

ALTERATIONS AND ADDITIONS

34 PAVILION STREET, QUEENSCLIFF NSW 2096

PROJECT NUMBER: HA2313

DATE: 04/03/2024

CLIENT: JAN BEACH

SHEET N°	SHEET NAME
A0.01	COVER SHEET
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A1.02	SITE CALCULATIONS PLAN
A1.03	DEMOLISHING PLANS
A1.04	GROUND & L1 FLOOR PLANS
A1.05	ATTIC AND ROOF PLANS
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A2.02	SOUTH ELEVATION
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DA ISSUE

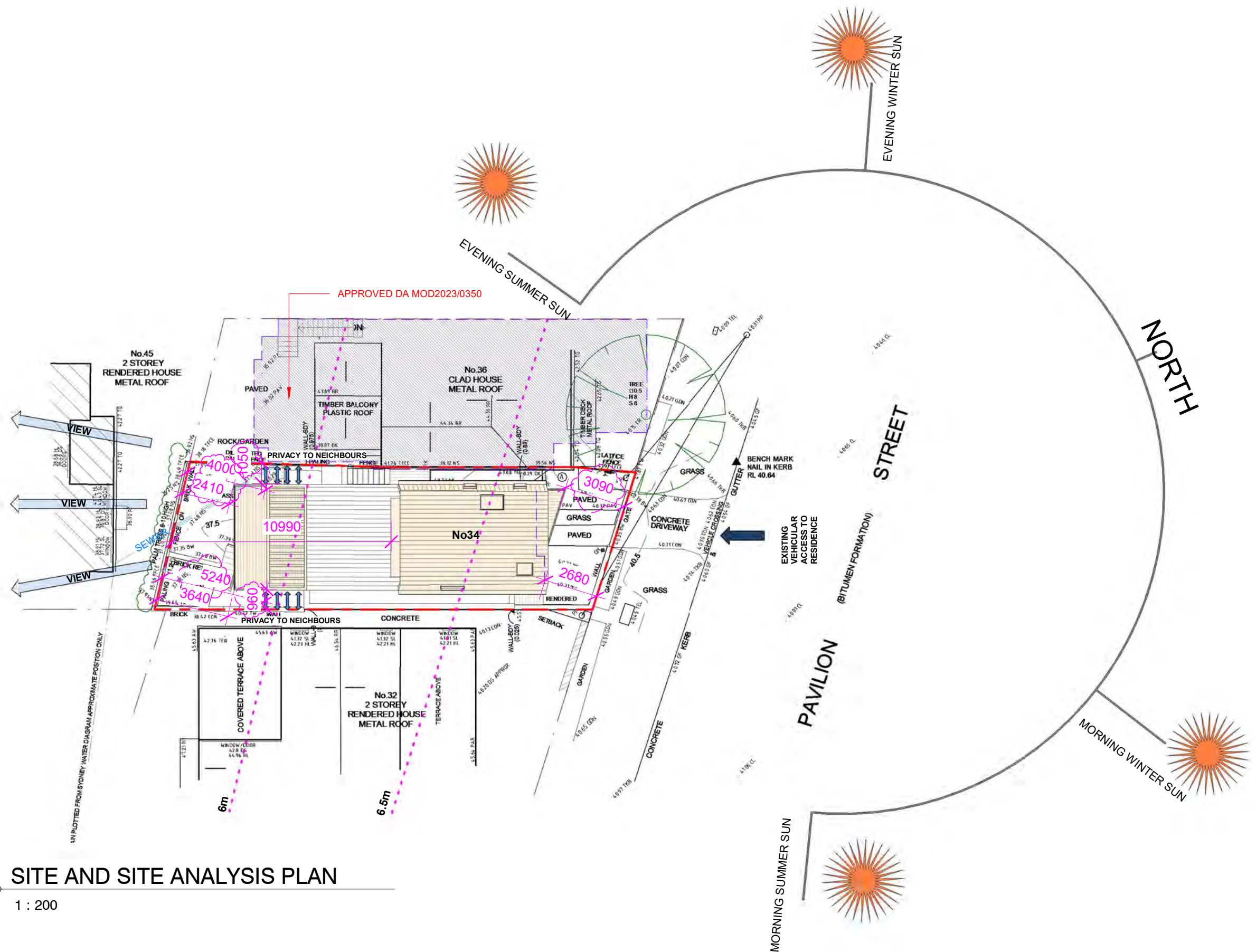
04/03/2024

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NOMINATED ARCHITECT: Alexander Chougam | ARN: 7196

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0403313035



1 SITE AND SITE ANALYSIS PLAN
A2.01 1 : 200

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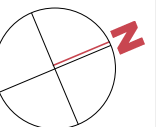
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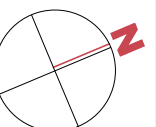
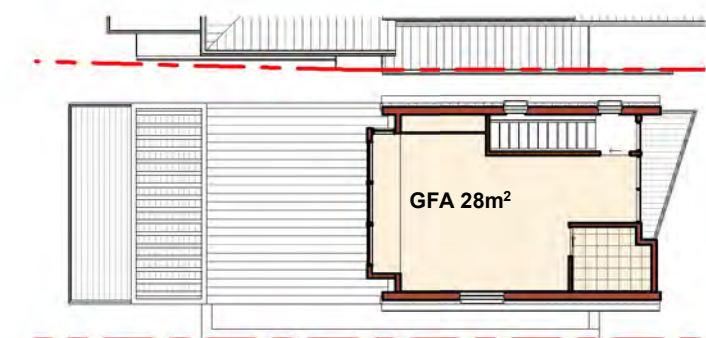
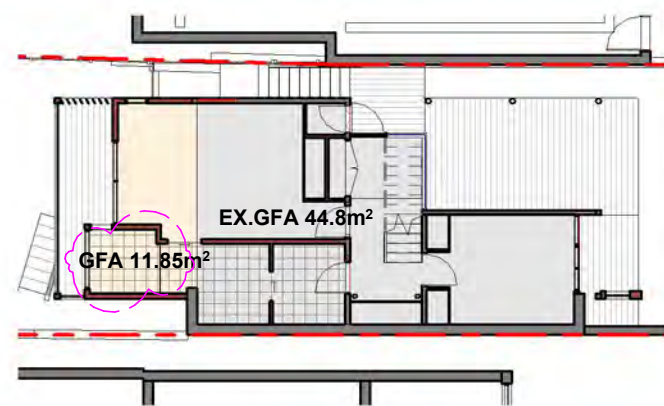
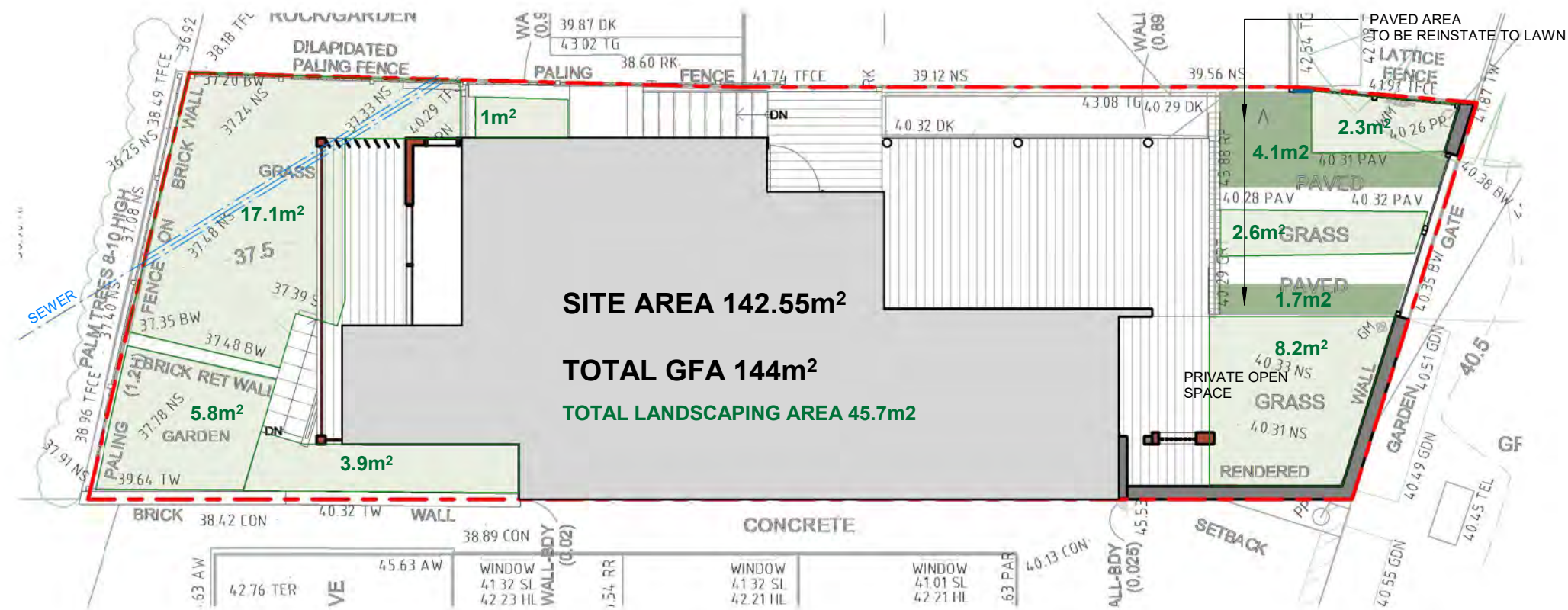
ISSUE	REVISIONS	DATE
A	FINAL DESIGN	14/12/2023
B	FINAL DESIGN	20/12/2023
C	SECTION 4.55	12/02/2024
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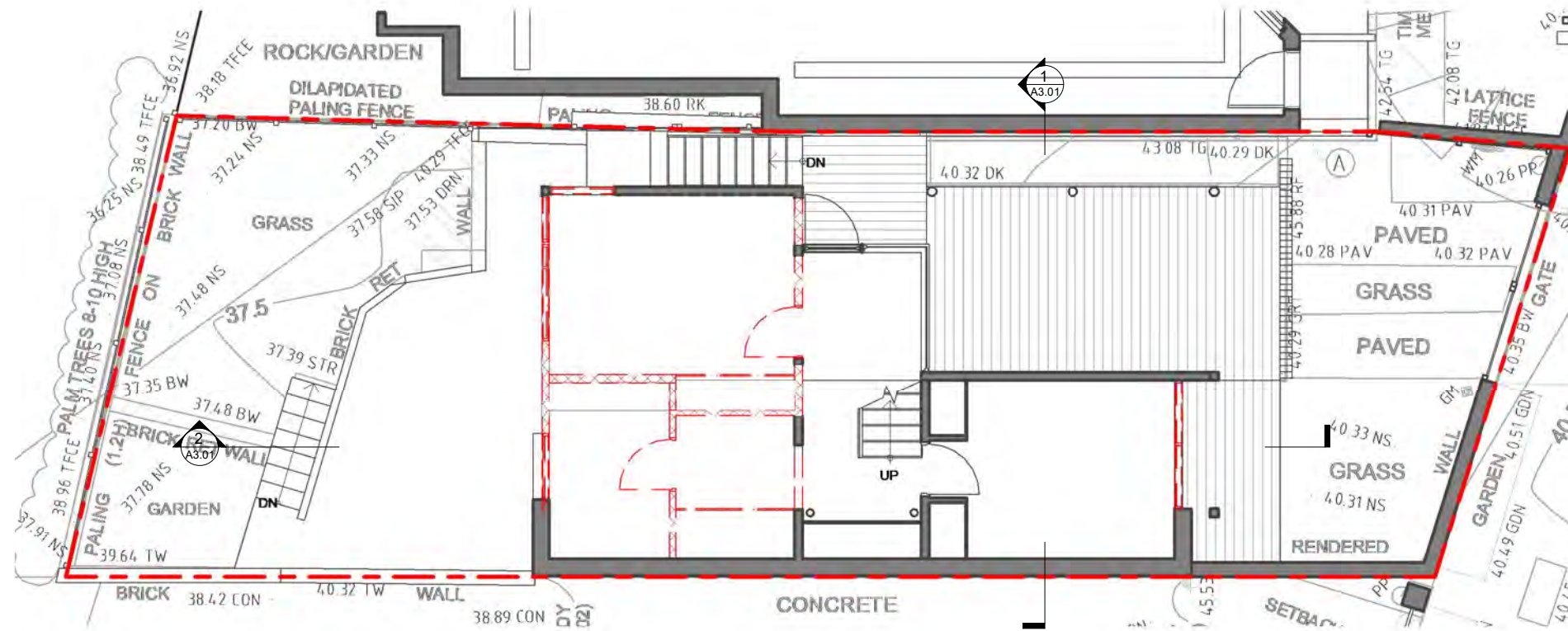
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DRAWING SITE AND SITE ANALYSIS PLAN
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
CLIENT JAN BEACH

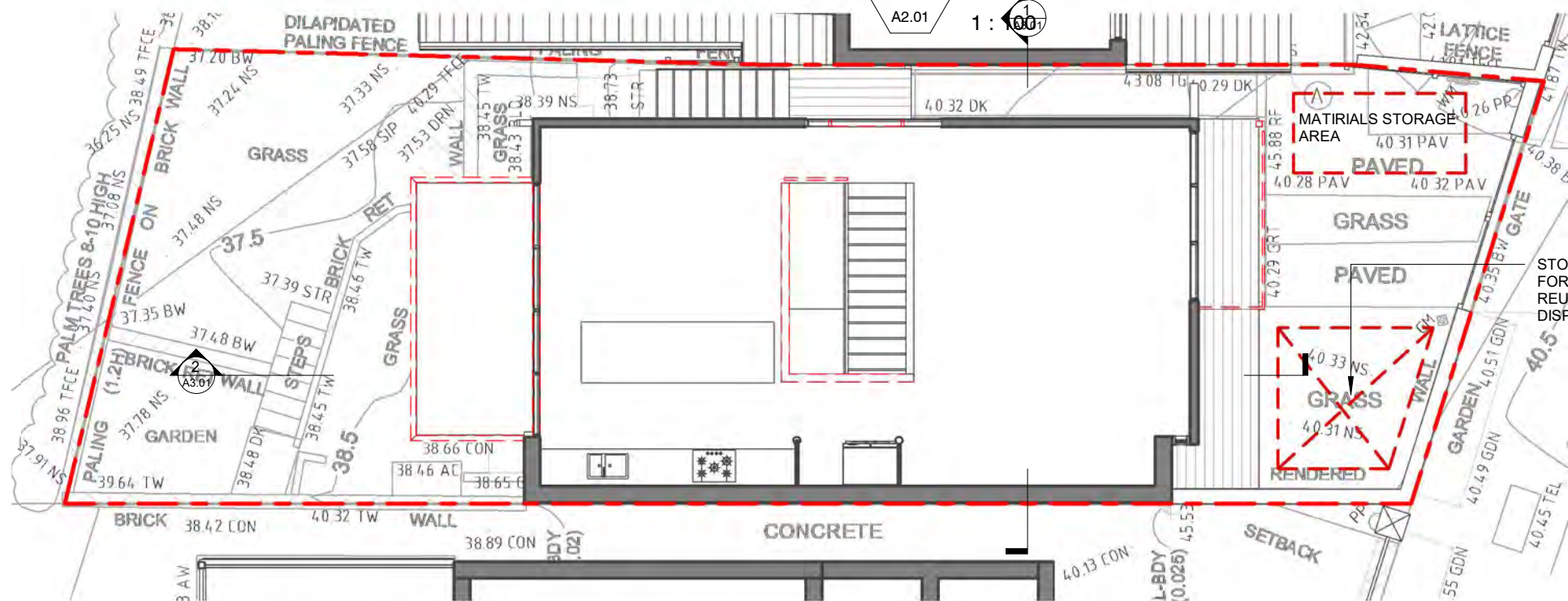
DRAWN BY NV
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SCALE As indicated@A3
JOB NO HA2313
DRAWING NO A1.01 F







1 EXISTING GROUND FLOOR & PROPOSED DEMOLISHING
A2.01 1 : 100



2 EXISTING LEVEL 1 PLAN & PROPOSED DEMOLISHING
A2.01 1 : 100

- EXISTING WALL
- NEW WALL
- PROPOSED ADDITION
- PROPOSED DEMOLISHING

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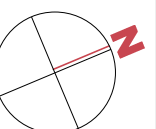
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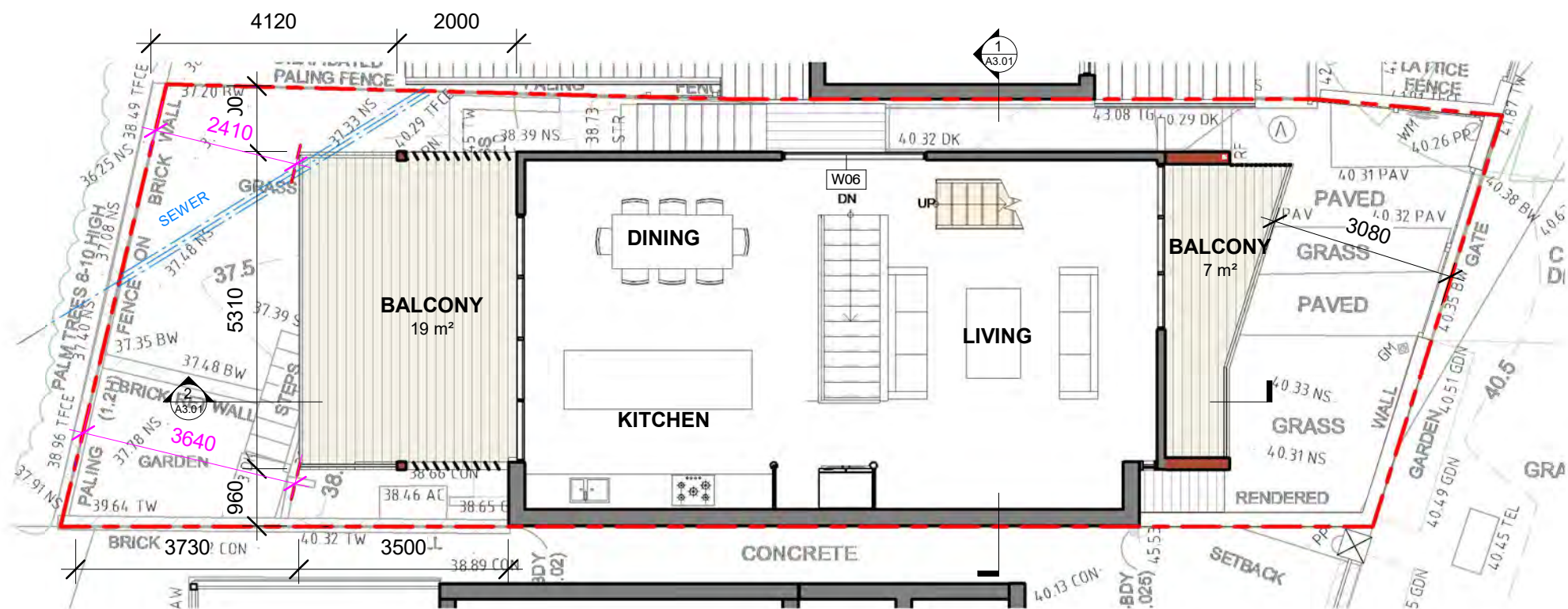
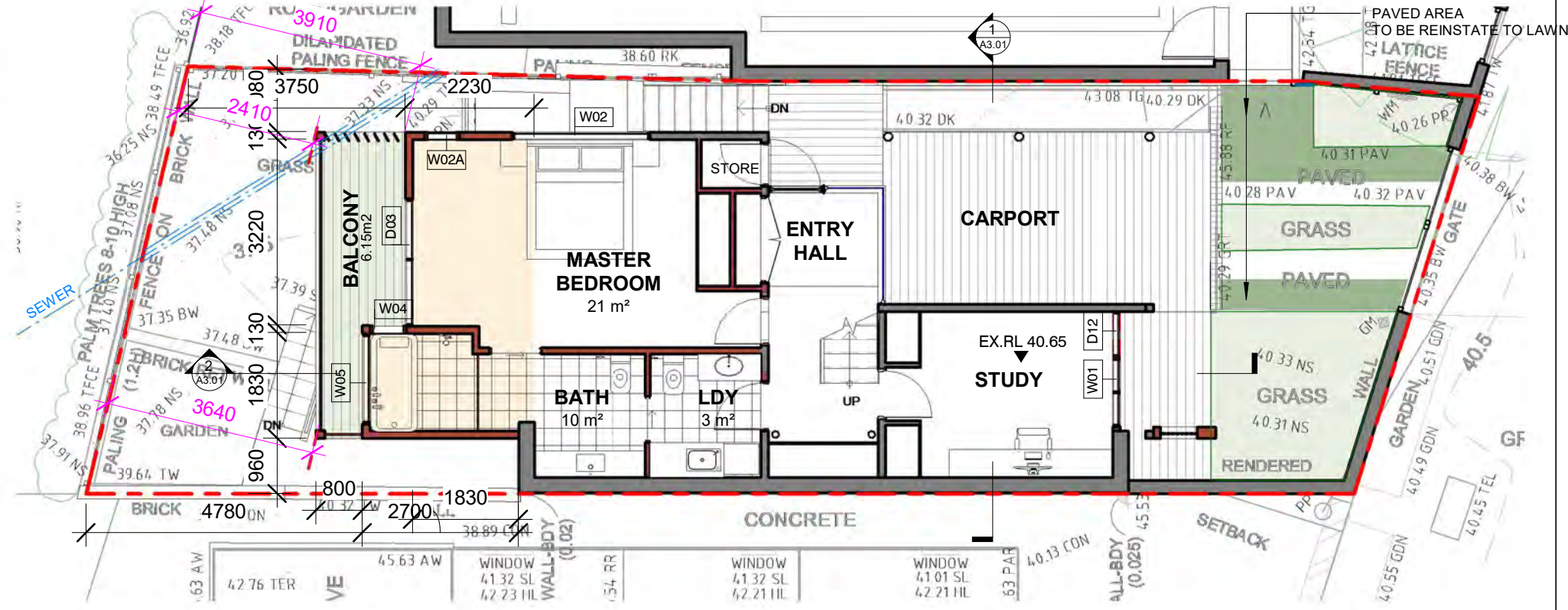
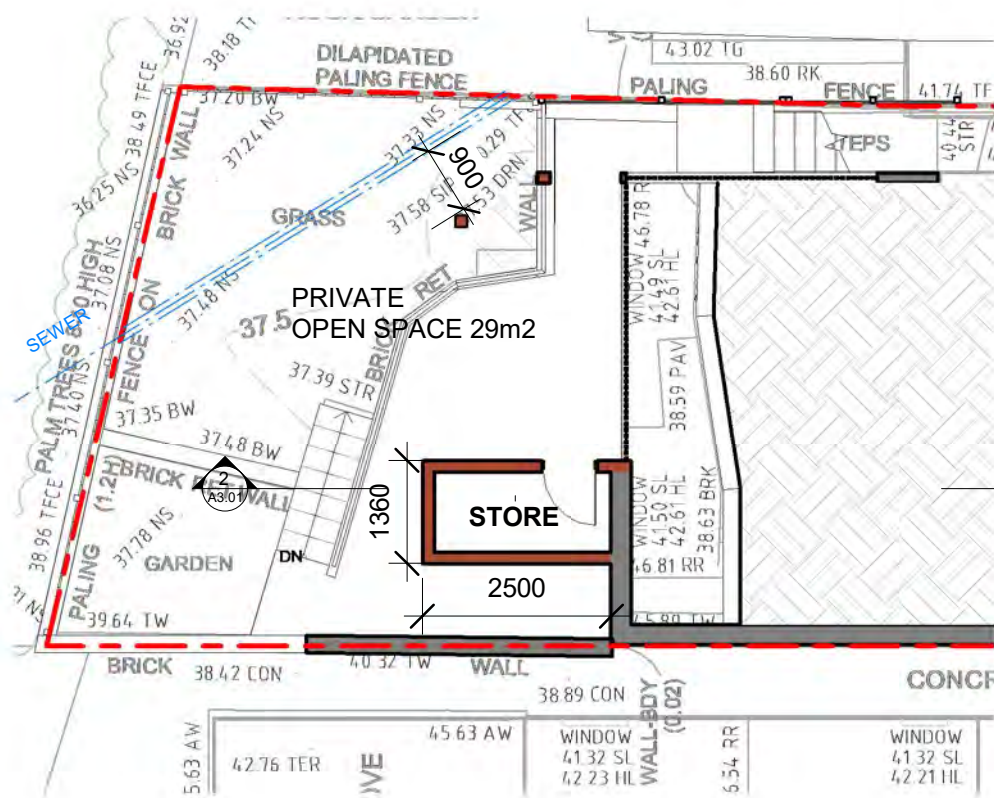
ISSUE	REVISIONS	DATE
A	CONCEPT FOR REVIEW	16/08/2023
B	CONCEPT FOR REVIEW	3/10/2023
C	FINAL DESIGN	20/12/2023
D	SECTION 4.55	12/02/2024
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JOB NO HA2313
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- EXISTING WALL
- NEW WALL
- PROPOSED ADDITION
- PROPOSED DEMOLISHING

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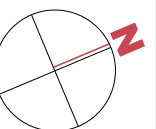
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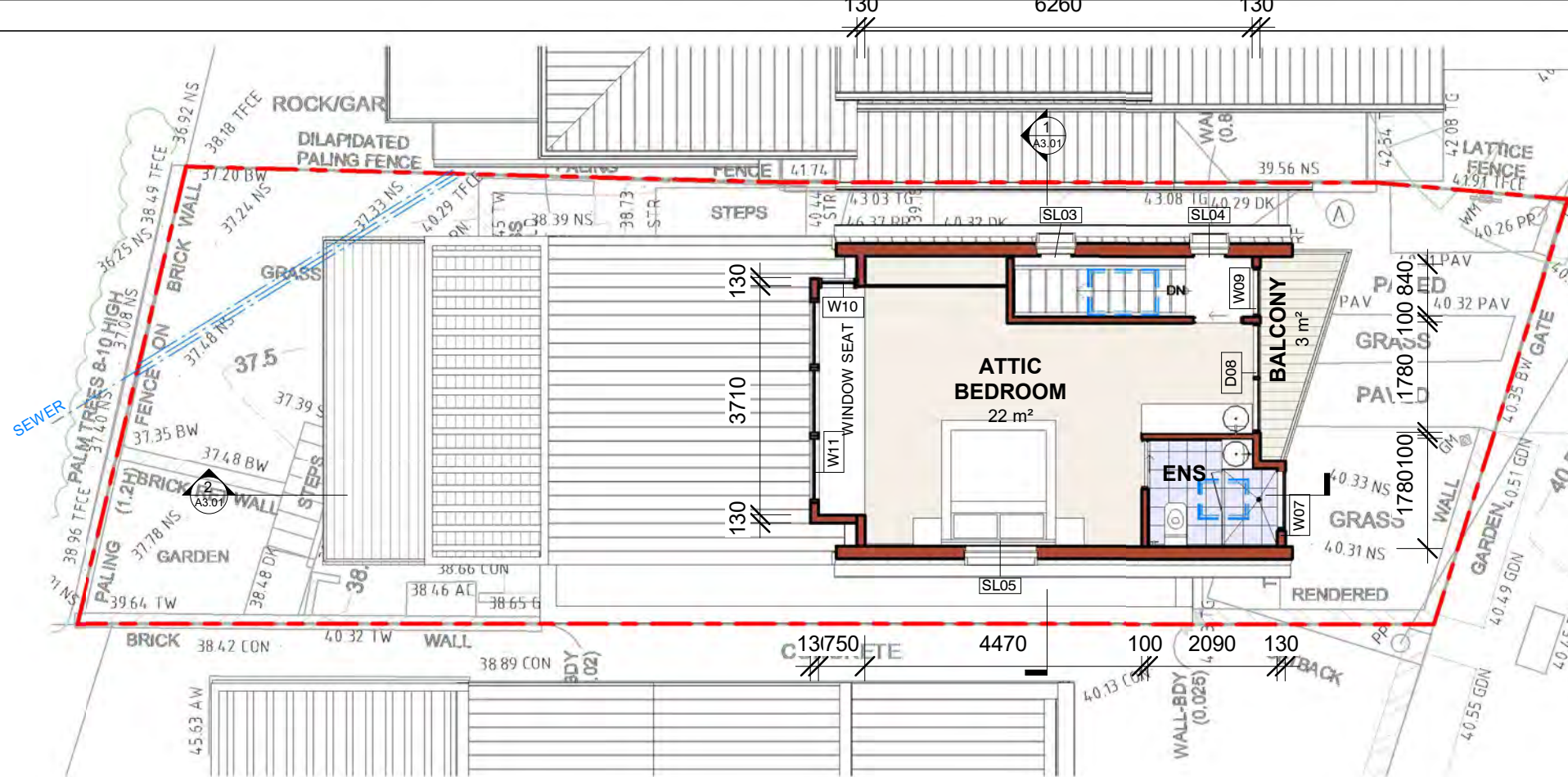
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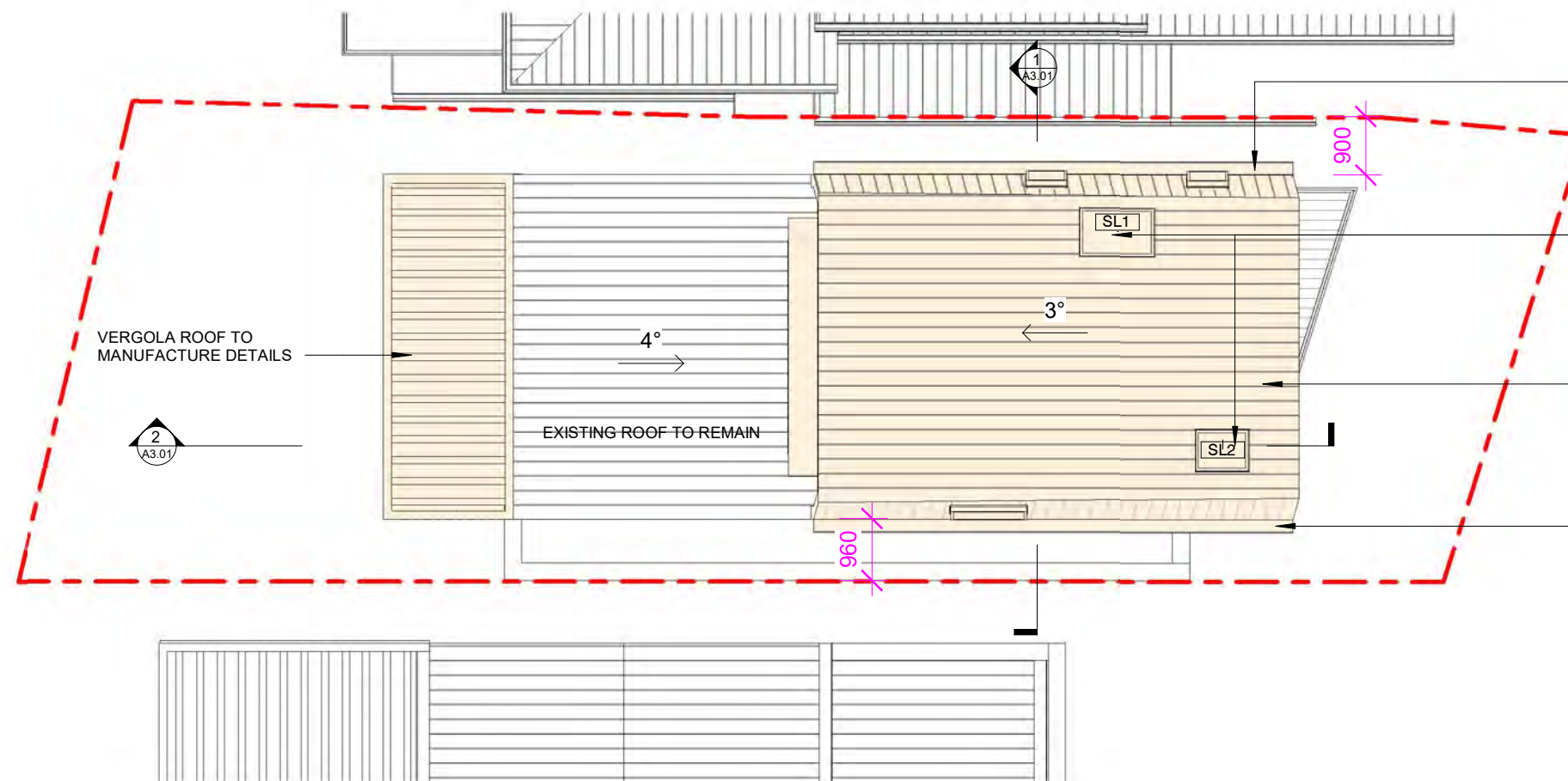
DRAWING GROUND & L1 FLOOR PLANS
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSLIFF NSW 2096
CLIENT JAN BEACH

DRAWN BY NV
CHECKED BY AC
SCALE 1 : 100@A3
JOB NO HA2313
DRAWING NO A1.04 H





1 ATTIC FLOOR PLAN
A2.01 1 : 100



2 ROOF PLAN
A2.01 1 : 100

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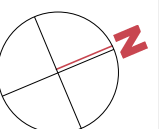
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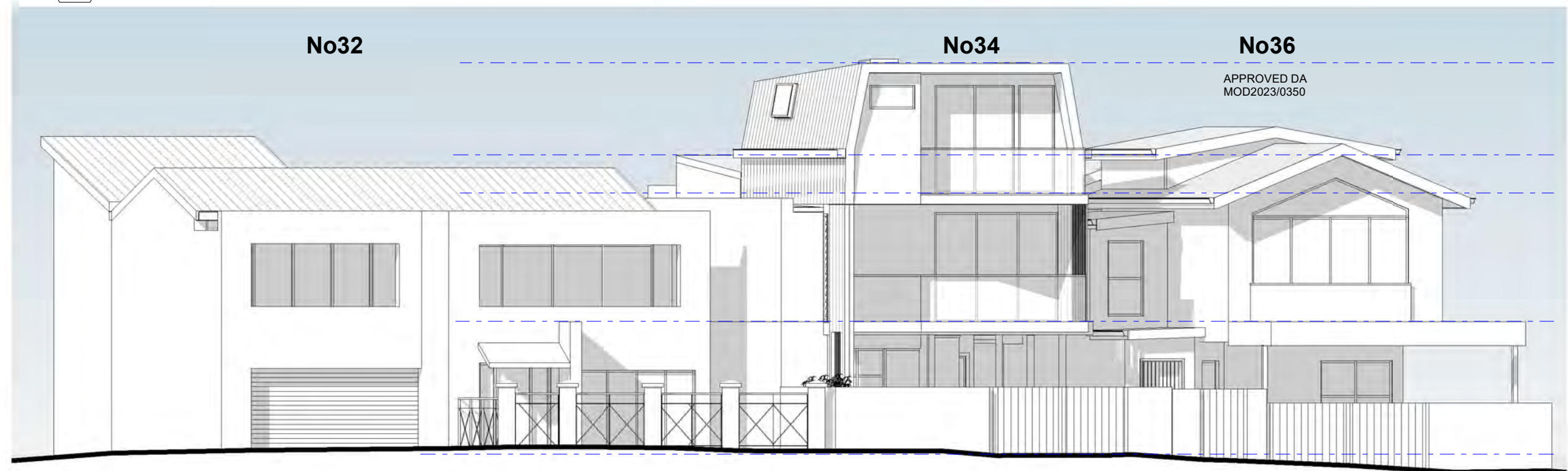
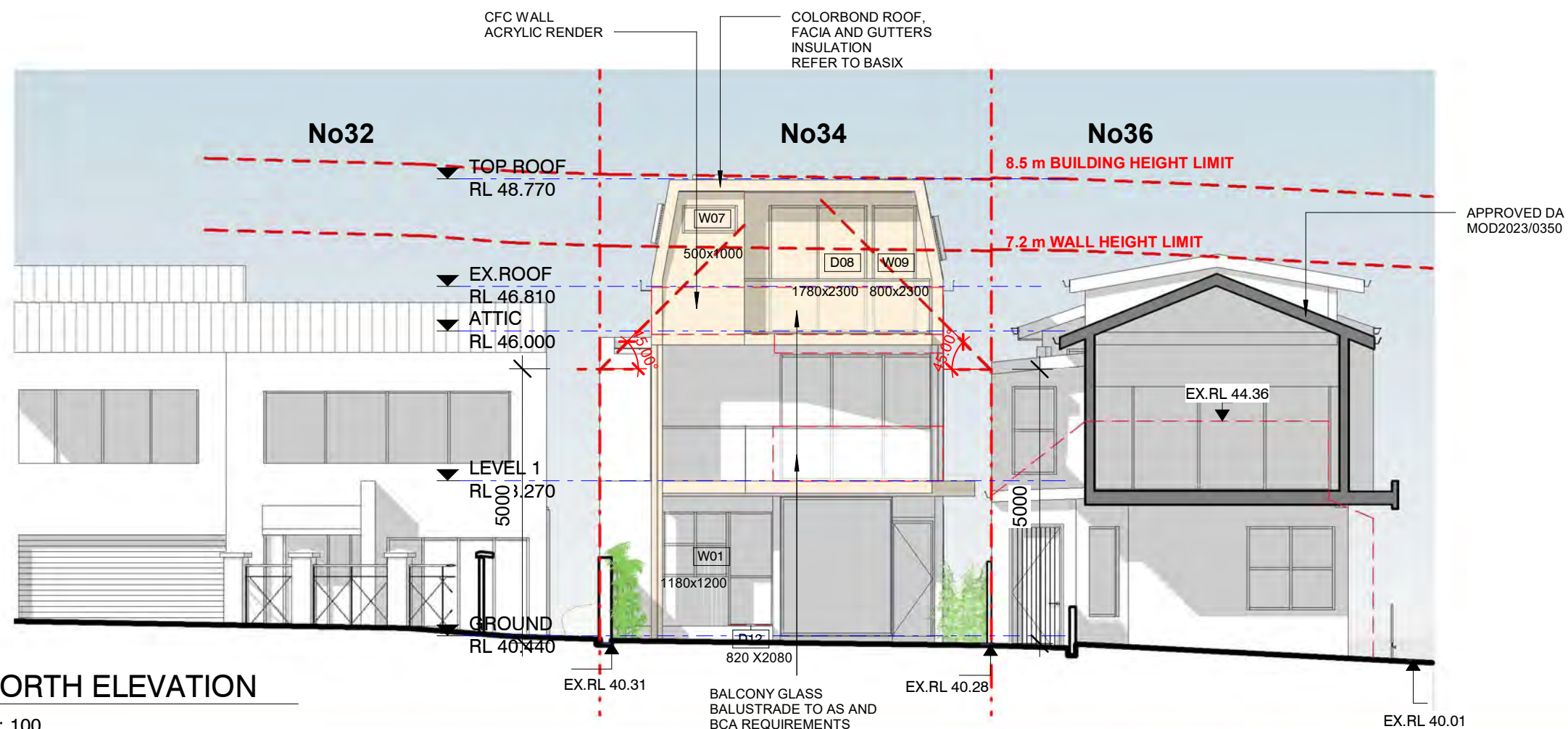
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DRAWING ATTIC AND ROOF PLANS
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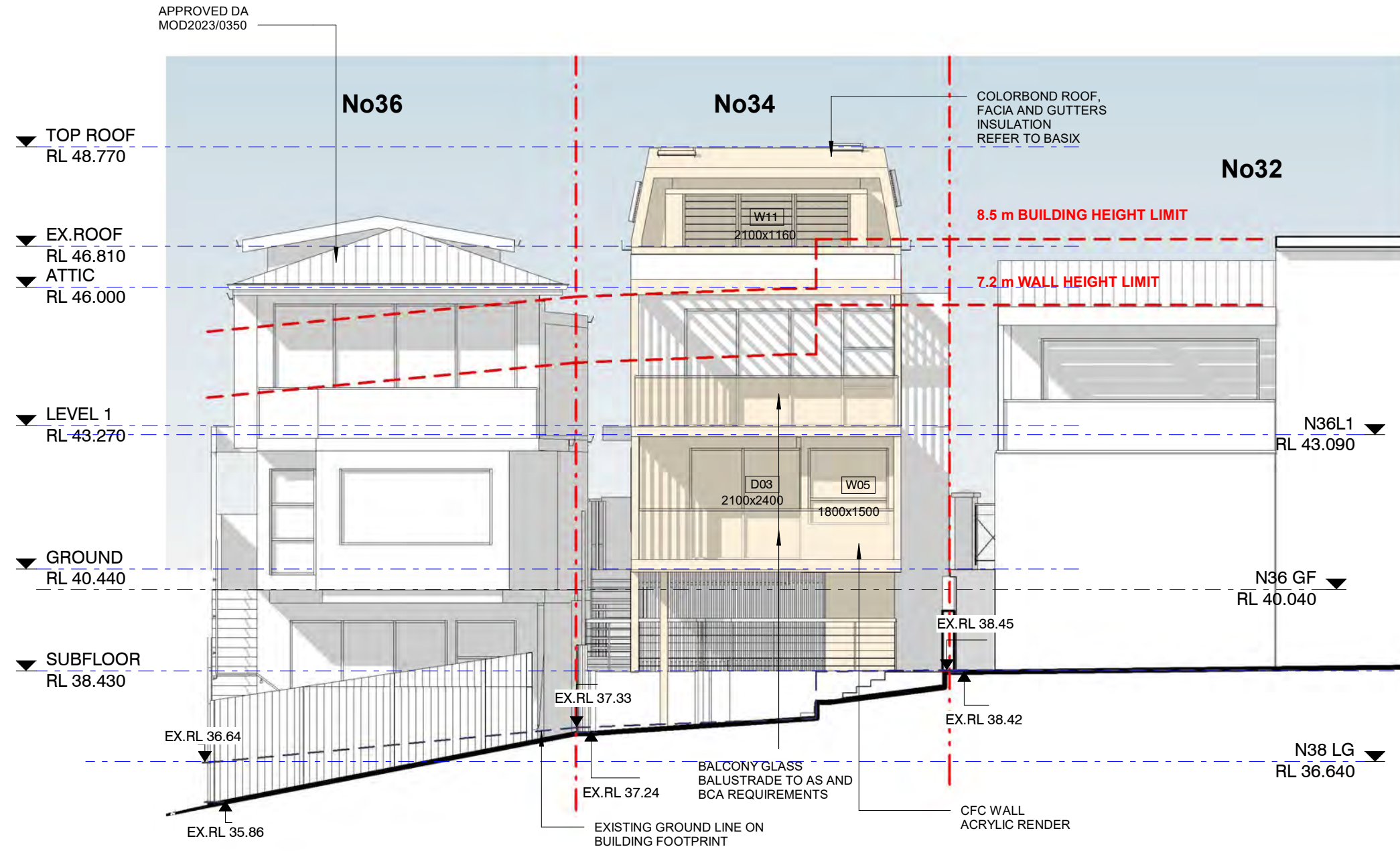
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DRAWING NORTH ELEVATIONS
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
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SCALE 1 : 100@A3
JOB NO HA2313
DRAWING NO A2.01 F



1 SOUTH ELEVATION
1 : 100

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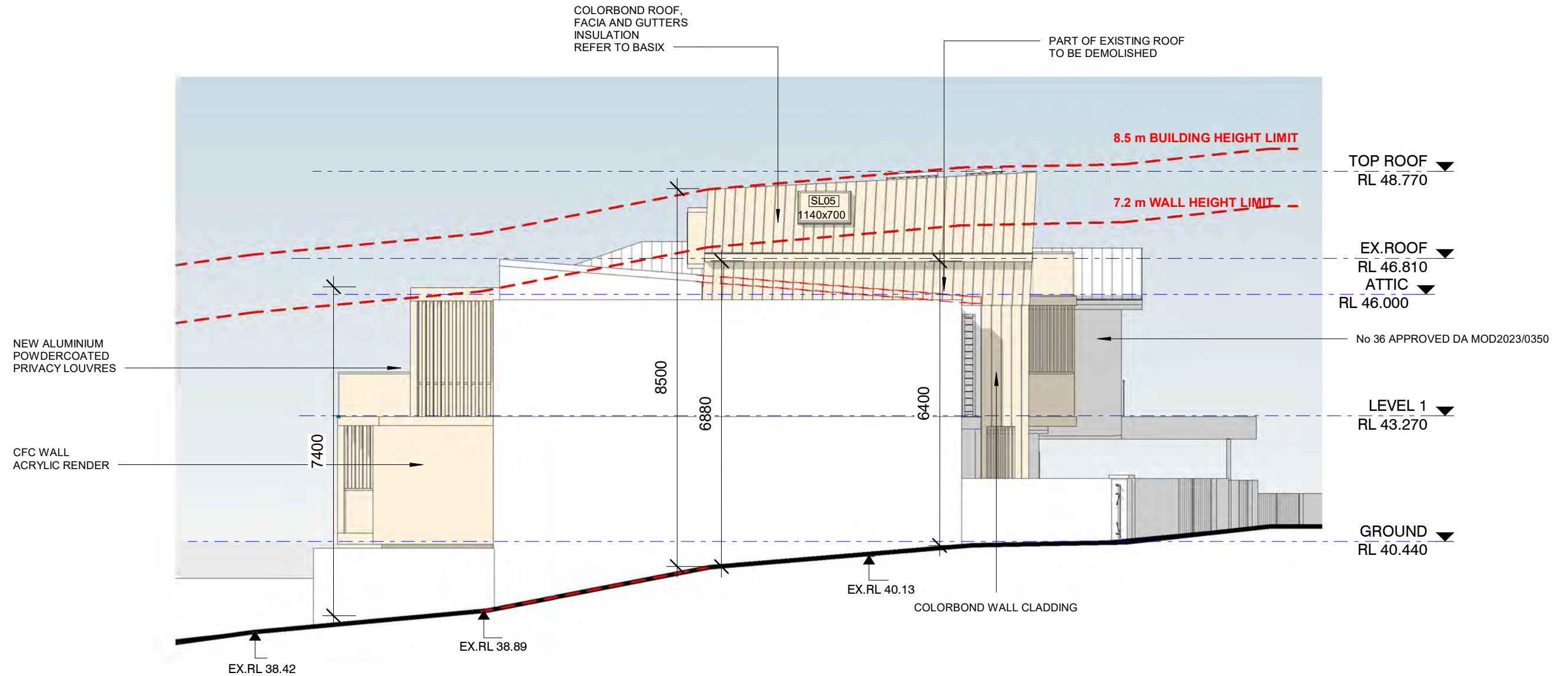
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DRAWING SOUTH ELEVATION
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
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JOB NO HA2313
DRAWING NO A2.02 D



1 EAST ELEVATION
1 : 100

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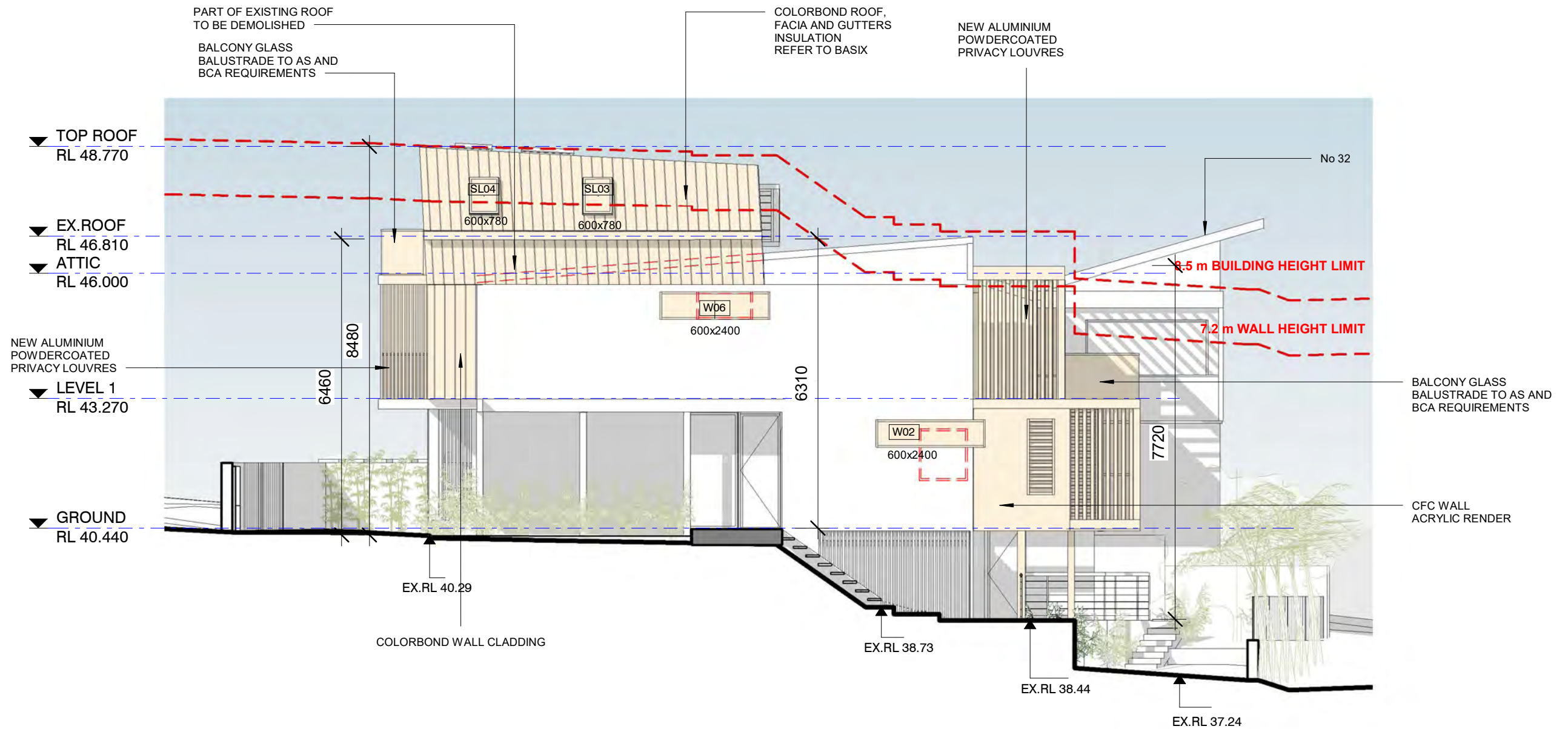
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DRAWING EAST ELEVATION
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JOB NO HA2313
DRAWING NO A2.03 H



1 WEST ELEVATION
1 : 100

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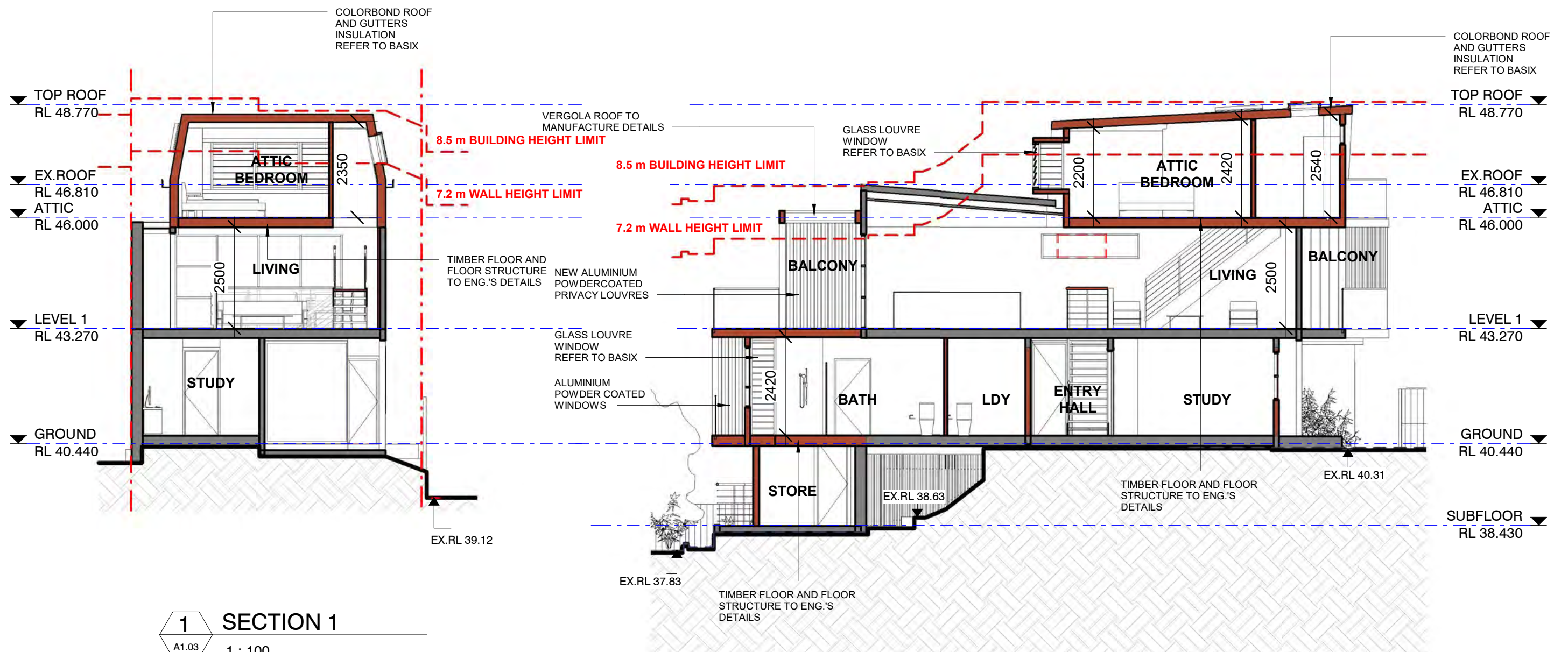
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DRAWING WEST ELEVATION
PROJECT ALTERATIONS AND ADDITIONS
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JOB NO HA2313
DRAWING NO A2.04 H



1 SECTION 1
A1.03 1 : 100

2 SECTION 2
A1.03 1 : 100

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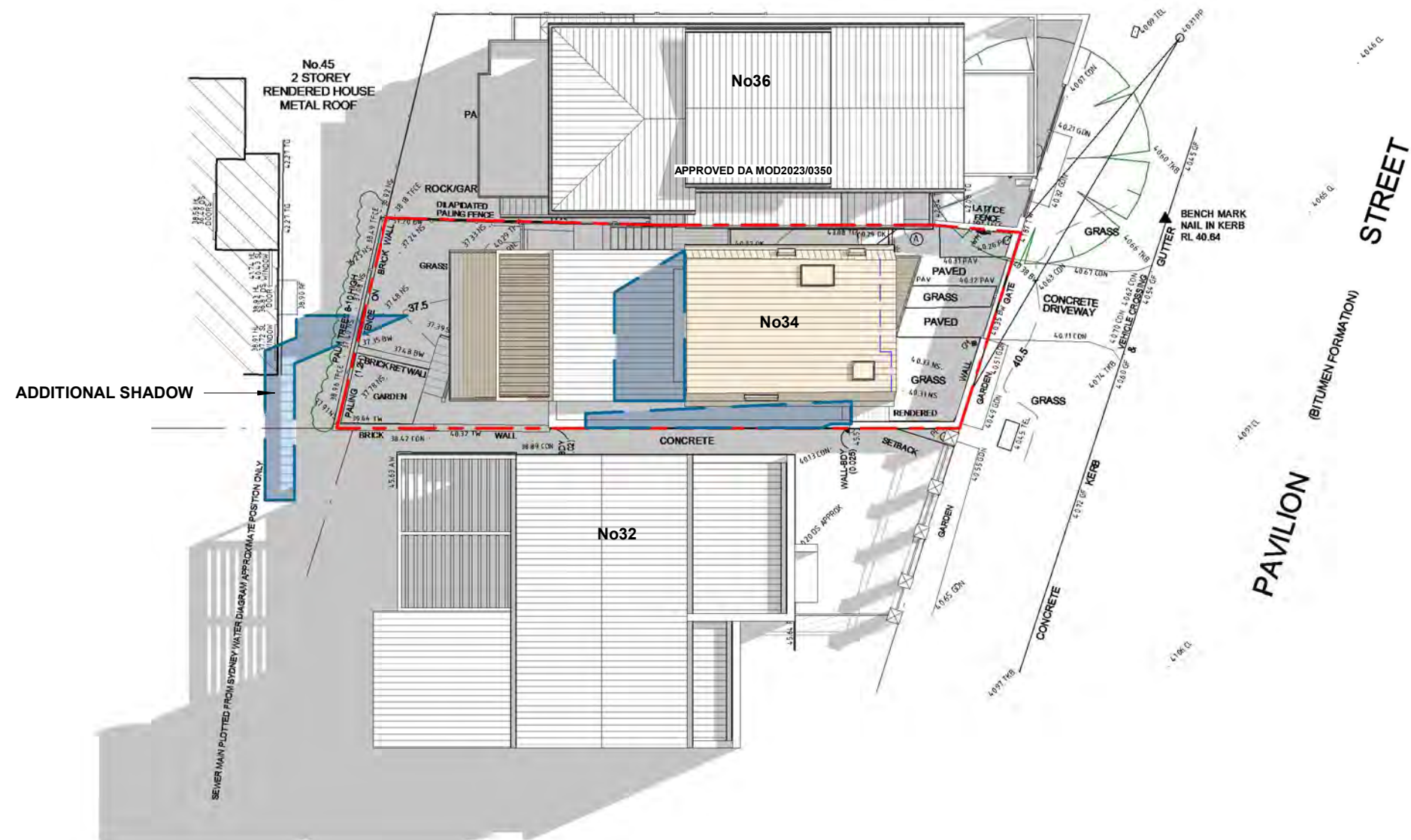
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DRAWING SECTIONS
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
CLIENT JAN BEACH

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SCALE 1 : 100@A3
JOB NO HA2313
DRAWING NO A3.01 F



1 SHADOW DIAGRAM 21.06-12PM
A2.01 1 : 200

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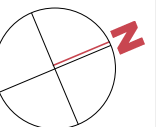
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DRAWING SHADOW DIAGRAM 21.06-12PM
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
CLIENT JAN BEACH

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CHECKED BY AC
SCALE 1 : 200@A3
JOB NO HA2313
DRAWING NO A4.02 E





1 SHADOW DIAGRAM 21.06-3PM
A2.01 1 : 200

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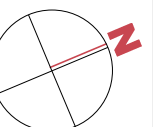
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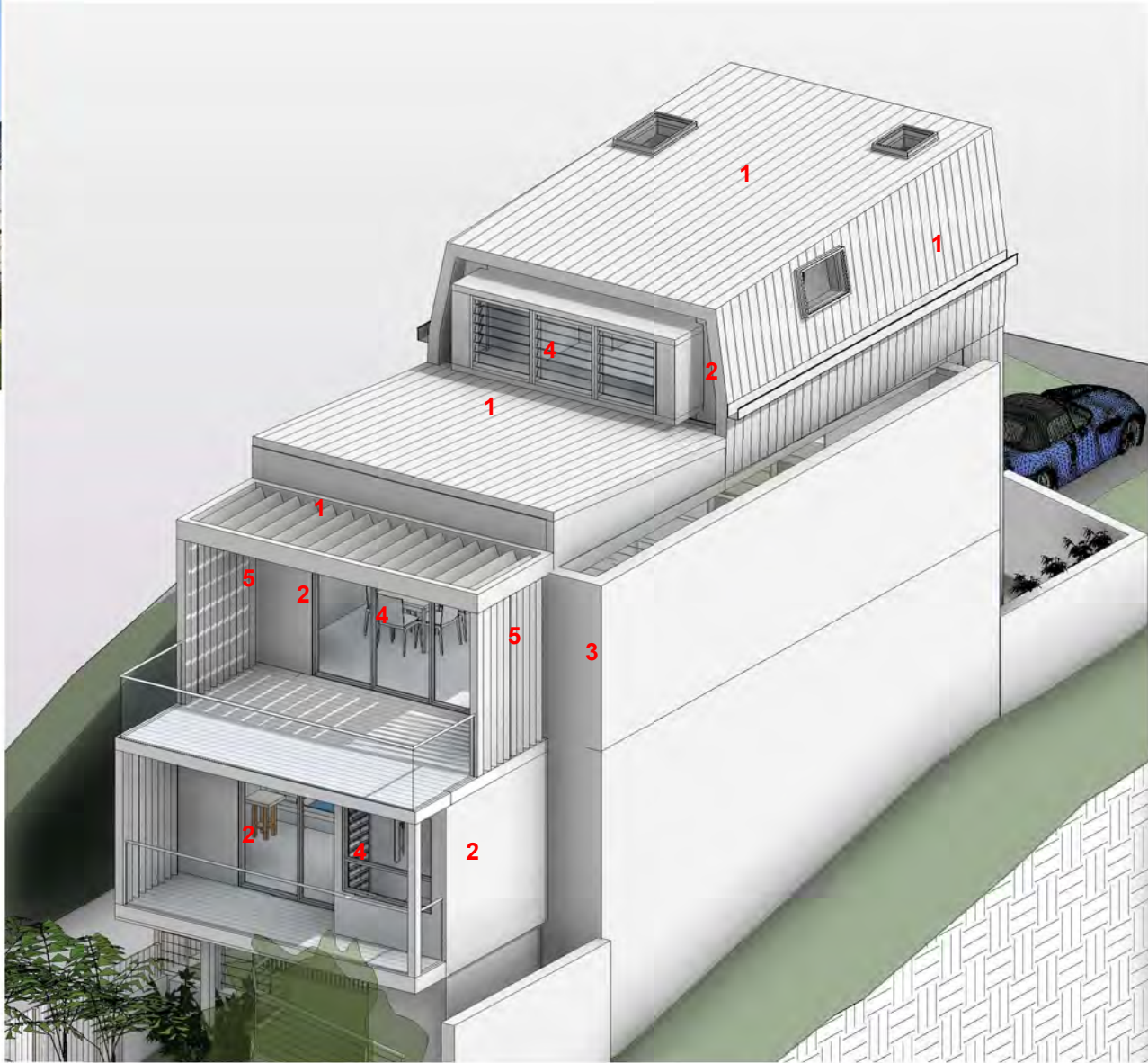
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DRAWN BY NV
CHECKED BY AC
SCALE 1 : 200@A3
JOB NO HA2313
DRAWING NO A4.03 E



SCHEDULE OF EXTERNAL MATERIALS AND FINISHES

No	BUILDING ELEMENT	FINISH	COLOUR	SAMPLE
1	METAL ROOF GUTTERS AND DOWNPIPES	COLORBOND	SIRFMIST	
2	CFC WALLS	ACRYLIC RENDER FINISH	DULUX LEXICON OR SIMILAR	
3	EXISTING MASONRY WALLS	RENDER AND PAINT FINISH	DULUX LEXICON OR SIMILAR	
4	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDER COATING	WHITE	
5	ALUMINIUM VERTICAL PRIVACY LOUVRES	POWDER COATING	DECOWOOD CASUARINA OR WHITE	



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DRAWING SCHEDULE OF COLOURS AND MATERIALS
PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
CLIENT JAN BEACH

DRAWN BY NV
CHECKED BY AC
SCALE 1 : 1@A3
JOB NO HA2313
DRAWING NO A5.01 E

Certificate number: A1737147

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 23 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



H&S/A, Confidentiality # 00000000 ATT2/PL47

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIS Certificate number: A1731182

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications:			
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.60 including construction)	N/A			
floor above existing dwelling or building.	nil	N/A			
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R2.26 (up), roof: foil/sarking	light (solar absorptance < 0.475)			
flat ceiling, flat roof: framed	ceiling: R2.32 (up), roof: foil/sarking	light (solar absorptance < 0.475)			

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DRAWING	BASIX NOTES
PROJECT	ALTERATIONS AND ADDITIONS
ADDRESS	34 PAVILION STREET, QUEENSCLIFF NSW 2096
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DRAWN BY	AC
CHECKED BY	AC
SCALE	@A3
JOB NO	HA2313
DRAWING NO	A5.02 B

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

BASIX Certificate number: A1/T/14f

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements:									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	N	3.12	0	0	eave/ verandah/ pergola/balcony ≥900 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W2	W	1.44	3.86	1.47	none	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
D3	S	4.6	0	0	eave/ verandah/ pergola/balcony ≥900 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W4	W	1.84	0	0	eave/ verandah/ pergola/balcony ≥900 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W5	S	2.7	0	0	none	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			

Pharmaceuticals and Environment

Building Sustainability into the Workforce from the Ground Up

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W6	W	1.44	2.01	2.6	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear (U-value: 3.1, SHGC: 0.27)			
W7	N	0.5	0	0	awning (adjustable) >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear (U-value: 3.1, SHGC: 0.27)			
D8	N	4.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W9	N	1.84	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W10	W	0.7	0	0	external louvre/blind (adjustable)	aluminium: thermally broken, double Lo-Tsol/air gap/clear (U-value: 3.1, SHGC: 0.27)			

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight.					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.8	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	0.42	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	0.47	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S4	0.47	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S5	0.8	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W11	S	3.83	0	0	none	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W02A	W	0.95	1.83	2.42	none	aluminium, single Lo- Tsol low-e, (U-value: 5.8, SHGC: 0.36)			

ISSUE		REVISIONS	DATE
A	SECTION 4.55		21/02/2024
B	DA ISSUE		04/03/2024



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C	FINAL DESIGN	14/12/2023
D	FINAL DESIGN	20/12/2023
E	SECTION 4.55	5/02/2024
F	SECTION 4.55	12/02/2024
G	SECTION 4.55	14/02/2024
H	SECTION 4.55	21/02/2024
I	DA ISSUE	04/03/2024

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PROJECT ALTERATIONS AND ADDITIONS
ADDRESS 34 PAVILION STREET, QUEENSCLIFF NSW 2096
CLIENT JAN BEACH

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SCALE 1 : 1@A3
JOB NO HA2313
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