

STANDARD CONSTRUCTION NOTES

WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH;
AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH N.C.C. 3.8.3.3
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01

ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH N.C.C. 3.4.1. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 – PLUMBING AND DRAINAGE.

TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER;
AS 3660.1:2014 – TERMITE MANAGEMENT

GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM SLIDING (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;
AS 1288:2006 GLASS IN BUILDINGS
AS 4055:2012 WIND LOADS FOR HOUSING
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH N.C.C. 3.9.2.5

STEPS, STAIRS & BALUSTRADES

- ALL STEPS & STAIRS TO HAVE;
240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH N.C.C. 3.9.1.
- BALUSTRADE IN ACCORDANCE WITH N.C.C. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH N.C.C. 3.9.1.4 AND AS 4586:2013 SLIP RESISTANCE.

WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH;
AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

INTERNAL ELEVATIONS

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

hebel®

Power Panel

50mm PARTIWALL System

DETAIL REF. S-TYP-PWAL-02

STEEL FLOOR JOISTS

- 360MM DEEP FLOOR JOIST
- 300MM DEEP FLOOR JOIST TO WET AREA
- 22MM RED TONGUE PARTICLE BOARD FLOORING

PROVIDE FLUSH FINISHED FLOORS TO ALL GROUND FLOOR WET AREAS. STRUCTURAL ENGINEERS TO REFLECT REDUCED POD HEIGHT

PROVIDE 2340MM (H) INTERNAL DOORS TO THE GROUND FLOOR ONLY UNLESS OTHERWISE NOTED (EXCLUDES SLIDING ROBE DOORS PANTRY, BROOM, LINEN CUPBOARDS)

A&L

WINDOWS|DOORS

A JELD-WEN COMPANY

BASIX COMMITMENTS - Unit A & B

Certificate No.: 1098679M

Date of Issue: 26.05.2020

WATER COMMITMENTS

FIXTURES

- 3 STAR RATED SHOWERHEADS >7.5 BUT <9L/MIN.
- 4 STAR RATED TOILET FLUSHING SYSTEMS
- 4 STAR RATED KITCHEN TAPS
- 4 STAR RATED BASIN TAPS

ALTERNATIVE WATER

- PROVIDE A RAINWATER TANK OF AT LEAST 2000L
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE ENTIRE ROOF AREA.
- TANK MUST BE CONNECTED TO;
 - ALL TOILETS
 - WASHING MACHINE COLD WATER TAP
 - AT LEAST ONE OUTDOOR TAP

ENERGY COMMITMENTS

HOT WATER

- 6 STAR RATED GAS INSTANTANEOUS

COOLING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

HEATING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 3.0-3.5
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

VENTILATION

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
 - EACH BATHROOM
 - THE LAUNDRY
 - THE KITCHEN

NATURAL LIGHTING

- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 1 BATHROOMS/TOILET FOR NATURAL LIGHTING

OTHER COMMITMENTS

- INSTALL A ELECTRIC COOKTOP & ELECTRIC OVEN
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

TABLE OF REVISIONS

REV.	DATE	REVISION DESCRIPTION	BY
A	10.3.2020	PRELIMINARY CONTRACT PLANS	DA4
B	29.4.2020	707083/ V01 - 703805/ V01	DA4
C	27.5.2020	707083/ V02 - 703805/ V02 [DA4] / LODGEMENT PLANS	IC2
D	DD.MM.YY	DESCRIPTION	XX
E	DD.MM.YY	DESCRIPTION	XX
F	DD.MM.YY	DESCRIPTION	XX
G	DD.MM.YY	DESCRIPTION	XX
H	DD.MM.YY	DESCRIPTION	XX
I	DD.MM.YY	DESCRIPTION	XX
J	DD.MM.YY	DESCRIPTION	XX

DESIGN: GRANGE 18

FACADE: ASPIRECEILING: 25, L/R

GARAGE: SINGLELOCATION: F

COVER SHEET

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Tel: 02 8887 9000 Fax: 02 8079 5901
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OWNER: MR. SAM SAMMOUR

LOT32 NO.4 DUDLEY STREET

BALGOWLAH

JOB No: 707083-707085

DATE: 10.03.2020

FC DATE: DD.MM.YYYY

MST VER: 08.04.2018

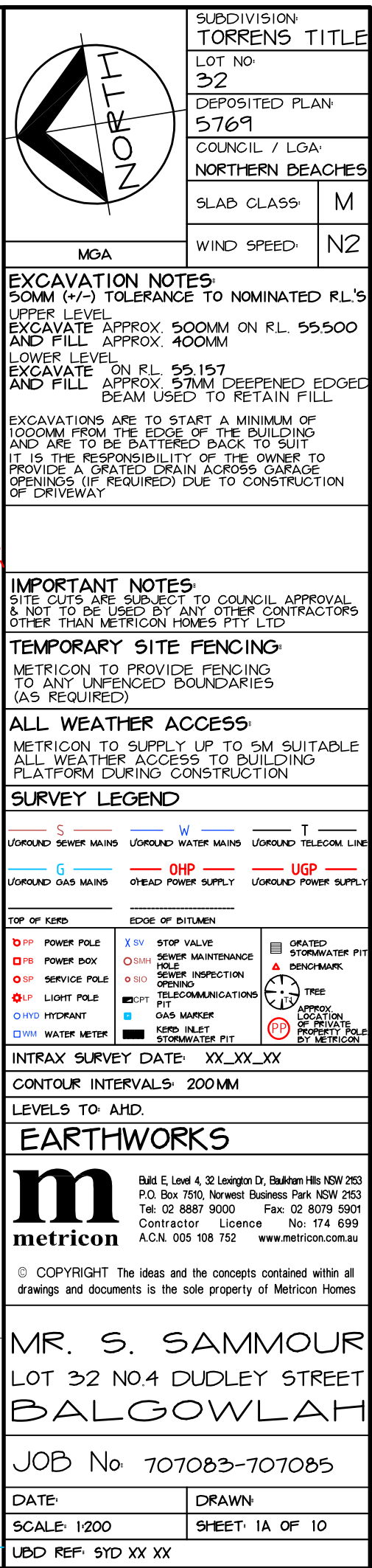
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REVISION: C

DRAWN: DA4

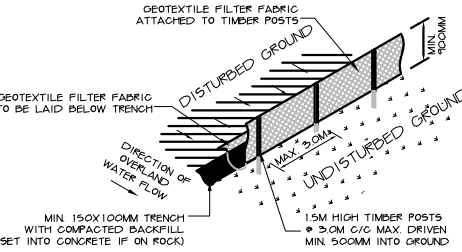
CHECK: DA4

SHEET: COVER



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

SEDIMENT FENCE

WASTE STORAGE AREA

MATERIAL STORAGE AREA

PORTABLE TOILET

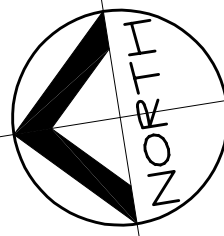
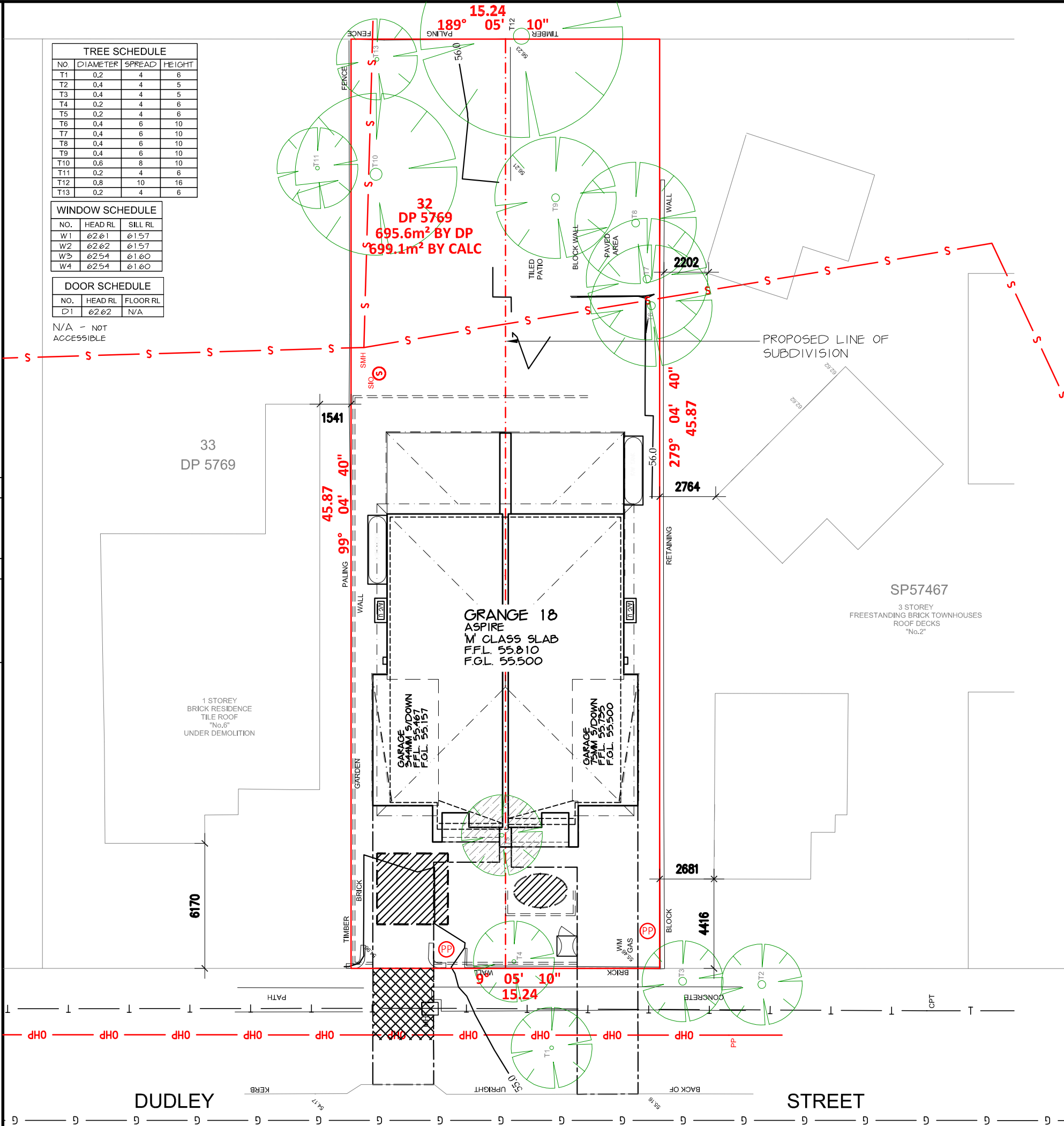
ALL WEATHER ACCESS POSITION

TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T1	0.2	4	6
T2	0.4	4	5
T3	0.4	4	5
T4	0.2	4	6
T5	0.2	4	6
T6	0.4	6	10
T7	0.4	6	10
T8	0.4	6	10
T9	0.4	6	10
T10	0.6	8	10
T11	0.2	4	6
T12	0.8	10	16
T13	0.2	4	6

WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	62.61	61.57
W2	62.62	61.57
W3	62.54	61.60
W4	62.54	61.60

DOOR SCHEDULE		
NO.	HEAD RL	FLOOR RL
D1	62.62	N/A

N/A - NOT ACCESSIBLE



SUBDIVISION: TORRENS TITLE	
LOT NO: 32	
DEPOSITED PLAN: 5769	
COUNCIL / LGA: NORTHERN BEACHES	
SLAB CLASS: M	
WIND SPEED: N2	

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING: BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

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Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699
A.C.N. 005 108 752 www.metricon.com.au

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MR. S. SAMMOUR
LOT 32 NO.4 DUDLEY STREET
BALGOWLAH

JOB No: 707083-707085

DATE:	DRAWN:
SCALE: 1:200	SHEET: 1B OF 10
UBD REF: SYD XX XX	

LEGEND



MAIN VIEWS



PRIVATE OPEN SPACE



NUMBER OF STOREYS



NOISE SOURCE



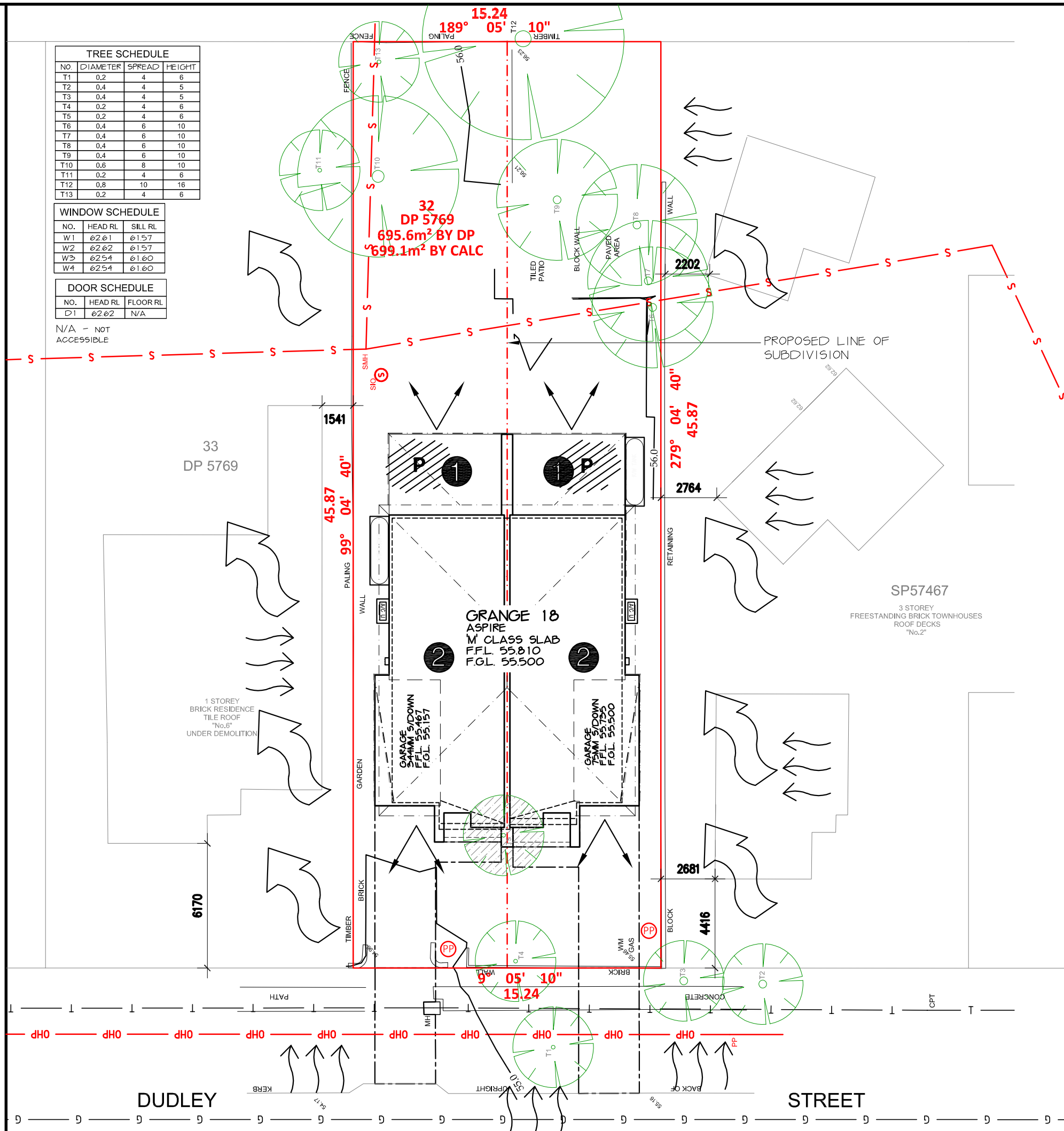
PREVAILING WINDS
FROM SOUTH-WEST

TREE SCHEDULE			
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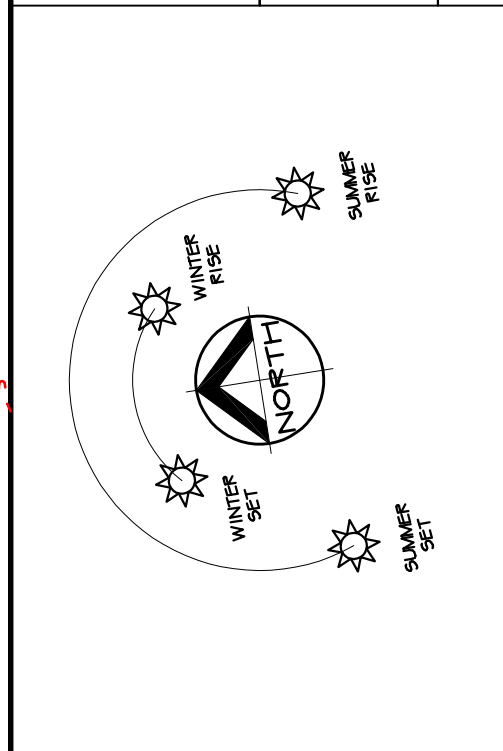
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SITE ANALYSIS PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

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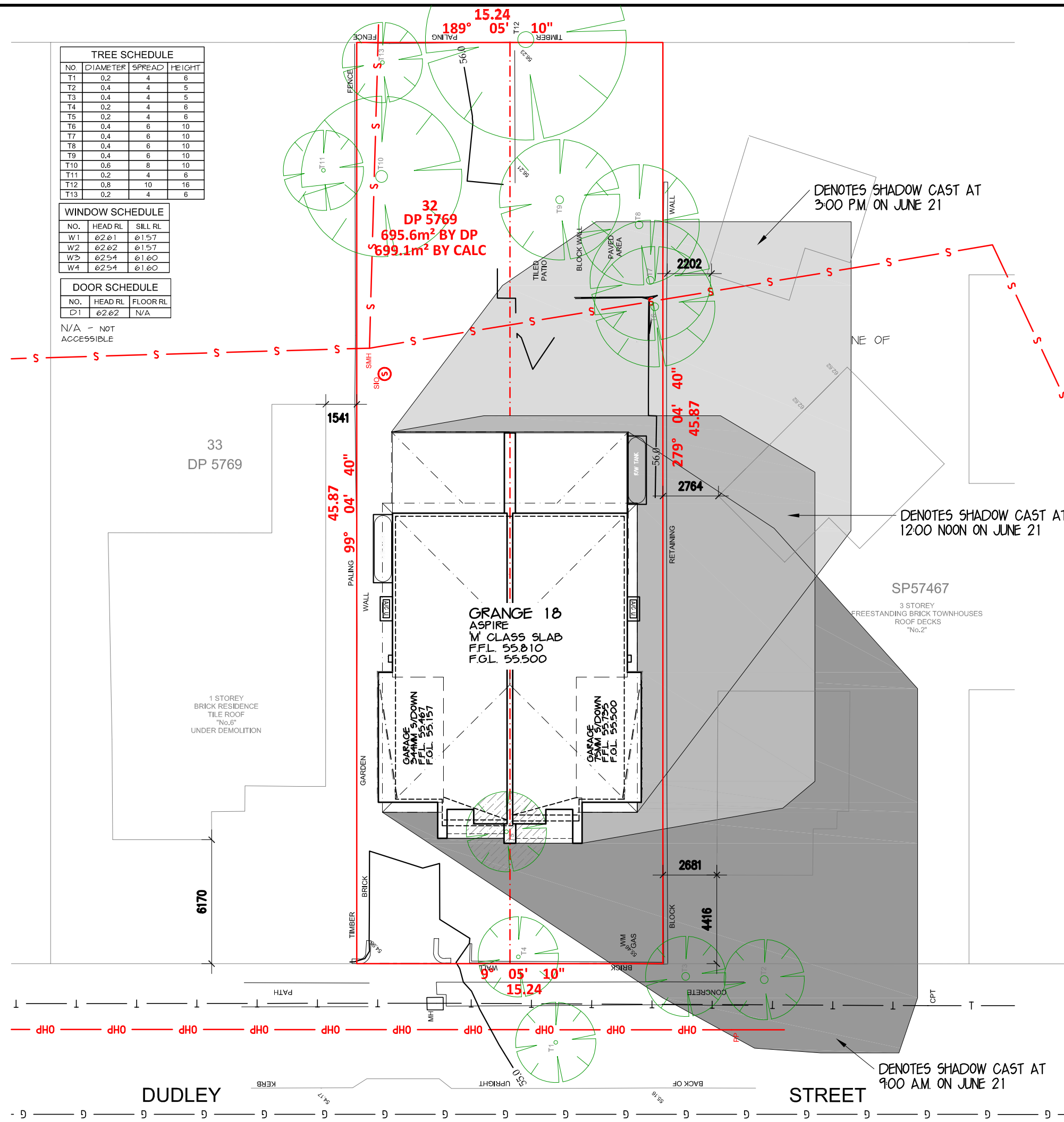
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UBD REF: SYD XX XX	

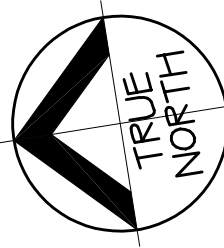


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LOT NO:
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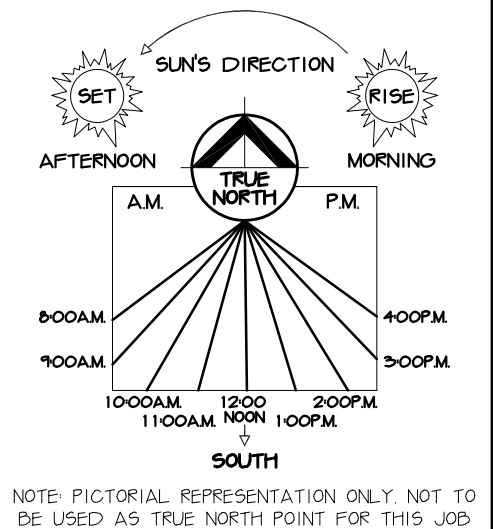
DEPOSITED PLAN:
5769

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N2

MGA



SHADOW LOCATION	TIME OF DAY
	9:00 A.M. JUNE 21
	12:00 NOON JUNE 21
	3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO (METRES)	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	359.19
1:00 PM	1.68	30.8	343.16
2:00 PM	2.08	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.48	8.77	305.94

SHADOW DIAGRAM @ JUNE 21



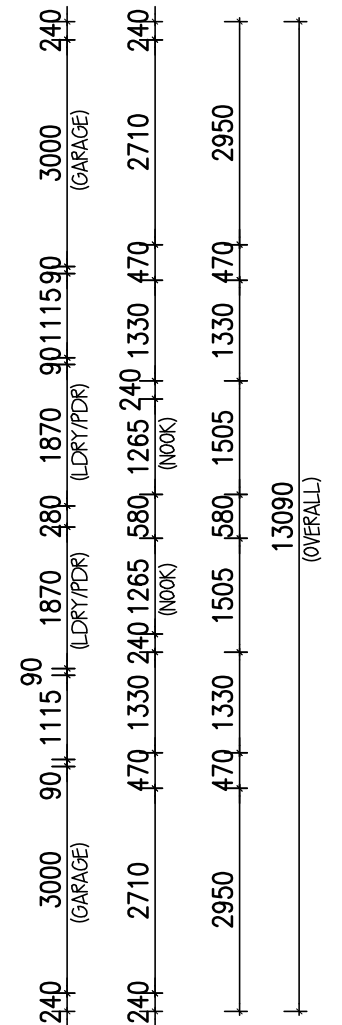
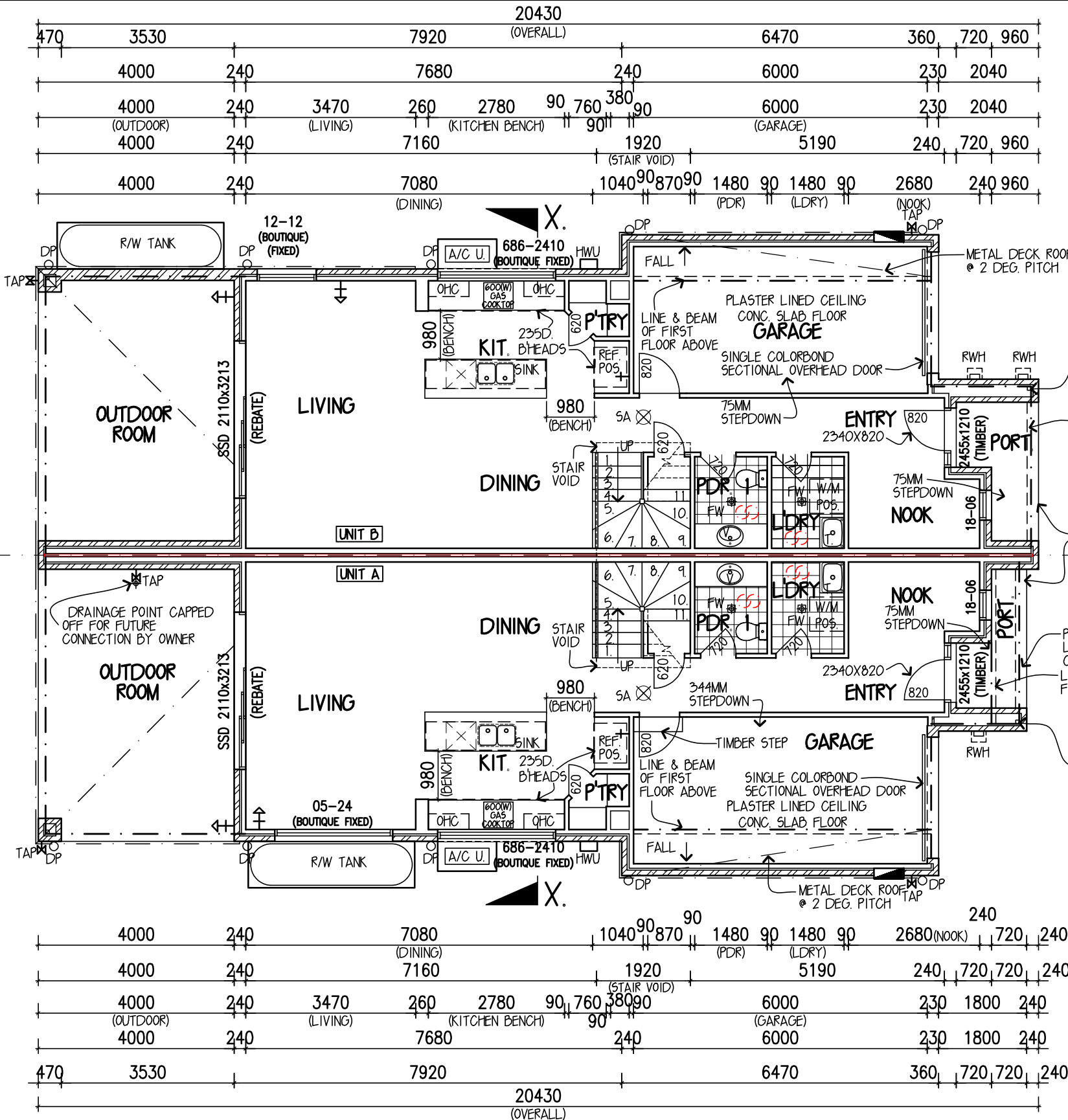
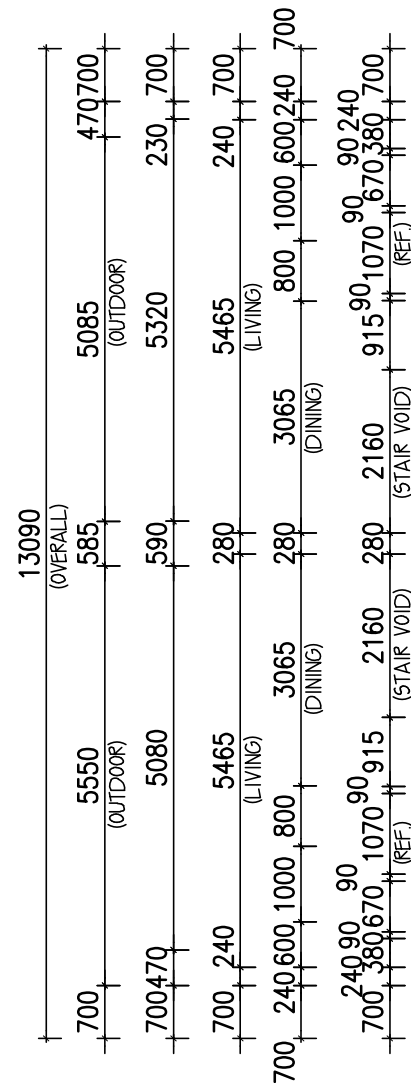
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UBD REF: SYD XX XX	



SYMBOL LEGEND

	DOWNPIPE 90mm ROUND PVC
	DOWNPIPE 100x50mm RECT. C/BOND
	DOWNPIPE WITH SPREADER
	DOWNPIPE WITH RAINWATER HEAD
	EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.
	GARDEN TAP
	GAS BAYONET
	COLD WATER POINT
	FLOOR WASTE
	ELEC. METERBOX 600x600 RECESSED
	AIR COND. UNIT
	MANHOLE FOR CEILING ACCESS

	SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2 & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	LOAD BEARING WALL
	70mm STUD WALL
	120mm STUD WALL

UNIT A:	UNIT B:
GRD FLR: 71.86 SQM	GRD FLR: 71.98 SQM
FIRST FLR: 84.50 SQM	FIRST FLR: 84.00 SQM
FLR. TOTAL: 156.36 SQM	FLR. TOTAL: 155.98 SQM
GARAGE: 20.31 SQM	GARAGE: 20.31 SQM
PORTICO: 3.00 SQM	PORTICO: 3.67 SQM
OUTDOOR: 23.38 SQM	OUTDOOR: 23.38 SQM
TOTAL: 179.67 SQM	TOTAL: 179.96 SQM
1934 SQM	1937 SQM

DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: 25, L/R

GARAGE: **SINGLE** LOCATION: **F**

GROUND FLOOR PLAN

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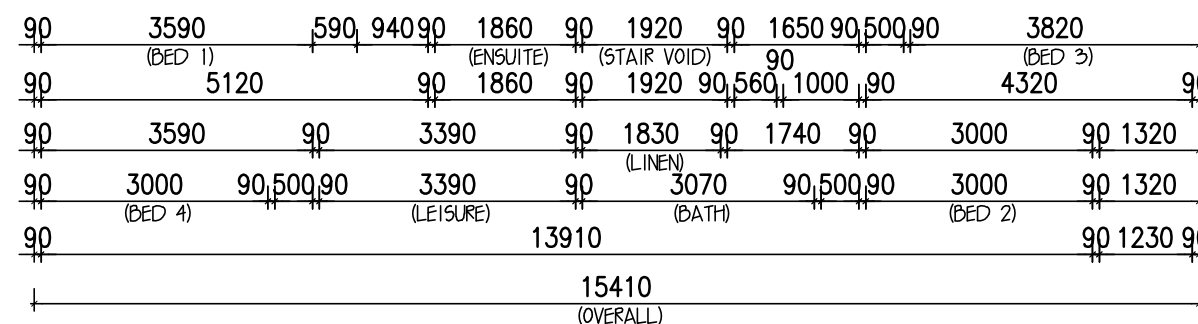
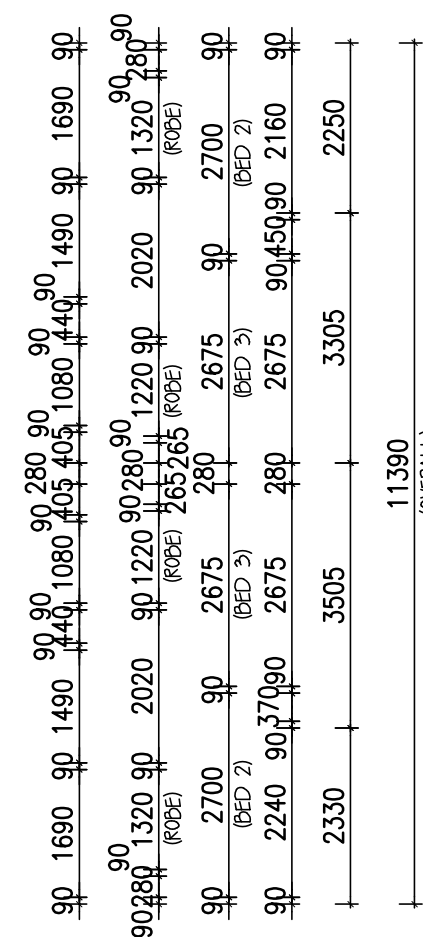
OWNER: **MR. SAM SAMMOUR**
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

JOB No: **707083-707085** DATE: **10.03.2020**

FC DATE: **DD.MM.YYYY** MST VER: **08.04.2018**

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DRAWN: **DA4** CHECK: **DA4** SHEET: **2 of 14**

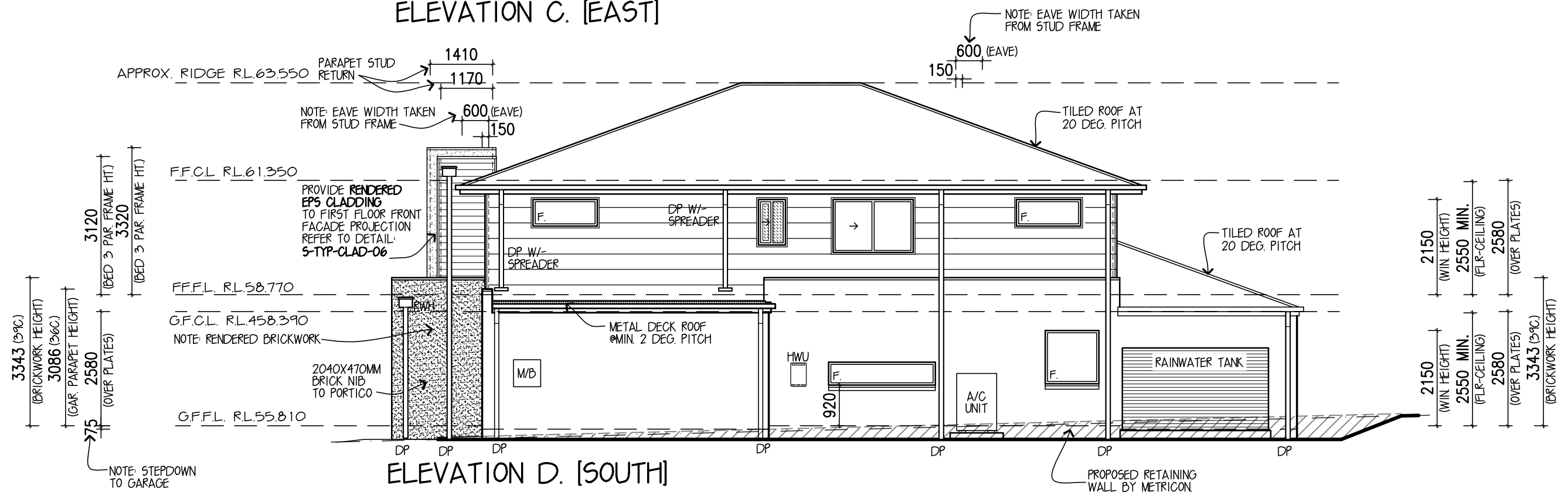
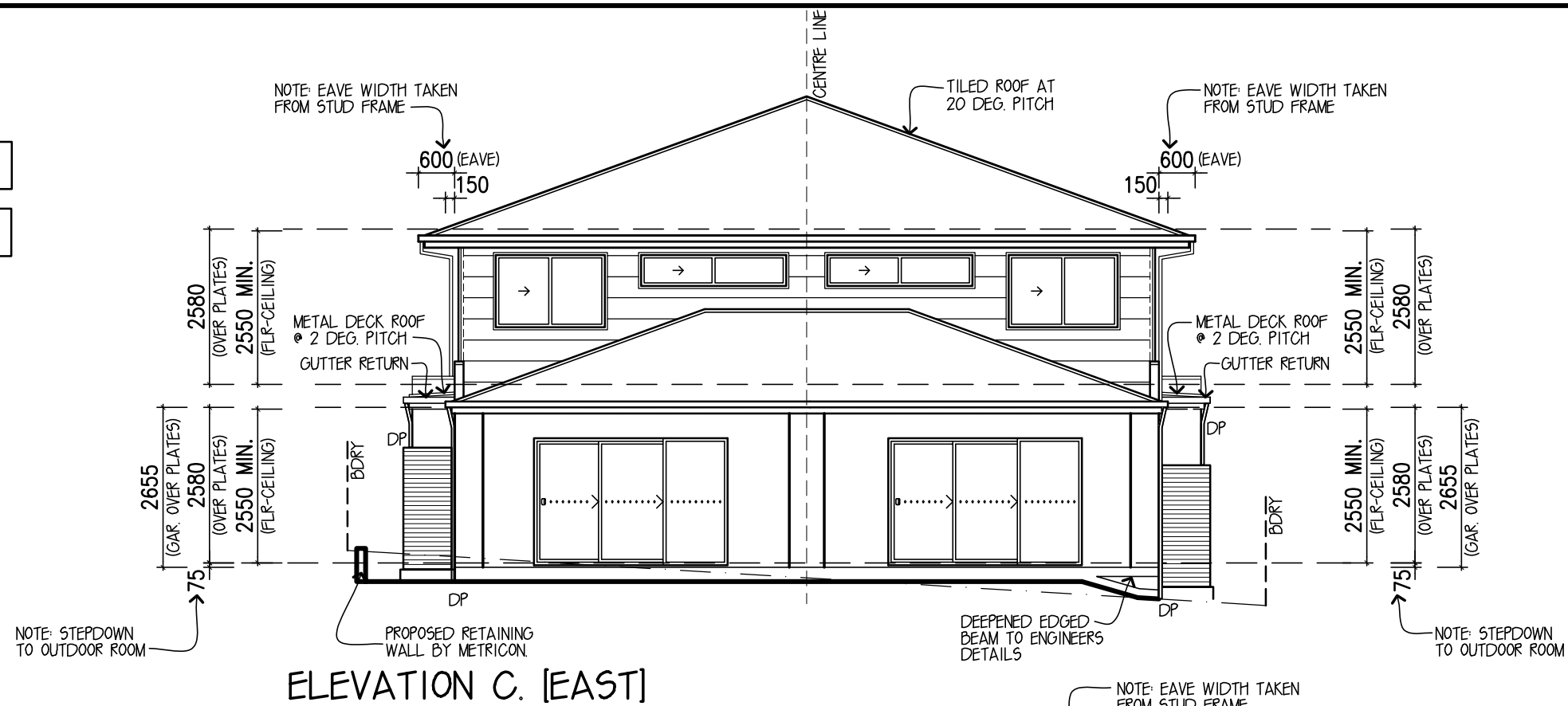


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 DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING

 DENOTES WINDOWS/DOORS WITH
TRANSLUCENT GLAZING



	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		

ELEVATIONS

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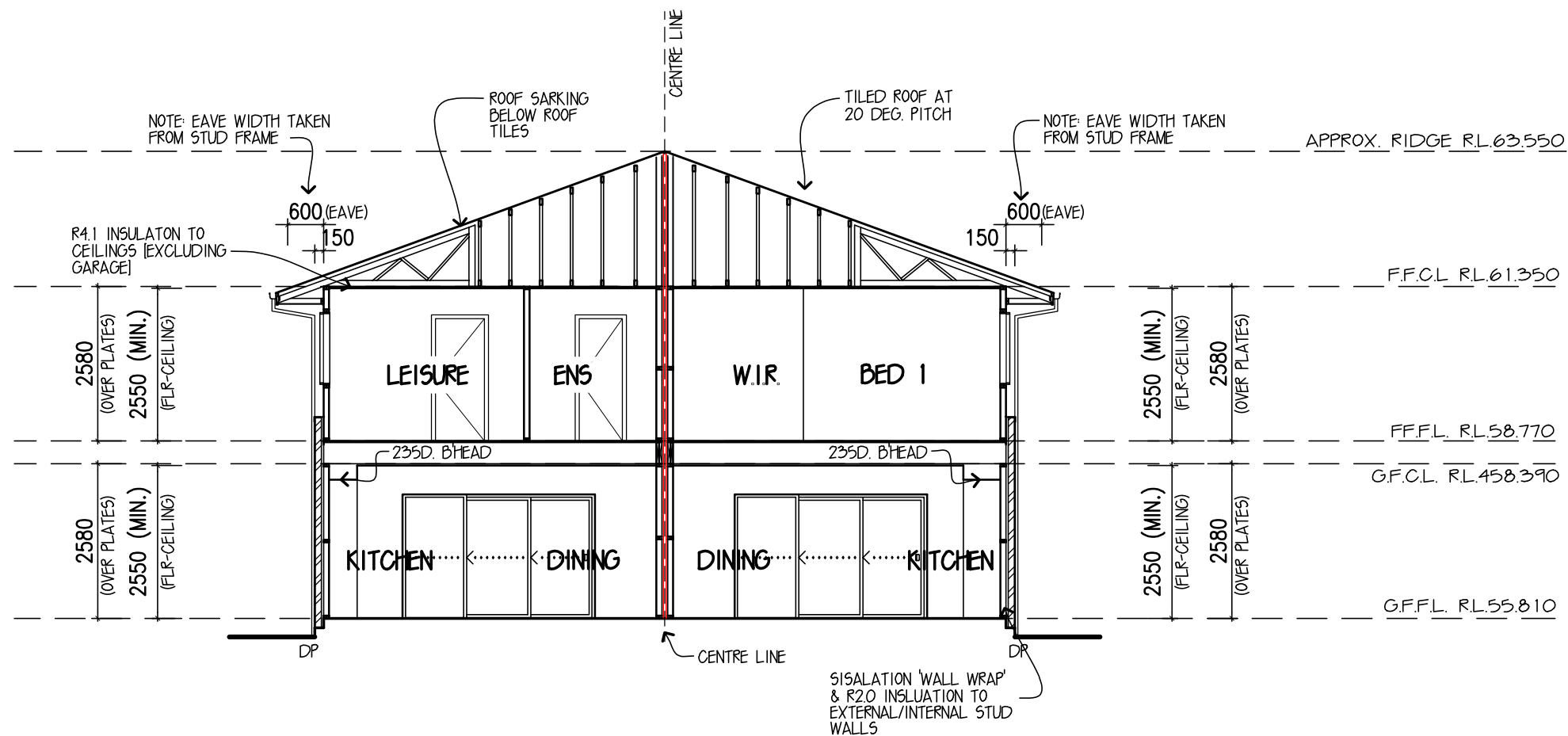
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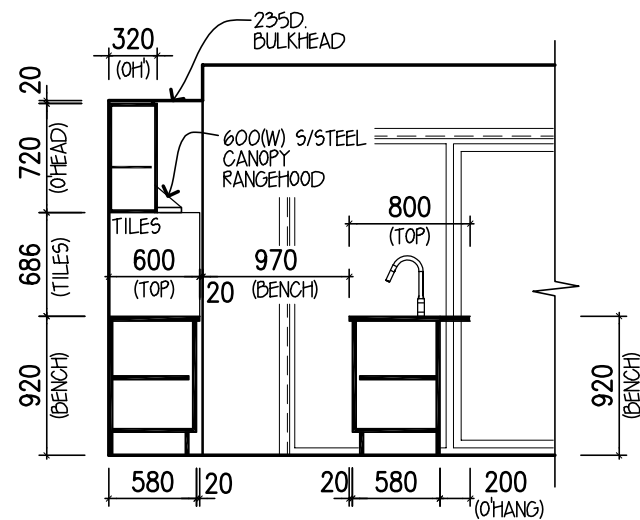
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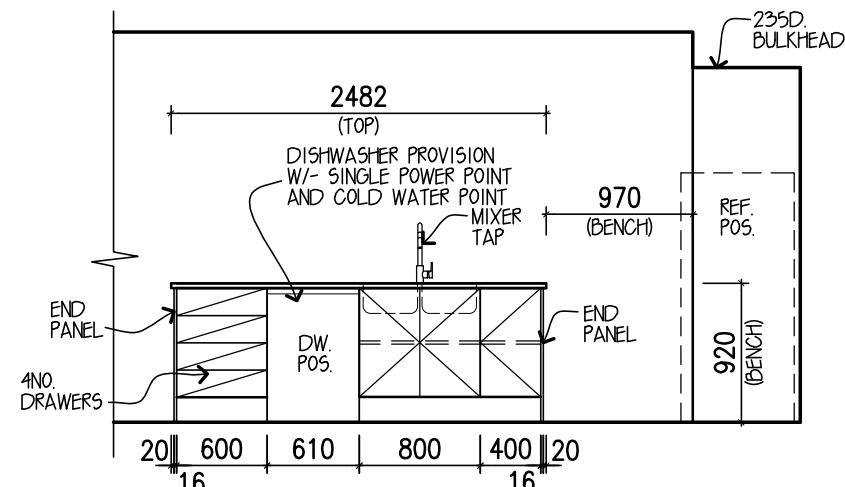


SECTION X-X

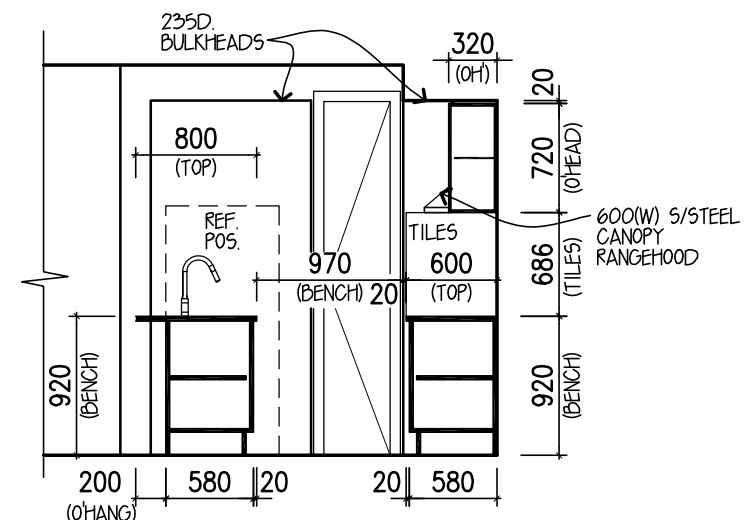
DESIGN: GRANGE 18	
FACADE: ASPIRE	CEILING: 25, L/R
GARAGE: SINGLE	LOCATION: F
SECTION	
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OWNER: MR. SAM SAMMOUR LOT32 NO.4 DUDLEY STREET BALGOWLAH	
JOB No: 707083-707085	DATE: 10.03.2020
FC DATE: DD.MM.YYYY	MST VER: 08.04.2018
SCALE: 1:100 ON A3 SHEET	REVISION: C
DRAWN: DA4	CHECK: DA4
SHEET: 6 of 14	



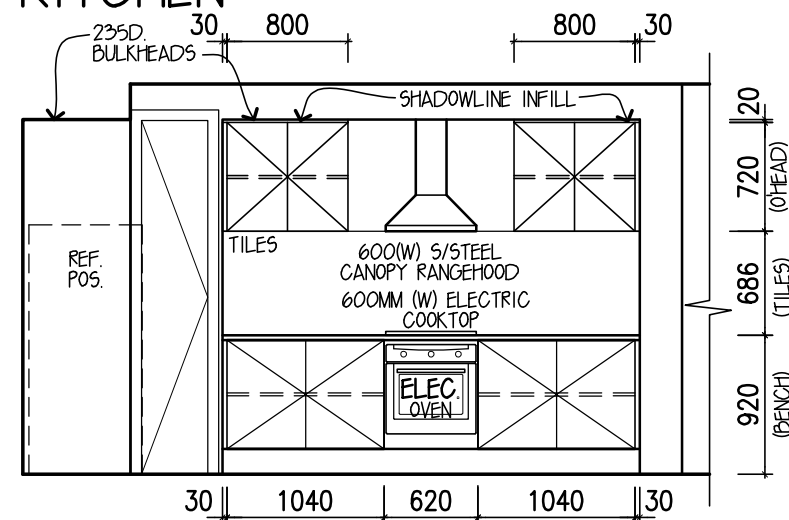
ELEVATION A
KITCHEN



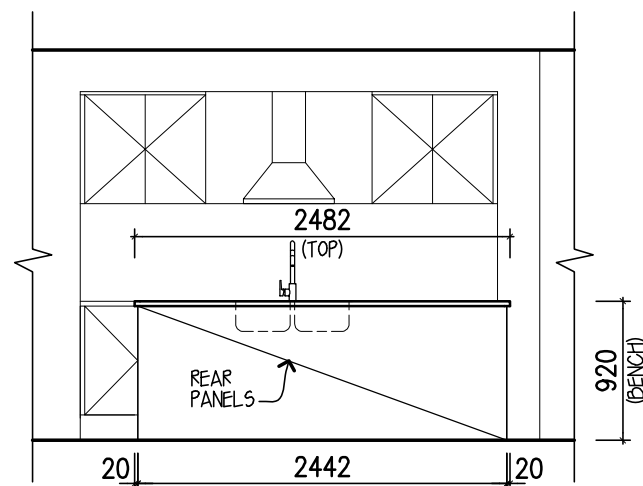
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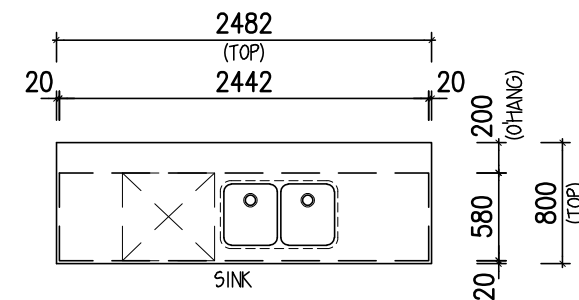
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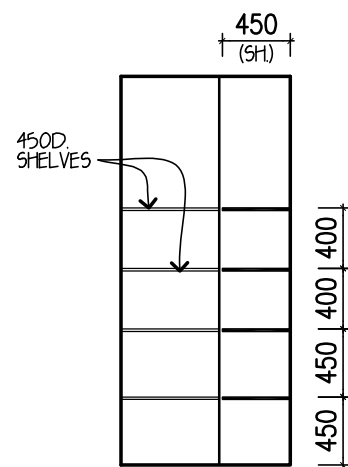
ELEVATION D
KITCHEN



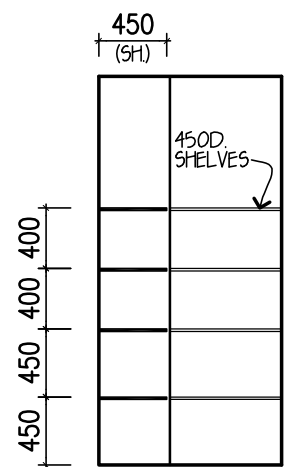
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KITCHEN ISLAND



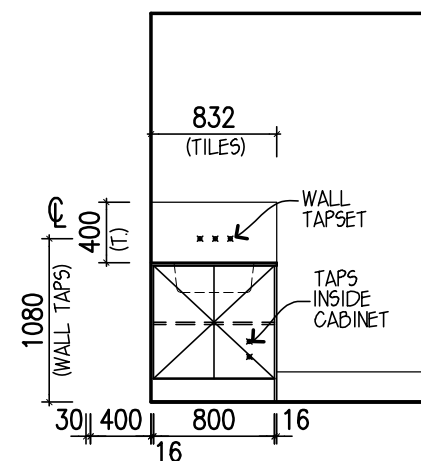
KITCHEN ISLAND
BENCH DETAIL



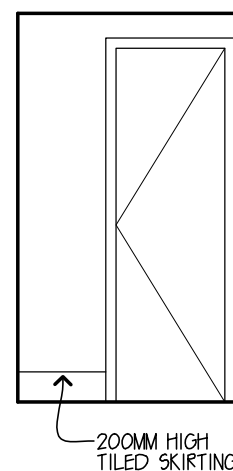
ELEVATION C
PANTRY



ELEVATION D



ELEVATION C
LAUNDRY



ELEVATION D

DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: 25, L/R

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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OWNER: **MR. SAM SAMMOUR**
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

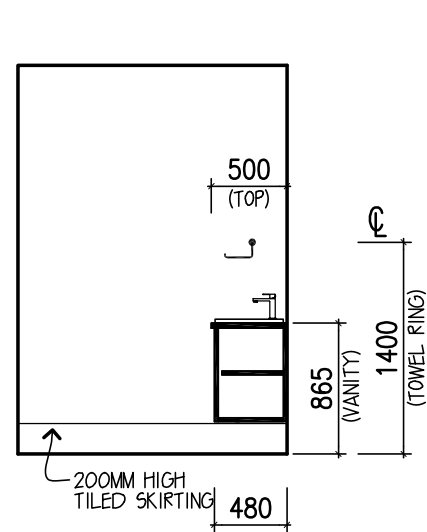
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FC DATE: **DD.MM.YYYY** MST VER: **08.04.2018**

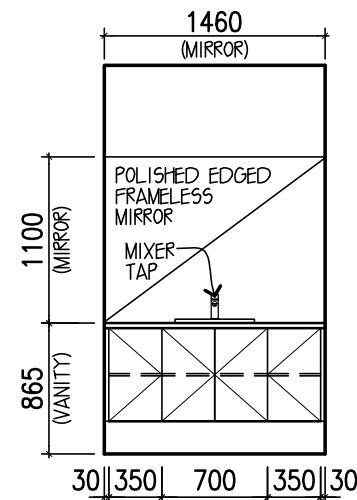
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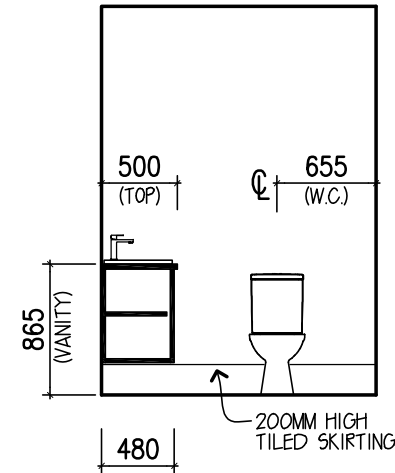
UNIT A



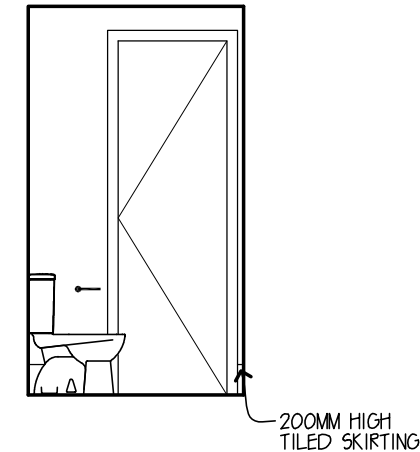
ELEVATION A
PDR. 1



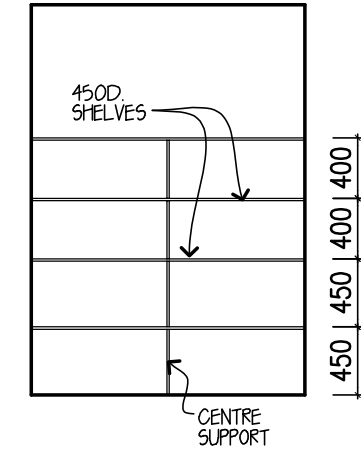
ELEVATION B



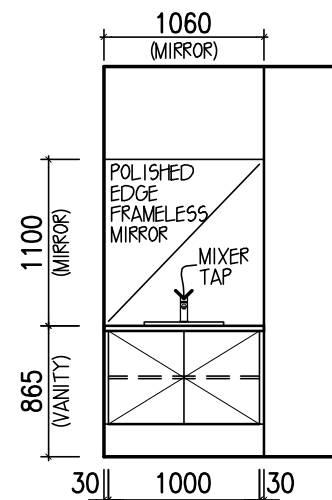
ELEVATION C



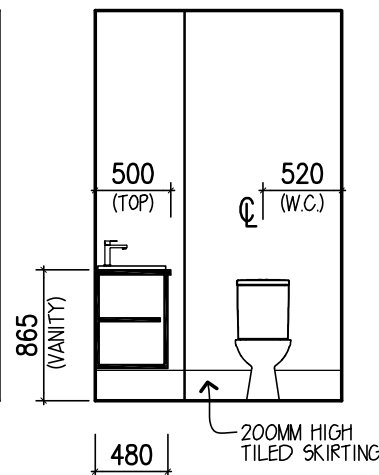
ELEVATION D



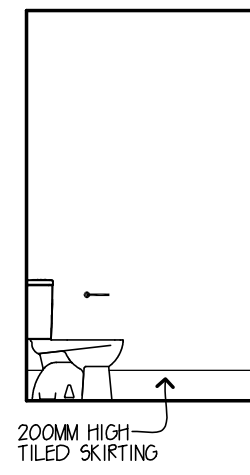
ELEVATION D
LINEN (FIRST FLOOR)



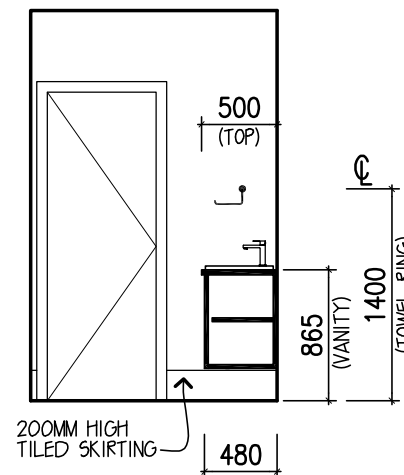
ELEVATION A
PDR. 2



ELEVATION B



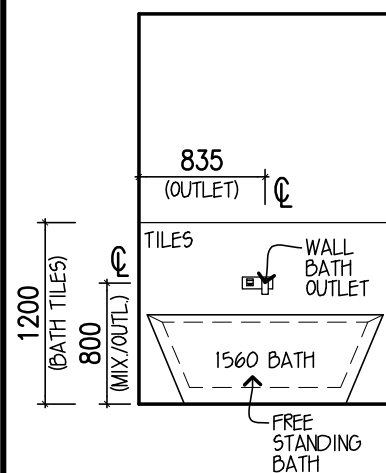
ELEVATION C



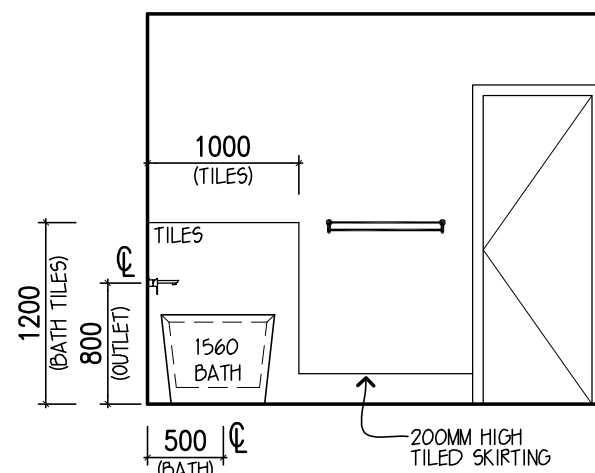
ELEVATION D

PROVIDE NOGGINGS AT 750MM HIGH ABOVE FFL FOR FIXING OF WALL MOUNTED VANITIES TO:

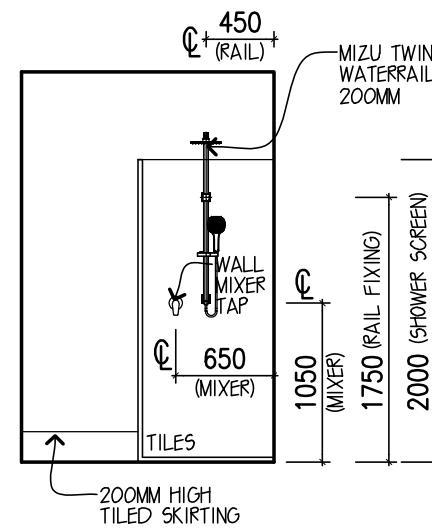
- POWDER ROOM 1
- POWDER ROOM 2
- BATHROOM



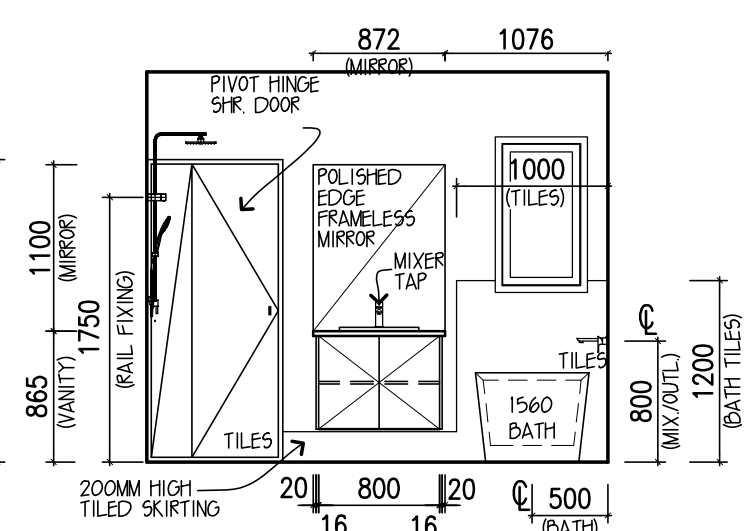
ELEVATION A
BATH



ELEVATION B



ELEVATION C



ELEVATION D

UNIT A

BATHROOM ACCESSORIES LEGEND			
TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (760)	—
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)	—
SOAP HOLDER (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)	—
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (900)	—
GLASS SHELF (1200MM ABOVE FFL)	—	ALL TOWEL RAILS (1200MM ABOVE FFL)	—

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

BATHROOM ACCESSORIES NOTES:

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- ALL SYMBOLS ARE GENERIC ONLY
- ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: **25, L/R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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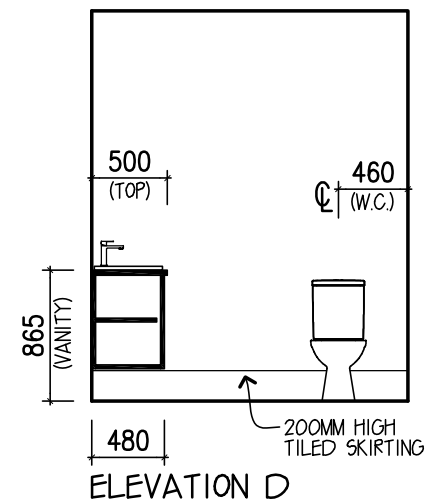
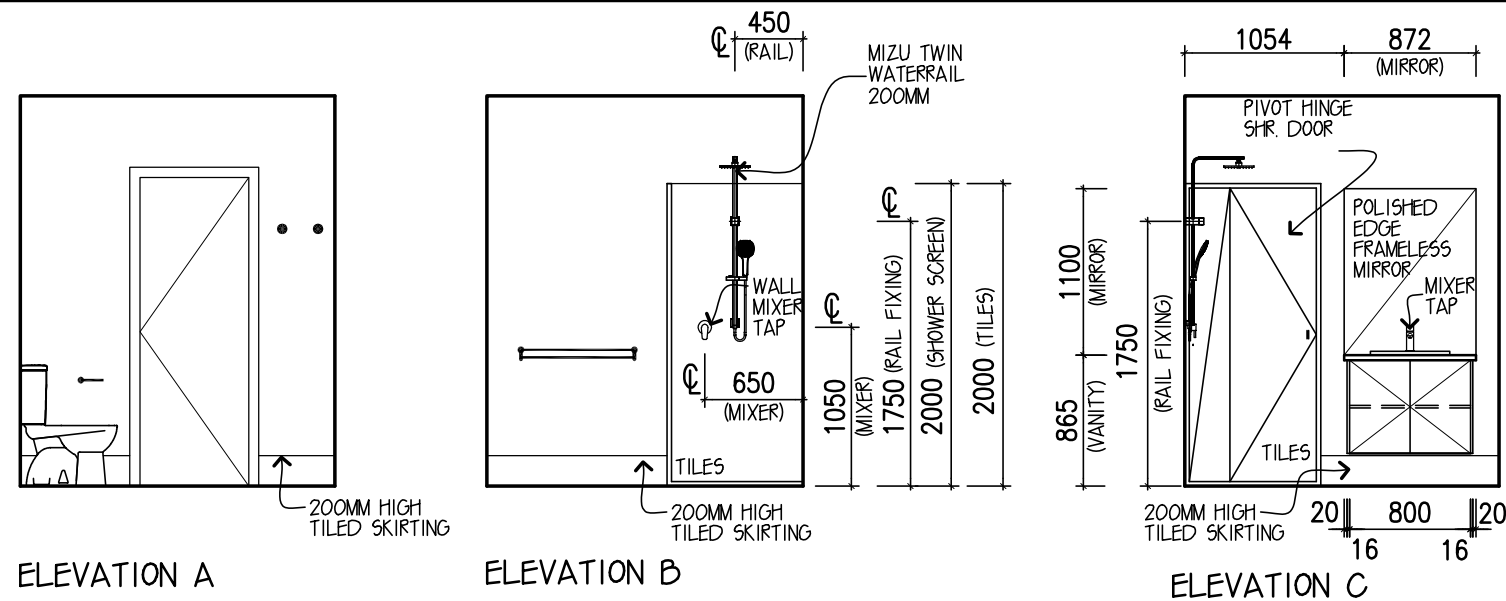
OWNER: **MR. SAM SAMMOUR**
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

JOB No: **707083-707085** DATE: **10.03.2020**

FC DATE: **DD.MM.YYYY** MST VER: **08.04.2018**

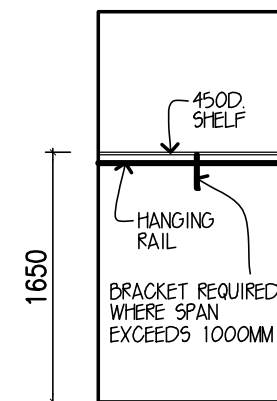
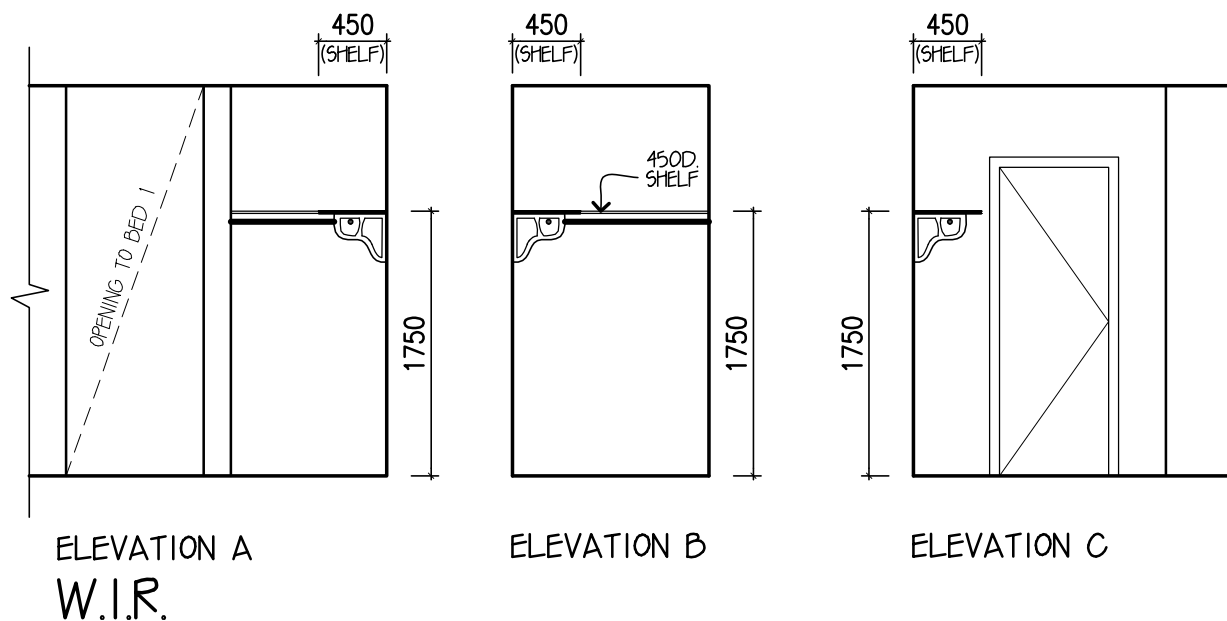
SCALE: **1:50 ON A3 SHEET** REVISION: **C**

DRAWN: **DA4** CHECK: **DA4** SHEET: **8 of 14**



PROVIDE NOGGINGS AT 750MM HIGH ABOVE FFL FOR FIXING OF WALL MOUNTED VANITIES TO:

- ENSUITE



BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (760)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)
SOAP HOLDER (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (900)
GLASS SHELF (1200MM ABOVE FFL)	—	ALL TOWEL RAILS (1200MM ABOVE FFL)

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

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- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: **25, L/R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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OWNER: **MR. SAM SAMMOUR**
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

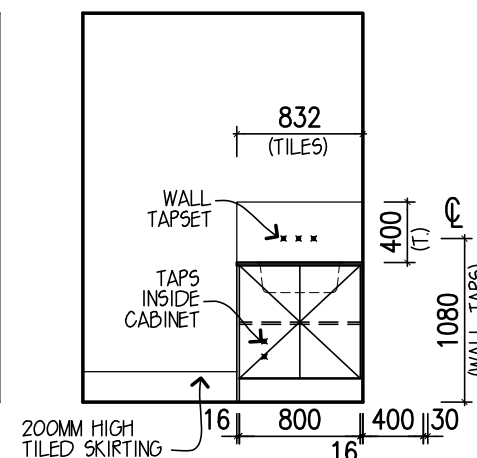
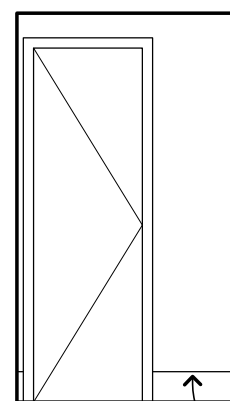
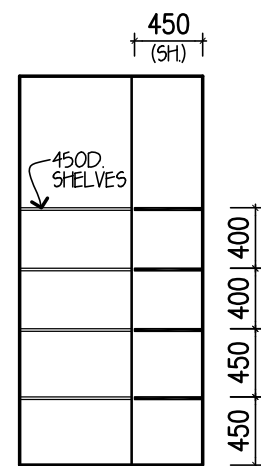
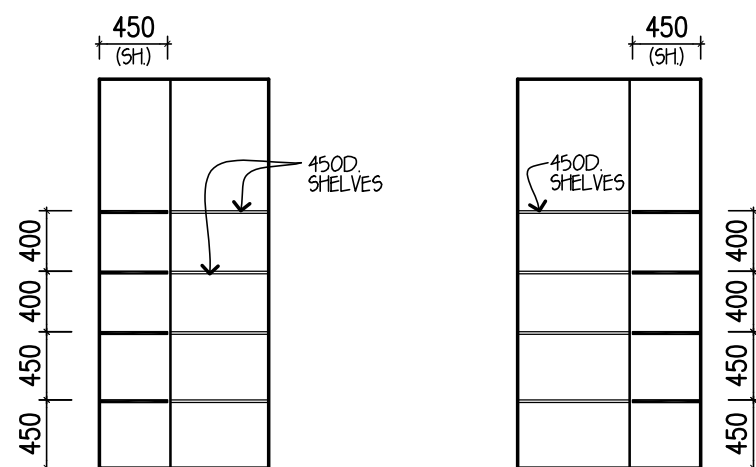
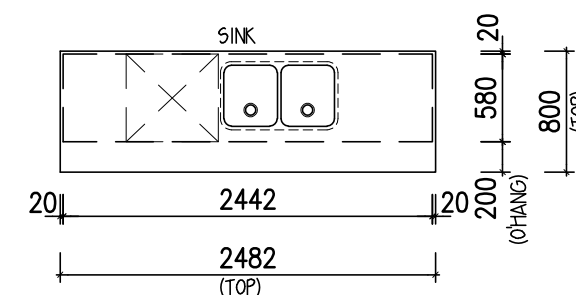
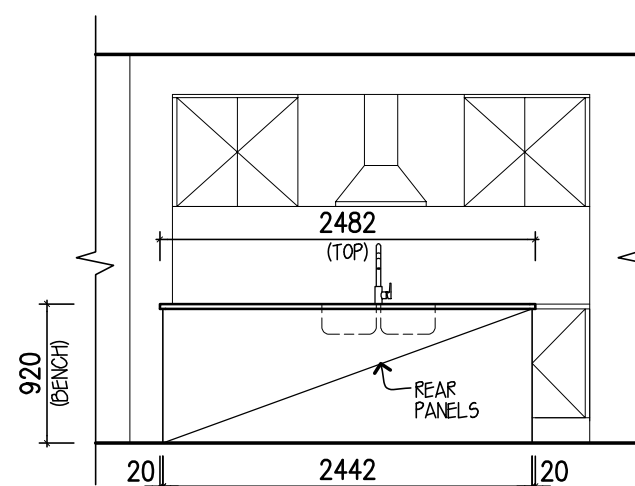
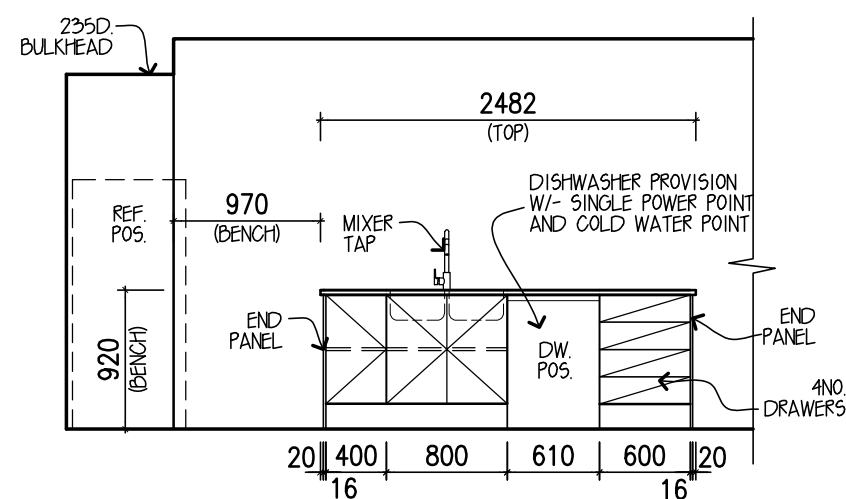
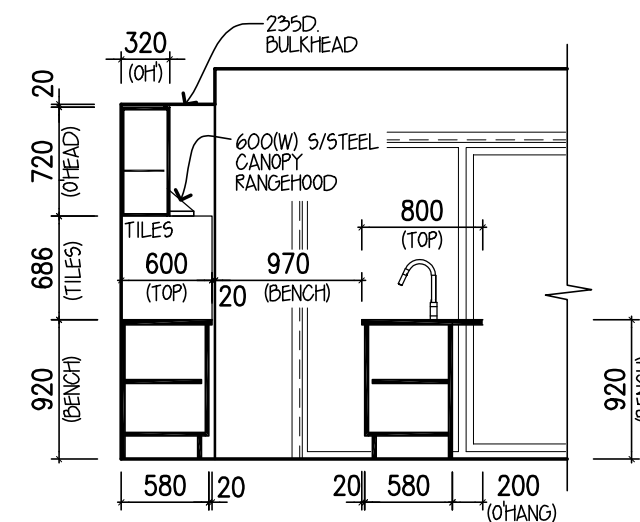
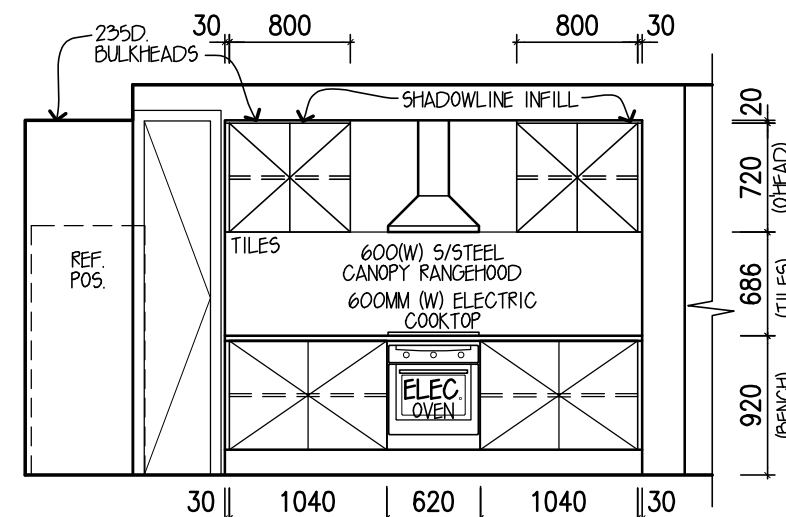
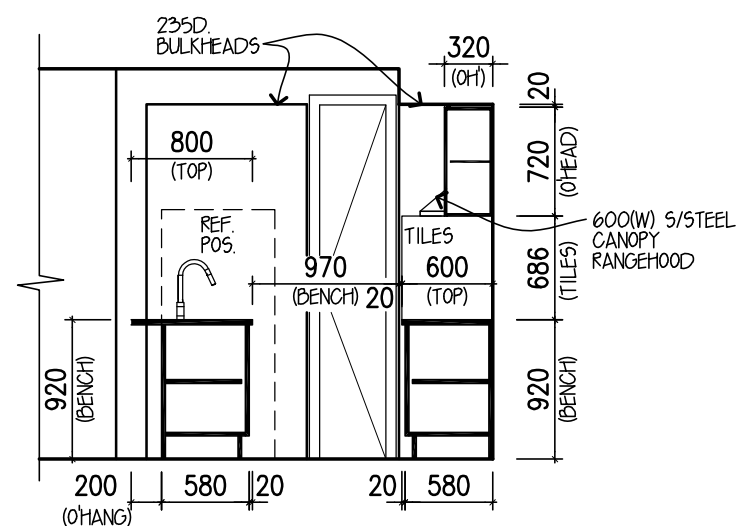
JOB No: **707083-707085** DATE: **10.03.2020**

FC DATE: **DD.MM.YYYY** MST VER: **08.04.2018**

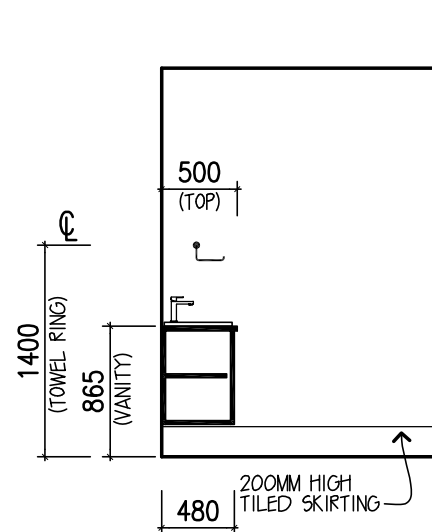
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DRAWN: **DA4** CHECK: **DA4** SHEET: **9 of 14**

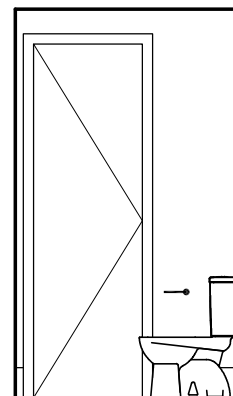
UNIT A



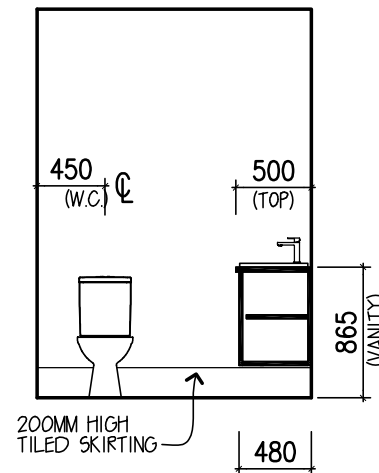
DESIGN: GRANGE 18	
FACADE: ASPIRE	CEILING: 25, L/R
GARAGE: SINGLE	LOCATION: F
INTERNALS	
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JOB No: 707083-707085	DATE: 10.03.2020
FC DATE: DD.MM.YYYY	MST VER: 08.04.2018
SCALE: 1:50 ON A3 SHEET	REVISION: C
DRAWN: DA4	CHECK: DA4
SHEET: 10 of 14	



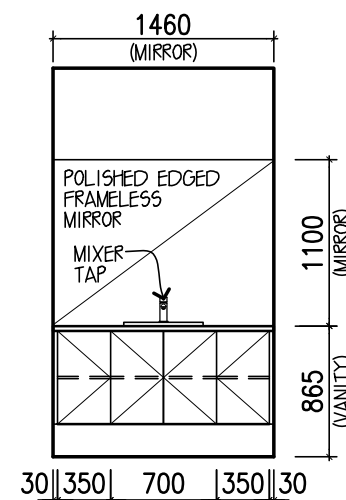
ELEVATION A
PDR. 1



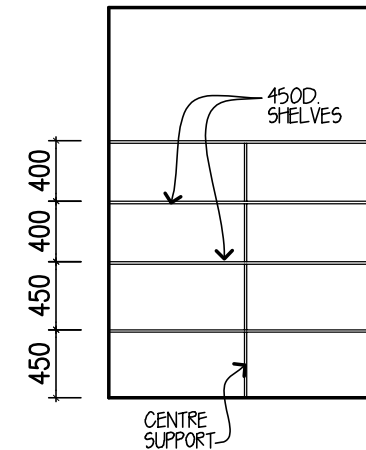
ELEVATION B



ELEVATION C



ELEVATION D



ELEVATION B
LINEN (FIRST FLOOR)

BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (760)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)
SOAP HOLDER (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (900)
GLASS SHELF (1200MM ABOVE FFL)	---	ALL TOWEL RAILS (1200MM ABOVE FFL)

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

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DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: **25, L/R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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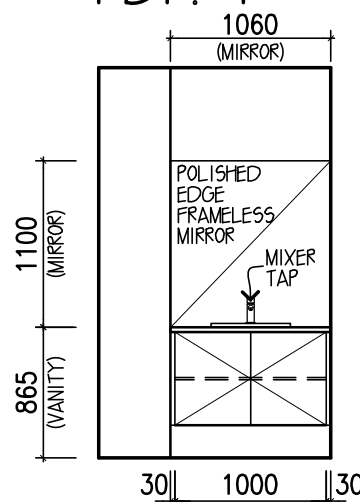
OWNER: **MR. SAM SAMMOUR**
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

JOB No: **707083-707085** DATE: **10.03.2020**

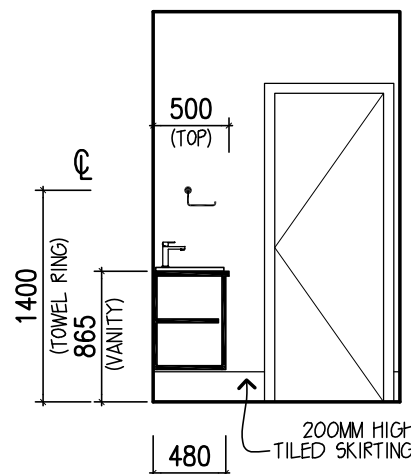
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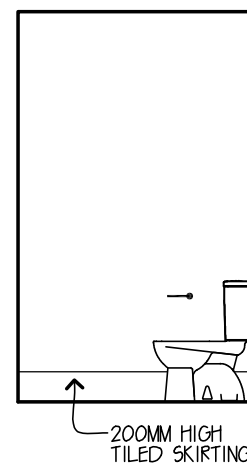
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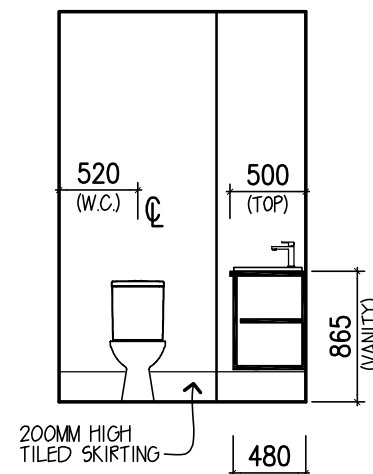
ELEVATION A
PDR. 2



ELEVATION B



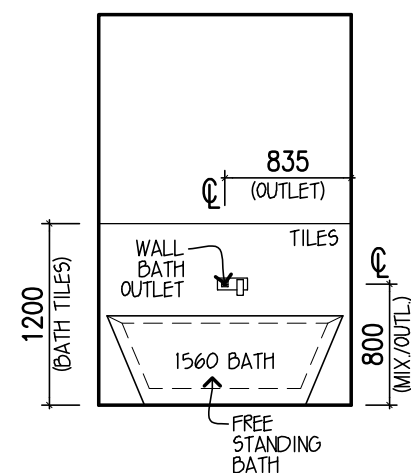
ELEVATION C



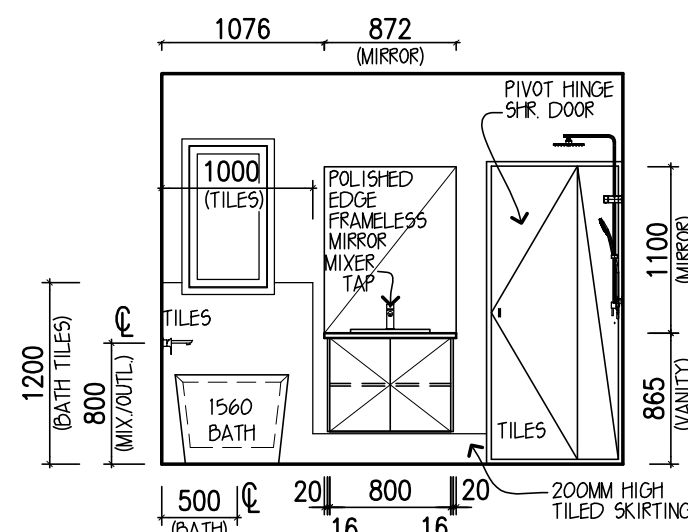
ELEVATION D

PROVIDE NOGGINGS AT 750MM HIGH ABOVE FFL FOR FIXING OF WALL MOUNTED VANITIES TO:

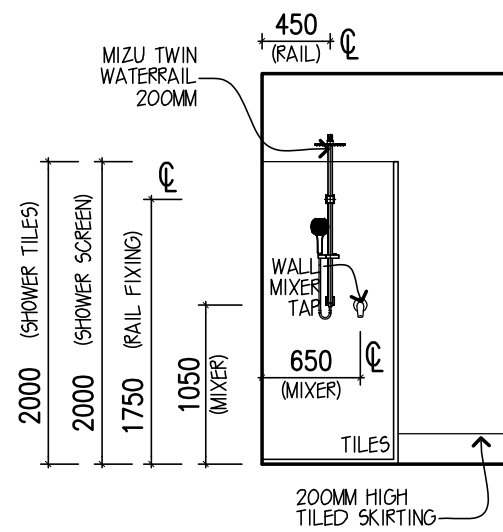
- POWDER ROOM 1
- POWDER ROOM 2
- BATHROOM



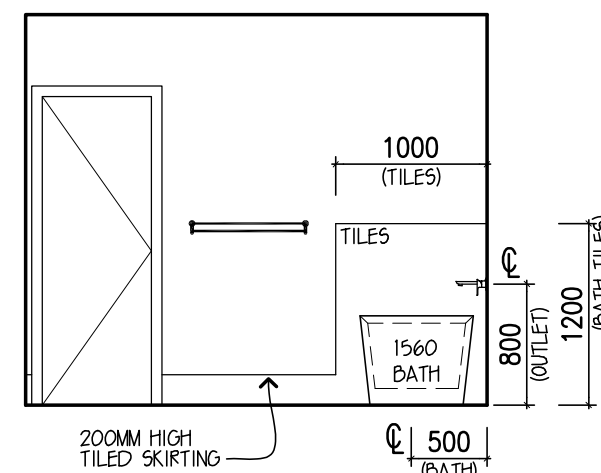
ELEVATION A
BATH



ELEVATION B

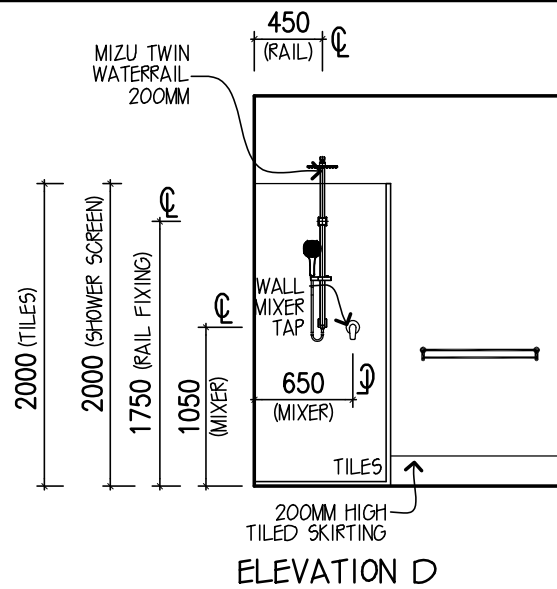
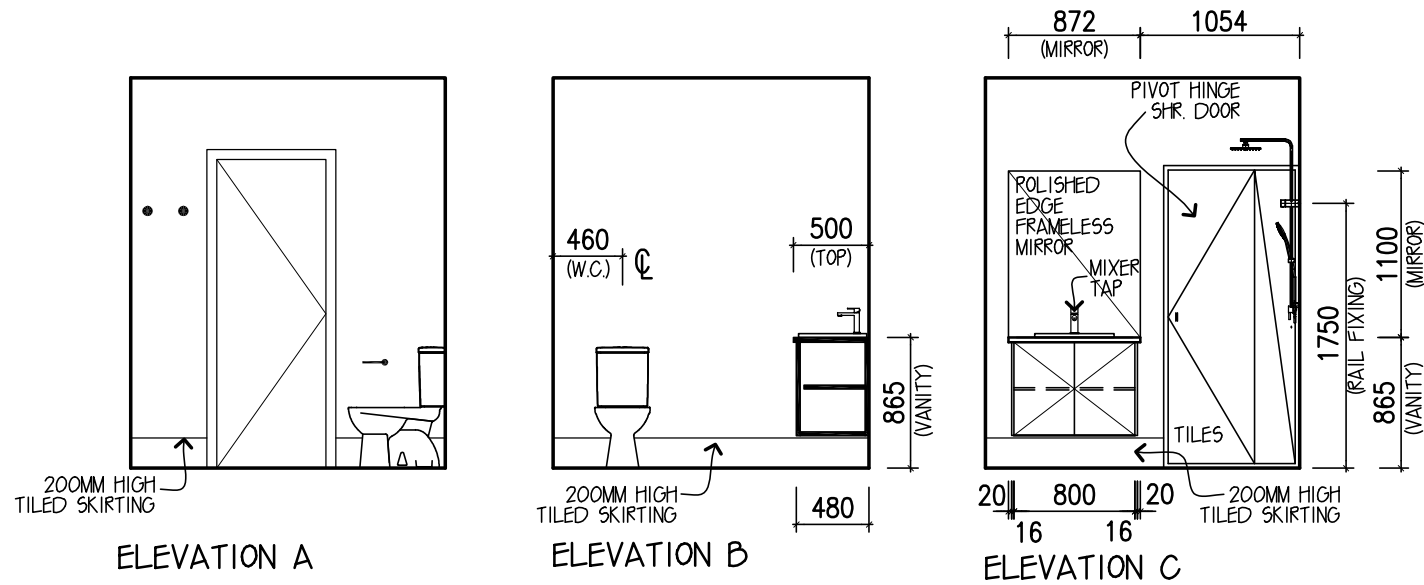


ELEVATION C



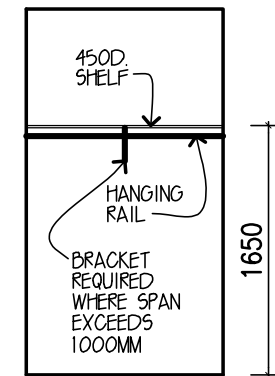
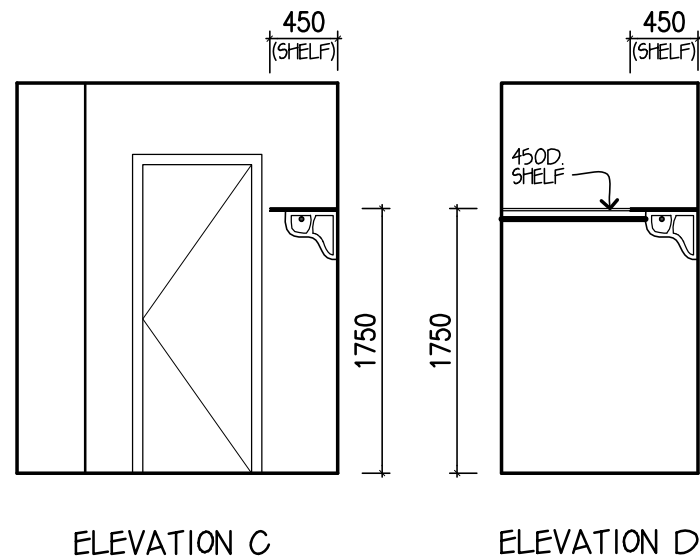
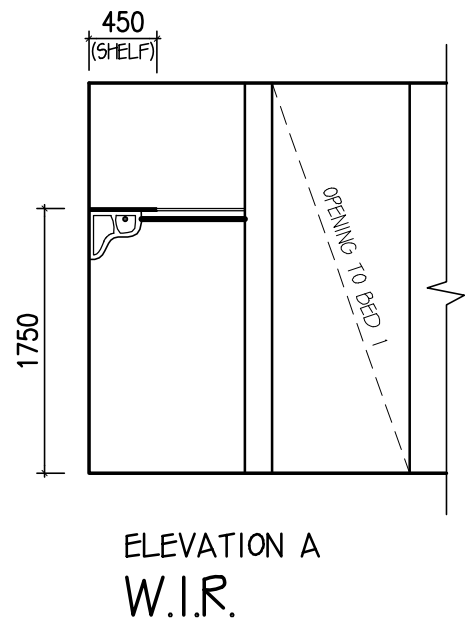
ELEVATION D

UNIT B



PROVIDE NOGGINGS AT 750MM
HIGH ABOVE FFL FOR FIXING OF
WALL MOUNTED VANITIES TO:

- ENSUITE



BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (760)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)
SOAP HOLDER (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (900)
GLASS SHELF (1200MM ABOVE FFL)	—	ALL TOWEL RAILS (1200MM ABOVE FFL)

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL
BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

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- HORIZONTAL POSITION OF ACCESSORIES
WILL BE AT THE DISCRETION OF METRICON

DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: **25, L/R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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DualOcc | **m**
metricon

BY METRICON

Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
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drawings and documents is the sole property of Metricon Homes

OWNER: **MR. SAM SAMMOUR**
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

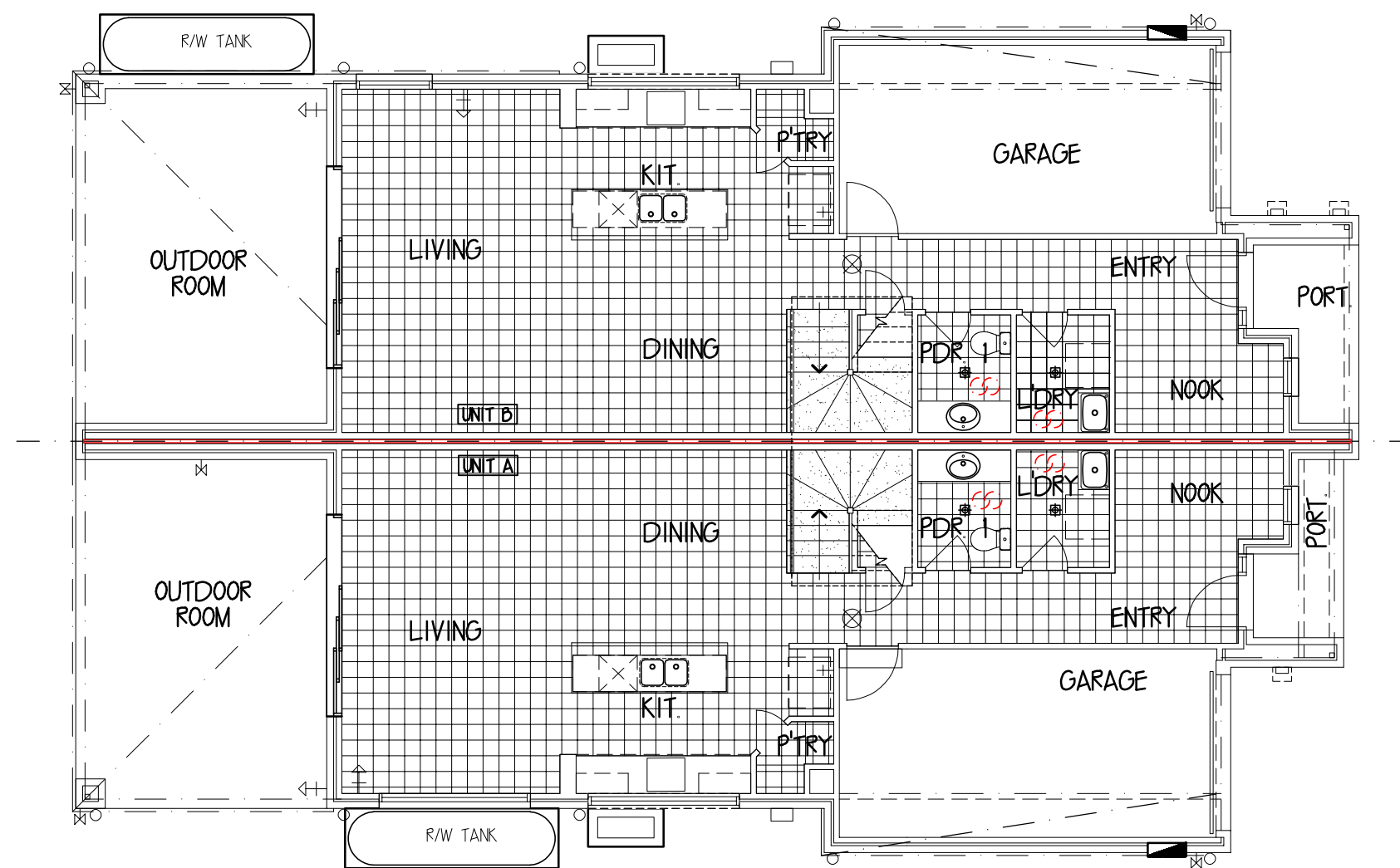
JOB No: **707083-707085** DATE: **10.03.2020**

FC DATE: **DD.MM.YYYY** MST VER: **08.04.2018**

SCALE: **1:50 ON A3 SHEET** REVISION: **C**

DRAWN: **DA4** CHECK: **DA4** SHEET: **12 of 14**

UNIT B



FLOOR COVERINGS LEGEND

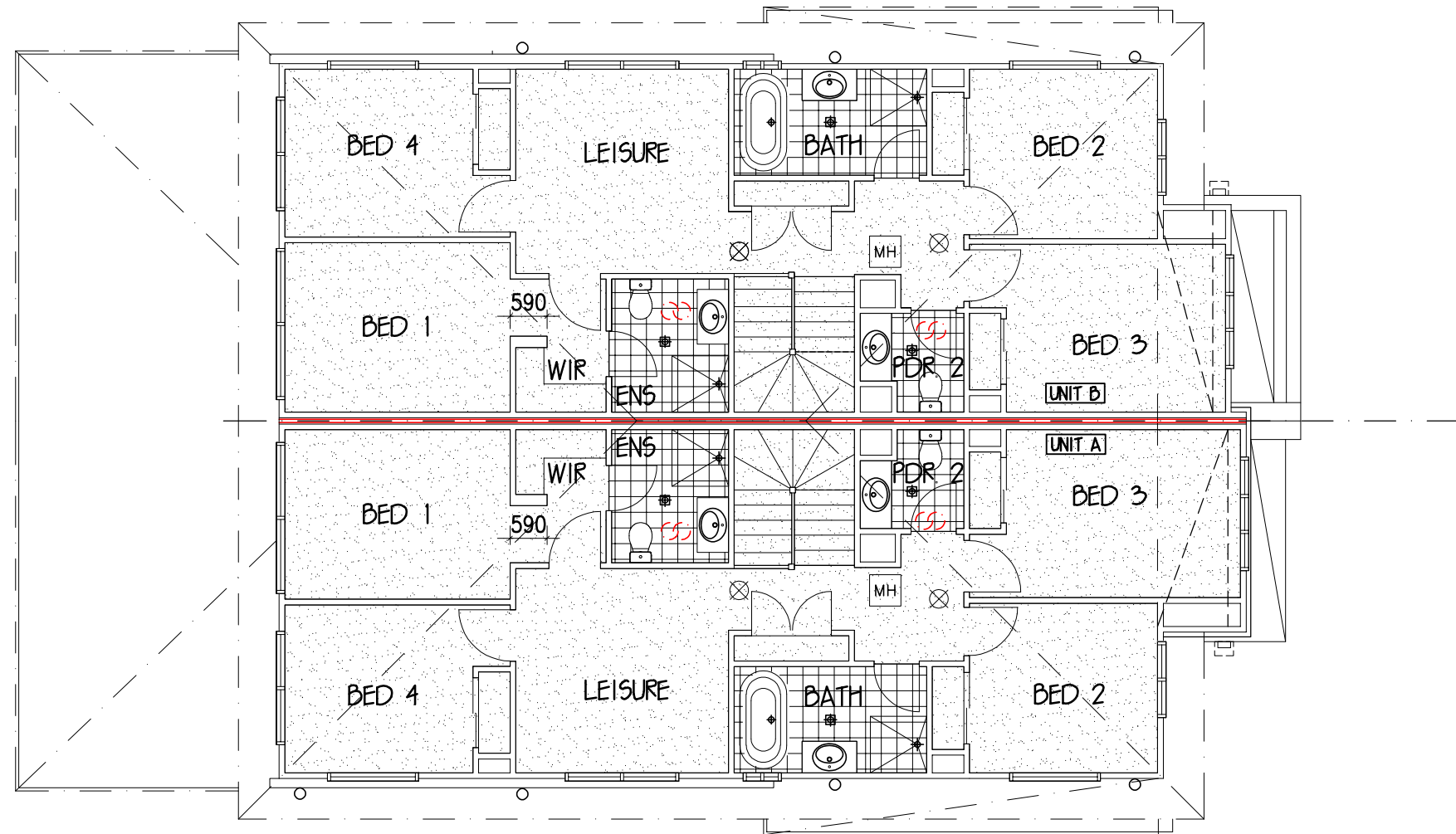
UNIT A.		UNIT B.	
	WET AREA FLOOR TILING TOTAL AREA: 6 SQM		WET AREA FLOOR TILING TOTAL AREA: 6 SQM
	TIMBER FLOOR AREAS TOTAL AREA:		TIMBER FLOOR AREAS TOTAL AREA:
	CARPET FLOOR AREAS TOTAL AREA: **** SQM STAIRCASE AREA:		CARPET FLOOR AREAS TOTAL AREA: STAIRCASE AREA:
	TILED FLOOR AREAS TOTAL AREA: 50 SQM		TILED FLOOR AREAS TOTAL AREA: 50 SQM

DESIGN: **GRANGE 18**
FACADE: **ASPIRE** CEILING: 25, L/R
GARAGE: **SINGLE** LOCATION: **F**

**GROUND FLOOR
FLOOR COVERINGS**

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DualOcc 		OWNER: MR. SAM SAMMOUR LOT32 NO.4 DUDLEY STREET BALGOWLAH	
BY METRICON		JOB No: 707083-707085	DATE: 10.03.2020
Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes		FC DATE: DD.MM.YYYY	MST VER: 08.04.2018
SCALE: 1:100 ON A3 SHEET		REVISION: C	
DRAWN: DA4	CHECK: DA4	SHEET: 13 of 14	



FLOOR COVERINGS LEGEND

UNIT A.		UNIT B.	
	WET AREA FLOOR TILING TOTAL AREA: 9.30 SQM		WET AREA FLOOR TILING TOTAL AREA: 9.30 SQM
	TIMBER FLOOR AREAS TOTAL AREA:		TIMBER FLOOR AREAS TOTAL AREA:
	CARPET FLOOR AREAS TOTAL AREA: 60 SQM STAIRCASE AREA: 10 SQM		CARPET FLOOR AREAS TOTAL AREA: 60 SQM STAIRCASE AREA: 10 SQM
	TILED FLOOR AREAS TOTAL AREA:		TILED FLOOR AREAS TOTAL AREA:

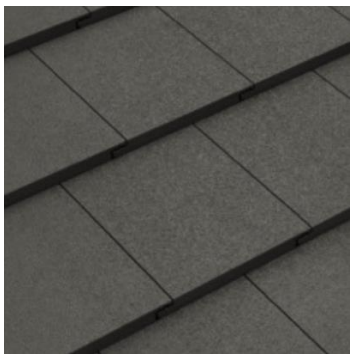
DESIGN: GRANGE 18
FACADE: ASPIRE CEILING: 25, L/R
GARAGE: SINGLE LOCATION: F

**FIRST FLOOR
FLOOR COVERINGS**

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DualOcc		m metricon		OWNER: MR. SAM SAMMOUR LOT32 NO.4 DUDLEY STREET BALGOWLAH	
BY METRICON		JOB No: 707083-707085		DATE: 10.03.2020	
Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes		FC DATE: DD.MM.YYYY		MST VER: 08.04.2018	
SCALE: 1:100 ON A3 SHEET		DRAWN: DA4		CHECK: DA4	
REVISION: C		SHEET: 14 of 14			

ROOF TILE



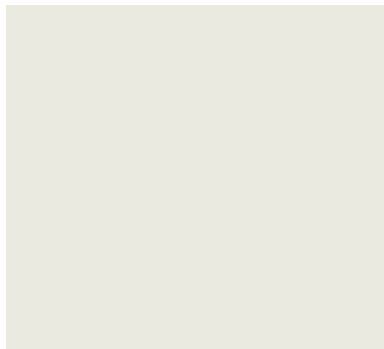
BRISTLE PRESTIGE
TUNGSTEN

GUTTER



COLORBOND MONUMENT

ALU FRAMES /FASCIA / EAVES /
LINING



COLORBOND SURFMIST

WEATHERBOARD / MAIN
DOWNPIPES / RENDER



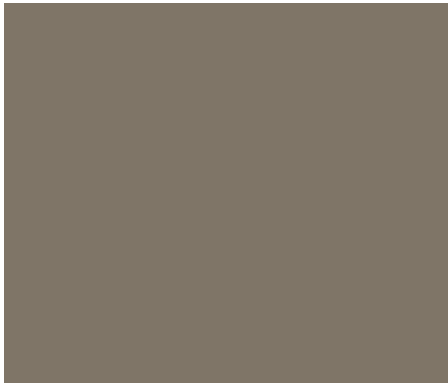
DULUX VANILLA QUAKE

BRICKS



AUSTRAL URBAN ONE
SILVER

EPS RENDER / DOWNPIPES



DULUX RATTLE SKIN

GARAGE



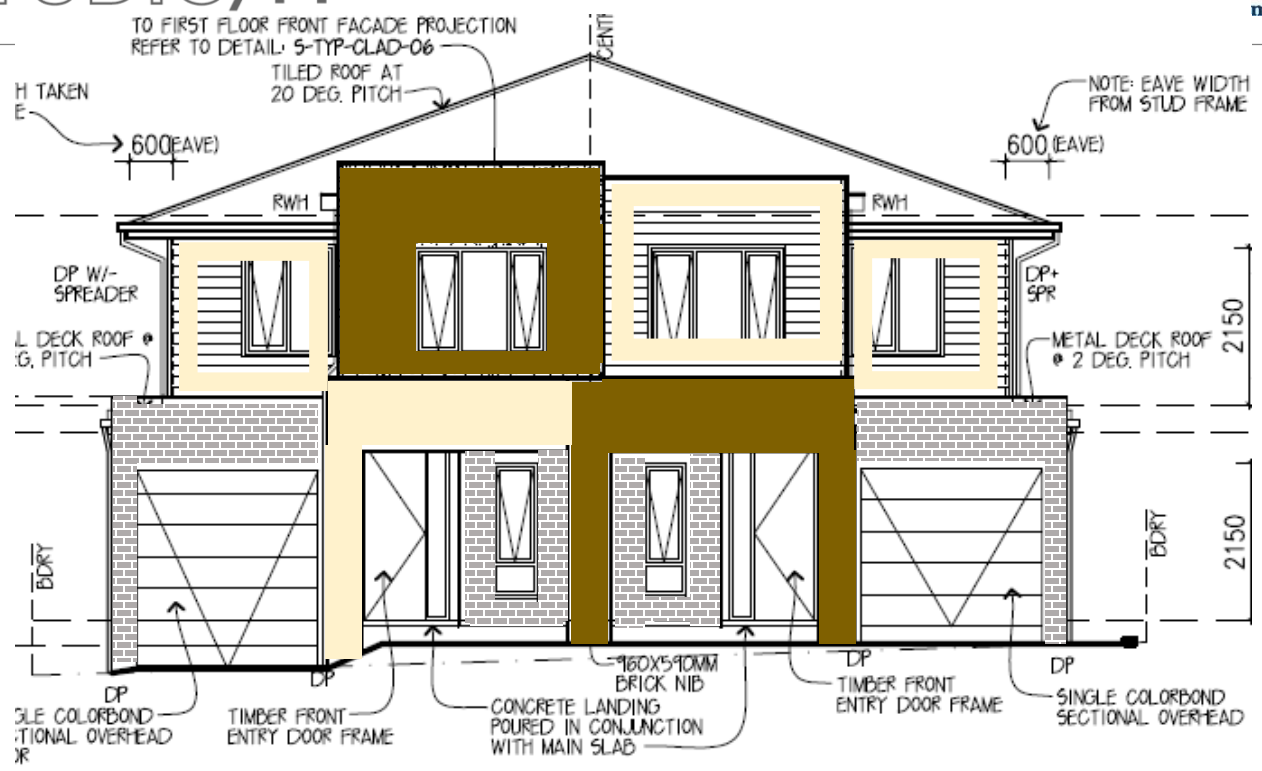
X

ENTRY DOOR

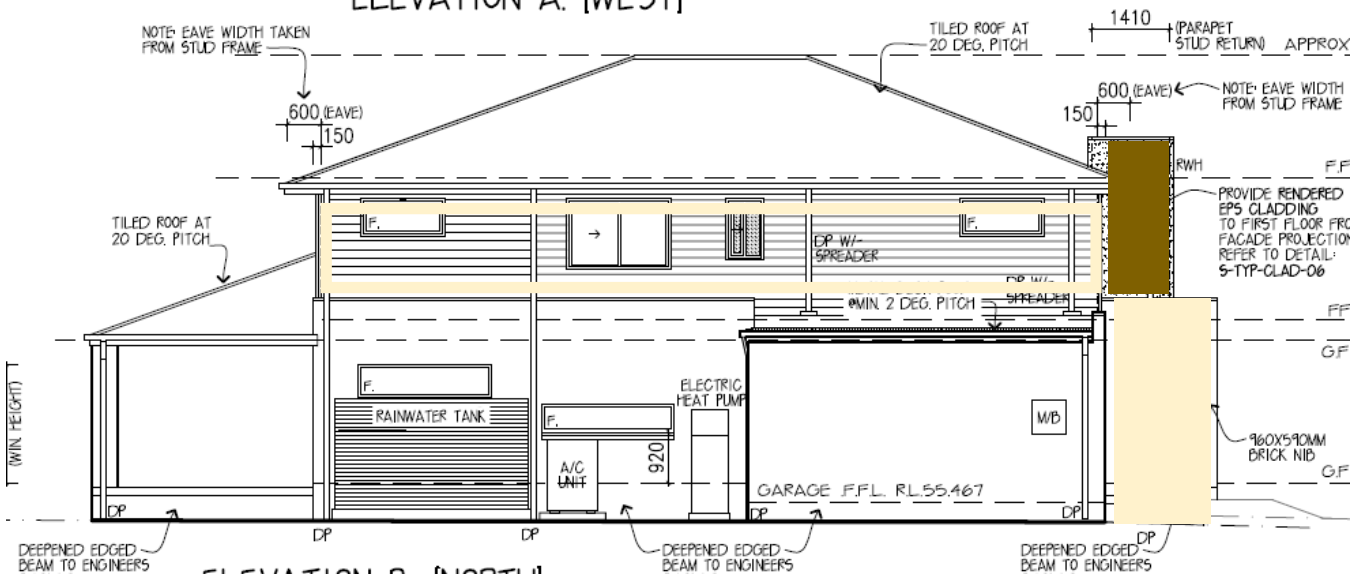


CABOTS JARRAH

NOTE: COMPUTER-GENERATED COLOURS ARE INDICATIVE. Refer to supplier samples where available.



ELEVATION A. [WEST]



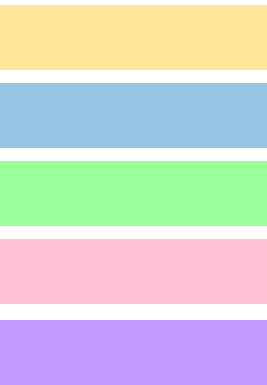
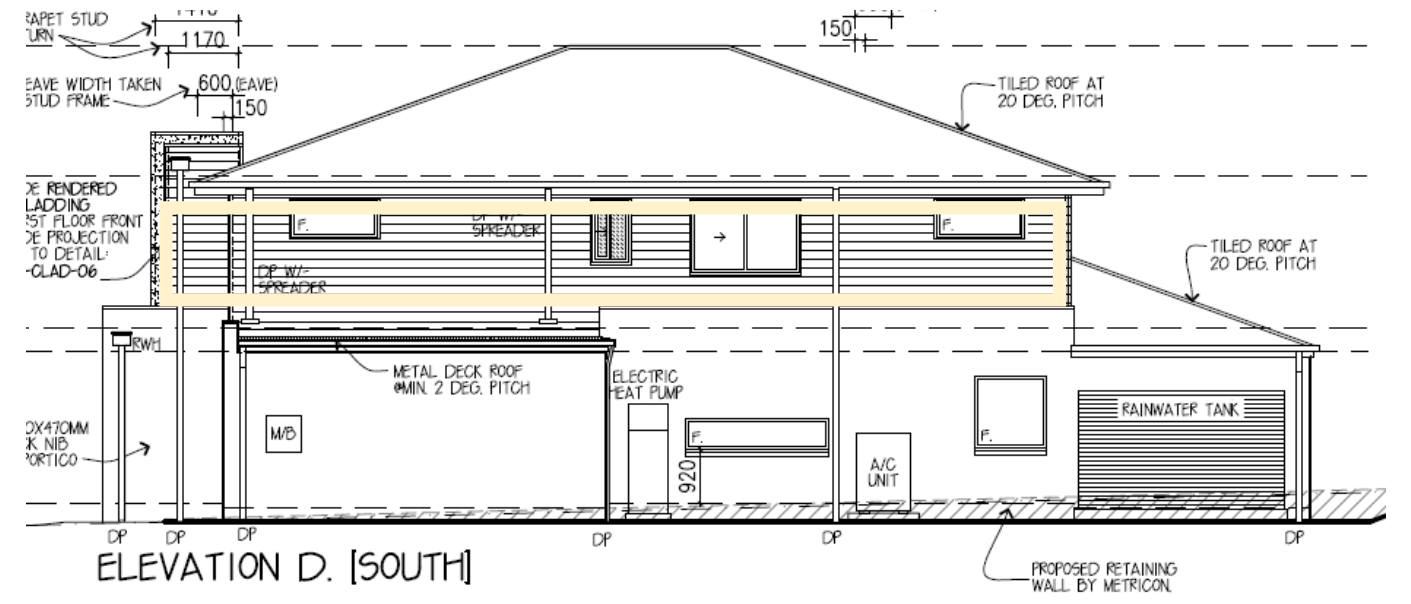
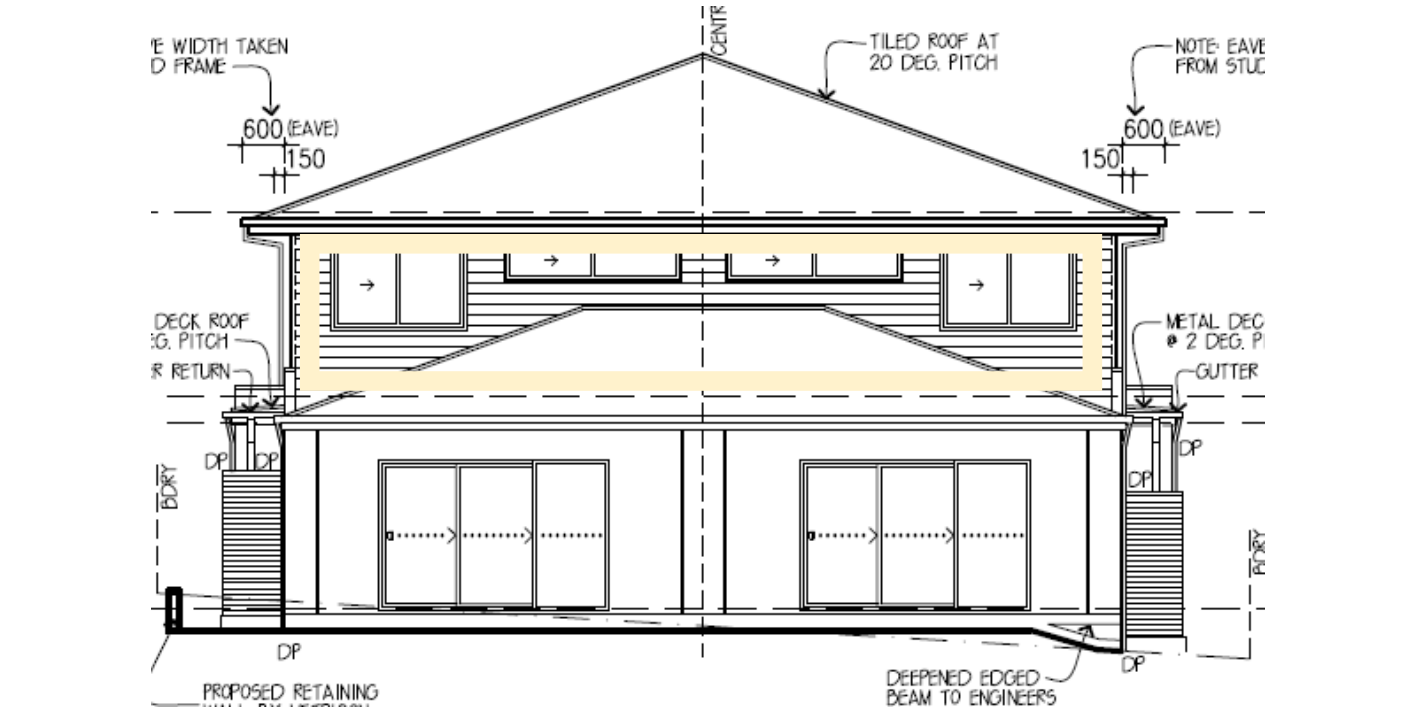
WEATHERBOARD & RENDER/ DULUX VANILLA QUAKE

EPS RENDER/DULUX RATTLE SKIN

CLIENT SIGNATURE.....

DATE.....

DESIGN: GRANGE 18		DualOcc		OWNER: MR. SAM SAMMOUR	
FACADE: ASPIRE	CEILING: 25, L/R			LOT32 NO.4 DUDLEY STREET	
GARAGE: SINGLE	LOCATION: F			BALGOWLAH	
ELEVATIONS		BY METRICON		JOB No: 707083-707085	DATE: 10.03.2020
		Build: E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901		FC DATE: DD.MM.YYYY	MST VER: 08.04.2018



CLIENT SIGNATURE.....

DATE.....

DESIGN: GRANGE 18	OWNER: MR. SAM SAMMOUR
FACADE: ASPIRE	LOT32 NO.4 DUDLEY STREET
GARAGE: SINGLE	BALGOWLAH
CEILING: 25, L/R	
LOCATION: F	
ELEVATIONS	BY METRICON
	JOB No: 707083-707085
	DATE: 10.03.2020
	FC DATE: DD.MM.YYYY
	MST VER: 08.04.2018