# ALTERATIONS AND ADDITIONS 34 PAVILION STREET, QUEENSCLIFF NSW 2096

PROJECT NUMBER: HA2313

DATE: 04/03/2024

CLIENT: JAN BEACH

SHEET N°	SHEET NAME
A0.01	COVER SHEET
A1.01	SITE AND SITE ANALYSIS PLAN
A1.02	SITE CALCULATIONS PLAN
A1.03	DEMOLISHING PLANS
A1.04	GROUND & L1 FLOOR PLANS
A1.05	ATTIC AND ROOF PLANS
A2.01	NORTH ELEVATIONS
A2.02	SOUTH ELEVATION
A2.03	EAST ELEVATION
A2.04	WEST ELEVATION
A3.01	SECTIONS
A4.01	SHADOW DIAGRAM 21.06-9AM
A4.02	SHADOW DIAGRAM 21.06-12PM
A4.03	SHADOW DIAGRAM 21.06-3PM
A5.01	SCHEDULE OF COLOURS AND MATERIALS
A5.02	BASIX NOTES
A5.03	BASIX NOTES
A10.01	3D IMAGE
A10.02	3D IMAGE



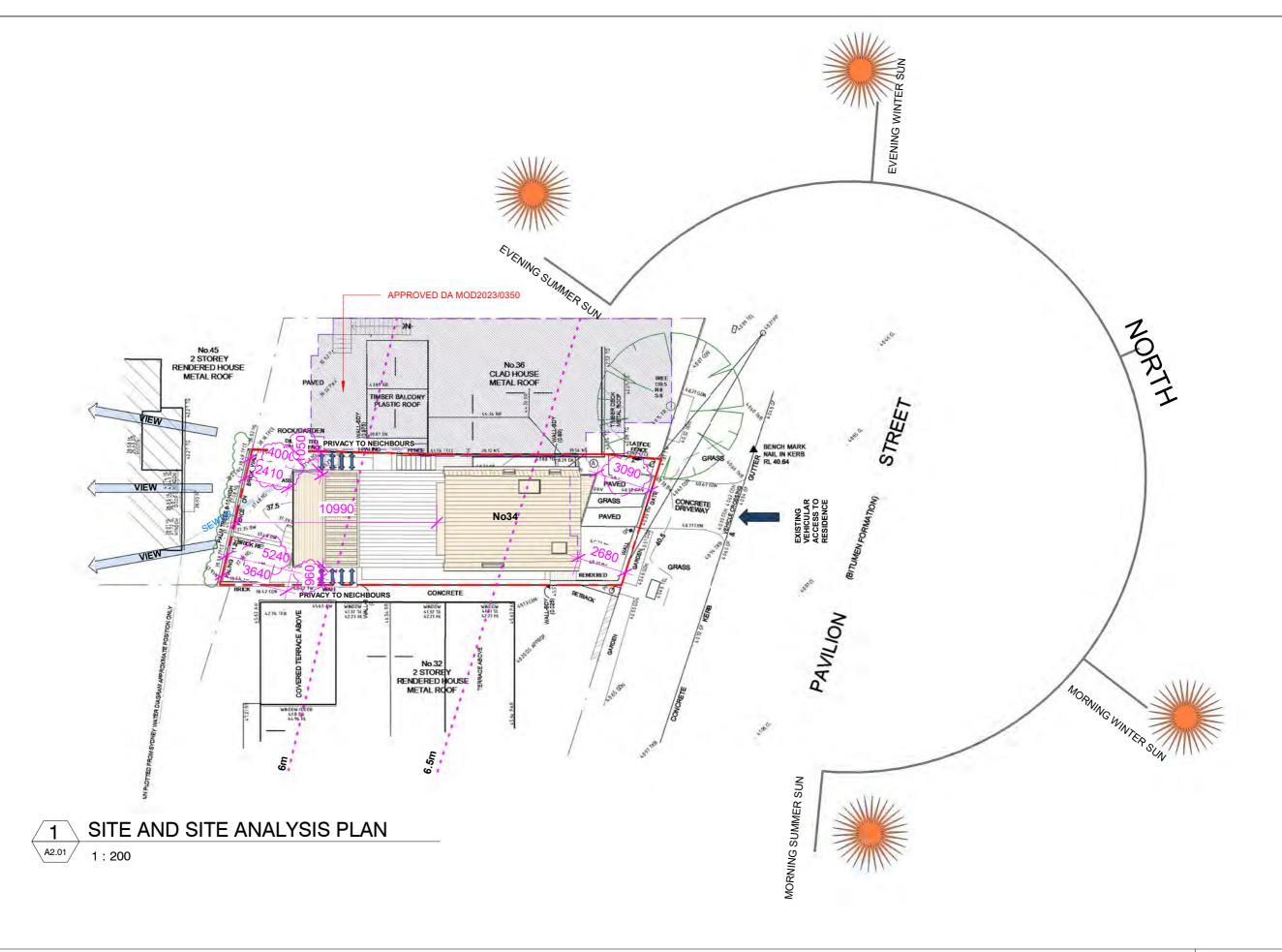
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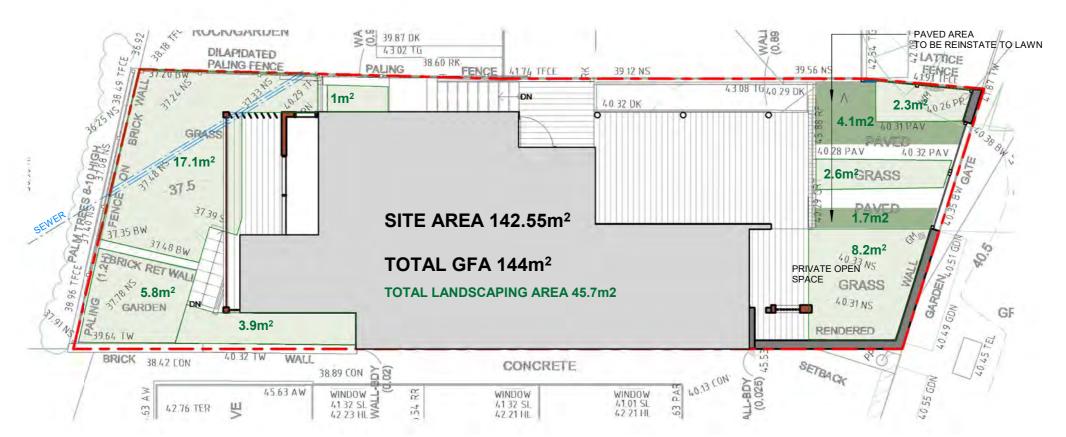
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CLIENT	JAN BEACH	DRAWING NO	A1.01 F





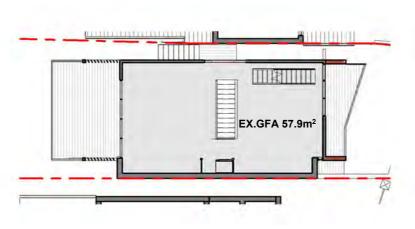
SITE CALCULATIONS PLAN
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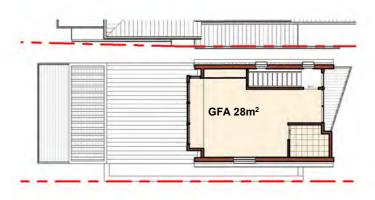


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3 LEVEL 1 GFA A2.01 1 : 200

4 ATTIC GFA

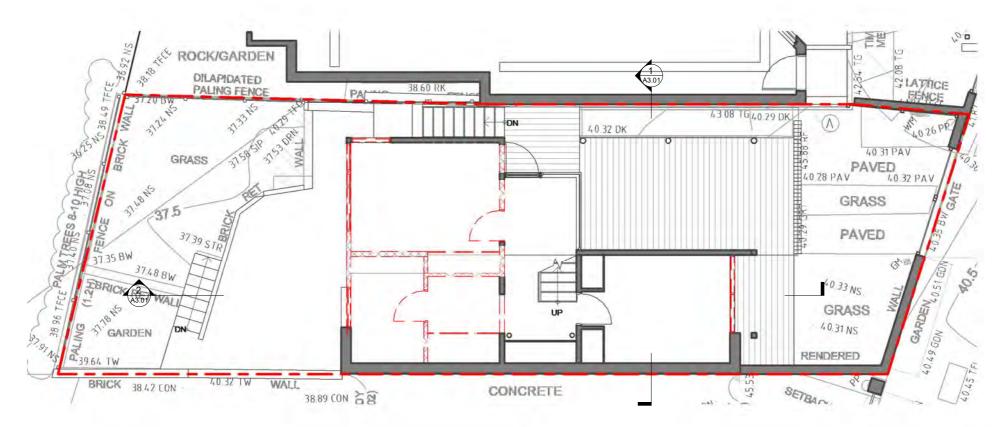
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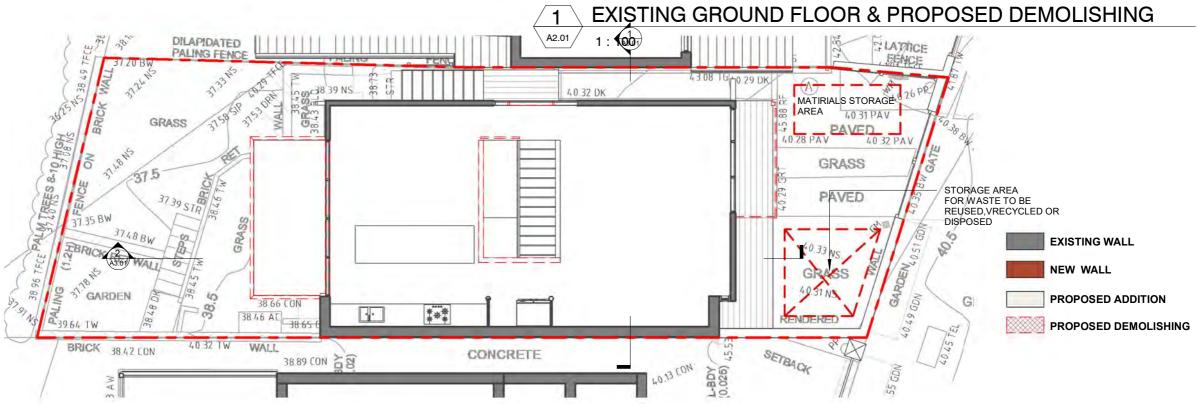
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## 2 EXISTING LEVEL 1 PLAN & PROPOSED DEMOLISHING 1:100

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REVISIONS	DATE
CONCEPT FOR REVIEW	16/08/2023
CONCEPT FOR REVIEW	3/10/2023
INAL DESIGN	20/12/2023
SECTION 4.55	12/02/2024
SECTION 4.55	14/02/2024
SECTION 4.55	21/02/2024
DA ISSUE	04/03/2024

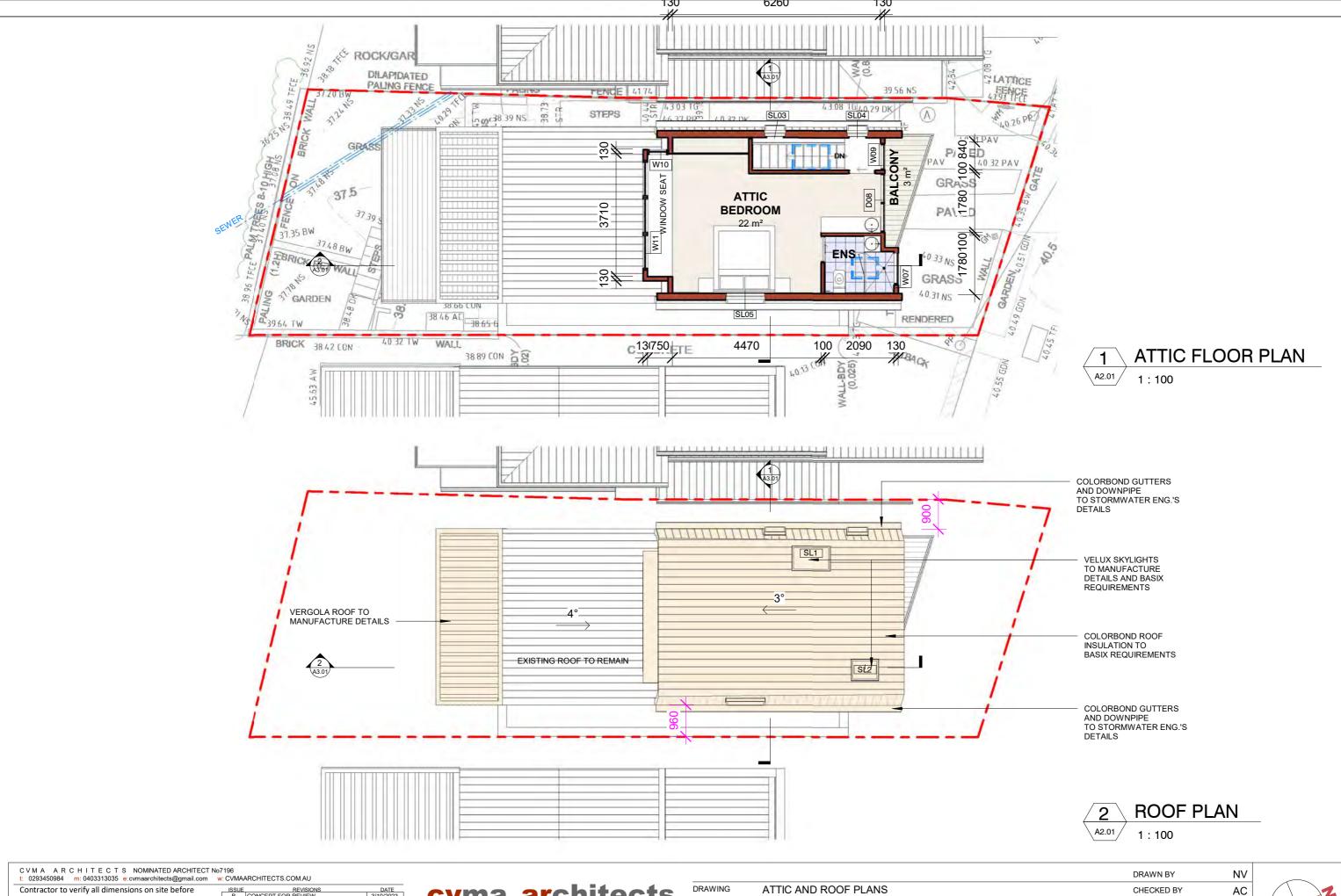
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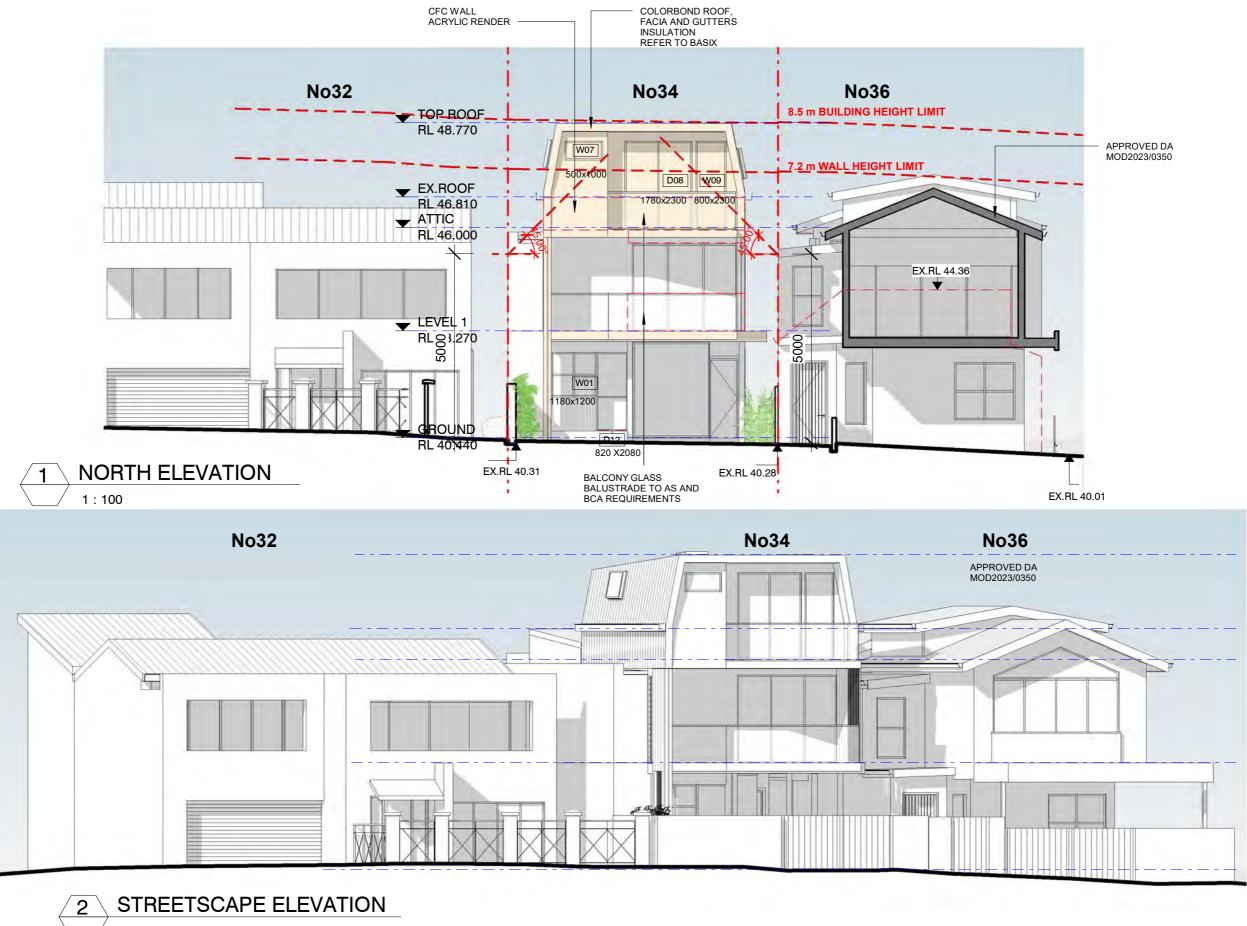




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CLIENT	JAN BEACH	DRAWING NO	A1.05 H





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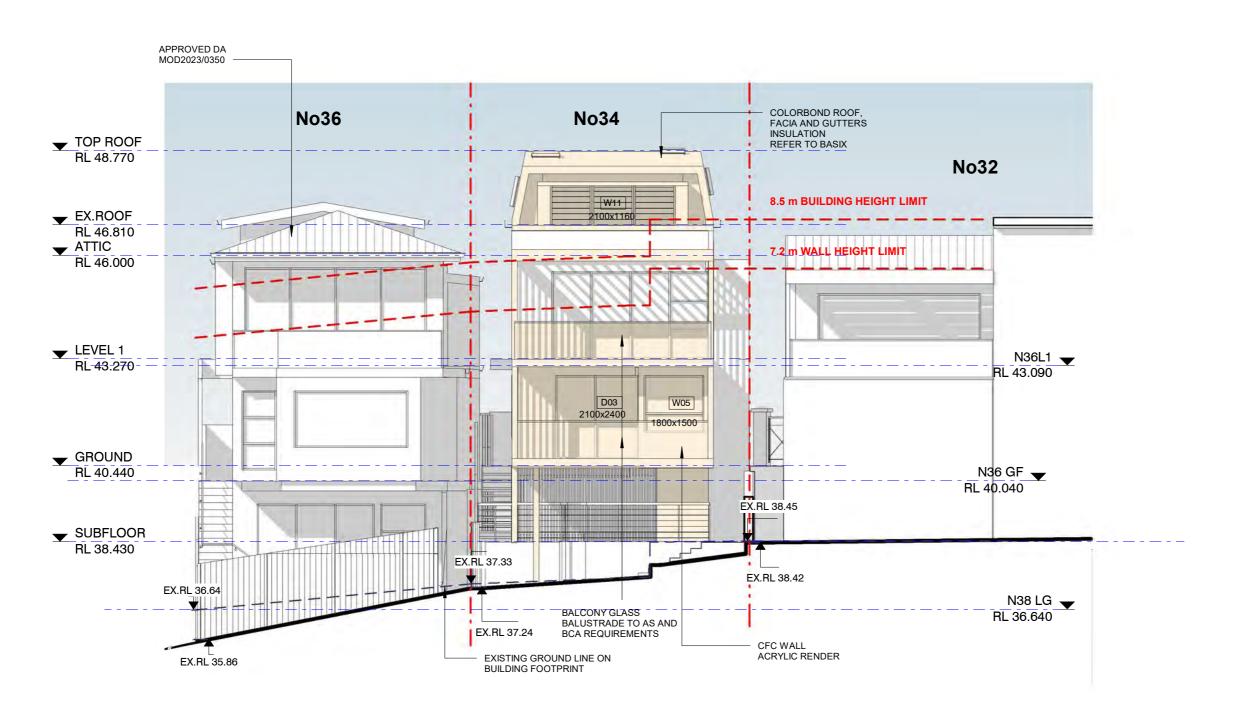
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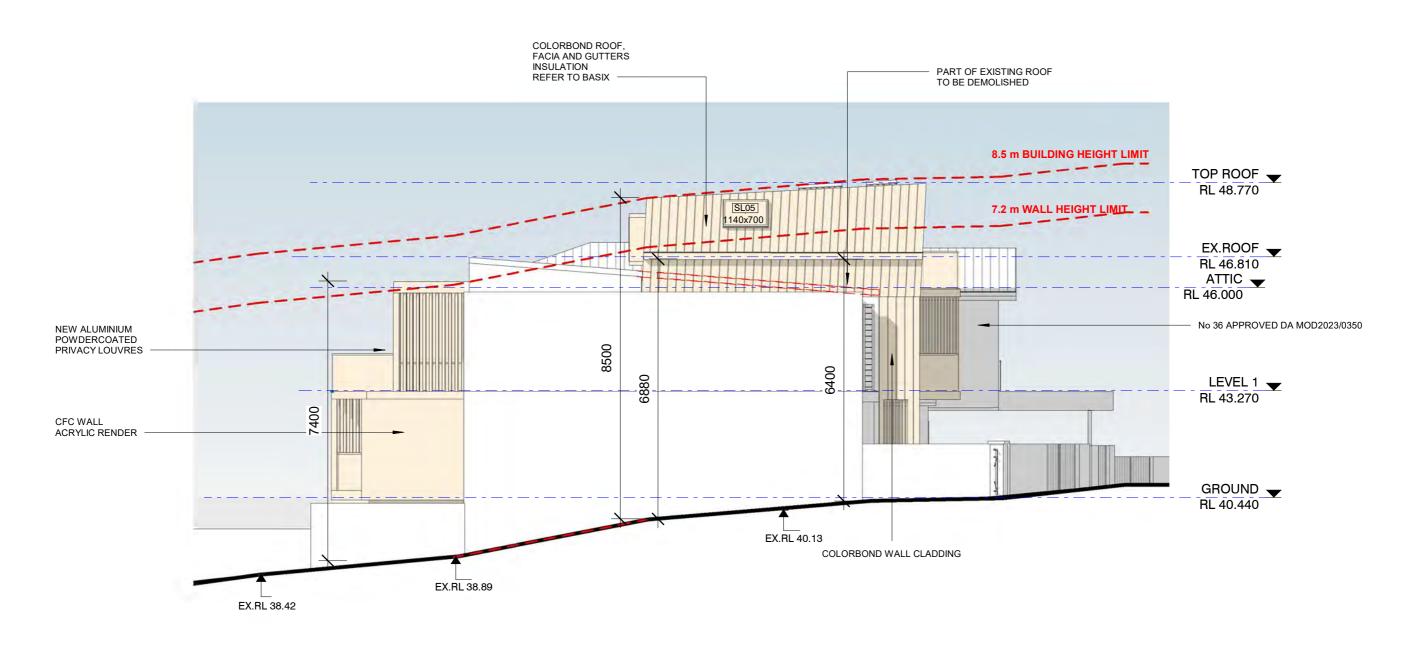
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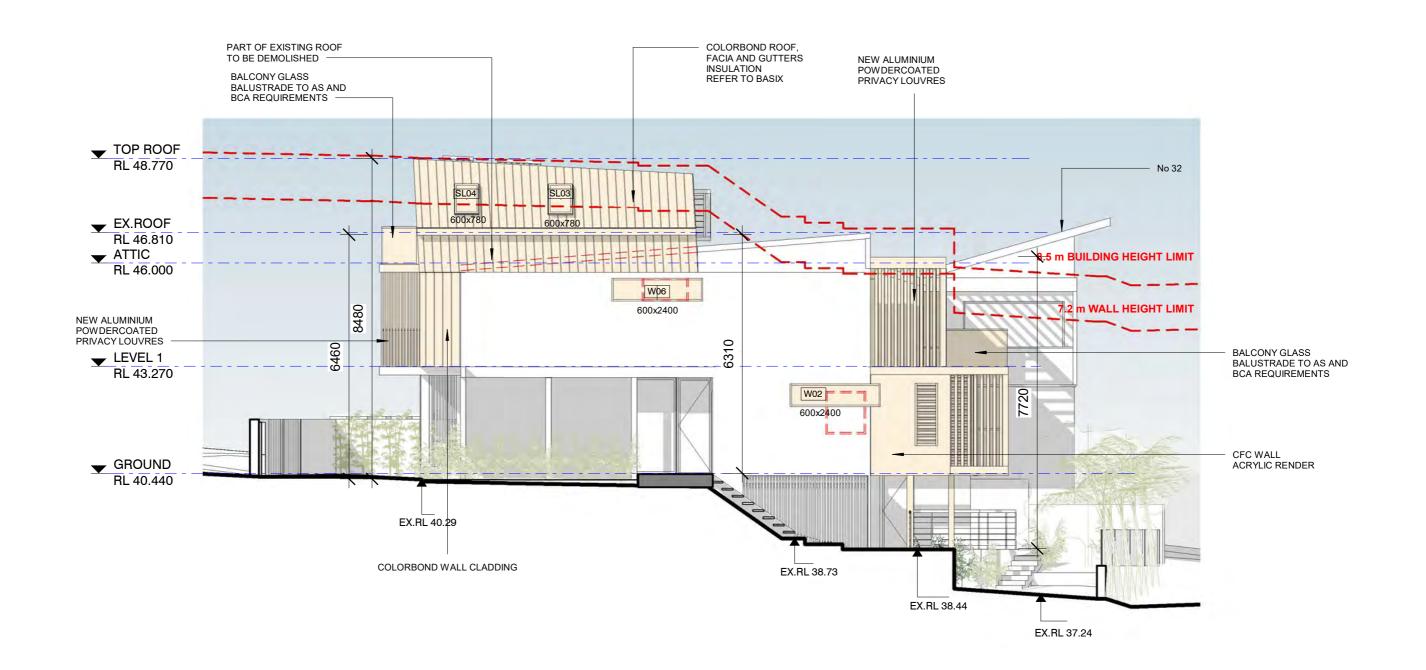
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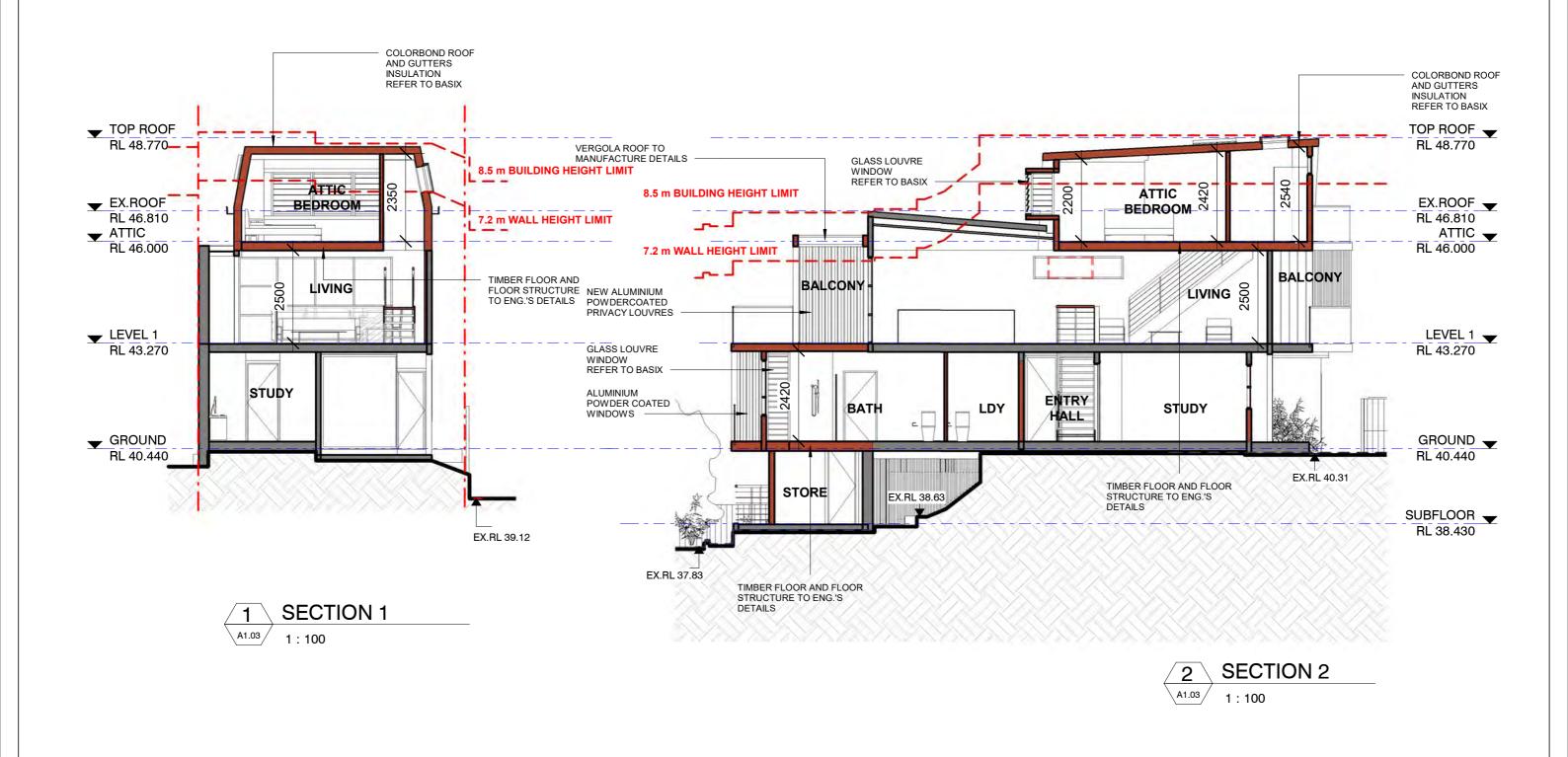
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ADDRESS	34 PAVILION STREET, QUEENSCLIFF NSW 2096	JOB NO	HA2313
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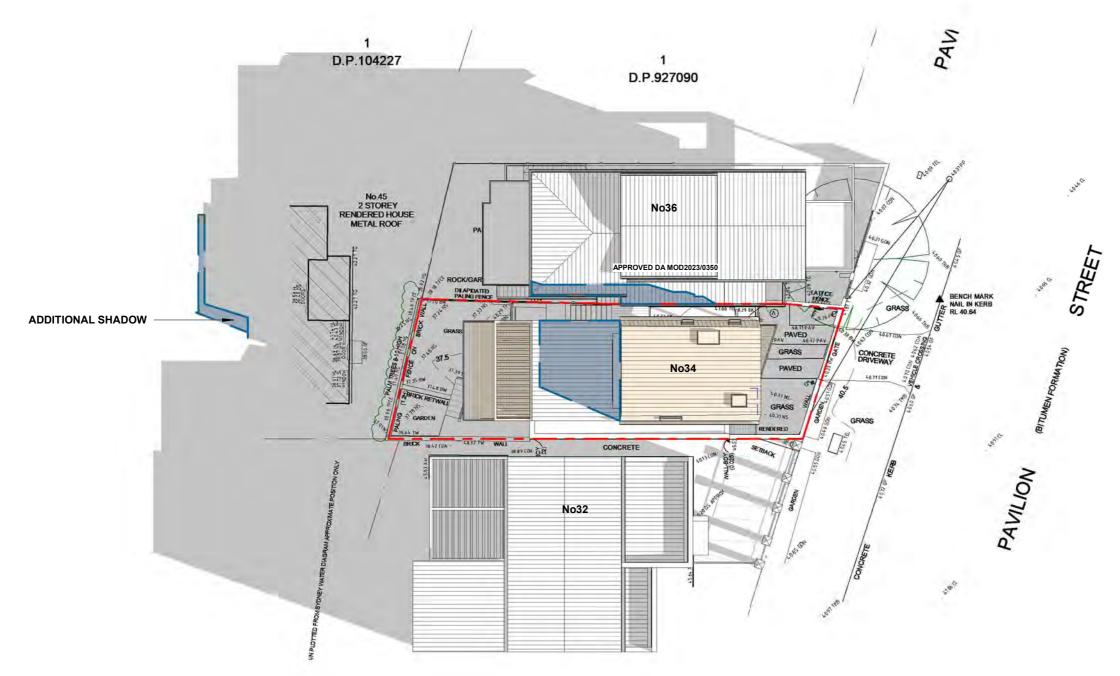


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1 SHADOW DIAGRAM 21.06-9AM

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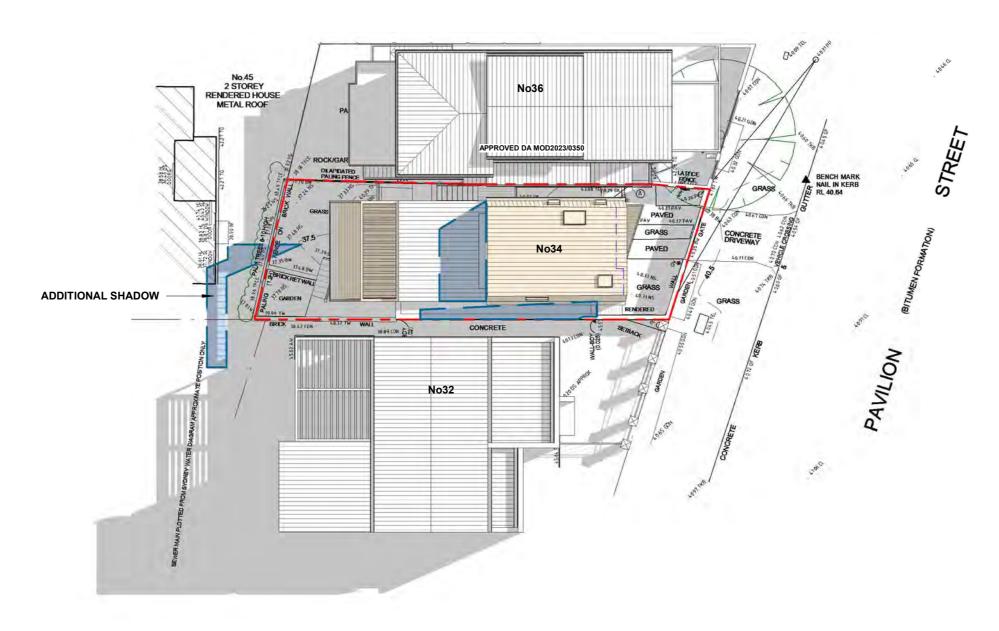
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1 SHADOW DIAGRAM 21.06-12PM 1:200

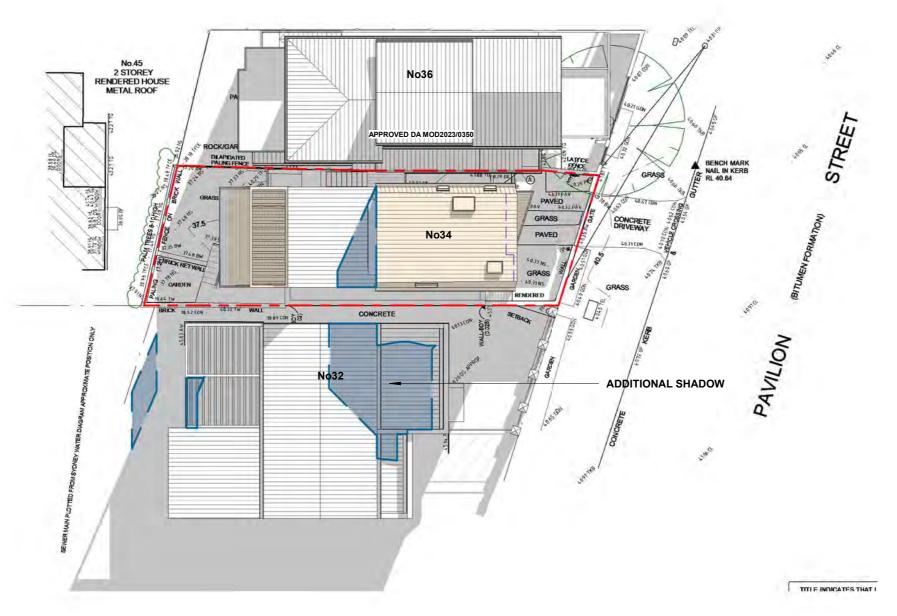
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1 SHADOW DIAGRAM 21.06-3PM

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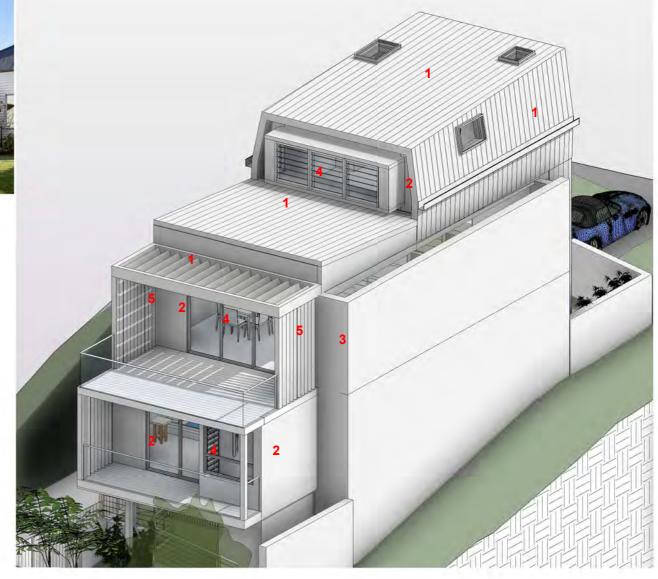
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#### SCHEDULE OF EXTERNAL MATERIALS AND FINISHES

No	BUILDING ELEMENT	FINISH	COLOUR	SAMPLE
1	METAL ROOF GUTTERS AND DOWNPIPES	COLORBOND	SIRFMIST	Sales and the sa
2	CFC WALLS	ACRYLIC RENDER FINISH	DULUX LEXICON OR SIMILAR	
3	EXISTING MASONRY WALLS	RENDER AND PAINT FINISH	DULUX LEXICON OR SIMILAR	
4	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDER COATING	WHITE	
5	ALUMINIUM VERTICAL PRIVACY LOUVRES	POWDER COATING	DECOWOOD CASUARINA OR WHITE	





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Building Sustainability Index www.basix.nsw.gov.au

#### Alterations and Additions

Certificate number: A1737147

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 23 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project name	Alterations & Additions at No34 Pavilion St Queenscliff
Street address	34 PAVILION Street QUEENSCLIFF 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP622394
Lot number	2
Section number	N/A
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition My renovation work is valued at \$50,000 or m and does not include a pool (and/or spa).	
N/A	N/A
Certificate Prepared by (p)	ease complete before sum ling to (20 and 2 POA)
Name / Company Name: C.V.M.A. F	TYLTD
	V.5.1

page 1/6"

BASIA COMPONENT ATTOTAL 2400.25

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light- emitting-diode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or aftered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		~	V
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		-	V
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

BASIA CONTINUE NUMBER A 1737 BIT Digs.391

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check
nsulation requirements					
listed in the table below, except that a) addi-	ered construction (floor(s), walls, and ceilings/ tional insulation is not required where the are of altered construction where insulation alrea	a of new construction is less than 2m2, b)	~	~	~
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with open subfloor; framed (R0.7).	R0.8 (down) (or R1,60 including construction)	N/A			
floor above existing dwelling or building.	nil -	N/A	11		
external walt: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked celling, pitched/skillion roof: framed	ceiling: R2.26 (up), roof: foil/sarking	light (solar absorptance < 0.475)			
flat ceiling, flat roof: framed	ceiling: R2.32 (up), roof: foil/sarking	light (solar absorptance < 0.475)	11		

BASIX Certificial number à 1717147 page 48

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	4	-	
The following requirements must also be satisfied in relation to each window and glazed door:		-	
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Neat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		~	~
For projections described in millimetres, the leading edge of each eave, pergota, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		~	V
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		~	
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		~	
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		~	
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	4	V	V

BASIX Confesio number-A172/147

lazing requir	ements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check
indows and gla	zed doors glazing	requirements							
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	N	3.12	0	0	eave/ verandah/ pergola/batcony >=900 mm	standard atuminium, single pyrolytic low-e, (U- value; 5.7. SHGC: 0.47)			
W2	W	1.44	3.86	1.47	none	standard sluminium, single pyrolytic low-e, (U- value: 5.7. SHGC: 0.47)			
D3	S	4.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7. SHGC: 0.47)			
W4	W	1.84	o.	u .	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W5	s	2.7.	0	Q	none	standard aluminium, single pyrolytic lowe, (U- value: 5.7, SHGC: 0.47)			

Planning industry and Environment

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	В	DA ISSUE	04/03/202
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CLIENT	JAN BEACH	DRAWING NO	A5.02 B

BASIX Conficuse number-84797447

lazing requir	ements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing fielght (m)	Overahadowing distance (m)	Shading device	Frame and glass type			
W6	W	1.44	2.01	26	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear , (U-value: 3.1, SHGC: 0.27)			
WT	N	0.5	0.	.a	awning (adjustable) >=900 mm	aluminium: thermally broken, double Lo-Tsot/air gap/clear (U-value; 3.1, SHGC: 0.27)			
D8	N	4.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W9	14	1.84	0	Q	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e. (U- value: 5.7. SHGC; 0.47)			
W10	w	0.7	0.	ù	external louvre/blind (adjustable)	aluminium: thermally broken, double Lo-Tsol/air gap/dear (U-value: 3.1, SHGC: 0.27)			

Planning processory And Company and Control of the Section of the

Glazing requirements

Show on DA Plans

Show on CC/CDC Certifier Plans & specs

Windows and glazed doors glazing requirements

Windowindoor Orientation Area of glass including frame (m2)

W11 S 3.83 0 0 0 none standard aluminitum, single projectic low-e, (U-value: 5,7, SHGC; 0,47)

W02A W 0.95 1.83 Z.42 none aluminium, single Lo-Tsot low-e, (U-value: 5,6, SHGC; 0,36)

С	V M A	A R	СН	ΙТ	Ε	С	Т	S	NOMINATED ARCHITECT	No7196
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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & spec≢	Certifier Check
Skylights						
The applicant must install the	e skylights in accordance with the spe	ofications listed in the table	below.	~	~	v
The following requirements	must also be satisfied in relation to ear	ch skylight				v
Each skylight may either ma listed in the table below.	14		v			
Skylights glazing require	nents					
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	8.0	no shading	timber, low-E internal/argon fill/clear external. (or U-value: 2.5, SHGC: 0.456)			
S2	0.42	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC; 0.456)			
S3	0.47	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
84	0.47	no shiiding	timber, tow-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
\$6	0.8	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

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