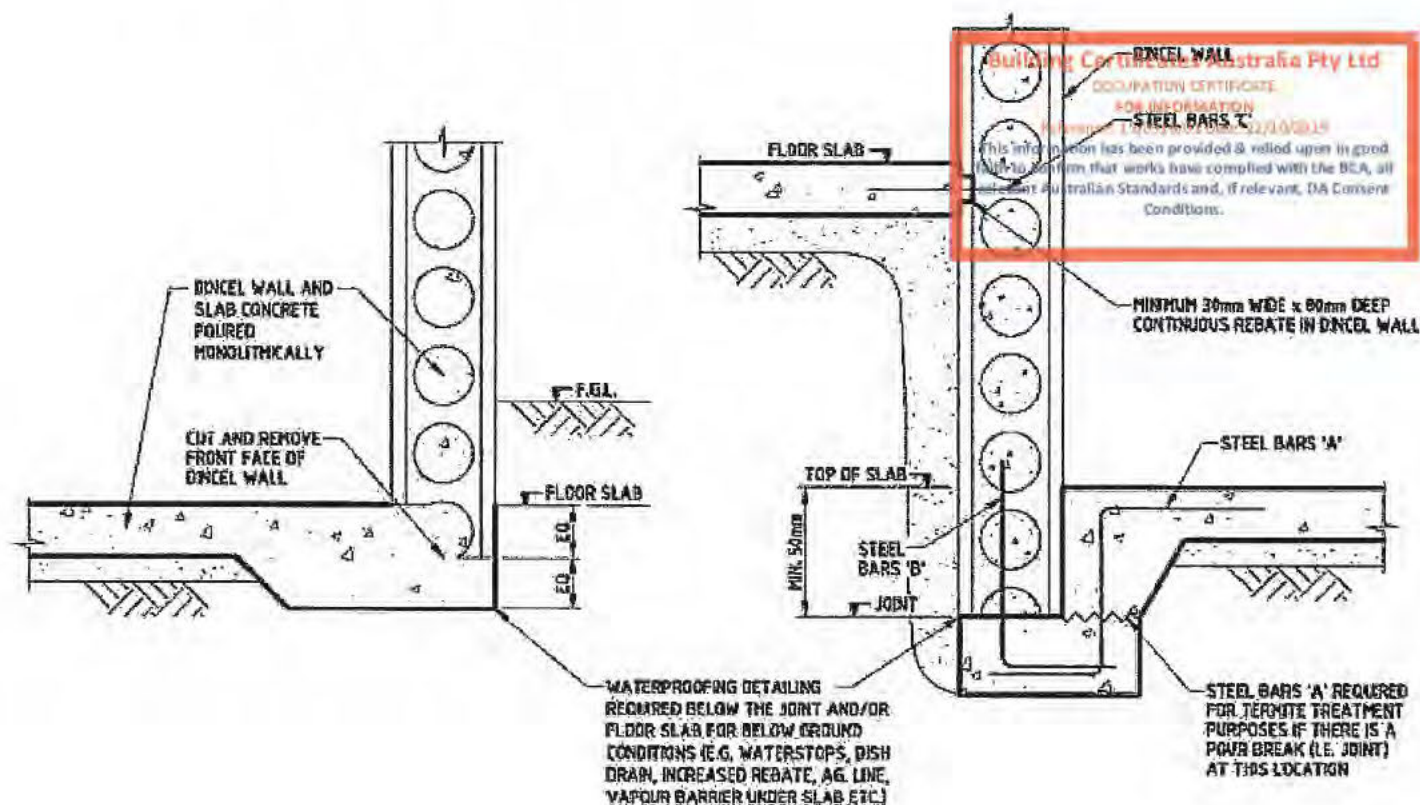
Dincel Wall complies with the requirements of AS3660.1-2014.

The relevant code clauses are:

- Clause 4.3.1 (Note 3) – This note states that “due regard should be given to minimising shrinkage and cracking”. The crack widths of the concrete within Dincel are much less than 1mm.
- Clause 4.2 (b) – Joints
- Clause 3.2 (b) & (f) – Materials
- Clause 4.3.2.1 – Dincel is constructed without any vertical joints.
- Clause 4.3.2.2 – Footing/Slab construction joints shall be built in accordance with this clause.

Therefore, when Dincel-wall is built around the building's periphery an impervious termite barrier is established provided the joint between Dincel Wall and the footing slab is treated in accordance with the detail shown below.

The following detail complies with AS3660.1 – 2014 Termite Barrier.



AS 3660.1 COMPLIANT DETAIL TO AVOID TERMITE TREATMENT AT SLAB EDGES AND RETAINING WALLS

NOTE: REFER DESIGN ENGINEER FOR BARS 'A', 'B', 'C',
FOOTING AND SLAB REINFORCEMENT SPECIFICATION

No additional termite treatment is required when the detail shown above is adopted. It is therefore in compliance with AS3660.1 – 2014 Termite Barrier is achieved.

Please refer to the Appendix of this document to read the relevant Clause 4.3.2.2 which outlines the conditions where footing/slab joints can be considered as monolithic as shown on the above detail and therefore no requirement for termite treatment.

CRACKS / JOINTS LESS THAN 1MM TYPICALLY REQUIRED TO PREVENT TERMITE INGRESS

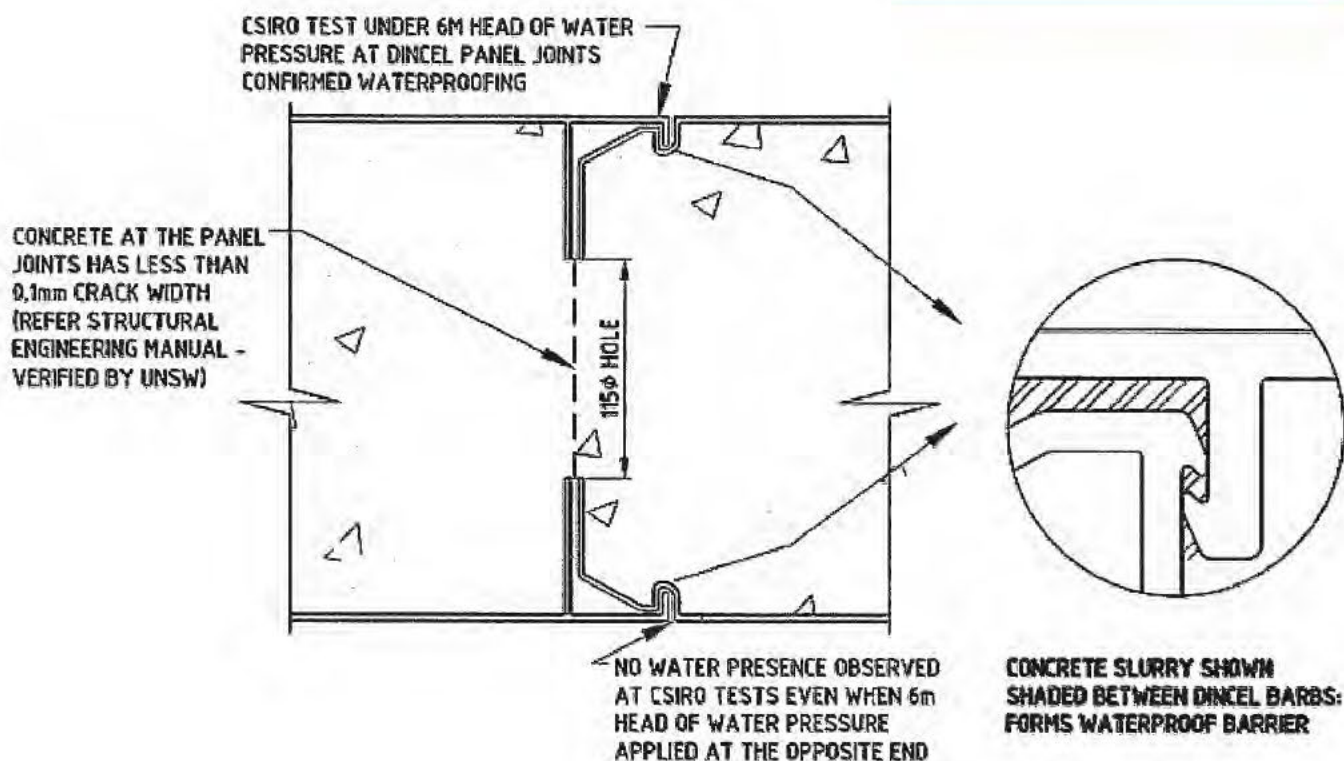
Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 22/11/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.



DINCEL-WALL CROSS-SECTION - CSIRO TEST PANEL

WATERPROOF DINCEL PANEL JOINTS PREVENTS WATER INGRESS WHICH CONFIRMS THAT THE POSSIBLE GAP / JOINT / CRACK AT THE SNAPPING PANEL JOINTS IS MUCH LESS THAN 1MM JOINT / CRACK WIDTH TYPICALLY REQUIRED TO PREVENT TERMITE INGRESS

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

APPENDIX

4.3.2.2 Footing slab construction joints

Where edge beams, stiffening beams, footing beams and retaining walls form part of the slab construction, and—

- (a) they are placed as an integral component of the slab, or tied together in accordance with AS 2870;
- (b) the surface of the footing is cleaned prior to placing the slab; and
- (c) the concrete is compacted to eliminate voids at the joint,

termite treatment of the joint is not required.

NOTE: Examples of footing systems not requiring joint treatment are depicted in Figure 4.1.

In all other cases, joints at the junction/support of the slab and the horizontal joint shall have termite management systems installed in accordance with Sections 6, 7 or 8.

NOTE: Examples of footing systems requiring joint treatment are depicted in Figure 4.2.

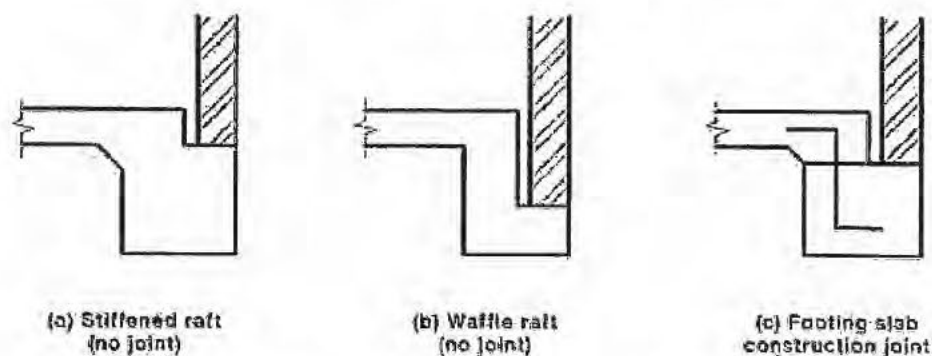


FIGURE 4.1 EXAMPLES OF FOOTING SYSTEMS REQUIRING NO JOINT TREATMENT

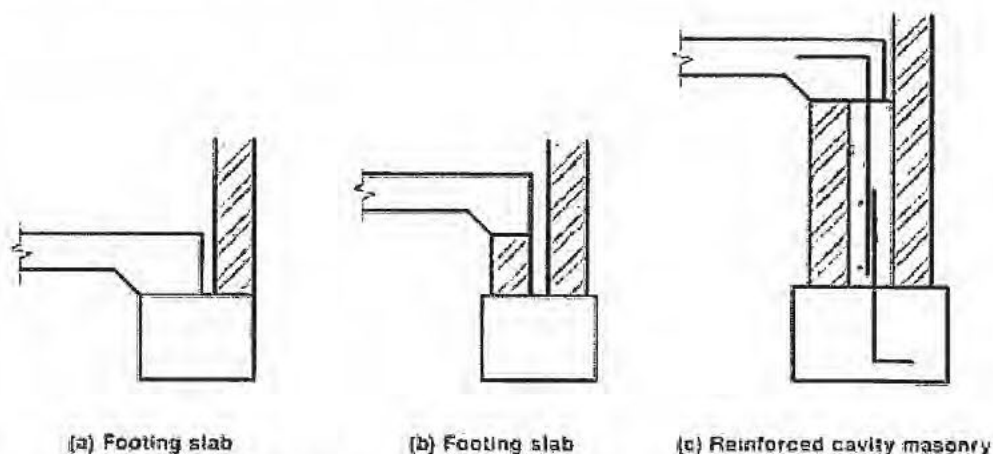


FIGURE 4.2 EXAMPLES OF FOOTING SYSTEMS REQUIRING JOINT TREATMENTS

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 003000S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Friday, 18 March 2016

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning &
Environment

Project summary

Project name	14 Bassett Street, Mona Vale
Street address	14 Bassett Street Mona Vale 2103
Local Government Area	Pittwater Council
Plan type and plan number	deposited 6195
Lot no.	23
Section no.	B
Project type	separate dwelling house
No. of bedrooms	2

Project score

Water	✓ 46	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 43	Target 40

Certificate Prepared by

Name / Company Name: environa studio

ABN (if applicable): 28135240283

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 13-001265 Date: 22/03/2016

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

Project address

Project name	14 Bassett Street, Mona Vale
Street address	14 Bassett Street Mona Vale 2103
Local Government Area	Pittwater Council
Plan type and plan number	Deposited Plan 6195
Lot no.	23
Section no.	B

Project type

Project type	separate dwelling house
No. of bedrooms	2

Site details

Site area (m ²)	1283
Roof area (m ²)	239
Conditioned floor area (m ²)	202.1
Unconditioned floor area (m ²)	14.32
Total area of garden and lawn (m ²)	714

Assessor details and thermal loads

Assessor number	n/a
Certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m ² .year)	n/a
Area adjusted heating load (MJ/m ² .year)	n/a

Other

none	n/a
------	-----

Project score

Water	✓ 46	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 43	Target 40

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 396.52 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 233.91 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: - all toilets in the development - the cold water tap that supplies each clothes washer in the development - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓ ✓	✓ ✓ ✓
Swimming pool			

Building Certificates Australia Pty Ltd 6030000S FOR INFORMATION In relation to the proposed development Water Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must not have a volume greater than 18 kilolitres. On the basis of the information provided, the certifier has no reason to doubt the applicant's faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.		✓	✓	
The swimming pool must have a pool cover.			✓	
The swimming pool must be outdoors.		✓	✓	

Thermal Comfort Commitments Building Certificates Australia Pty Ltd 100 WILMINGTON SYDNEY NSW 1570	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Floor, walls and ceiling/roof This information has been reviewed & found to be in good accordance with the BCA, all relevant Australian Standards and, where applicable, DA Conditions			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
floor - suspended floor above garage, concrete	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.50 (or 1.90 including construction)	
internal wall shared with garage - cavity brick wall	nil	
ceiling and roof - flat ceiling / flat roof, concrete/plasterboard internal	ceiling: 2.5 (up), roof: none	concrete/plasterboard internal; light (solar absorptance < 0.475)

Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
------	--

Window / glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W 3	W	7.18	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
N 1	N	13.48	improved aluminium, single toned (U-value:6.39, SHGC:0.56)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
S 1	S	10.10	improved aluminium, single toned (U-value:6.39, SHGC:0.56)	awning (fixed) 600-1,200 mm	not overshadowed
S 2	S	11.71	improved aluminium, toned/air gap/clear (U-value:4.09, SHGC:0.47)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water This information has been provided in good faith to ensure that works have complied with the BCA, all relevant Australian Standards and, if relevant, BASIX.			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted)	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star (new rating)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3.5 Star (new rating)		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star (new rating)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3.5 Star (new rating)		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: interlocked to light		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 3 of the bedrooms / study;		✓	✓

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Building Certificates Australia Pty Ltd 270/100 MARLBOROUGH ST SYDNEY NSW 2000 02 9550 1000 www.basix.com.au - at least 2 of the living / dining rooms; - the kitchen; - all bathrooms/toilets; - the laundry; - all hallways;			✓ ✓ ✓ ✓ ✓	✓ ✓ ✓ ✓ ✓
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓	✓
Swimming pool				
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only			✓	
The applicant must install a timer for the swimming pool pump in the development.			✓	
Other				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.			✓	

Building Certificates Australia Pty Ltd
 100/1000 Macquarie Street
 Sydney, Australia 2000

This information is not to be used for unauthorized purposes.

ent application is to be lodged for the pro

is identified with a $\bullet$ in the "Show" on

ents identified with a in the "Certifier c

LANDSCAPING CERTIFICATION

14 BASSETT STREET MONA VALE NSW

Building Certificates Australia Pty Ltd

**OCCUPATION CERTIFICATE
FOR INFORMATION**

Reference: 15/0816/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

[REDACTED] being the owner builder , hereby certify that the landscaping at

14 Bassett Street Mona vale

Has been installed in accordance with the relevant design documentation and the CDC .

[REDACTED]
Owner Builder - Permit Number 422473P

28 MARCH 2019

[REDACTED]



19 March 2019

Dear Sir

RE: 14 BASSETT STREET, MONA VALE

This report has been prepared for [REDACTED] as a final survey on the newly constructed residence only and is not authorised to be used for any other purpose.

As instructed we have surveyed part of the land in Part Lot 23, Section B, DP 6195 where the dwelling is under construction being approximately the southern half of the lot in Folio Identifier 23/B/6195 situated at Mona Vale in the Local Government Area of Pittwater, Parish of Narrabeen and County of Cumberland as shown by red edging on the attached sketch.

As instructed we have surveyed part of the land in Folio Identifier 23/B/6195 being Part Lot 23 in Section B in Deposited Plan 6195 having a frontage of 17.355 metres to Bassett Street situated at Mona Vale in the Local Government Area of Northern Beaches, Parish of Narrabeen and County of Cumberland as shown by red edging in the attached sketch.

Standing upon and wholly within the boundaries of the land is a two storey render and stone residence with a concrete roof known as 14 Bassett Street Mona Vale and its position in relation to the boundaries is shown on the sketch.

The floor and roof levels of the residence in relation to Australian Height Datum have also been established as indicated and relate to the bench mark nail in bitumen (RL14.21) shown on the attached sketch.

The land is affected by a covenant created by Transfer No. B1193 the terms of which have not been investigated as part of this survey.

The land in this report has been surveyed for identification purposes on the newly constructed residence only. Should any further improvements be contemplated on or near the boundaries then survey marks should be placed.

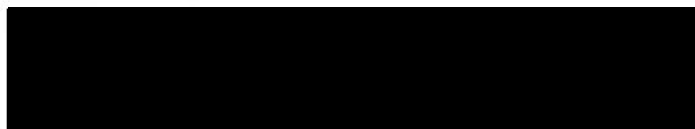
Yours faithfully

Michael Trifiro

ID No.8624

Land Surveyor Registered under

The Surveying and Spatial Information Act, 2002





LAND DEVELOPMENT SOLUTIONS
A.B.N. 85 213 523 621

Suite 1 3 Railway Street
BAULKHAM HILLS 2153
P.O.Box 2572
NORTH PARRAMATTA 1750
t: (02) 9630 7955
e: office@sdg.net.au
w: www.sdg.net.au

3
DP 530220

39
SEC B
DP 6195

36
SEC B
DP 6195

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE
FOR INFORMATION

Reference: 15/0916/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

D P 1049663

GF denotes GROUND FLOOR
FF denotes FIRST FLOOR
PRL denotes PARAPET RL
TW denotes TOP OF WALL

BENCH MARK
NAIL IN BITUMEN
RL14.21 (A.H.D.)

PT 23
SEC B
DP 6195

17.355
BASSETT STREET

This is the sketch plan referred to in my survey of

14 BASSETT STREET
MONA VALE
Dated: 19-03-2019

Our Ref: 6112

MICHAEL TRIFIRO
Land Surveyor Registered under
The Surveying and Spatial Information Act 2002

QUALITY OF WORKMANSHIP AND DISCLOSURE.

14 BASSETT STREET MONA VALE NSW



being the owner builder, hereby certify that

All works undertaken on the development been carried out in a good and workmanlike manner by appropriately licensed contractors,

- All work undertaken comply and satisfy the relevant Australian Standards, Building Code of Australia and all Development Consent Conditions have been satisfied,
- I confirm that each tread and riser dimensions for each private and public (internal and external) stairway are constant throughout each respective stair flight.
- Any variations to the building design, as approved under the Construction Certificate, which may be contrary to the requirements of the CDC and/or Building Code of Australia, have been appropriately disclosed to the PCA.



Owner Builder - Permit Number 422473P

28 MARCH 2019.



architects statement

Project: [REDACTED] **HOUSE**
 Address: **14 BASSETT STREET, MONA VALE**
 Client: [REDACTED]



environa studio confirms that the house has been completed in accordance with the CDC schedule of finishes.

This statement shall not be construed as relieving any other party of their responsibilities.

TONE WHEELER

Tone Wheeler
 Principal Architect



Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: 15/0916/01 Date: 23/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

INSTALLATION CERTIFICATE – WIRE BALUSTRADE

14 BASSETT STREET MONA VALE NSW

[REDACTED] being the owner builder , hereby certify that

The wire balustrade installed at the above address complies with the BCA PART 3.9.2.3 and Table 3.9.2.1 -

[REDACTED]
Owner Builder - Permit Number 422473P

28 MARCH 2019.

[REDACTED]



19 March 2019

Dear Sir

RE: 14 BASSETT STREET, MONA VALE

This report has been prepared for [REDACTED] as a final survey on the newly constructed residence only and is not authorised to be used for any other purpose.

As instructed we have surveyed part of the land in Part Lot 23, Section B, DP 6195 where the dwelling is under construction being approximately the southern half of the lot in Folio Identifier 23/B/6195 situated at Mona Vale in the Local Government Area of Pittwater, Parish of Narrabeen and County of Cumberland as shown by red edging on the attached sketch.

As instructed we have surveyed part of the land in Folio Identifier 23/B/6195 being Part Lot 23 in Section B in Deposited Plan 6195 having a frontage of 17.355 metres to Bassett Street situated at Mona Vale in the Local Government Area of Northern Beaches, Parish of Narrabeen and County of Cumberland as shown by red edging in the attached sketch.

Standing upon and wholly within the boundaries of the land is a two storey render and stone residence with a concrete roof known as 14 Bassett Street Mona Vale and its position in relation to the boundaries is shown on the sketch.

The floor and roof levels of the residence in relation to Australian Height Datum have also been established as indicated and relate to the bench mark nail in bitumen (RL14.21) shown on the attached sketch.

The land is affected by a covenant created by Transfer No. B1193 the terms of which have not been investigated as part of this survey.

The land in this report has been surveyed for identification purposes on the newly constructed residence only. Should any further improvements be contemplated on or near the boundaries then survey marks should be placed.

Yours faithfully

Michael Trifiro

ID No.8624

Land Surveyor Registered under

The Surveying and Spatial Information Act, 2002





LAND DEVELOPMENT SOLUTIONS
A.B.N. 85 213 523 621

Suite 1 3 Railway Street
BAULKHAM HILLS 2153
P.O.Box 2572
NORTH PARRAMATTA 1750
t: (02) 9630 7955
e: office@sdg.net.au
w: www.sdg.net.au

3
DP 530220

39
SEC B
DP 6195

36
SEC B
DP 6195

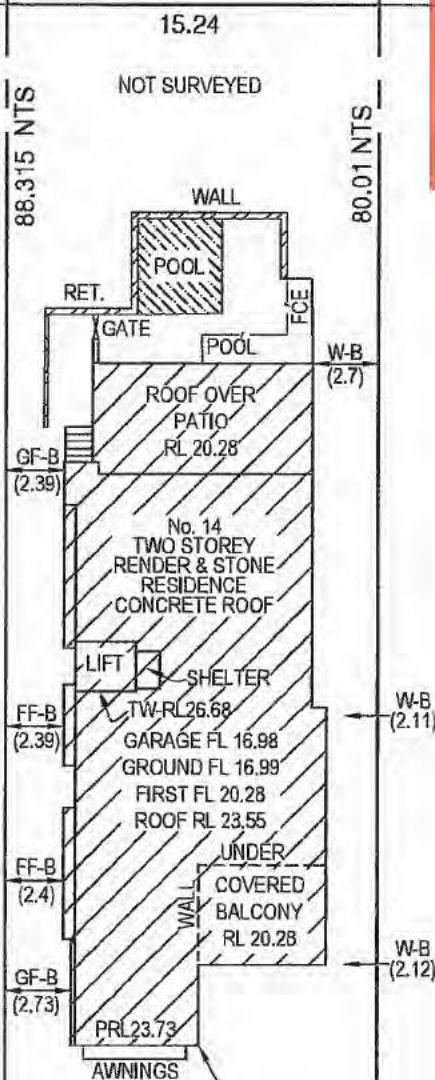
Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE
FOR INFORMATION

Reference: 15/0916/01 Date: 22/10/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

D P 1049663



PT24
SEC B
DP 6195

PT 23
SEC B
DP 6195

GF denotes GROUND FLOOR
FF denotes FIRST FLOOR
PRL denotes PARAPET RL
TW denotes TOP OF WALL

BENCH MARK
NAIL IN BITUMEN
RL14.21 (A.H.D.)

BASSETT STREET

This is the sketch plan referred to in my survey of

14 BASSETT STREET
MONA VALE

Dated: 19-03-2019

Our Ref: 6112

MICHAEL TRIFIRO

Land Surveyor Registered under

The Surveying and Spatial Information Act 2002

30 APRIL 2019

ABN 18 162 652 280

CONSULTING CIVIL/STRUCTURAL ENGINEERS

43 AVOCA STREET
RANDWICK 2031

PH: 9399 7762
FAX: 9399 5031

TO: THE PCA

Building Certificates Australia Pty Ltd

OCCUPATION CERTIFICATE

FOR INFORMATION

Reference: L00016/01 Date: 11/11/2019

This information has been provided & relied upon in good faith to confirm that works have complied with the BCA, all relevant Australian Standards and, if relevant, DA Consent Conditions.

STRUCTURAL CERTIFICATE

RE: NEW DWELLING AT 14 BASSETT STR. MONA VALE

We, R. Balas Consulting P/L are professional structural engineers in accordance within the meaning of the BCA and I am an appropriately qualified and competent person in this area being listed in the National Engineering Register (NER).

This is to certify that we have carried out periodic site inspections during the construction of the structural elements of the project in accordance with standard practice. At the time of the inspections the work generally conformed with the intent of the design as conveyed by structural engineering drawings 1239 – S01 to S11.

The elements covered by this Certificate include:

1. Reinforcement to Level 1 slab on ground, footings and lift shaft.
2. Reinforcement to Level 1 concrete walls and columns.
3. Reinforcement to Level 2 suspended slab.
4. Reinforcement to Level 2 concrete walls and columns.
5. Reinforcement to Level 3 suspended slab.

This certificate should not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations.

Yours faithfully,
R. Balas Consulting P/L

Raphael Balas
BE, MIE-Aust. CPEng.

CONSTRUCTION NOTES

GENERAL

- G1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT’S DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. THE ENGINEER’S DRAWINGS SHALL NOT BE SCALED.
- G3. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- G4. WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS AND THE LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- G5. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IS NOT AN AUTHORISATION FOR AN EXTRA. ANY EXTRA INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT BEFORE THE WORK COMMENCES.
- G6. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
- G7. ALL LEVELS ARE EXPRESSED IN METRES.
- G7. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS:

INTERNAL AREAS = 1.50KPa
EXTERNAL AREAS = 3.00KPa

- G8. ALL NON LOAD BEARING WALLS SHALL BE KEPT CLEAR OF THE UNDERSIDE OF SLABS AND BEAMS BY 20mm UNLESS OTHERWISE SHOWN.

FOOTINGS

- F1. FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 800KPa ON ROCK.
- F2. THE BUILDER SHALL OBTAIN APPROVAL FROM THE SUPERVISING ENGINEER AS TO THE SUITABILITY OF THE FOUNDATION MATERIAL PRIOR TO PLACING CONCRETE.
- F3. SOFT SPOTS SHALL BE REMOVED AND REPLACED WITH APPROVED GRANULAR MATERIAL PLACED IN LAYERS NOT EXCEEDING 250mm AND COMPACTED TO 98% SMDD.

EXCAVATION ADJACENT TO EXISTING BUILDING

- E1. BUILDER TO MAINTAIN STABILITY OF ADJOINING BUILDINGS AND TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING AS REQUIRED TO PREVENT COLLAPSE OF GROUND DURING EXCAVATION WORKS.

STRUCTURAL TIMBER

- T1. TIMBER FRAMING CONSTRUCTION IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1684, NATIONAL TIMBER FRAMING CODE AND AS 1720.1 TIMBER FRAMING STRUCTURE DESIGN METHODS.

BRICKWORK & BLOCKWORK

- B1. ALL WORKMANSHIP & MATERIALS TO COMPLY WITH AS3700 S.A.A. MASONRY CODE.
- B2. MORTAR SHALL BE 1 PART CEMENT 4 PART SAND AND 0.25 PART LIME.
- B3. BRICKWORK OR BLOCKWORK SUPPORTING CONCRETE OR STEEL MEMBERS SHALL BE SEPARATED AT THE BEARING SURFACE BY 2 LAYERS OF "ALCOR"
- B4. BLOCKS SHALL BE STRENGTH GRADE MIN. 20MPa. ALL BLOCKS SHALL HAVE SHALLOW GROOVES FOR REINFORCEMENT. PROVIDE CLEANOUT HOLES IN BASE OF THE WALLS.
- B5. REMOVE ALL MORTAR DAGS BEFORE FILLING CORES WITH GROUT.
- B6. FILL ALL CORES WITH GROUT STRENGTH 25MPa, 10mm AGGREGATE MAX. SIZE (NOT MORE THAN 30 OF GROUT), SLUMP 230 ±30.
- B7. PROVIDE VERTICAL CONTROL JOINTS IN BLOCKWORK AT 9m MAX. CENTRES.

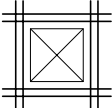
CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2. CONCRETE QUALITY:

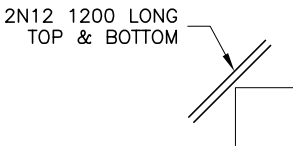
ELEMENT	SLUMP	MAX. AGG.	CEMENT TYPE	ADMIX	CONC. GRADE	EXPOSURE CLASSIF'N	COVER U.N.O.
PAD FOOTING	80	20	GP	NIL	25MPa	A1	50
CONCRETE PIERS	80	20	GP	NIL	25MPa	A1	50
SLAB ON GROUND	80	20	GP	NIL	25MPa	A1	30 TOP
STRIP FOOTINGS	80	20	GP	NIL	25MPa	A1	50
SUSPENDED SLABS—EXTERNAL	80	20	GP	NIL	32MPa	A1	45 TOP 45 BOT.
SUSPENDED SLABS—INTERNAL	80	20	GP	NIL	32MPa	A1	25 TOP 20 BOT.
SUSPENDED BEAMS	80	20	GP	NIL	32MPa	A1	40 TO MAIN REINF. AND SIDES
COLUMNS	80	20	GP	NIL	32MPa	A1	50 TO MAIN REINF.
SWIMMING POOL	80	10	GP	NIL	32MPa	A1	MIN. 50
WALLS	80	10	GP	NIL	32MPa	A1	40 GENERALLY

- C3. COVER TO REINFORCEMENT ENDS TO BE 45mm U.N.O.
- C4. PROVIDE N12–300 SUPPORT BARS TO TOP AND BOTTOM REINFORCEMENT AS REQUIRED, LAP 450 U.N.O.
- C5. MAINTAIN COVER TO ALL PIPES, CONDUITS, REGLETS,DRIP GROOVES ETC.
- C6. LAPS IN REINFORCEMENT SHALL BE MADE ONLY WHERE SHOWN ON THE DRAWINGS UNLESS OTHERWISE APPROVED. LAP LENGTHS SHALL BE 40 BAR DIA. UNLESS NOTED OTHERWISE.
- C7. ALL COGS TO BE STANDARD COGS UNLESS NOTED OTHERWISE.
- C8. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE ENGINEER.
- C9. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- C10. ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS.
- C11. REINFORCEMENT SYMBOLS:
"S" STRUCTURAL GRADE DEFORMED BAR TO AS 1302
"Y" HOT ROLLED DEFORMED BAR TO AS 1302 GRADE 410
"R" STRUCTURAL GRADE PLAIN ROUND BAR TO AS 1302
"F" HARD DRAWN STEEL WIRE REINFORCING FABRIC TO AS 1304
"W" HARD DRAWN STEEL WIRE REINFORCING WIRE TO AS 1303
"N" PLAIN AND DEFORMED BAR GRADE D500N
"RF" PLAIN AND DEFORMED WIRE MESH GRADE D500L
THE NUMBER FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETRES.
- C12. CAMBER UNLESS NOTED OTHERWISE ON DRAWINGS. SLABS SHALL BE GIVEN A POSITIVE UPWARD CAMBER AT MIDSPAN OF 3mm PER 1000mm SPAN. METHOD OF CAMBERING IS TO BE AGREED WITH THE ENGINEER. BEAMS SHALL BE CAMBERED AS SHOWN ON DRAWINGS (NEGATIVE CAMBER IS NOT ALLOWED).
- C13. FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3610.
- C14. DURABLE CONCRETE DENOTED <D>. THE CONTRACTOR IS TO TAKE SPECIAL PRECAUTIONS TO IMPROVE THE LONG TERM PERFORMANCE OF THESE FACES OF CONCRETE. IN PARTICULAR NO METAL INSERTS, METAL BAR CHAIRS OR METAL FORM SPACERS OF ANY KIND ARE TO BE PLACED IN THE COVER ZONES WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER. OBSERVE NO NEGATIVE TOLERANCE REQUIREMENT ON COVER. TAKE SPECIAL CARE TO AVOID SCRAP TIE WIRE OR OTHER MATERIAL BEING PRESENT.
- C15. CALCIUM CHLORIDE IS NOT PERMITTED TO BE USED.

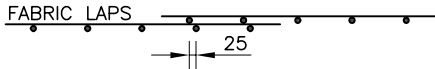
TYPICAL TRIMMER DETAIL AT PENETRATIONS



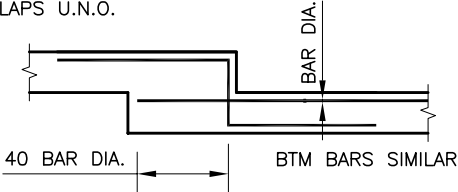
TYPICAL TRIMMERS AT RE-ENTRANT CORNER



- C16. FABRIC END AND SIDE LAPS ARE TO BE PLACED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER’S REQUIREMENTS TO ACHIEVE A FULL TENSILE LAP. FABRIC SHALL BE LAID SO THAT THERE IS A MAXIMUM OF 3 LAYERS AT ANY LOCATION.



- C17. COGGED BAR LAPS U.N.O.



STRUCTURAL STEELWORK

- S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 4100.
- S2. WELDING SHALL BE PERFORMED BY AN EXPERIENCED OPERATOR IN ACCORDANCE WITH AS 1554.
- S3. BOLTS NOT DESIGNATED SHALL BE MIN. 2 BOLTS PER CONNECTION GRADE 8.8/S TO AS 1252 TIGHTENED TO A SNUG TIGHT FIT. BOLTS DESIGNATED "HS" SHALL BE HIGH STRENGTH STEEL BOLTS TO AS 1252 TIGHTENED TO A SNUG TIGHT FIT. BOLTS DESIGNATED "HSTB" SHALL BE HIGH STRENGTH STEEL BOLTS TO AS 1252 FULLY TENSIONED IN ACCORDANCE WITH AS 1511.
- S4. THE CONTRACTOR SHALL PROVIDE AND LEAVE IN PLACE UNTIL PERMANENT BRACING ELEMENTS ARE CONSTRUCTED SUCH TEMPORARY BRACING AS IS NECESSARY TO STABILISE THE STRUCTURE DURING ERECTION.
- S5. CONCRETE ENCASED STEELWORK SHALL BE WRAPPED WITH RF41 FABRIC AND GALVANISED U.N.O.
- S6. THE ENDS OF ALL TUBULAR MEMBERS ARE TO BE SEALED WITH NOMINAL THICKNESS PLATES AND CONTINUOUS FILLET WELD UNLESS OTHERWISE SHOWN.
- S7. CAMBER TO BE AS NOTED ON THE DRAWINGS.
- S8. BEFORE FABRICATION IS COMMENCED THE CONTRACTOR SHALL SUBMIT COPIES OF THE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. REVIEW DOES NOT INCLUDE CHECKING OF DIMENSIONS.
- S9. UNLESS OTHERWISE SPECIFIED ALL STEELWORK SHALL BE PAINTED WITH ONE SHOP COAT OF APPROVED ZINC RICH PRIMER. MEMBERS FIRE SPRAYED OR "HSTF" BOLTED CONNECTIONS MUST BE PAINTED.
- S10. EXCEPT WHERE OTHERWISE SHOWN WELDS TO BE 6mm CONTINUOUS FILLET LAID DOWN WITH AN APPROVED COVERED ELECTRODE.
- S11. ALL CLEATS AND GUSSETS SHALL BE 10mm THICK TYPICAL U.N.O.

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

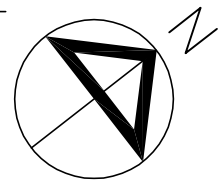
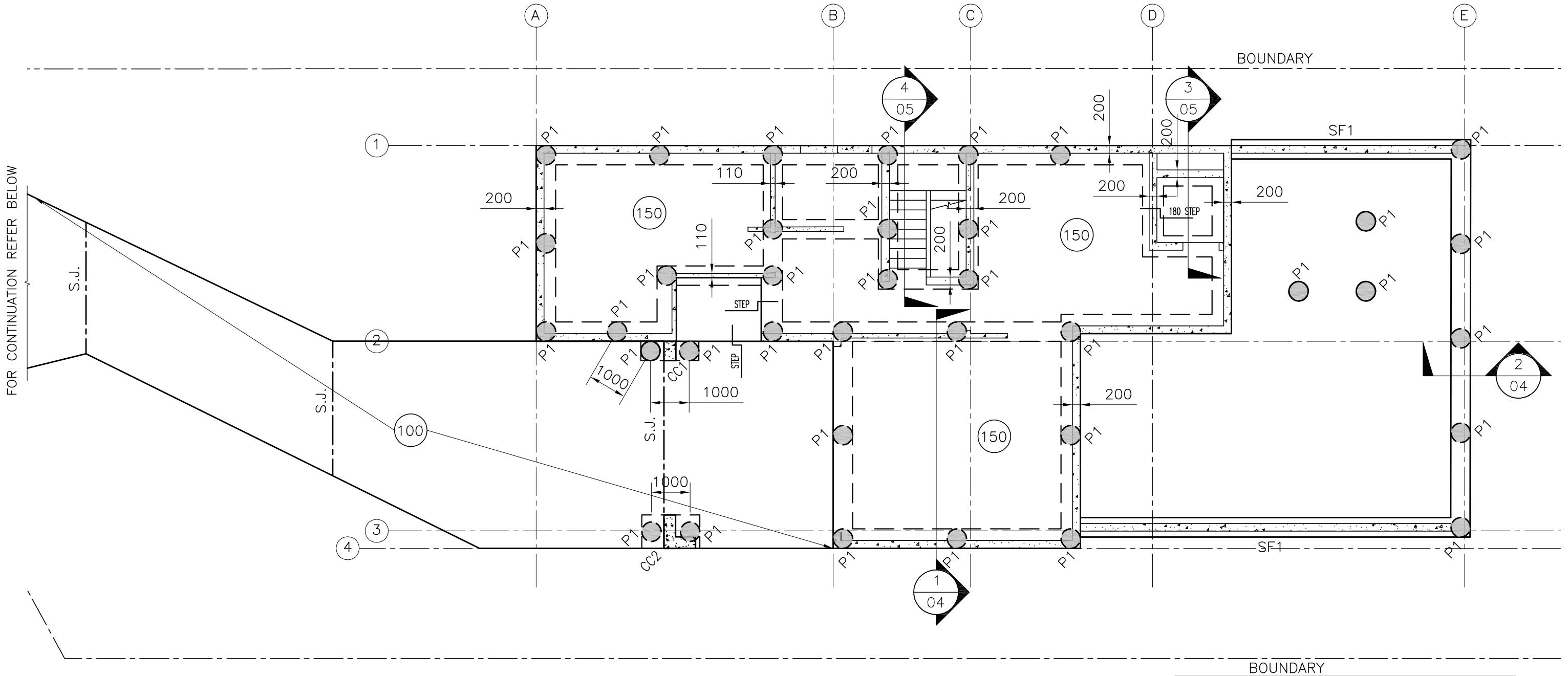
**CONSULTING CIVIL / STRUCTURAL ENGINEERS
ABN 18 162 652 280**

43 AVOCA STREET RANDWICK NSW 2031
TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

CONSTRUCTION NOTES

SCALE:	AS NOTED @ A3	CHECKED:	R.D.	DRAWING No: 1239–S01
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	

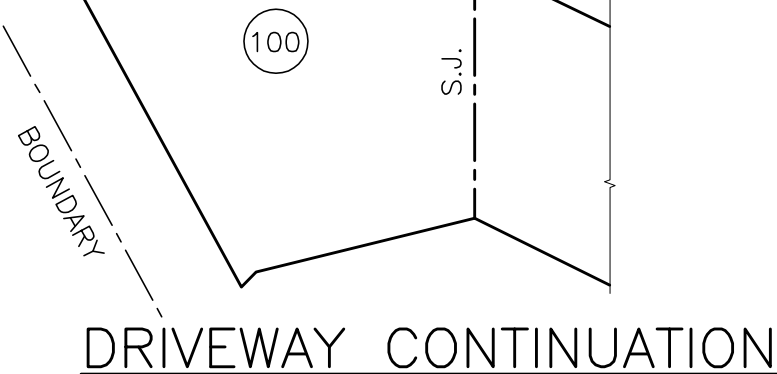


LEVEL 1 FLOOR FRAMING PLAN

(150) INDICATES 150mm THICK SLAB ON GROUND, ON W/PROOF MEMBRANE; SL82 MESH TOP & BOTTOM; $F'_c=32\text{MPa}$

(100) INDICATES 100mm THICK SLAB ON GROUND; SL82 MESH TOP; 30mm COVER; $F'_c=25\text{MPa}$

P1 - $\phi 600$ PILE; SOCKET 0.5m INTO ROCK



DRIVEWAY CONTINUATION

**ISSUED FOR
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CERTIFICATE**

R. Balas Consulting P/L

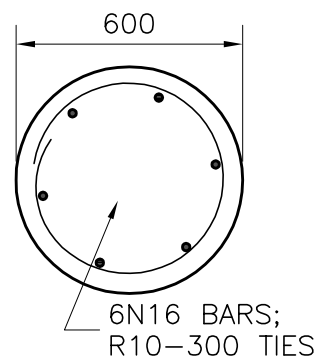
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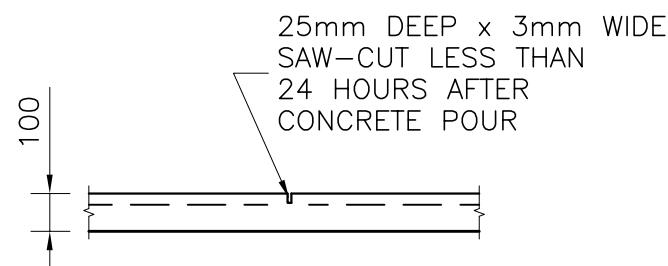
PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 1 FLOOR FRAMING PLAN

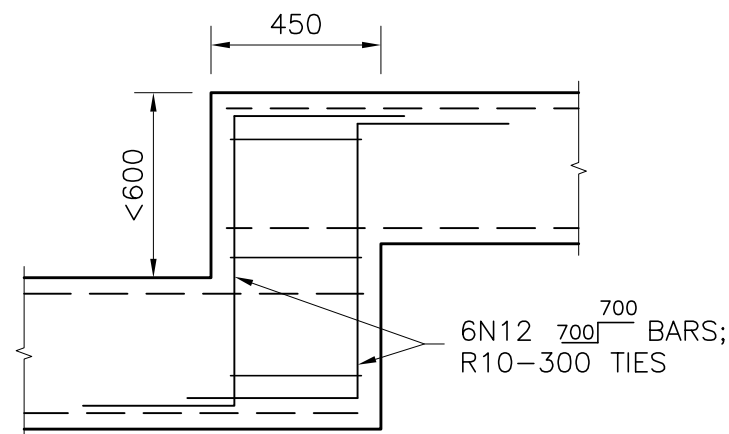
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DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



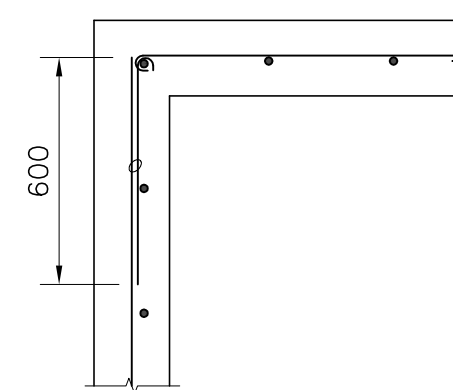
TYP. P1 DETAIL
SOCKET 500 INTO ROCK TYP.



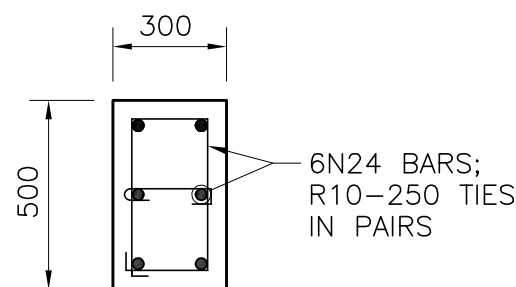
TYP. SAW-CUT JOINT
SHOWN S.J. ON PLAN



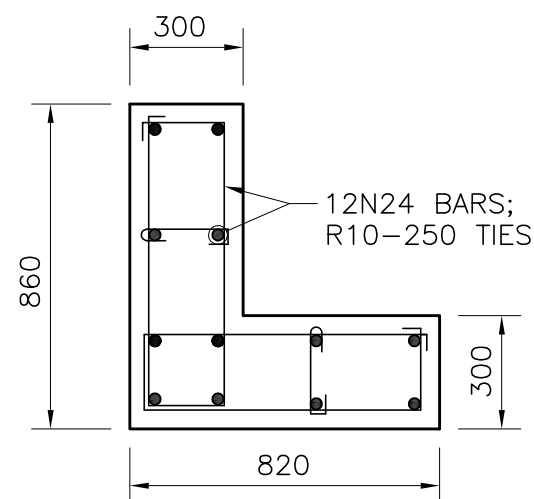
TYP. STRIP FOOTING
STEP DETAIL



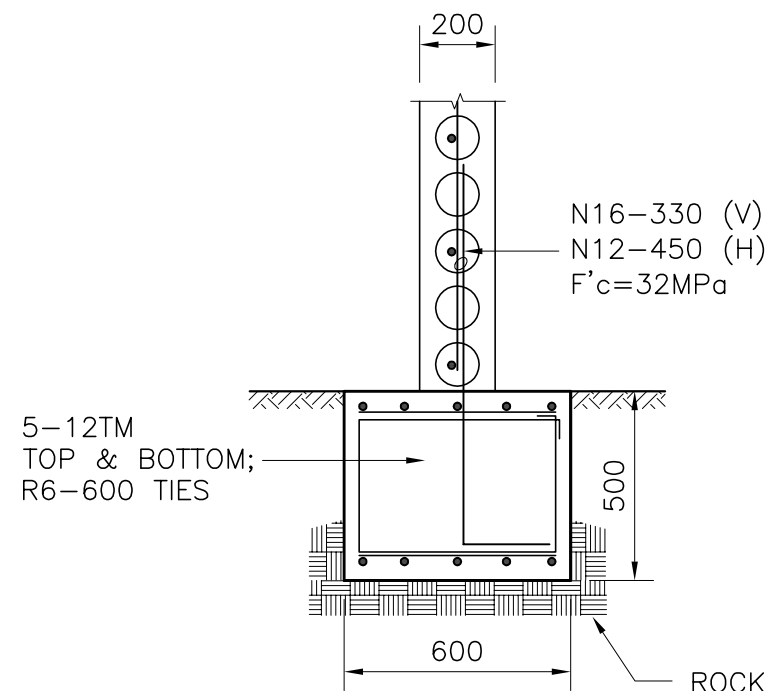
TYP. DINCEL
CORNER DETAIL



TYPICAL CC1 DETAIL
 $F'_c=40\text{MPa}$



TYPICAL CC2 DETAIL
 $F'_c=40\text{MPa}$



TYP. SF1 DETAIL

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R. Balas Consulting P/L

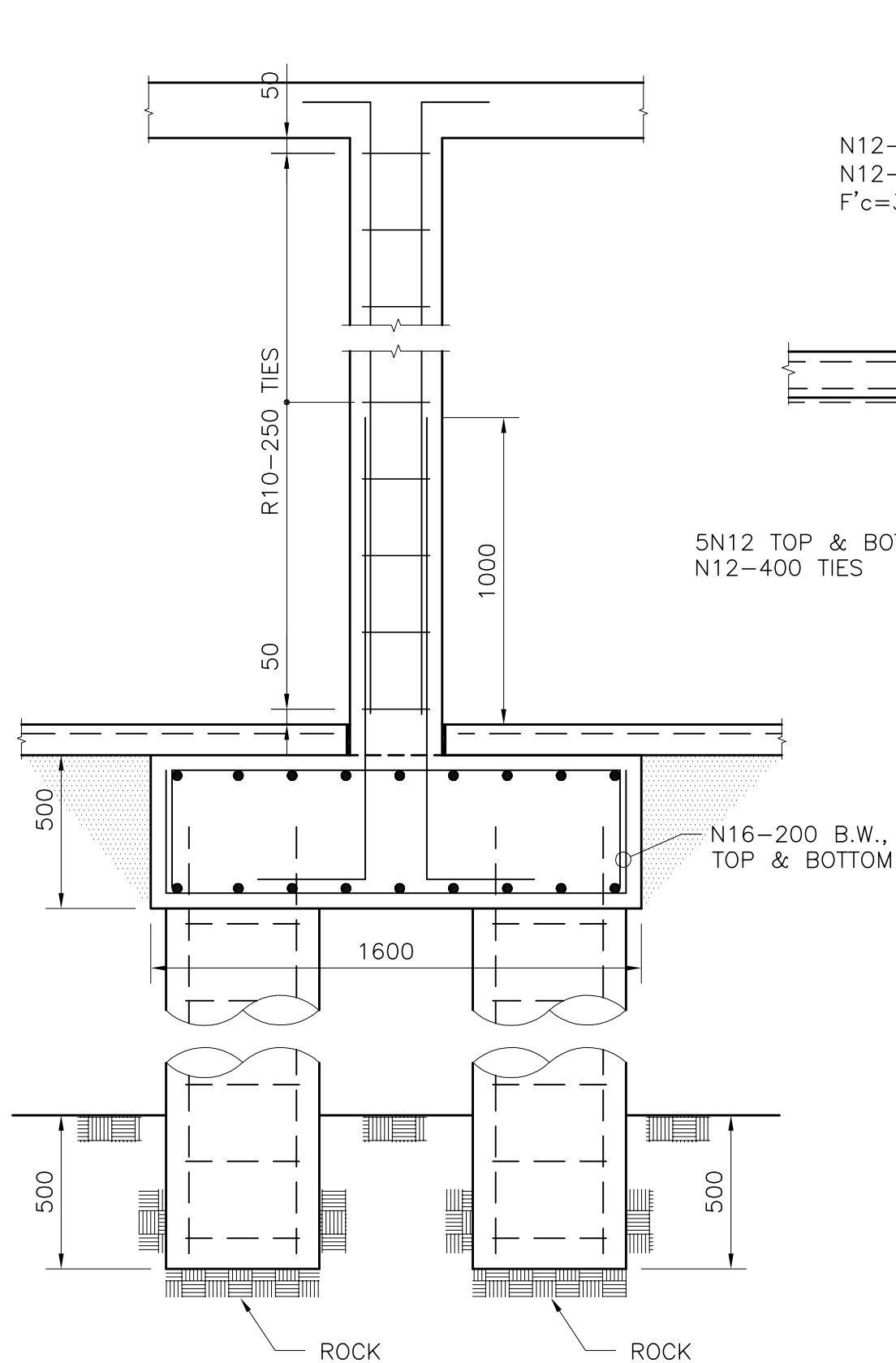
CONSULTING CIVIL / STRUCTURAL ENGINEERS
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TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

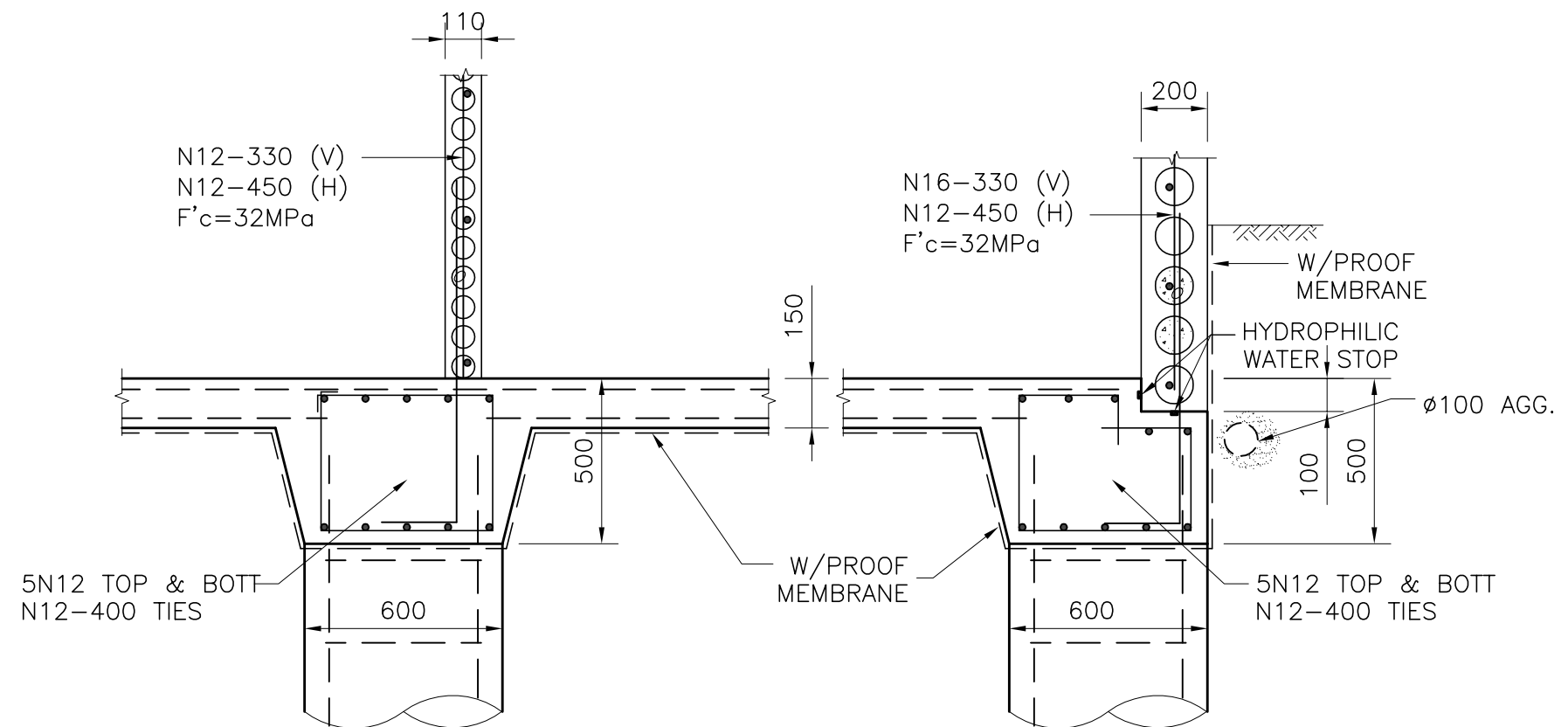
PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 1 DETAILS — SHEET 1

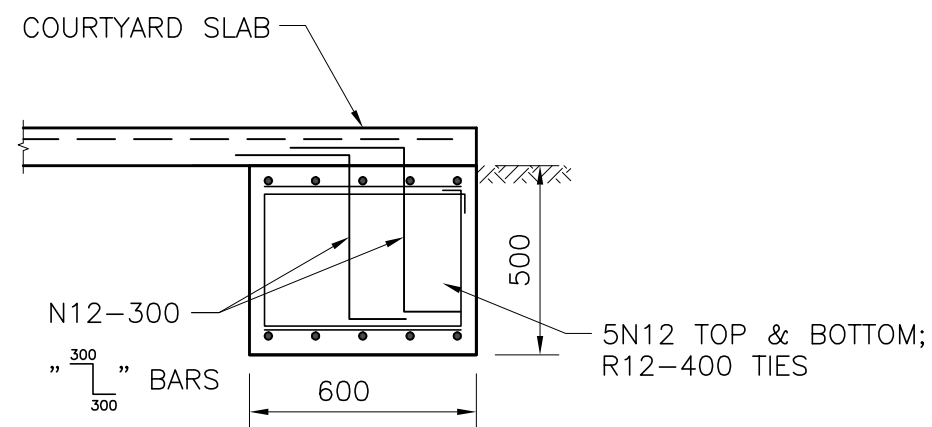
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DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



**TYPICAL CC COLUMN
ELEVATION**



SECTION 1



SECTION 2

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CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

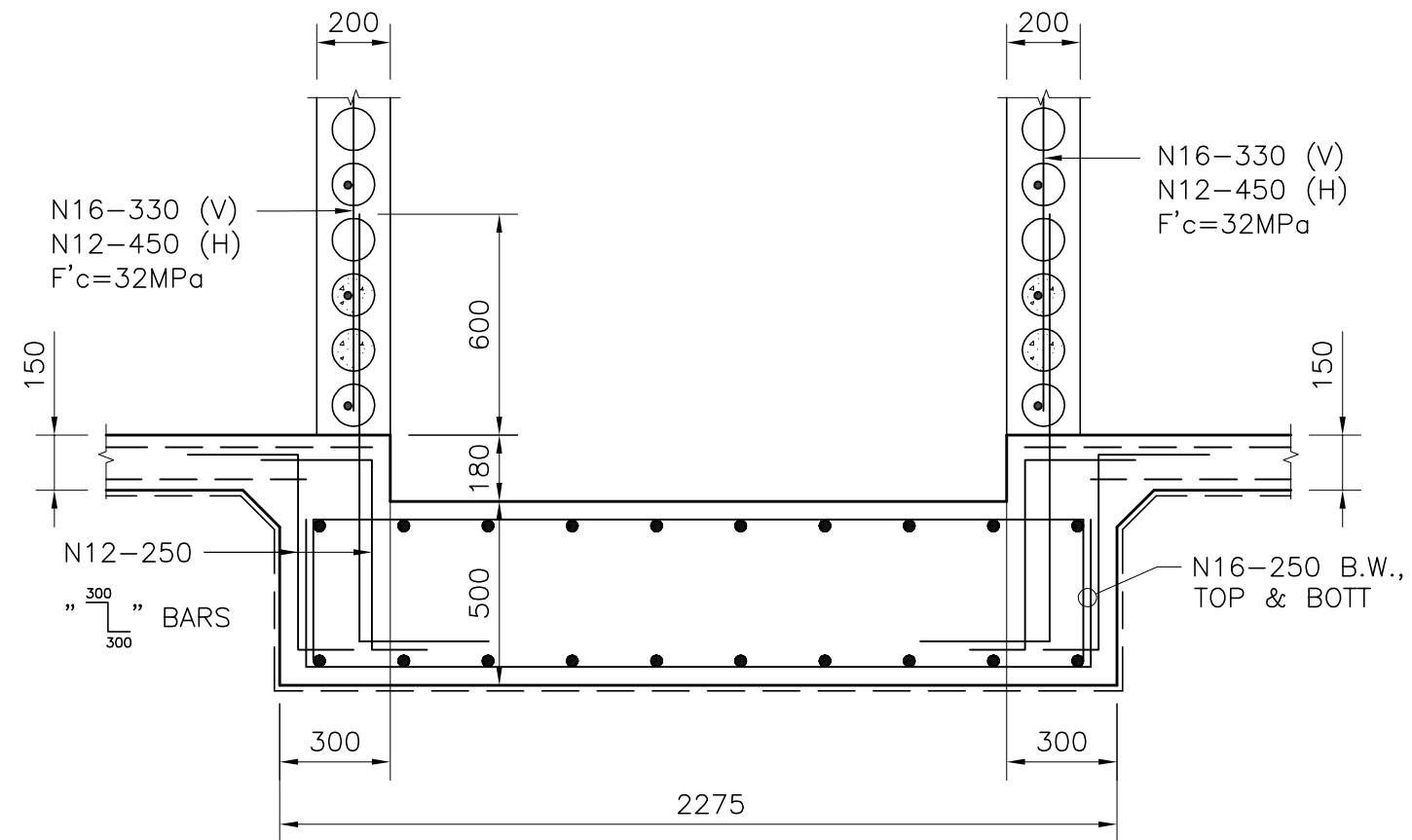
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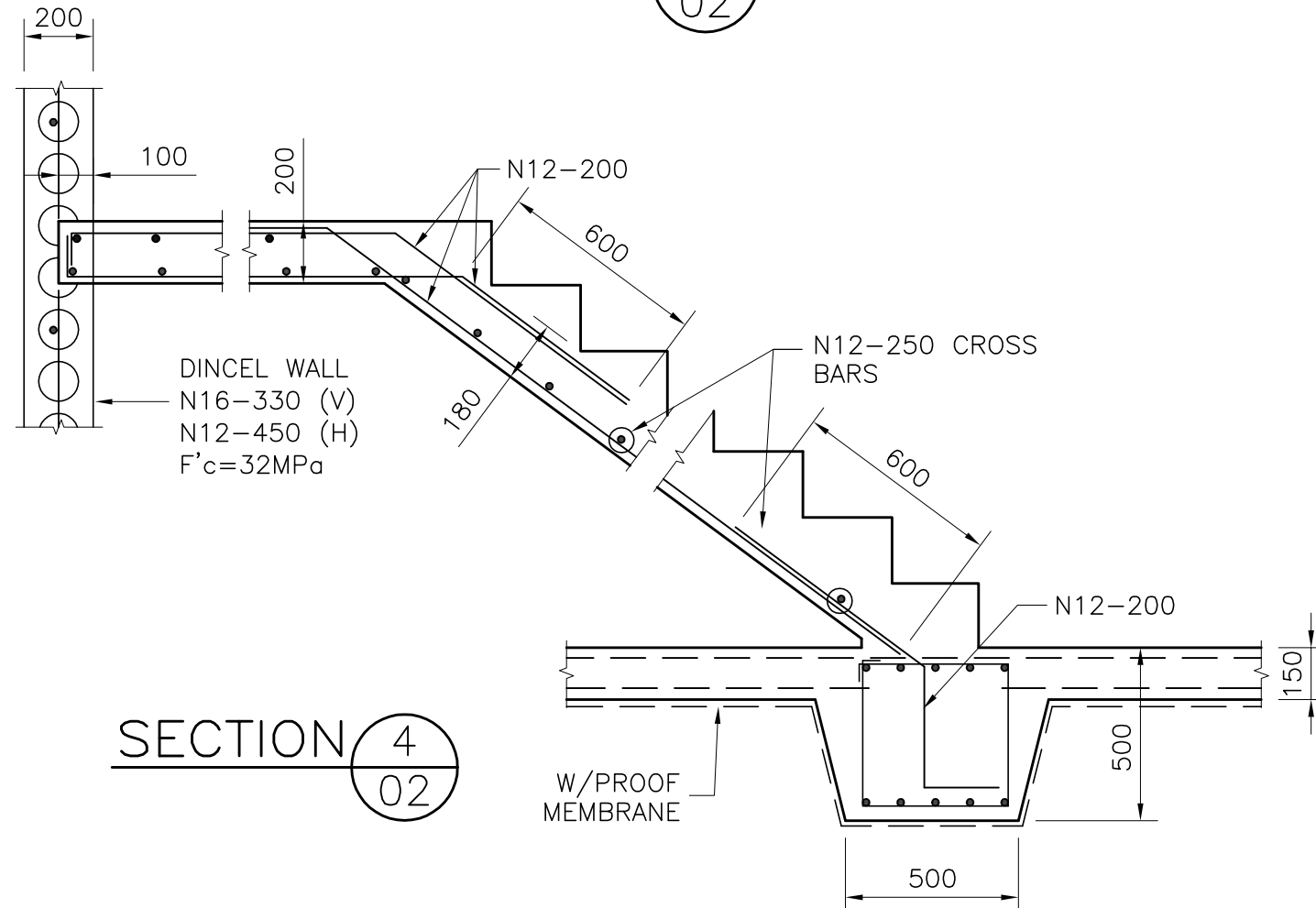
PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 1 DETAILS - SHEET 2

SCALE:	1:20 @ A3	CHECKED:	R.D.	DRAWING No:
DRAWN:	O.K.	APPROVED:		1239-S04
DATE:	28/07/2015	DATE:	28/07/2015	



SECTION 3
02



SECTION 4
02

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CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

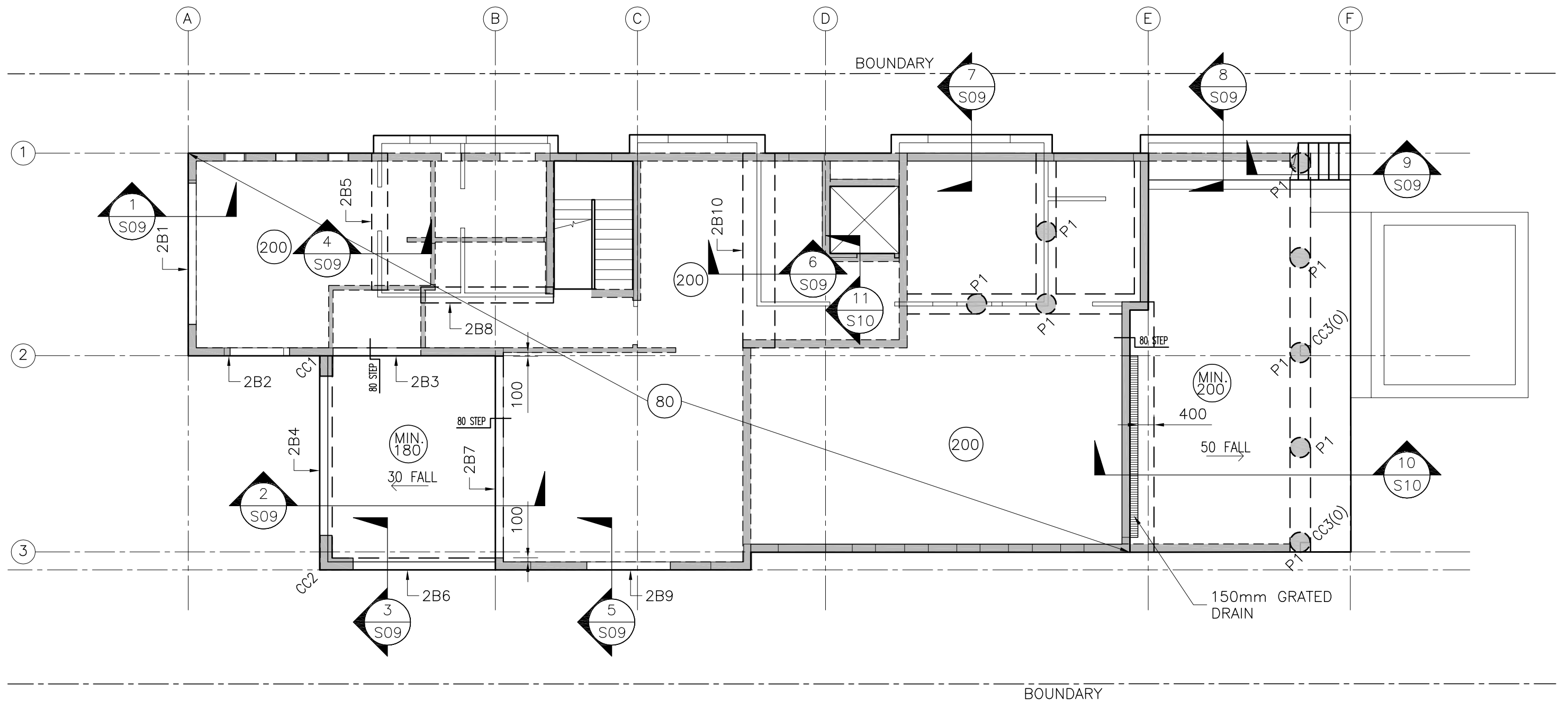
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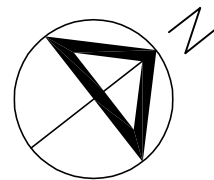
PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 1 DETAILS - SHEET 3

SCALE:	1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S05
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



LEVEL 2 FLOOR FRAMING PLAN



(200) INDICATES SLAB THICKNESS; $F'c=40MPa$

(80) INDICATES 80mm THICK TOPPING SLAB; SL81 TOP: $F'c=40MPa$
TO SUB-CONTRACTOR'S DETAILS

--- DENOTES LOAD-BEARING WALLS UNDER

— DENOTES NEW WALLS OVER

NOTE: ADD "XYPEX" OR EQUIVALENT WATERPROOFING TO ALL
EXPOSED CONCRETE SURFACES.

LEVEL 2 MEMBER SCHEDULE

MARK	SIZE
2B1, 2B2, 2B3, 2B7, 2B9	700D x 200W REINFORCED CONCRETE BEAM
2B4, 2B6	MIN. 680D x 300W REINFORCED CONCRETE BEAM
2B5, 2B8	400D x 400W REINFORCED CONCRETE BEAM
2SB10	400D x 800W REINFORCED CONCRETE BEAM

**ISSUED FOR
CONSTRUCTION
CERTIFICATE**

R. Balas Consulting P/L

CONSULTING CIVIL / STRUCTURAL ENGINEERS

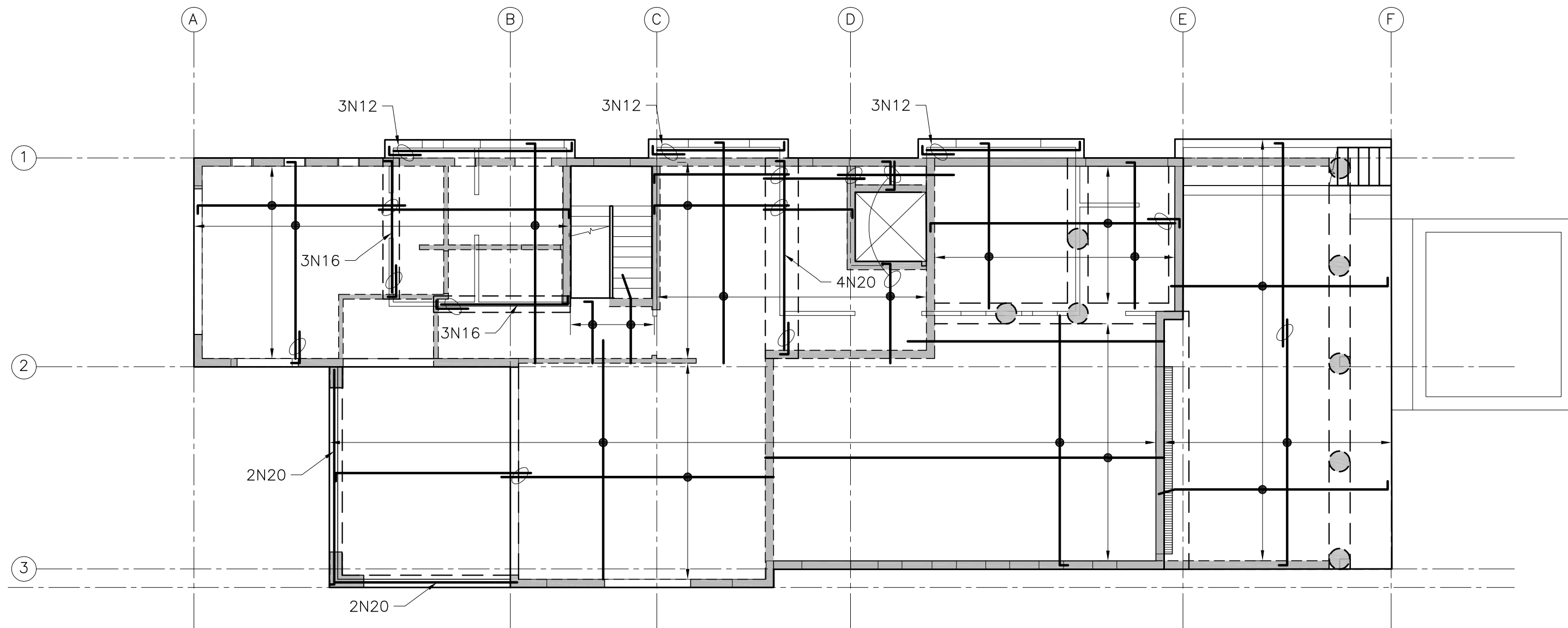
ABN 18 162 652 280

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E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 FLOOR FRAMING PLAN

SCALE:	1:100;1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S06
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



LEVEL 2 BOTTOM REINFORCEMENT PLAN

REINFORCEMENT TO BE N12-250 AS SHOWN

→ REINFORCEMENT TO BE
LAID FIRST AND LAST

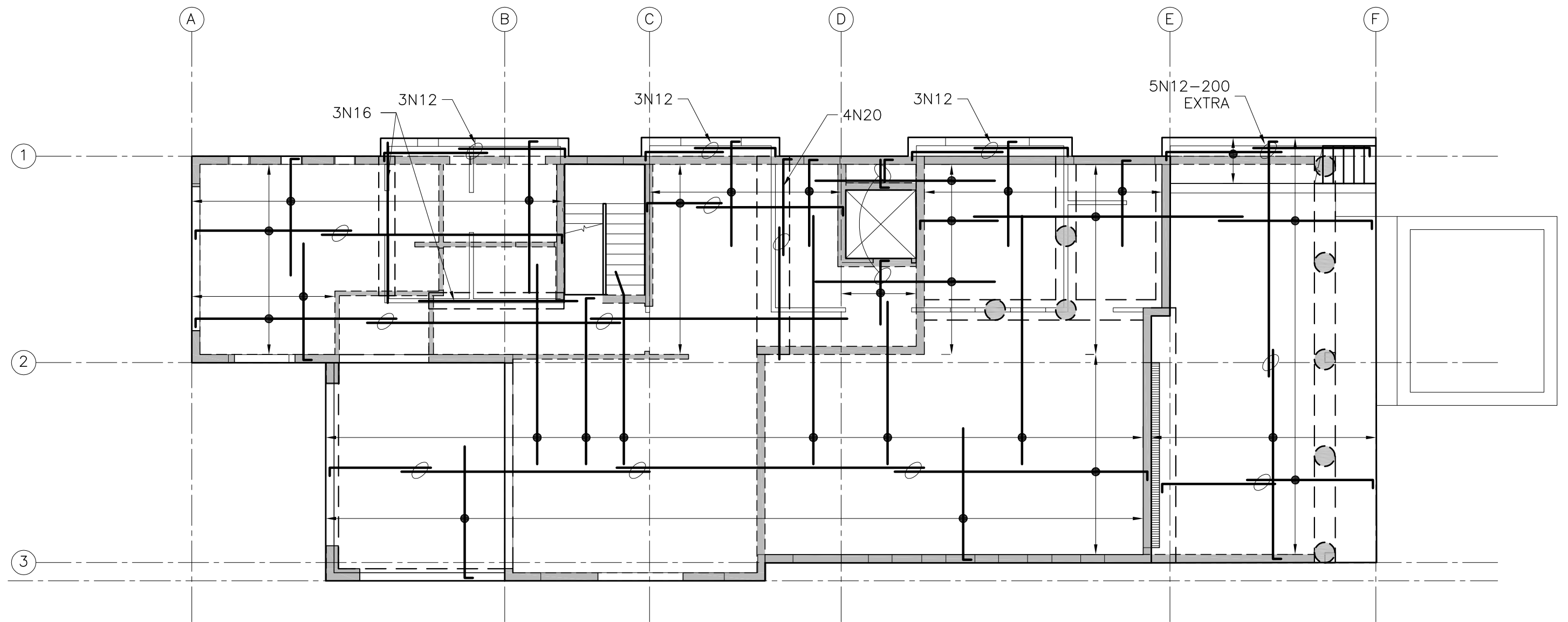
**ISSUED FOR
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CERTIFICATE**

R. Balas Consulting P/L
CONSULTING CIVIL / STRUCTURAL ENGINEERS
ABN 18 162 652 280
43 AVOCA STREET RANDWICK NSW 2031
TEL: (02) 9399 7762 FAX: (02) 9399 5031 MOB: 0418 477 073
E: raphael@rbalasconsulting.com.au

PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 BOTTOM REINFORCEMENT PLAN

SCALE:	1:100;1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S07
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



LEVEL 2 TOP REINFORCEMENT PLAN

REINFORCEMENT TO BE N12-250 AS SHOWN

↗ REINFORCEMENT TO BE
LAID FIRST AND LAST

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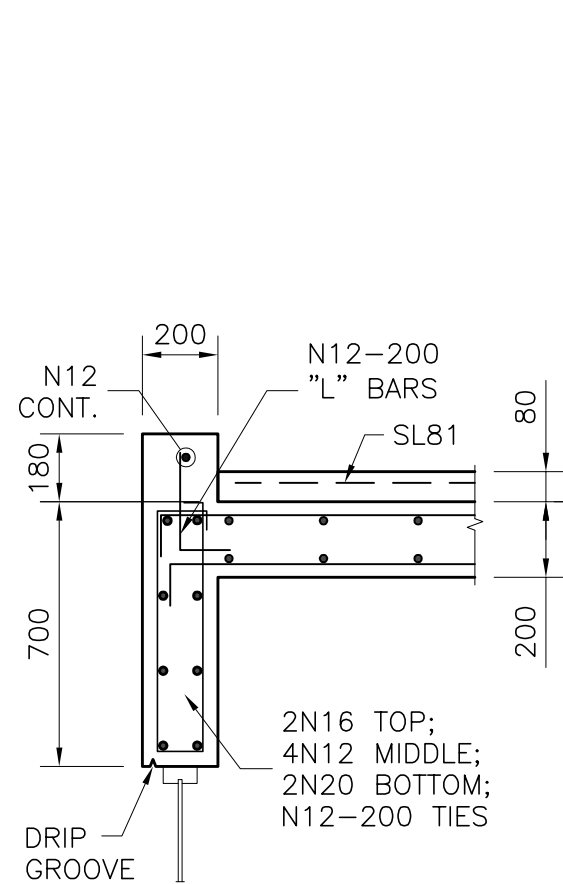
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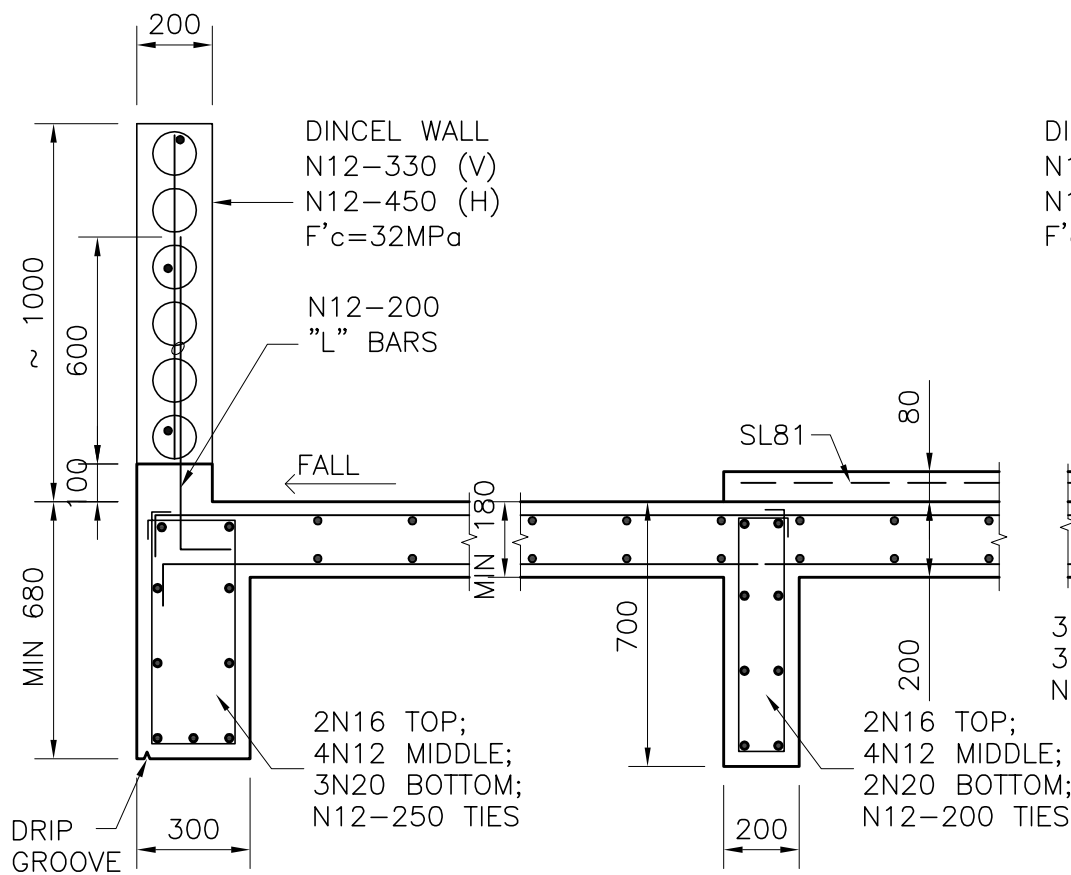
PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 TOP REINFORCEMENT PLAN

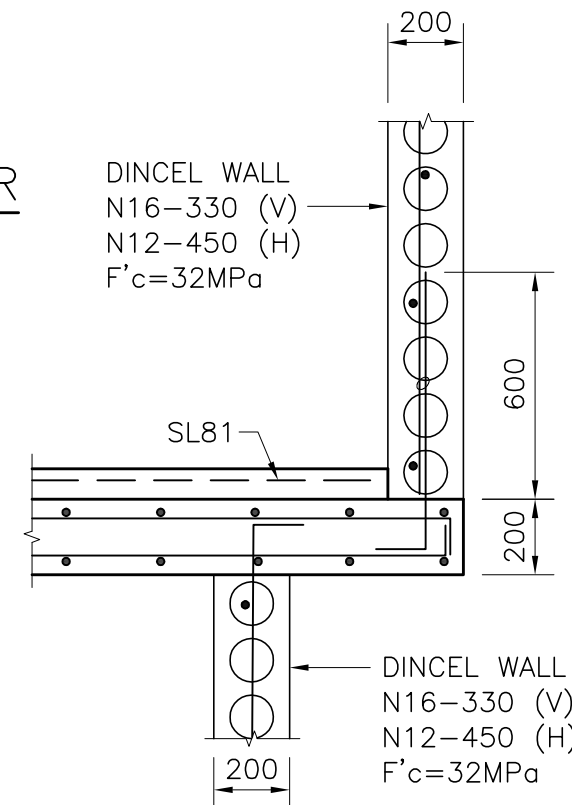
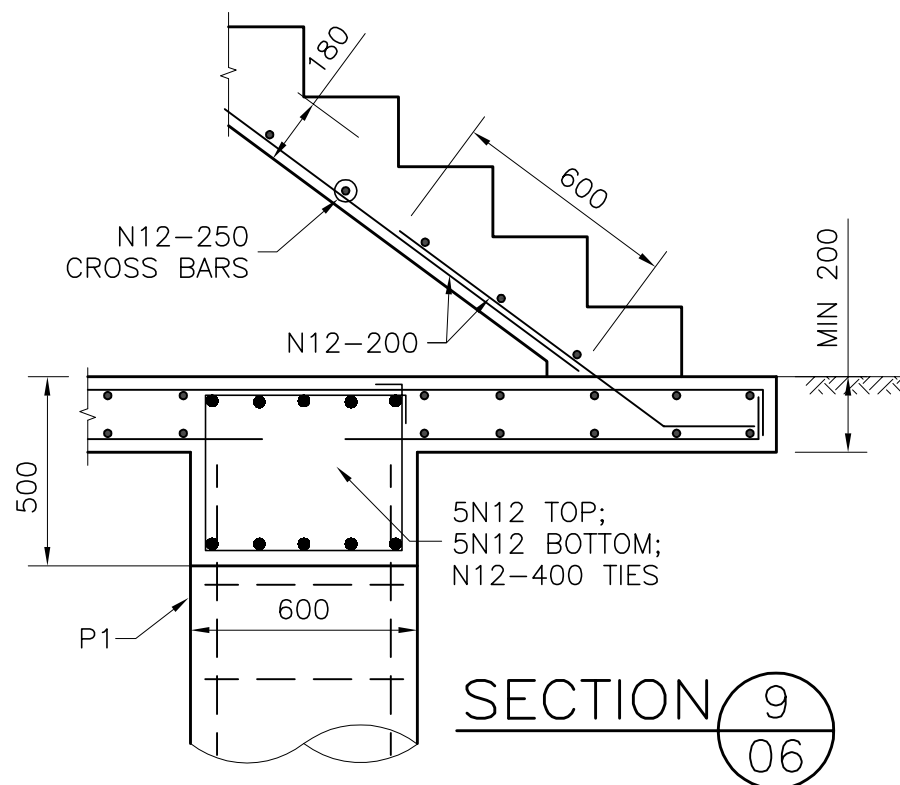
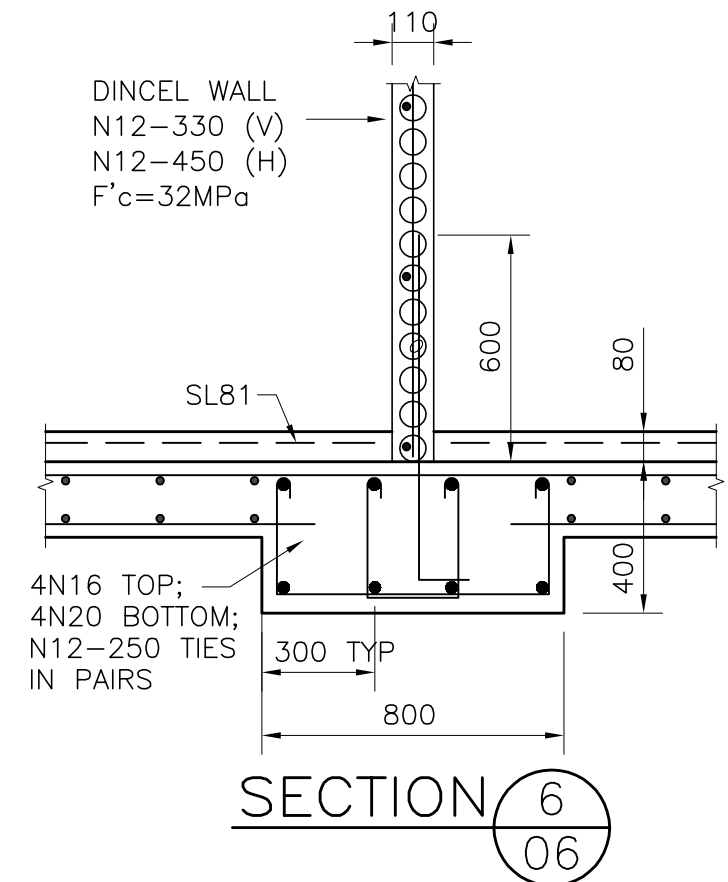
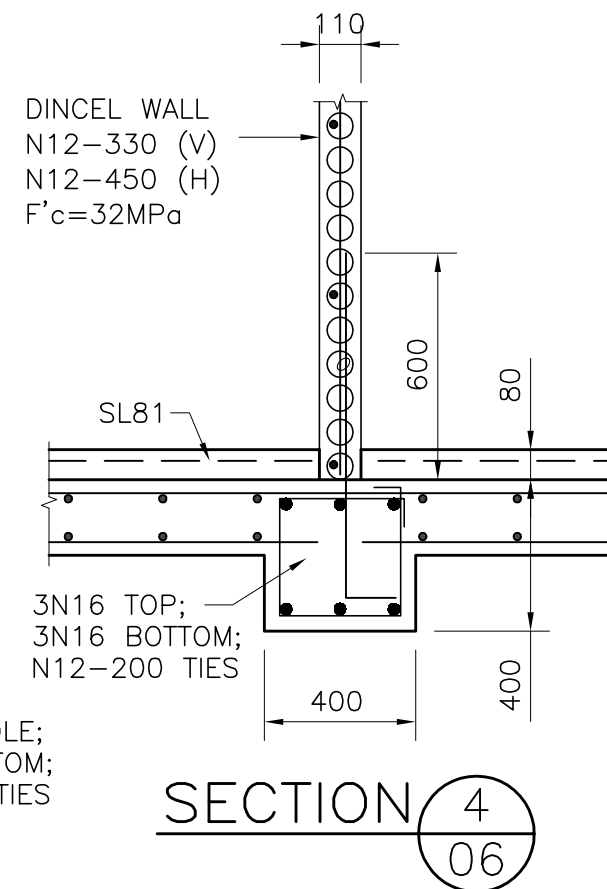
SCALE:	1:100;1:20 @ A3	CHECKED:	R.D.	DRAWING No: 1239-S08
DRAWN:	O.K.	APPROVED:		
DATE:	28/07/2015	DATE:	28/07/2015	



SECTION 5
06 SIMILAR



SECTION 3
06 SIMILAR



SECTION 8
06 SIMILAR

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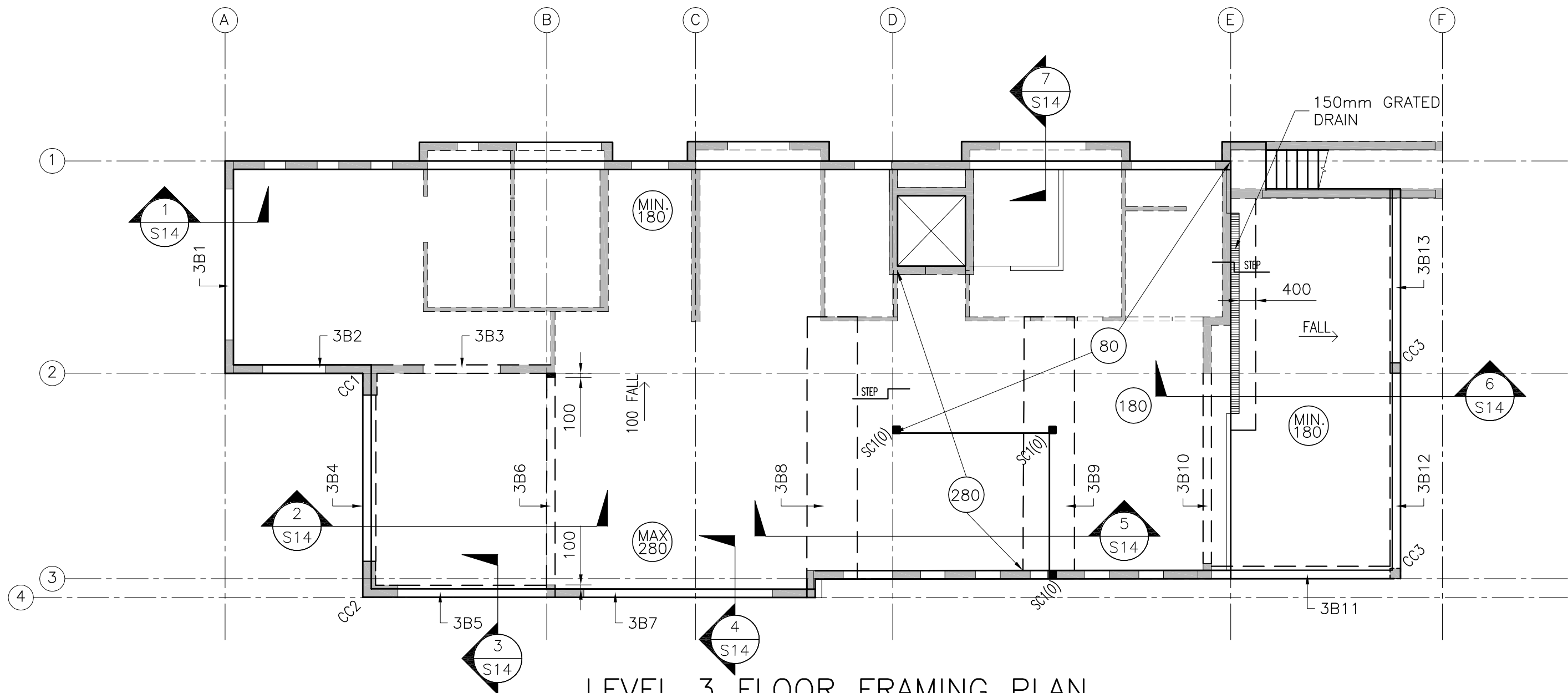
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PROJECT:
NEW DWELLING
AT 14 BASSETT STREET, MONA VALE

LEVEL 2 DETAILS SHEET 1

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DATE:	28/07/2015	DATE:	28/07/2015	



LEVEL 3 FLOOR FRAMING PLAN

(180) INDICATES SLAB THICKNESS; $F'c=40MPa$ U.N.O.

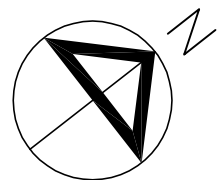
(80) INDICATES 80mm THICK TOPPING SLAB; SL81 TOP: $F'c=40MPa$ TO SUB-CONTRACTOR'S DETAILS

--- DENOTES LOAD-BEARING WALLS UNDER

— DENOTES NEW WALLS OVER

SC1(0) = SC1 OVER

NOTE: ADD "XYPEX" OR EQUIVALENT WATERPROOFING TO ALL EXPOSED CONCRETE SURFACES.



LEVEL 3 MEMBER SCHEDULE

MARK	SIZE
SC1	100 x 9 SHS
3B1,3B2,3B3,3B6,3B7,3B11	MIN. 680D x 200W REINFORCED CONCRETE BEAM
3B4,3B5	MIN. 680D x 300W REINFORCED CONCRETE BEAM
3B8,3B9	400D x 1300W REINFORCED CONCRETE BEAM
3B10	400D x 700W REINFORCED CONCRETE BEAM
3B12,3B13	400D x 300W REINFORCED CONCRETE BEAM

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AT 14 BASSETT STREET, MONA VALE

LEVEL 3 FLOOR FRAMING PLAN

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