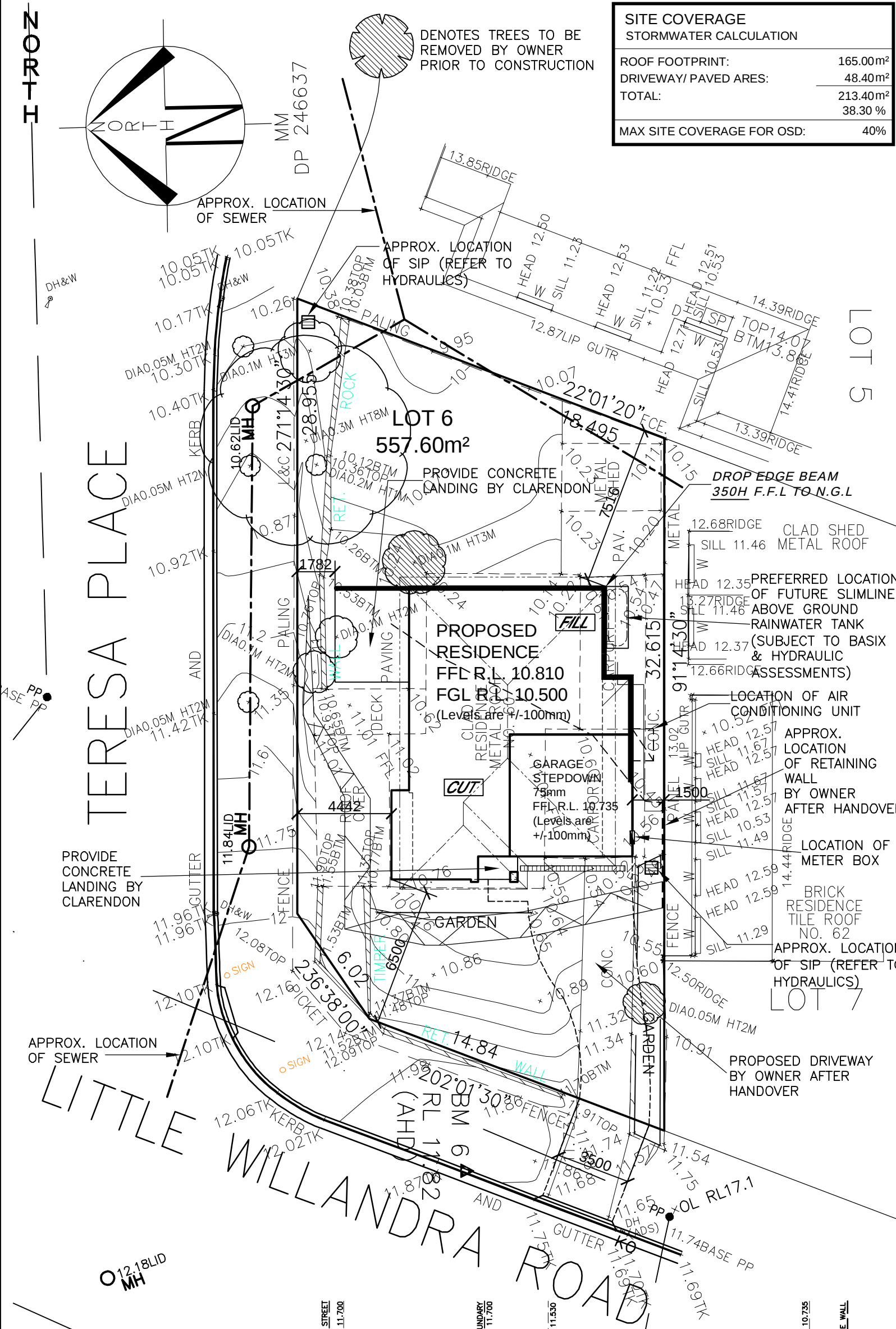




SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	165.00m²
DRIVEWAY/ PAVED AREAS:	48.40m²
TOTAL:	213.40m²
	38.30 %
MAX SITE COVERAGE FOR OSD:	40%

LOT 6
D.P: 246637
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA	557.60 m²
ROOF AREA	166.26 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	306.88 m² 60.06 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	177.73 m²
MIN. REQUIRED BY COUNCIL:	60 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	
WIND CLASSIFICATION:	"N2"
SLAB CLASSIFICATION:	"M"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

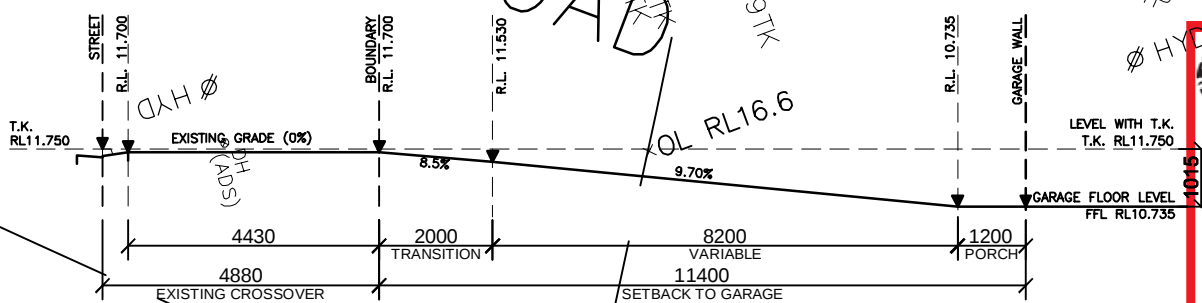
STORMWATER TO
STREET VIA
RAINWATER TANK
REFER TO HYDRAULIC DETAILS

SITE PLAN

SCALE 1:200

GENERAL NOTES

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE-N.T.S

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1439

5.4
NATIONAL HOUSE
60.4
www.northernbeaches.gov.au

0005295944 14 Oct 2020
Assessor: [Signature]
Address: 60 Little Willandra Road, Cronin, NSW, 2099

ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: BRONTE 28 Classic R/H Garage Sapphire Specification	CLIENT: Mr. ELKS Mrs. ELKS	DA DRAWINGS		
			SITE ADDRESS: Lot 6 No. 60 Little Willandra Road CROMER, 2099	DRAWN: SM	DATE: 13.08.20	Rev: D
				RATIO @ A3: 1:200	CHECKED: BG	
				SHEET: 2	JOB No: 29914534	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

SP STEEL POST

TSP TELESCOPIC STEEL POST

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

⊗ LIFT OFF HINGES

ARTICULATION JOINTS TO ENGINEERS DETAILS

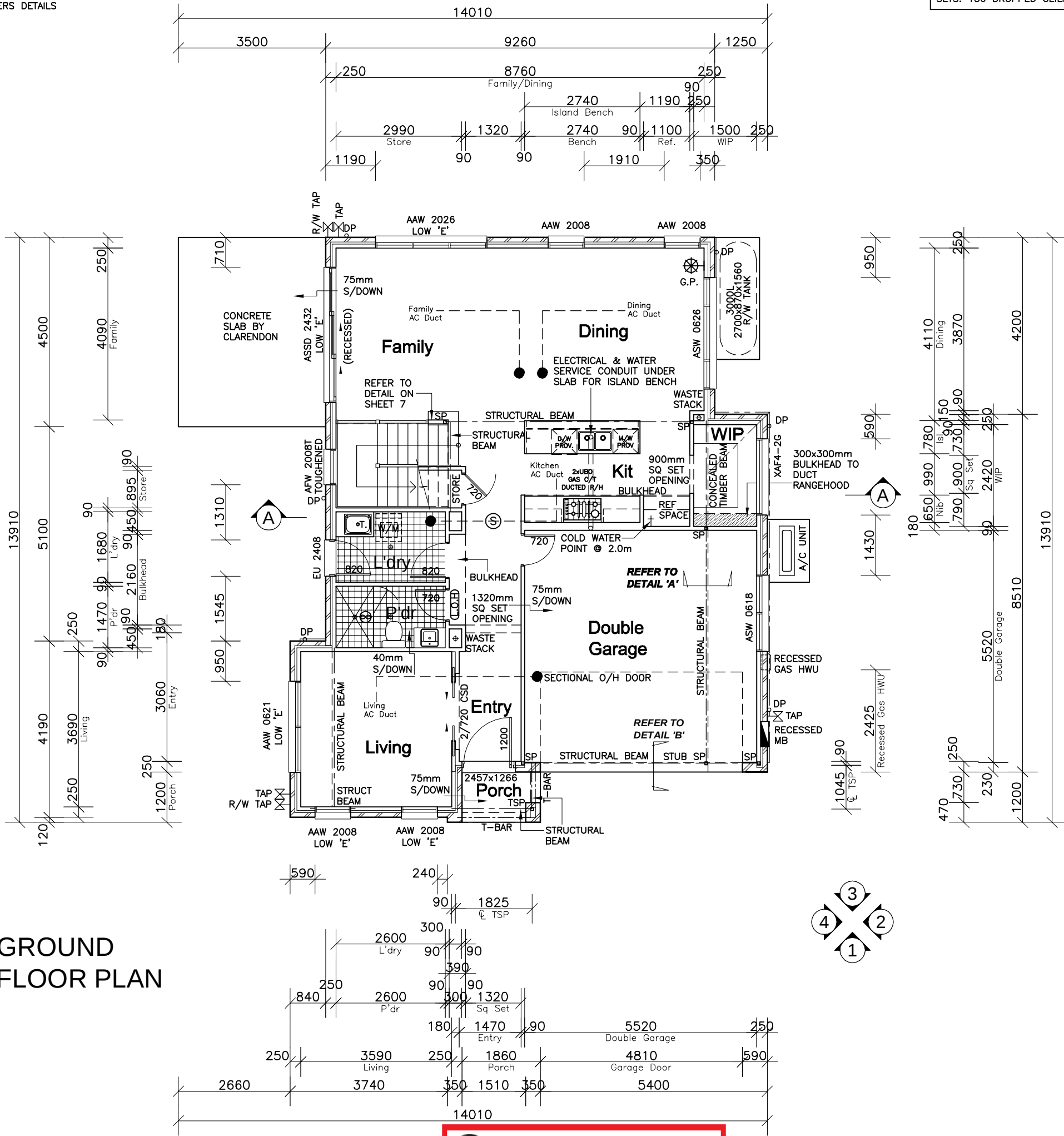
NOTE:
ALL INTERNAL DRAINAGE POINTS
INDICATIVE ONLY. POSITION TO BE
DETERMINED ON SITE

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE
SHELVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS



GROUND
FLOOR PLAN



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1439



CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706

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21 Solent Circuit, Baulkham Hills NSW 2153
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IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 28
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. ELKS
Mrs. ELKS

SITE ADDRESS:
Lot 6 No. 60
Little Willandra Road
CROMER, 2099

DA DRAWINGS

DRAWN: PG.	DATE: 03.09.20	Rev: D
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 3	JOB No: 29914534	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

DP ○ DOWN PIPE LOCATION

⌋ LIFT OFF HINGES

SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⌋ 400x200mm EAVE VENT

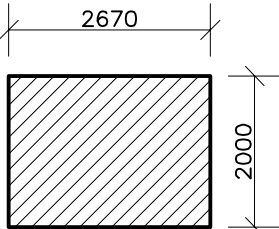
NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 10 FOR DETAILS

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

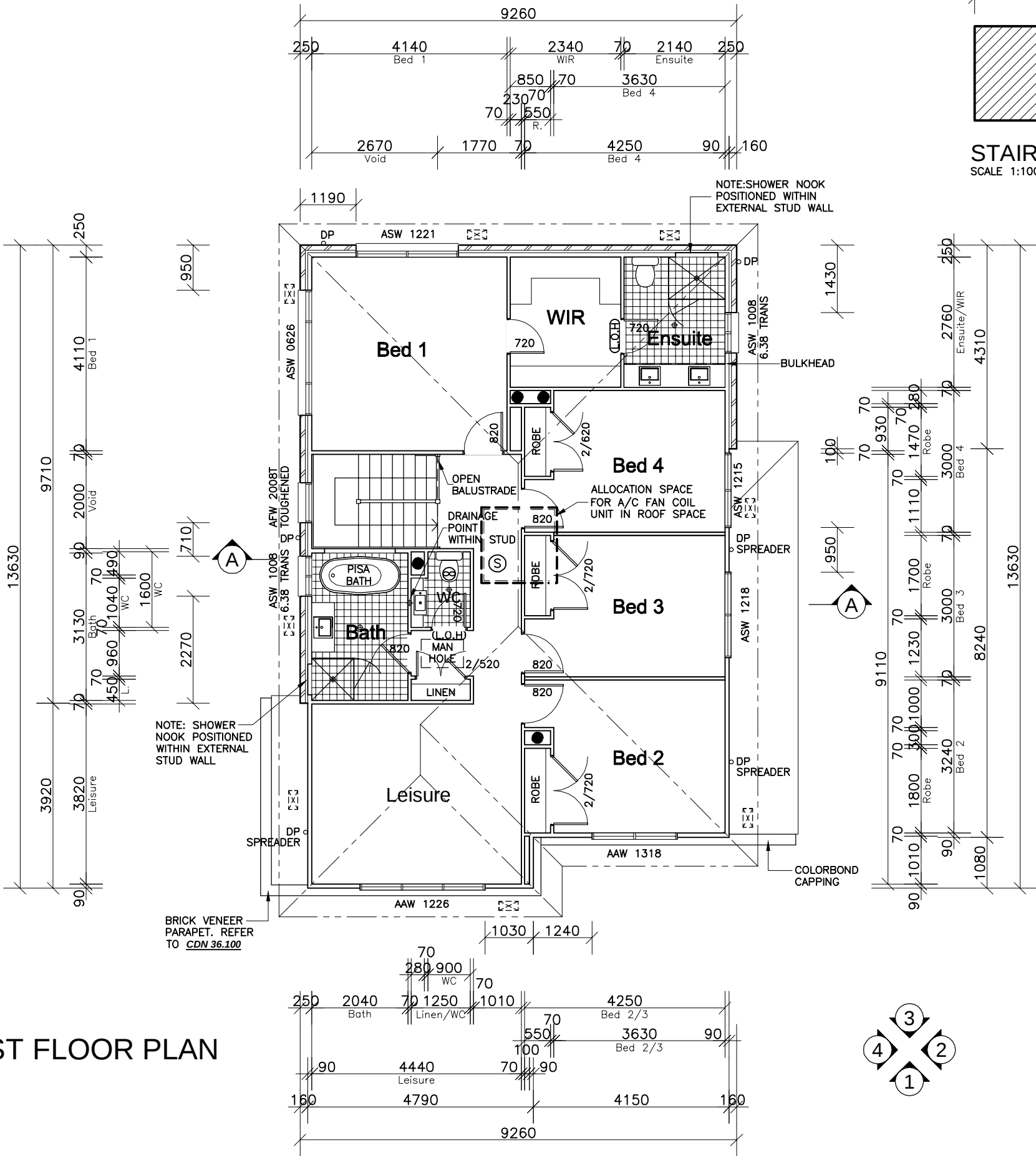
NOTE:
ALL INTERNAL DRAINAGE POINTS
INDICATIVE ONLY. POSITION TO BE
DETERMINED ON SITE

NOTE:
ALL FIRST FLOOR BEDROOM & LIVING
WINDOWS TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT
WITH PART 3.9.2.5 OF THE B.C.A -
PROTECTION OF OPENABLE WINDOWS

PROVIDE ACOUSTIC WALL BATTS
TO ALL INTERNAL WALLS TO THE
FIRST FLOOR



STAIR CUTOUT
SCALE 1:100



FIRST FLOOR PLAN

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
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DA2020/1439



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BRONTE 28
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. ELKS
Mrs. ELKS

SITE ADDRESS:
Lot 6 No. 60
Little Willandra Road
CROMER, 2099

DA DRAWINGS

DRAWN: PG.	DATE: 03.09.20	Rev: D
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 4	JOB No: 29914534	NSW

NOTE:
ALL WINDOWS WITH BRICKWORK
OVER TO HAVE MINIMUM OF 3
COURSES ABOVE LINTEL. EXTEND
BRICKWORK ABOVE EAVE SOFFIT
LINING IF REQUIRED

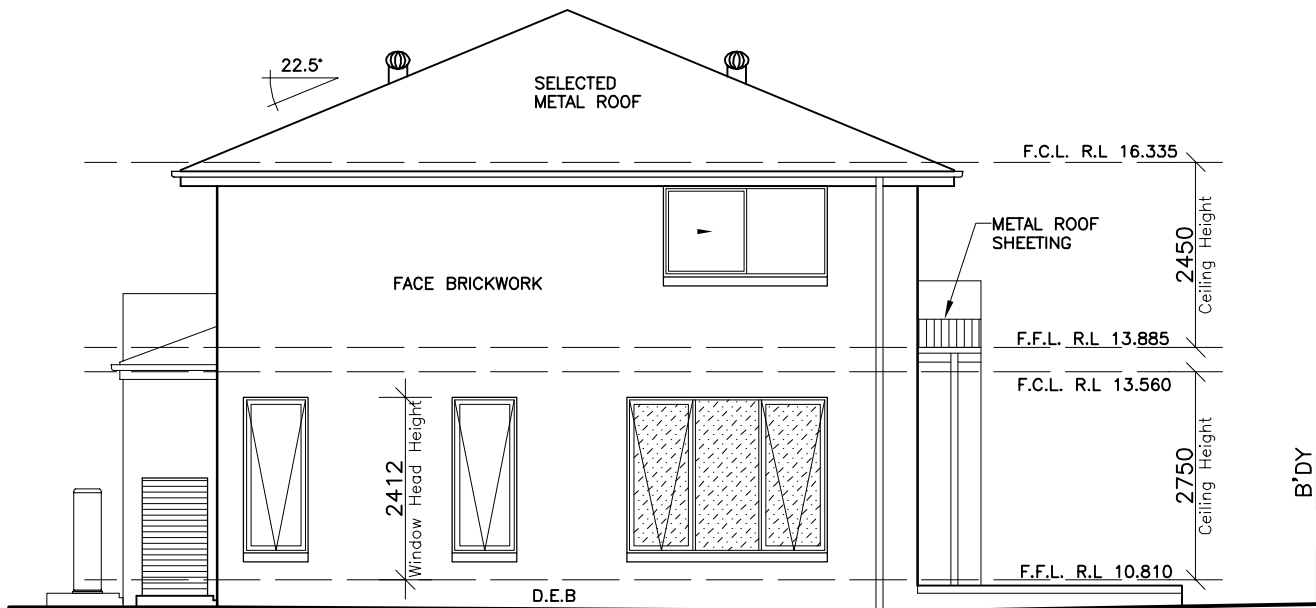
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

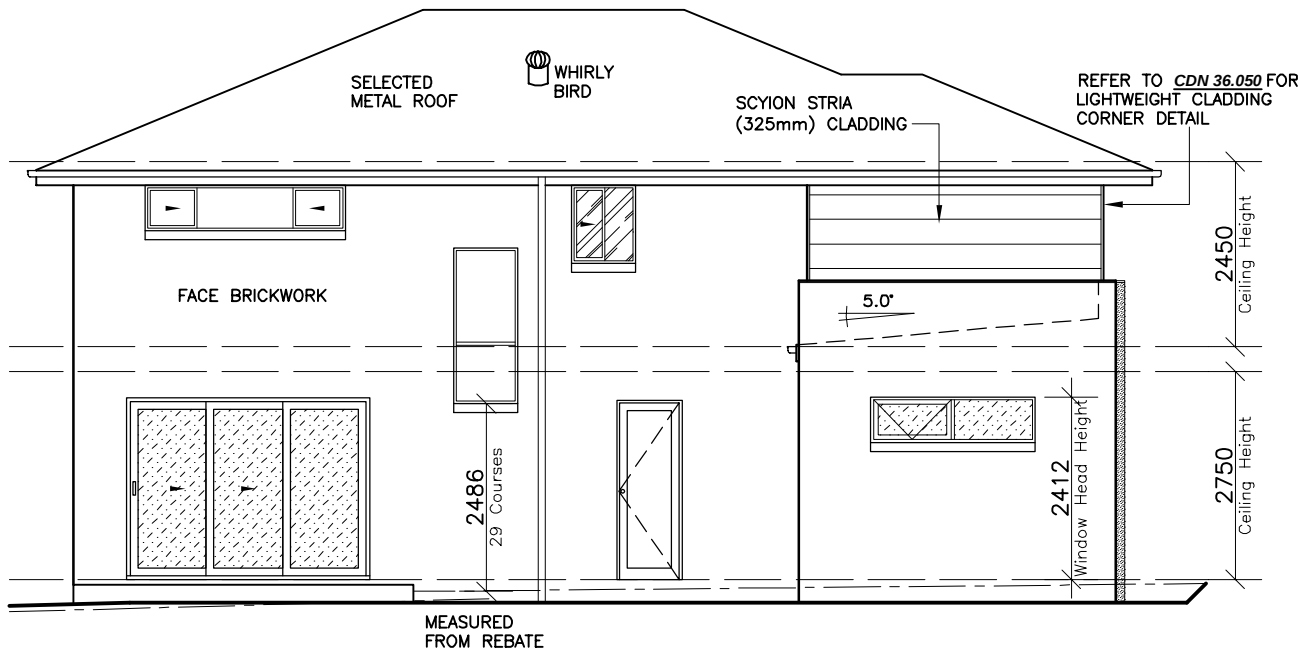
DENOTES WINDOWS WITH
LOW 'E' GLAZING

DENOTES WINDOWS WITH
6.38MM TRANSLUCENT
LAMINATED GLAZING

Render Hatch 1



ELEVATION 3
-EAST-



ELEVATION 4
-NORTH-



**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2020/1439



CLIENT'S SIGNATURE: _____ DATE: _____

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BL No. 2298C
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Classic
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CLIENT:
Mr. ELKS
Mrs. ELKS

SITE ADDRESS:
Lot 6 No. 60
Little Willandra Road
CROMER, 2099

DA DRAWINGS

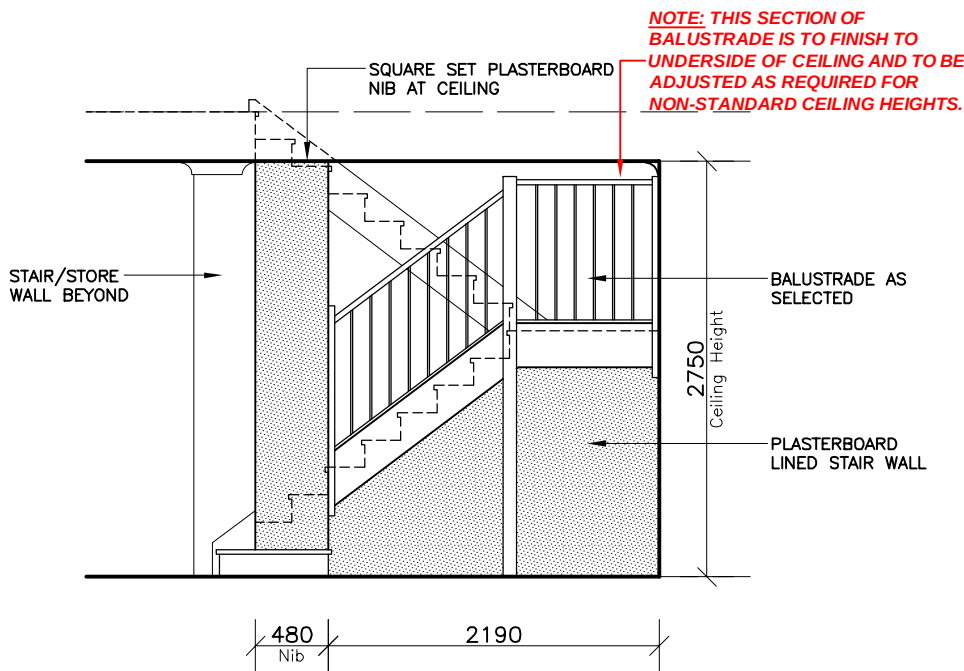
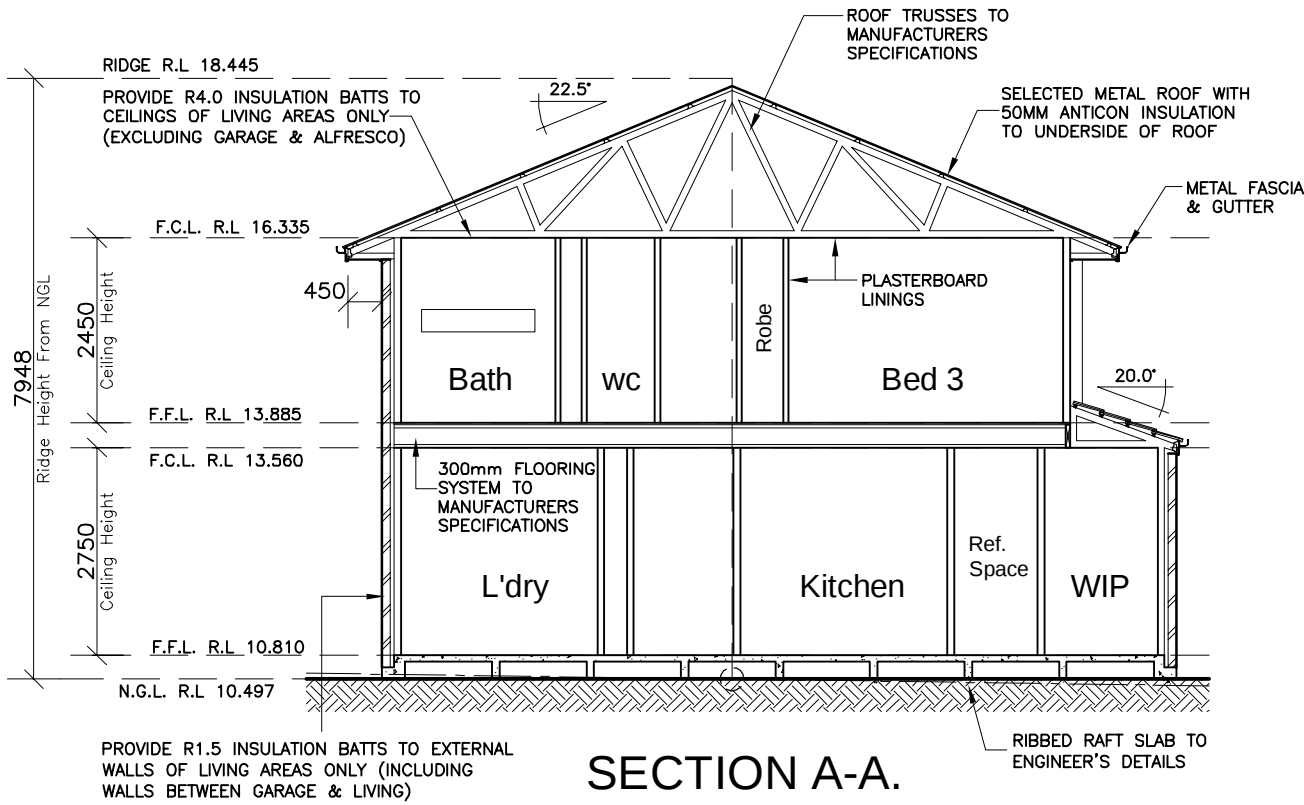
DRAWN: PG.	DATE: 03.09.20	Rev: D
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 6	JOB No: 29914534	NSW

NOTE:
ALL WINDOWS WITH BRICKWORK
OVER TO HAVE MINIMUM OF 3
COURSES ABOVE LINTEL. EXTEND
BRICKWORK ABOVE EAVE SOFFIT
LINING IF REQUIRED

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
PROVIDE 2.5 (90mm) HEIGH DENSITY
GLASSWOOL BATTS TO BETWEEN
FLOORS.

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



STAIR ELEVATION
VIEWED FROM FAMILY
SCALE 1:50

 **northern beaches council**

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CONSENT**

DA2020/1439



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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21 Solent Circuit, Baulkham Hills NSW 2153
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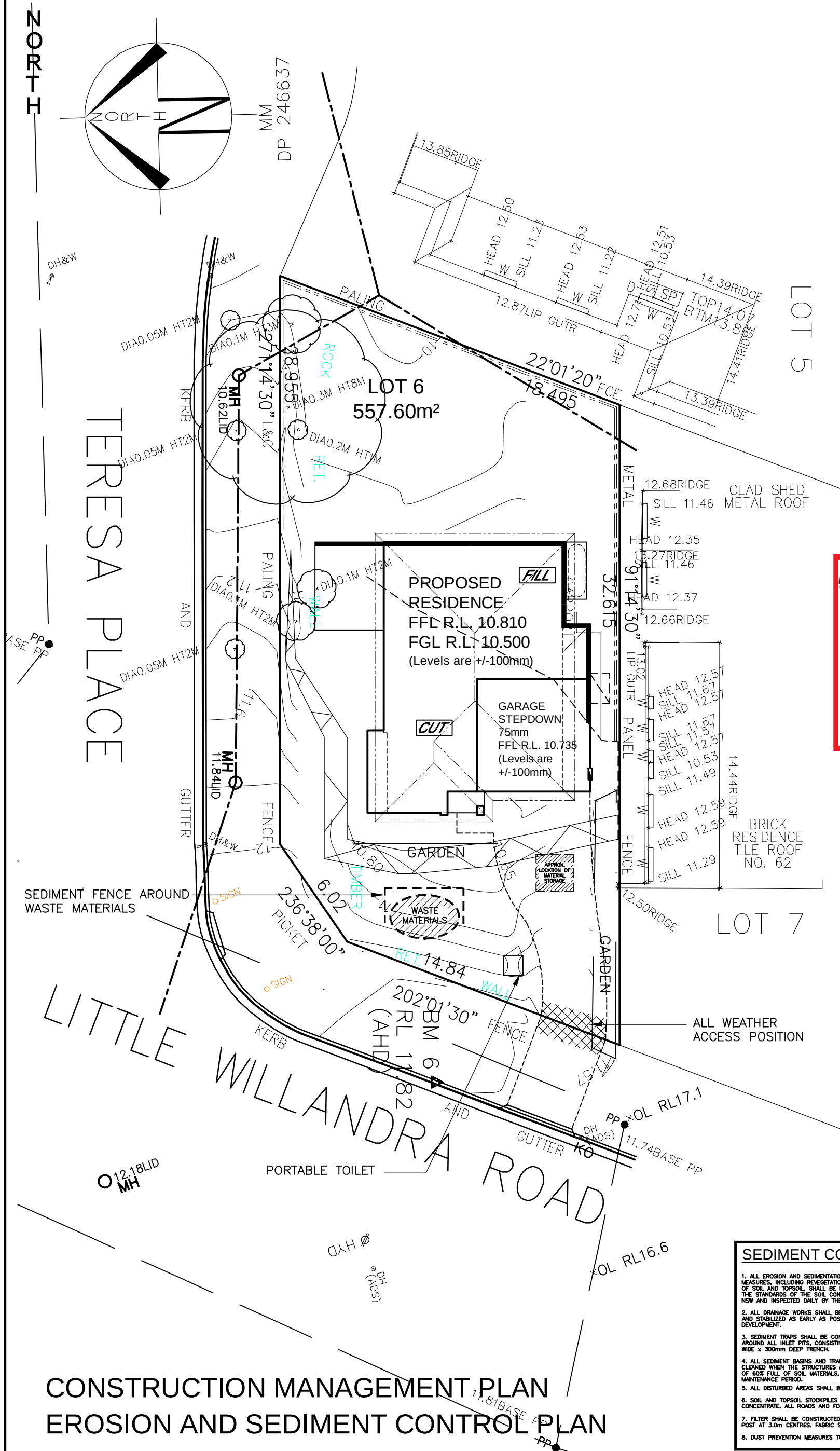
PRODUCT:
BRONTE 28
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. ELKS
Mrs. ELKS

SITE ADDRESS:
Lot 6 No. 60
Little Willandra Road
CROMER, 2099

DA DRAWINGS			
DRAWN: PG.	DATE: 03.09.20	Rev: D	
RATIO @ A3: 1:100	CHECKED: MCA		
SHEET: 7	JOB No: 29914534	NSW	



LOT 6
D.P: 246637
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

 **northern
beaches
council**

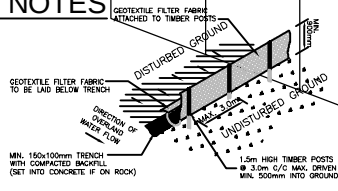
**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2020/1439

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES



- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BAGS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

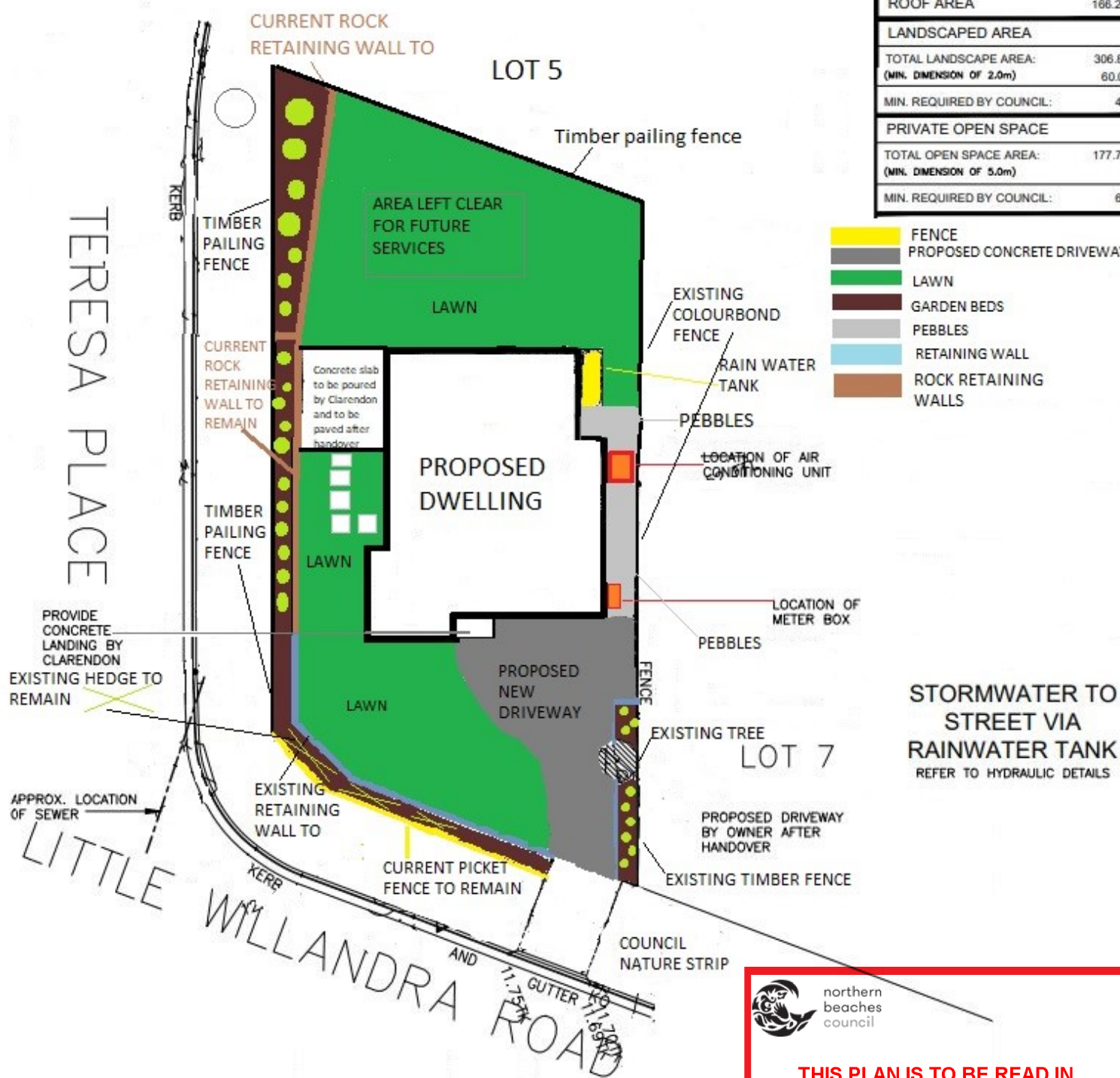
CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____		DATE: _____				
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT:	CLIENT:	DA DRAWINGS		
		BRONTE 28 Classic R/H Garage Sapphire Specification	Mr. ELKS Mrs. ELKS SITE ADDRESS: Lot 6 No. 60 Little Willandra Road CROMER, 2099	DRAWN: PG.	DATE: 03.09.20	Rev: D
				RATIO @ A3: 1:200	CHECKED: MCA	
			SHEET: 2.1	JOB No: 29914534	NSW	

LOT 6
D.P: 246637
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA	557.60 m ²
ROOF AREA	166.26 m ²
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TOTAL LANDSCAPE AREA:	306.88 m ²
(MIN. DIMENSION OF 2.0m)	60.06 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	177.73 m ²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 m ²



STORMWATER TO
STREET VIA
RAINWATER TANK
REFER TO HYDRAULIC DETAILS



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CONSENT**

DA2020/1439

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DA2020/1439

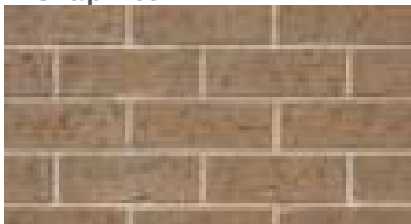
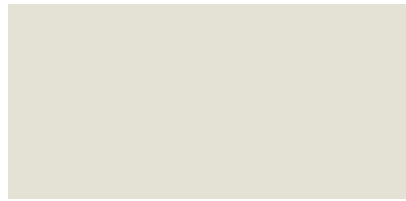
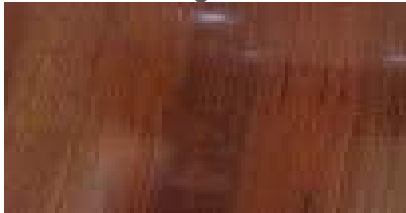
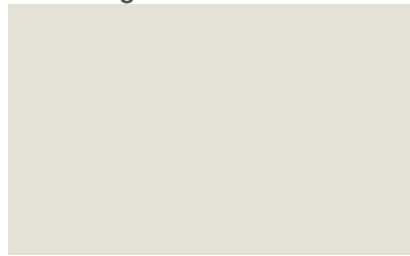
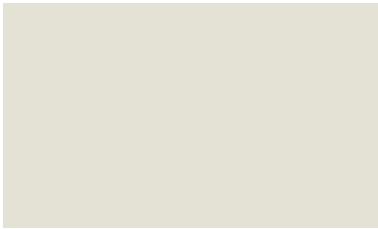
LIFESTYLE

STUDIO

BY CLARENDON HOMES

Client:	Mr. Clive Peter Elks & Mrs. Leah Betty Elks		
Site Address:	Lot 6, 60 Little Willandra Road CROMER NSW 2099		
Job Number:	29914534	House Type:	Bronte 28 – Classic
Date Issued:	13.10.2020	Developer:	No Developer

Roof BASIX Rating:	Dark	Wall BASIX Rating:	Medium
---------------------------	------	---------------------------	--------

Main Brick: PGH, Elements – Graphite 	Applied Render Colour: Grey Street T12 9.F8 	Roof Style: Colorbond – Basalt 
Window Frame Colour: Surfmist Matt 	Gutter: Basalt Fascia: Basalt 	Downpipes: Surfmist Watertank: Basalt 
Front Entry Door Colour: Clarendon Light Stain 	Cladding: Surfmist CB 23 	Garage Door Type: Flatline Colour: Surfmist 
	Driveway Type: *By client after handover	Letterbox: To compliment facade *By client after handover

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature <i>Mr & Mrs Elks</i>	Date 13/10/2020 7:59 PM AEDT
--	--