



PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

Environmental Planning and Assessment Act 1979 Section 109C
EP&A Regulation 2000 Clauses 139 (1) and 148

PO Box 882 Mona Vale NSW 1660

Tel (612) 9970 1111

Fax (612) 9970 7150

Internet www.pittwaterlga.com.au

Email pittwater_council@pittwater.nsw.gov.au

Please tick one

- ☒ New Construction Certificate
☐ Modification of previously issued
Construction Certificate

CC 0221/09

SITE DETAILS

Unit/Suite 7	Street No 13	Street Waratah
Suburb Mona Vale		Lot No
		Deposit /Strata Plan

DEVELOPMENT CONSENT

Development Application No N 0058/09	Determination Date
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APPLICANT DETAILS

Name/Company MARLOS KRAIVER	Contact Person O MARLOS
Postal Address 16 Hunter St South WARRIEWOOD 2102	Contact Numbers Phone (H/B) Mobile 0410 146 708 Fax 9944 6804
Signature of Applicant <i>[Signature]</i>	Date 15/7/09

OWNERS DETAILS

Name Belfeat Pty Ltd	If Company, contact person Eric Togle
Postal Address 61 Richard Rd Barnsley	Contact Numbers Phone (H/B) 9738 6121 Mobile 0411 625 741 Fax 9708 0122
As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.	

Signature of Owners

Date

17/07/09

If more than one owner every owner must sign. If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land the current owner is to sign the application.

17 JUL 2009



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CC 0221109

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DEVELOPMENT DETAILS

Type of Work	☒ Building Work
OR	
	☐ Subdivision Work
Description of proposal – (Provide brief, concise details)	

WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder	
Owner Builders Permit No	
Copy of Owner Builders permit attached	☐ Yes ☐ No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia Tel 61 2 98950111 Fax 61 2 9895 0222</i>	

OR

☐ Licensed Builder	
Builder's License Number 18309	
Name of Builder ALEX woodley	Phone 99847090
Contact person ALAN KIP Pearce.	Mobile 0411 740 190
Address 13/3-5 Narrubeen 2101 NSW	Fax 99847090
Insurance Company	Insurance Certificate attached ☐ Yes ☐ No – to be provided with Notification of Commencement form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form</i>	

VALUE OF PROPOSED DEVELOPMENT

Value of Works	\$ 5,000	(including full cost of labour and materials)
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DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

☐ Yes	☒ No
Only required if the development involves building works exceeding \$25,000 00	

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	\$ 530
Modification of Construction Certificate Fee	TCER	
Long Service Levy Fee	QLSL	
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		\$530
Date of Receipt	Receipt No 262107	Accepted By Dialina
New Application Number issued (not required for modification of CC)		cc 0221 09

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to assess your proposal
Intended recipients	Council Staff/Consultants and any other relevant government agency that may be required to assess the proposal
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted not processed or rejected for lack of information
Storage	Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public
Retention period	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

APPLICANTS CHECK LIST

Note This list is intended as a guide to the type of information to be submitted Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application	
Application Form –	☒ Owners Consent ☒ Applicant s Signature ☐ Long Service Levy ☐ Driveway/Street levels Application
Supporting Documentation - (3 copies of each)	☒ Architectural Plans ☐ Quick Check Plans endorsed by Sydney Water ☐ Construction Specifications for Building Works ☐ Structural Engineer s Plans ☐ Structural/Geotechnical Certificates ☐ Landscape Plans ☐ Driveway Level Plans ☐ On-site Stormwater Detention Plans ☐ Drainage Plans on Site Storm Management ☐ Erosion and Sediment Management Plan ☐ Sydney Water Quick Check Plans ☐ Subdivision Work Plans ☐ Schedule of External Finishes/Colours ☒ Fire Safety Measures Schedule ☐ Form No 2 – ‘Geotechnical Risk Management Policy for Pittwater’ ☐ Details and location of fencing for Swimming Pool to comply with AS 1926-1986 ‘Fences and Gates for Private Swimming Pools’ ☐ Specifications for construction of buildings in Bushfire-prone areas ☐ Security Deposit / Section 94 contributions ☐ Building Code of Australia - Alternative solution report that has been peer reviewed by a separate suitably qualified person

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	8120 m ²	
Gross floor area of existing building?	Area in square metres	1200 m ²	
If no existing building write "NIL"			
What is the existing building or site used for at present?	Main uses	Restaurant	
	Other uses		
Does the site contain a dual occupancy?	☐ Yes	☒ No	
Gross floor area of proposed building?	Proposed floor area in square metres	81,2 m ²	
What will the proposed building to be used for?	Main uses	Restaurant	
	Other uses		
How many dwellings			
Are pre-existing at this property?	Dwellings		
Are proposed to be demolished?	Dwellings		
Are proposed to be constructed?	Dwellings		
How many storeys will building consist of?	Storeys		
What are the main building materials?			
Walls		Roof	
Full Brick	☒	Aluminium	☐
Brick veneer	☐	Concrete or slate	☒
Concrete masonry	☐	Tile	☒
Steel	☒	Fibrous cement	☐
Fibrous cement	☐	Steel	☒
Timber/weatherboard	☐	Other	☐
Cladding-aluminium	☐	Unknown	☐
Curtain glass	☐		
Other	☐		
Unknown	☐		
Floor		Frame	
Concrete	☒	Timber	☐
Timber	☐	Steel	☐
Other	☐	Other	☐
Unknown	☐	Unknown	☐



FORCEFIRE

DETECT ► SUPPRESS

FINAL/INTERIM FIRE SAFETY CERTIFICATE

-- (Form 15) --

Issued under the Environmental Planning and Assessment Regulations 1994 Clauses 80E & 80F

Type of Certificate See note 1 (over leaf)	☒ interim ☐ final
Certificate name contractor address See Note 2 (over leaf) assessment requirements See Note 3 (over leaf) relevant fire safety schedule	We Force Fire & Safety of P O Bcx 3374 Wetherill Park NSW 2164 certify that (a) each of the essential fire measures listed below - has been assessed by a person (chosen by me) who was properly qualified to do so and - was found when it was assessed to have been properly implemented and to be capable of performing to a standard not less than that required by the most recent fire safety schedule (copy attached) for the building for which the certificate issued (b) the information contained in this certificate is, to the best of my knowledge and belief true and accurate
Identification of building Location	Street Bungan Street Side Street - Nearest cross street - House/unit no or name Bungan Court Shopping centre
Particulars of building	Whole/part Part - Tenancy 7 - Pizzeria
Date of assessment	10 7 09
Owner's details name address	
Essential fire safety Measures See Note 3	Measure Standard of Performance Fire Sprinkler System AS2118 - 1999
Date of Certificate	10 7 09
Signature	 Contractor

Ref No 9829 doc

- A copy of this certificate together with the relevant fire safety schedule must be forwarded to the Council and the Commissioner of the New South Wales Fire Brigades
- A copy of this certificate together with the relevant fire safety schedule must be prominently displayed in the building

Note 1 An interim fire safety certificate or a final fire safety certificate is required before

- an interim occupation certificate can be issued to allow a partially completed new building (including an altered portion of, or an extension to a new building) to be occupied or used or
- an interim occupation certificate can be issued to allow a change of building use for part of an existing building

A final fire safety certificate is required

- before a final occupation certificate can be issued to allow a new building (including an altered portion of, or extension to a new building) to be occupied or used or
- before a final occupation certificate can be issued to allow a change of building use for an existing building, or
- in accordance with a fire safety order given by a Council

An **interim fire safety certificate** is issued for part of the building and may deal only with those essential fire safety measures appearing on the most recent fire safety schedule (see note 3) relevant to the part of the building for which an interim occupation certificate will be sought

A **final fire safety certificate** must deal with all essential fire safety measures appearing on the most recent fire safety schedule (see note 3) subject to the following

An **interim fire safety certificate** or a **final fire safety certificate** need not deal with those essential fire safety measures which have been subject of some other final fire safety certificate or annual fire safety statement within the previous 6 months unless the person or authority responsible for determining the relevant development consent, complying development certificate, construction certificate or fire safety order has specified otherwise in the Schedule

See also note 3

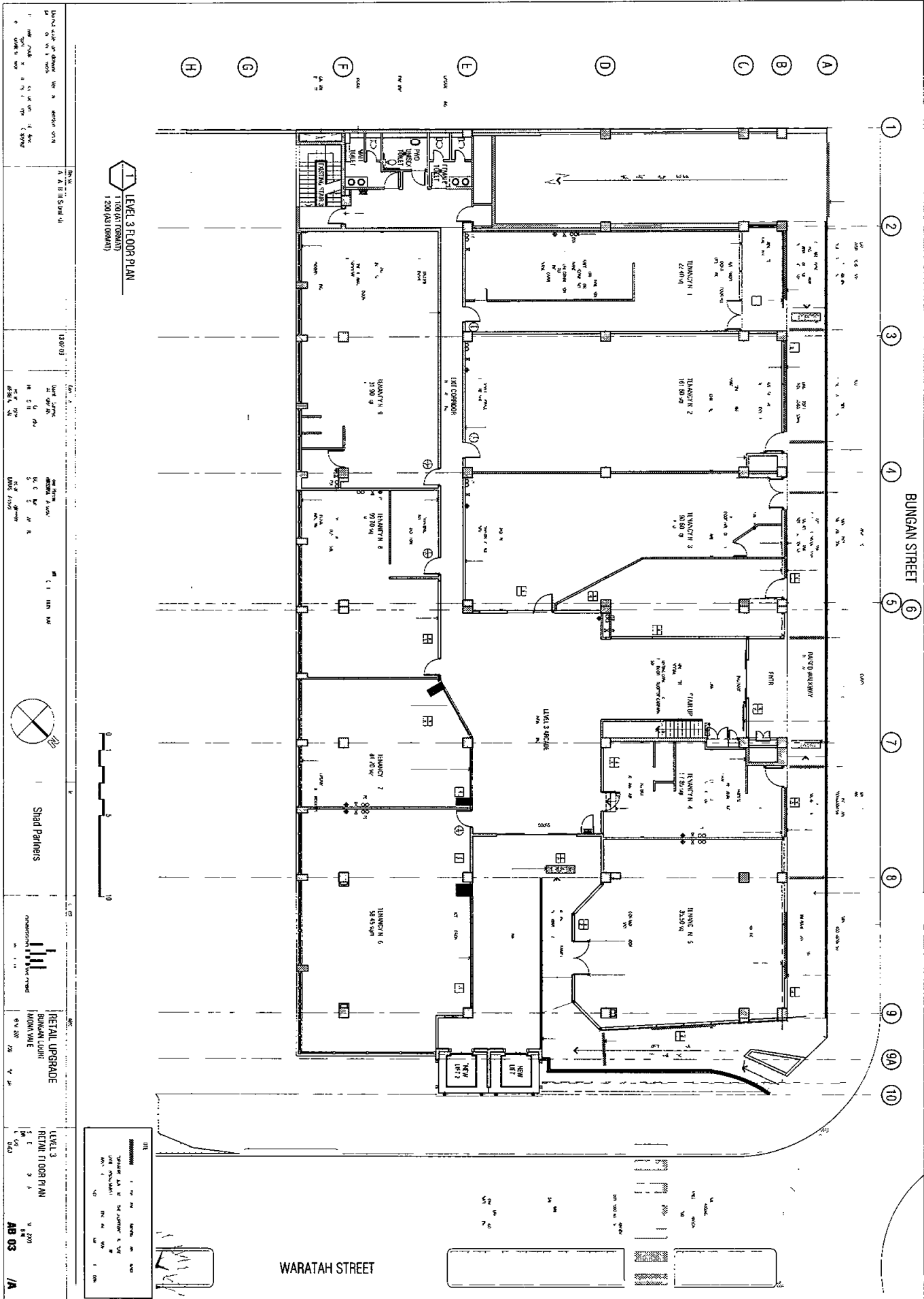
Note 2 The person who carries out the assessment

- must inspect and verify the performance of each safety measure being assessed and
- in the case of a (interim or final) fire safety certificate for a new building (not an alteration to, or enlargement or extension of an existing building) must test the operation of each item of fire safety equipment installed in the building

Note 3 The relevant essential fire safety measures are those specified in the most recent fire safety schedule, attached to one of the following

- development consent for a change of building use
 - complying development certificate for the erection of a building or a change of building use
 - construction certificate of proposed building work including building work associated with a change of building use or
 - a fire safety order
- The fire safety schedule will also identify the required standard of performance for each essential fire safety measure

Ref No 9829 doc



888

TRIPLE EIGHT

Maintenance Solutions Pty Ltd
2 HOSKINS AVENUE
BANKSTOWN NSW 2200

PH 9785 8400

FX 9785 8418

ABN 28 106 149 197
QBSA LIC NUMBER 1145446

MARLOS KRAINER
CANTINA TWO
BANGAN COURT
SHOP 13 WARATAH ST,
MONA VALE NSW 2103

28TH May 2009

Attn Marlos

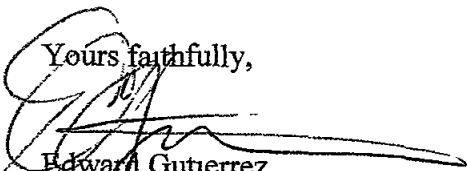
MECHANICAL VENTILATION

Dear Sir,

This is to certify that the Installation and fabrication of kitchen hoods ,ducting and all associated works regarding mechanical ventilation complies to Australian and New Zealand standards 1668 1 & 2

Should you require further information please do not hesitate to contact the undersigned

Yours faithfully,


Edward Gutierrez
QBSA LIC NO 1145423
BSMIEng

BUNGAN STREET

WARATAH STREET

1 LEVEL 3 FLOOR PLAN
1:100 (A1 FORMAT)
1:200 (A3 FORMAT)

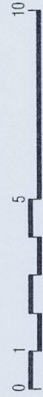
PRELIMINARY

Revision	Date	Consultant	Client	Architect	Project	Drawing
1 - Preliminary Submission 2 - New Tenancies Layout. Preliminary Issue.	25.11.08 10.12.08	Quantity Surveyor PAGE MORLAND Structural/Mechanical HUGHES TREHMAN Electrical Engineering WEBB AUSTRALIA	Town Planning WILLIAMS & Associates BGA Consulting STEVE WILSON & PARTNERS Mechanical Engineering ERBAS & Associates	Traffic COLLISON BUDH HUNT & KHAES	RETAIL UPGRADE BUNGAN COURT MONA VALE JOS NO 200 S7 GUS project2007157@pda.net.au	LEVEL 3 RETAIL FLOOR PLAN SCALE 1:100 @ A1 DRAWN ML APPROVED
Do not scale from drawings. Verify all dimensions on site prior to commencing work.						
This drawing should be read in conjunction with all relevant contracts, specifications, drawings and reports. Copyright is vested in donaldson worried Pty Ltd						
George Shad						NOVEMBER 2008 FOR INFORMATION A1-03 /2

BUNGAN STREET

WARATAH STREET

1 LEVEL 3 FLOOR PLAN
1:100 (A1 FORMAT)
1:200 (A3 FORMAT)



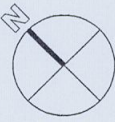
PRELIMINARY

NOTES

- NEW TOP HAMPER AND UNDER HAMPER ILLUMINATED SIGNAGES
- ALL NEW TOP HAMPER SIGNS FIXED TO THE SHUTTERHUE STRUCTURE
- ALL NEW UNDER HAMPER SIGNS FIXED TO THE SPOT OF EXISTING CONCRETE SLAB
- NEW CARPORT SIGN FIXED TO THE EXISTING CONCRETE SLAB
- INTERCHANGEABLE DIRECTORY SIGNS MOUNTED TO STEEL FRAME FIXED TO THE FLOOR

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENTAL CONSENT



George Shad

donaldson worrad
unit 303, 20 sale st brookvale n.s.w.
p 02 8807 1276 f 02 8807 2916

RETAIL UPGRADE
BUNGAN COURT
MONA VALE

LEVEL 3
RETAIL FLOOR PLAN
SCALE
DRAWN
CHECKED
APPROVED

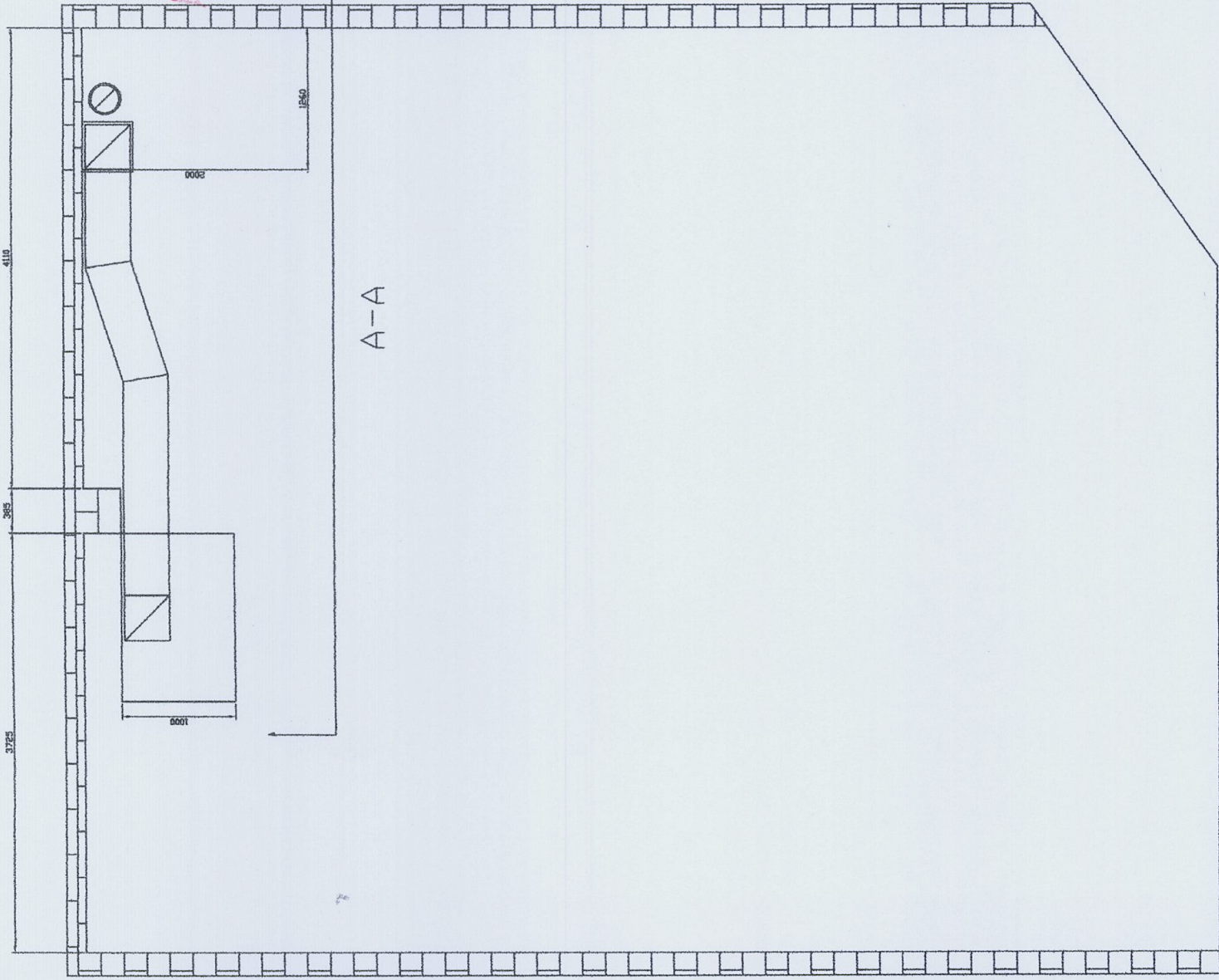
1:100 @ A1
ML
NOVEMBER 2008
FOR INFORMATION

17

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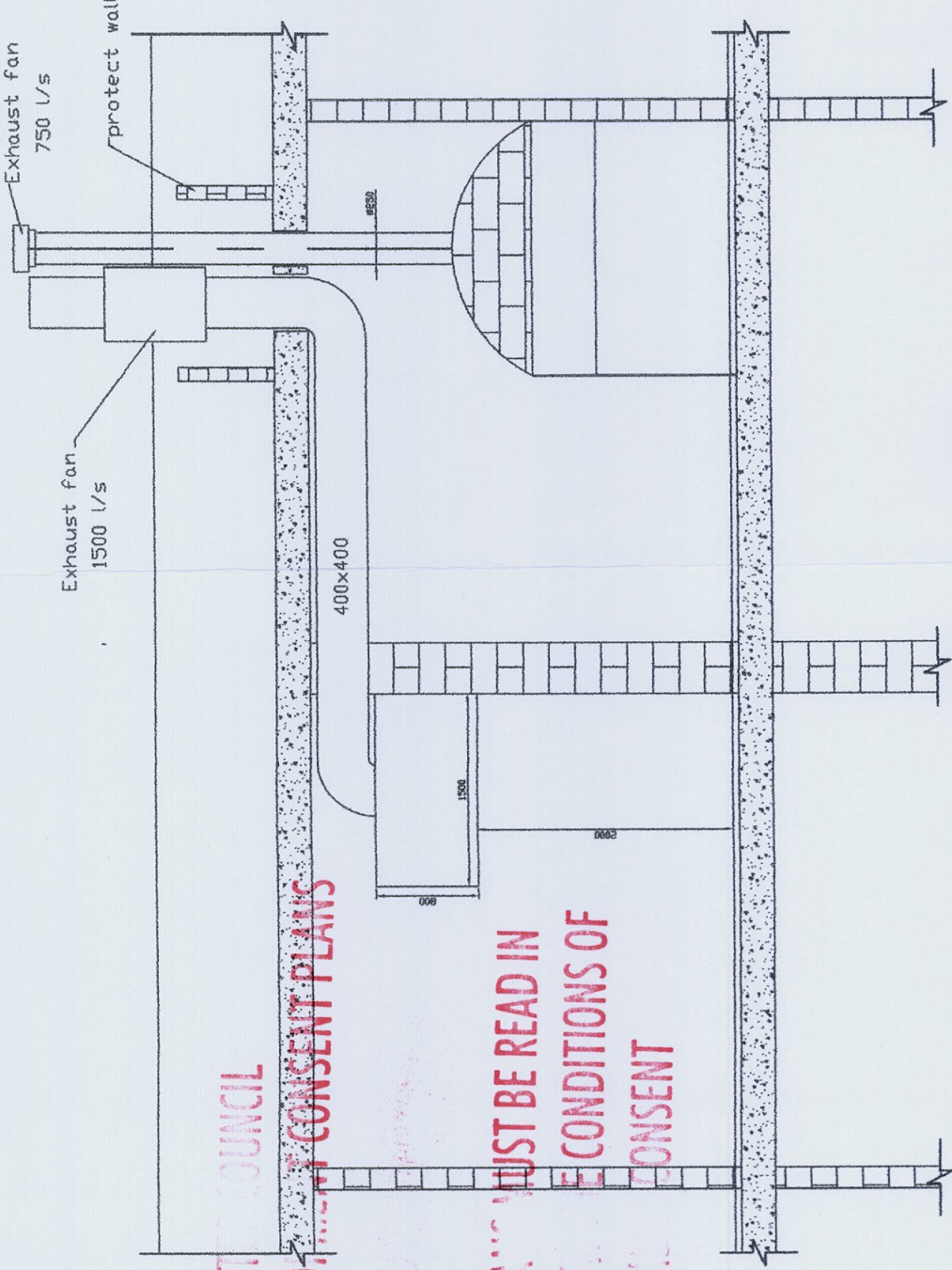
Revision	Date	Consultant	Client	Architect	Project	Drawing
1 - Preliminary Submission	25.11.08	Quantity Surveyor PAGE MCKILLOID	Town Planning WILLIAMS & Associates	TRAFFIC COLLISION BUILDING & MARKS	RETAIL UPGRADE BUNGAN COURT MONA VALE	LEVEL 3 RETAIL FLOOR PLAN
2 - New Tenancies Layout. Preliminary Issue.	10.12.08	Structural/Civil/Hydraulic RUPERS INDOOR	SEA CONSULTANTS STEVE WATSON & PARTNERS			
3 - New Tenancies Layout. Preliminary Issue.	12.12.08	Electrical Engineering WEBB AUSTRALIA	Mechanical Engineering WEBB AUSTRALIA			
4 - Tenancies Layout amended. Preliminary Issue.	16.12.08					
5 - Electrical floor @ Tenancy 4 added. Dimensions amended.	18.12.08					
6 - Electrical floor @ Tenancy 4 amended.	20.01.09					
7 - External Signage added.	29.01.09					



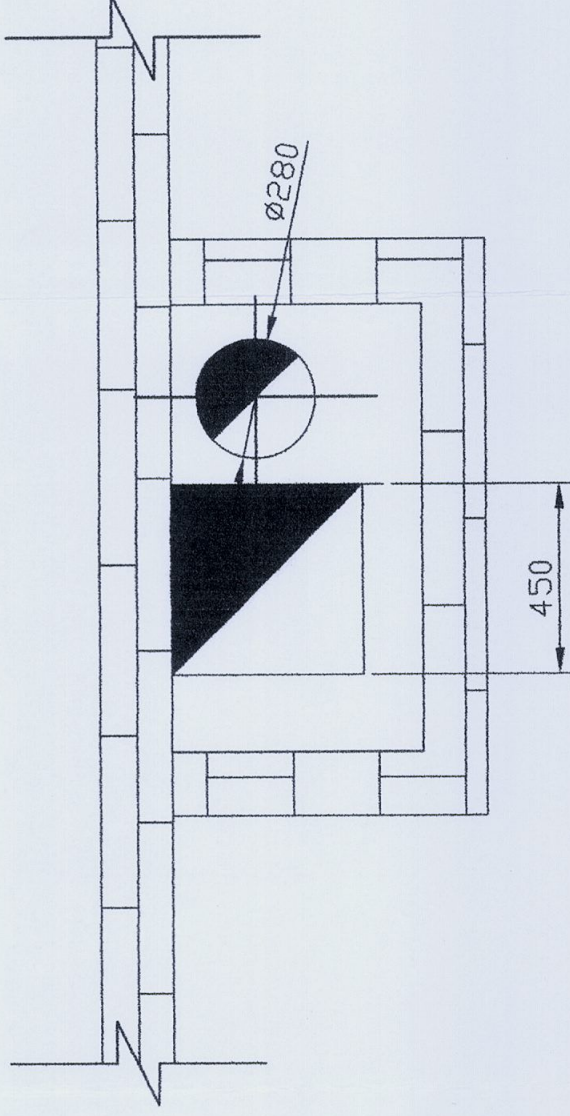
A-A

PITTVAT COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT



A-A VIEW



CUT HOLE BY BUILDER
ON ROOF CAR PARK

KITCHEN FUME EXTRACTION			
SHOP 7, 13 WARATHA ST, MONA VALE NSW 2103			
ACLASS VENTILATION PTY LTD		DWG NO. RH 090301	REV 01
1 CLOSE STREET, CANBERRA		DRAWN. Tony Wang	CHECKED TW
PHONE (02) 97184111		SHEET 02	
NOT TO SCALE		28.02.2009	

