

S4.55 APPLICATION: ALTERATIONS AND ADDITIONS + NEW POOL

2131 PITTWATER ROAD CHURCH POINT NSW

APPLICANT: BRAD & LOUISE DOWE
DATE: 24/06/2025

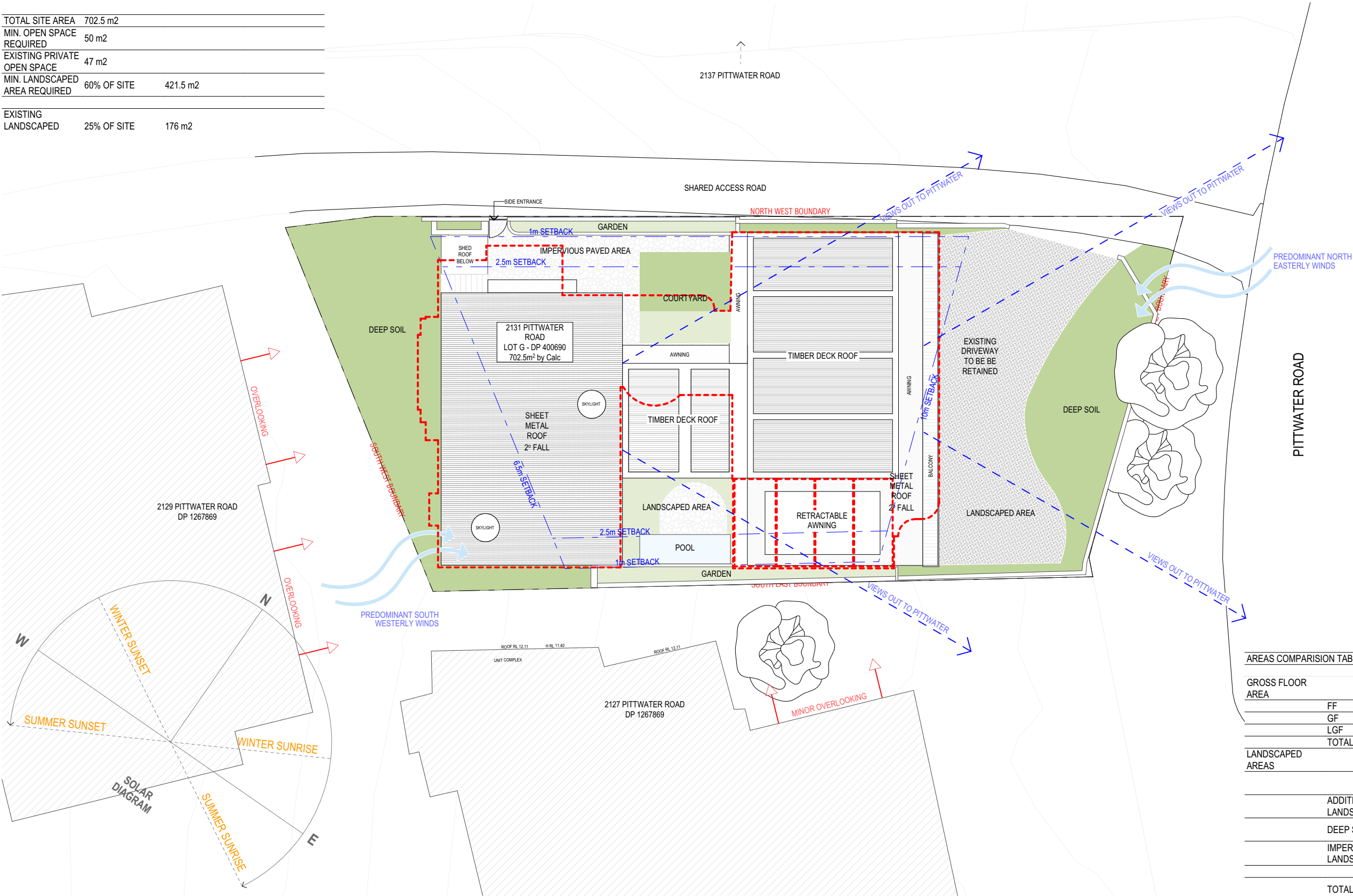
DRAWING LIST

NO.	TITLE	SCALE
DA000	COVER PAGE	
DA001	SITE PLAN	1:200
DA100	LOWER GROUND FLOOR PLAN	1:100
DA101	GROUND FLOOR PLAN	1:100
DA102	FIRST FLOOR PLAN	1:100
DA103	ROOF PLAN	1:100
DA200	NORTH AND SOUTH ELEVATIONS	1:100
DA201	EAST AND WEST ELEVATIONS	1:100
DA300	SECTIONS A & B	1:100
DA301	SECTIONS C & D	1:100
DA400	SHADOW DIAGRAMS - WINTER SOLSTICE	1:500
DA500	BASIX	
DA501	BASIX	1:1
DA502	EXTERNAL FINISHES SCHEDULE	
DA503	AREAS	



FOR INFORMATION

TOTAL SITE AREA	702.5 m2	
MIN. OPEN SPACE REQUIRED	50 m2	
EXISTING PRIVATE OPEN SPACE	47 m2	
MIN. LANDSCAPED AREA REQUIRED	60% OF SITE	421.5 m2
EXISTING LANDSCAPED	25% OF SITE	176 m2



SECTION 4.55 UPDATES

1. CHANGE OF LOCATION TO THE STAIR AND LIFT TO REAR/WEST
2. CONNECTING VOLUME BETWEEN FRONT LIVING SPACES AND REAR BEDROOMS REDUCED TO 1 LEVEL AND MOVED SOUTH
3. FIRST FLOOR REDUCED IN LENGTH, INCREASING DISTANCE TO NORTHERN BOUNDARY (THIS IMPROVES VIEWS FROM NEIGHBOUR BEHIND)
4. POOL LOCATION ROTATED 90 DEGREES
5. RELOCATION OF BEDROOM 2 AND ENSUITE TO GROUND FLOOR LEVEL
6. RELOCATION OF KITCHEN TO CENTRE OF GROUND FLOOR LEVEL
7. NORTHERN FACING OPEN SPACE ENLARGED
8. OVERALL CHANGES TO WINDOWS AND DOORS THROUGHOUT
9. CONSOLIDATION OF MATERIALS (NO BRICK)

LEGEND

- BOUNDARY
- BUILDING ENVELOPE REQUIREMENTS
- APPROVED DA
- LANDSCAPE
- DEEP SOIL
- IMPERVIOUS LANDSCAPE | DRIVEWAY
- IMPERVIOUS LANDSCAPE
- ROOF GARDEN

AREAS COMPARISON TABLE

GROSS FLOOR AREA	APPROVED DA	PROPOSED
	(m2)	(m2)
FF	112.79	99.07
GF	188.45	208.30
LGF	186.00	219.32
TOTAL	487.24 m2	526.69 m2
LANDSCAPED AREAS		
	APPROVED DA	PROPOSED
ADDITIONAL LANDSCAPE	16.32	42.24
DEEP SOIL	166.80	160.87
IMPERVIOUS LANDSCAPE	257.78	241.89
TOTAL	440.90	445
% OF SITE AREA	62%	63.3%

FOR INFORMATION

ARCHITECT

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LEGEND

- BOUNDARY
- BUILDING ENVELOPE REQUIREMENTS
- APPROVED DA
- PROPOSED ADDITIONS
- NEW WALLS TO REPLACE EXISTING
- EXISTING
- ADDITIONAL EXCAVATION

REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
03	24/06/2025	SECTION 4.55 DA MODIFICATION

REV	DATE	ISSUE

PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25002	24/06/2025	TG / PW	MG

SHEET SCALE
1:200

SHEET SIZE
A3

NORTH
N

DRAWING TITLE

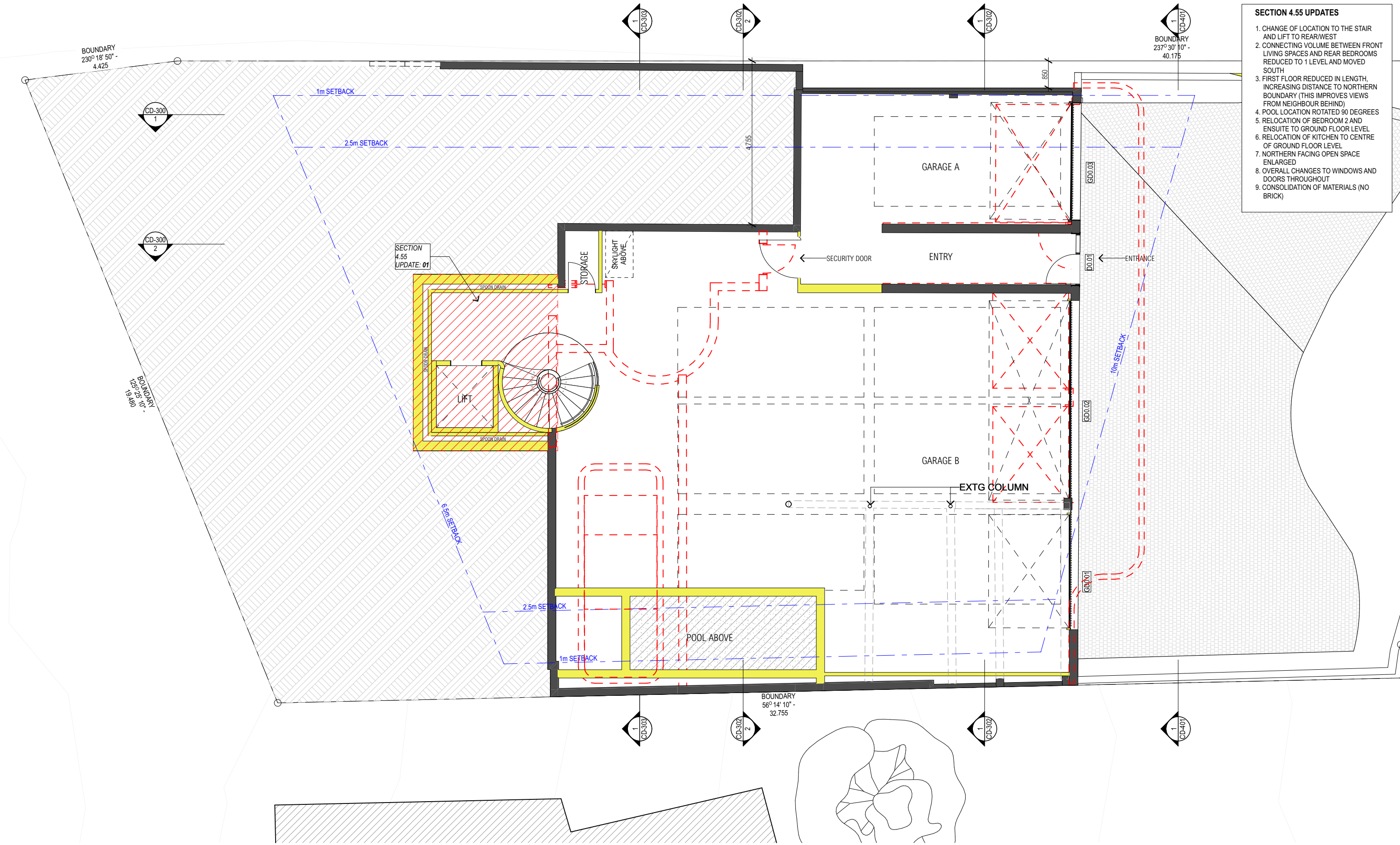
SITE PLAN

DRAWING NUMBER

DA001

REVISION

03



- SECTION 4.55 UPDATES**
1. CHANGE OF LOCATION TO THE STAIR AND LIFT TO REAR/WEST
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	BUILDING ENVELOPE REQUIREMENTS
	APPROVED DA
	PROPOSED ADDITIONS
	NEW WALLS TO REPLACE EXISTING
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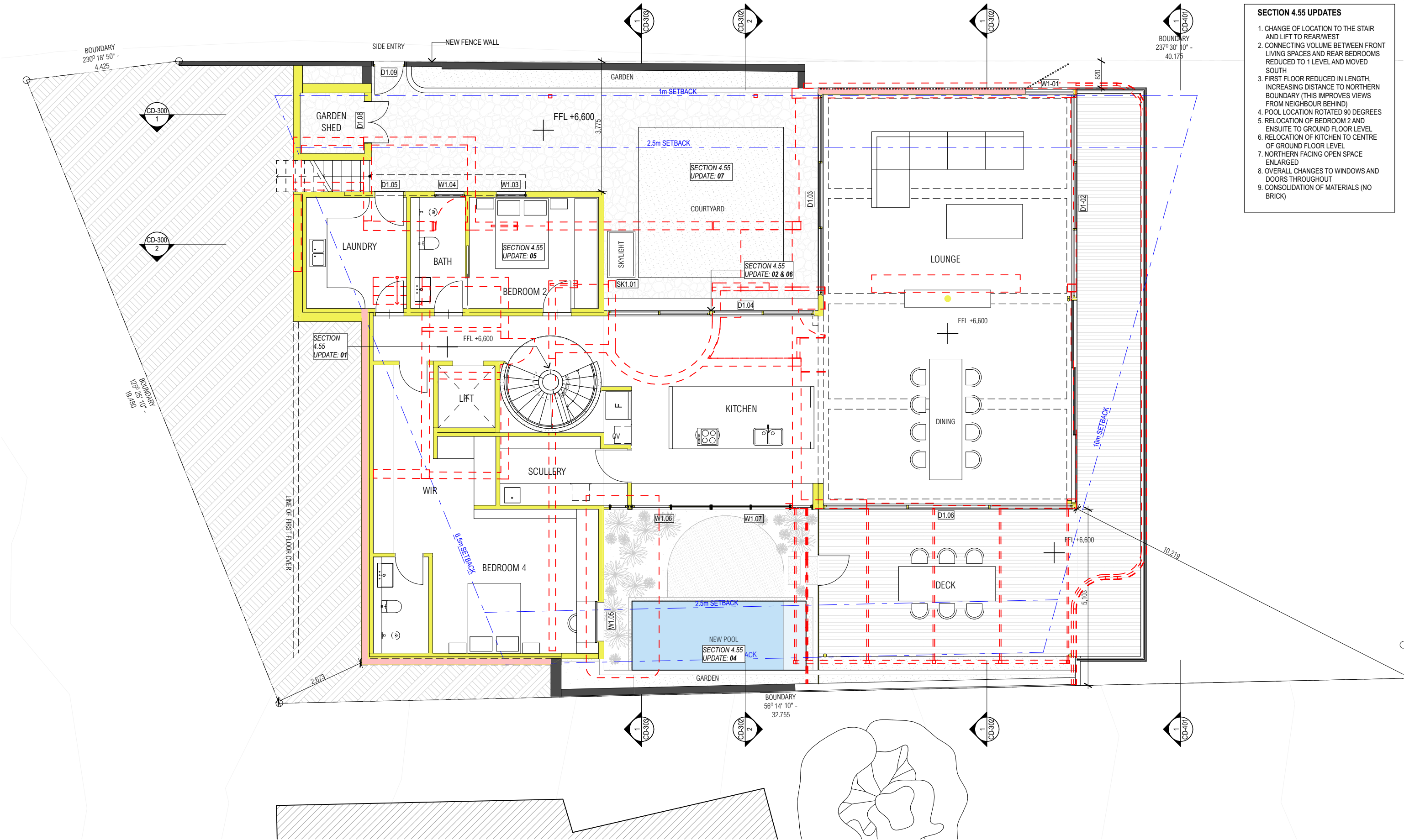
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PROJECT			
DOWE RESIDENCE			
2131 PITTSWATER ROAD, CHURCH POINT			
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25002	30/6/2025	TG / PW	MG

SHEET SCALE	SHEET SIZE	NORTH
1:100	A3	

FOR INFORMATION	
DRAWING TITLE	
LOWER GROUND FLOOR PLAN	
DRAWING NUMBER	REVISION
DA100	03



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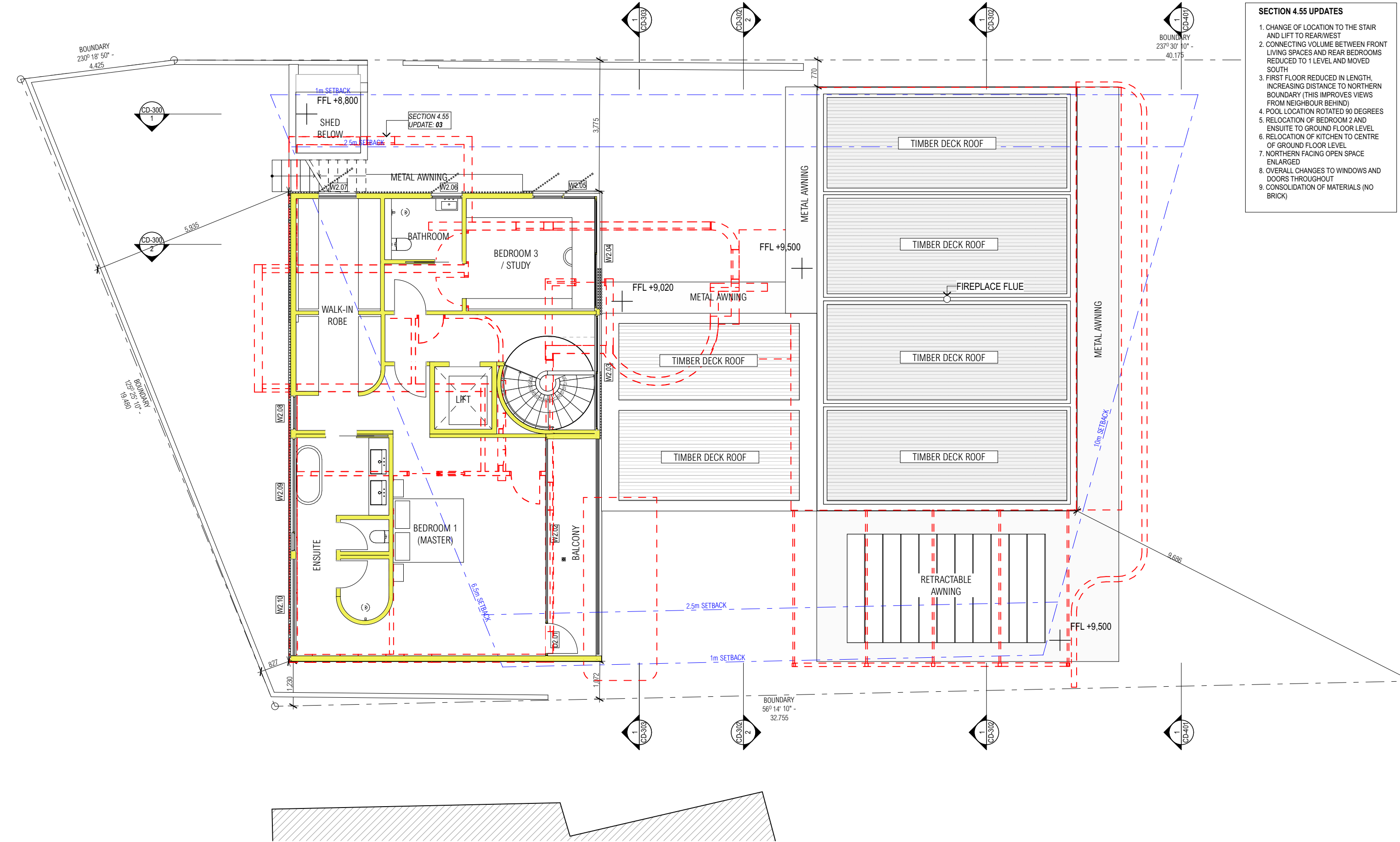
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SHEET SCALE	SHEET SIZE	NORTH
1:100	A3	

FOR INFORMATION	
DRAWING TITLE	
GROUND FLOOR PLAN	
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DA101	03



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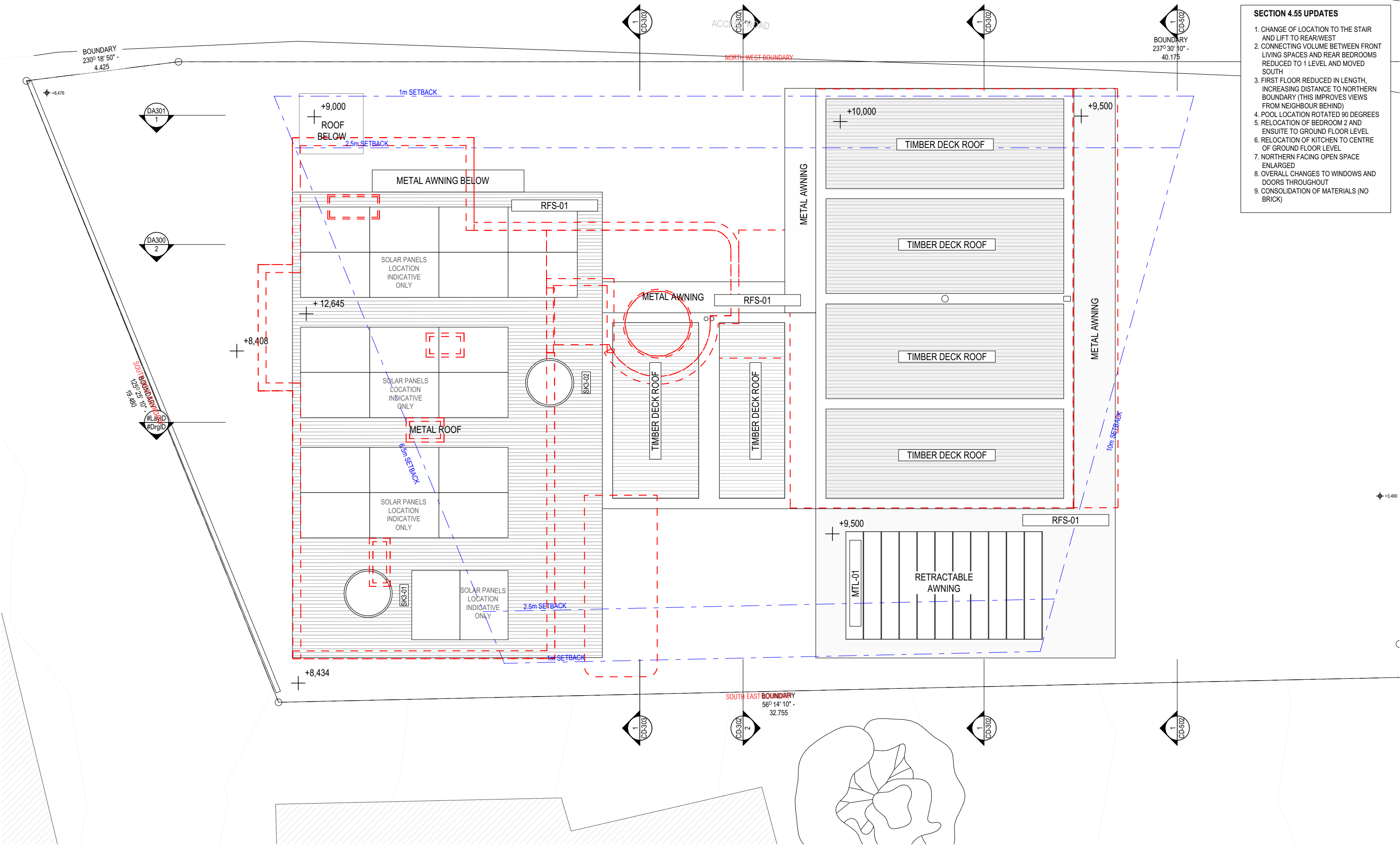
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PROJECT			
DOWE RESIDENCE			
2131 PITTWATER ROAD, CHURCH POINT			
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
25002	30/6/2025	TG / PW	MG

SHEET SCALE	SHEET SIZE	NORTH
1:100	A3	

FOR INFORMATION

DRAWING TITLE	
FIRST FLOOR PLAN	
DRAWING NUMBER	REVISION
DA102	03



SECTION 4.55 UPDATES

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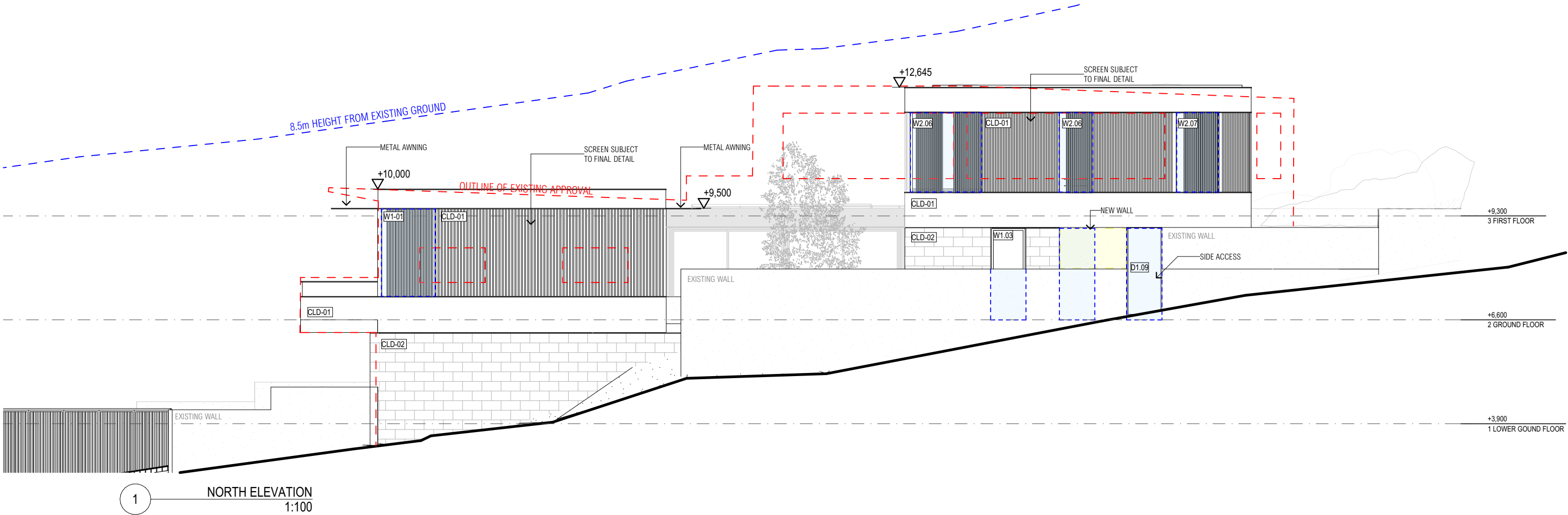
REV	DATE	ISSUE

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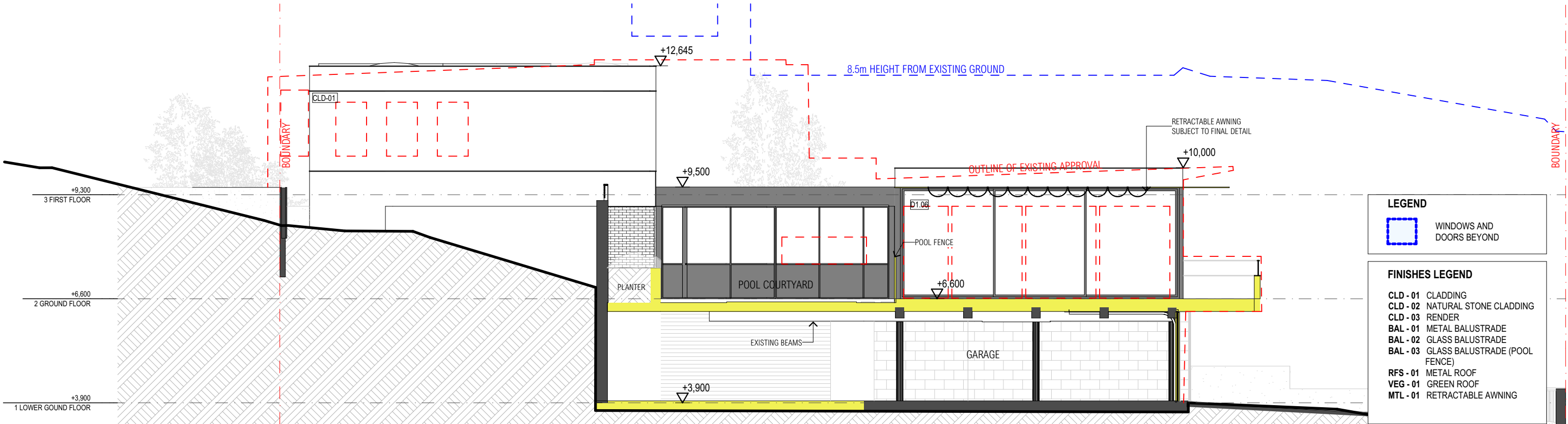
SHEET SCALE	SHEET SIZE	NORTH
1:100	A3	

DRAWING TITLE
ROOF PLAN

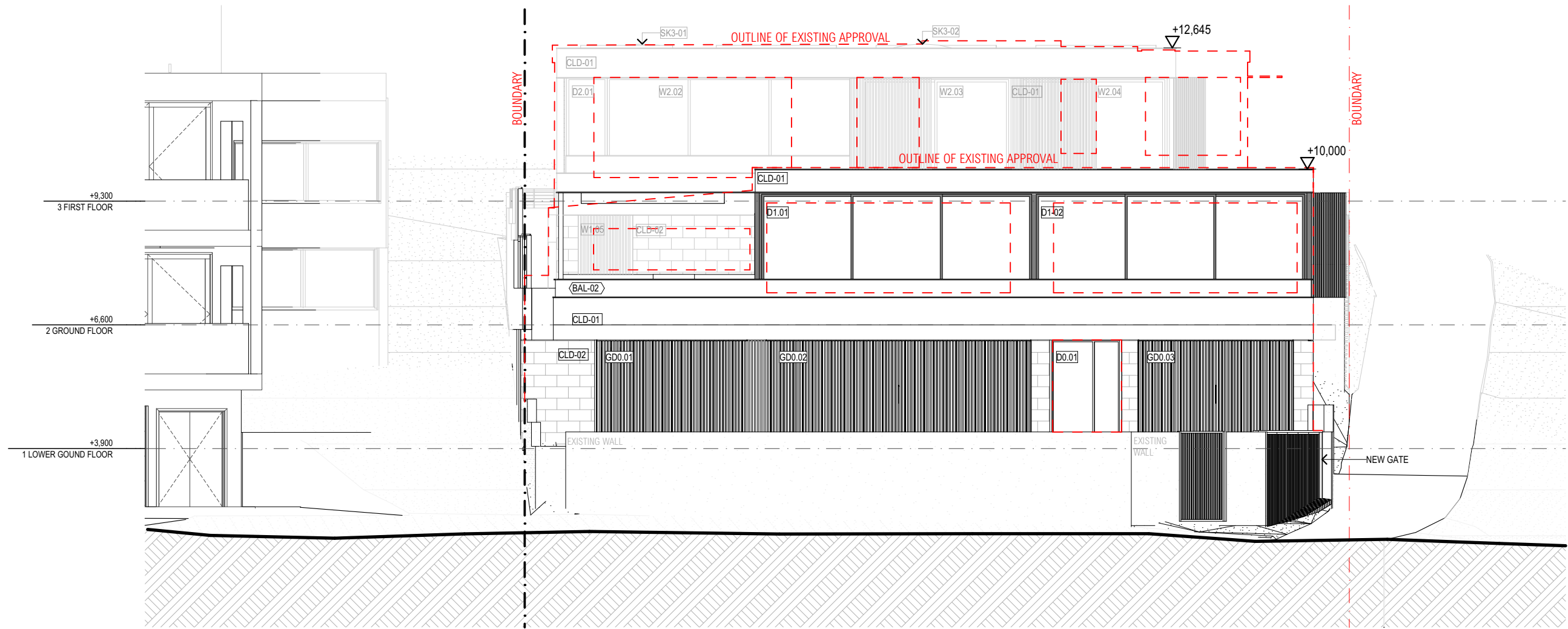
DRAWING NUMBER	REVISION
DA103	03



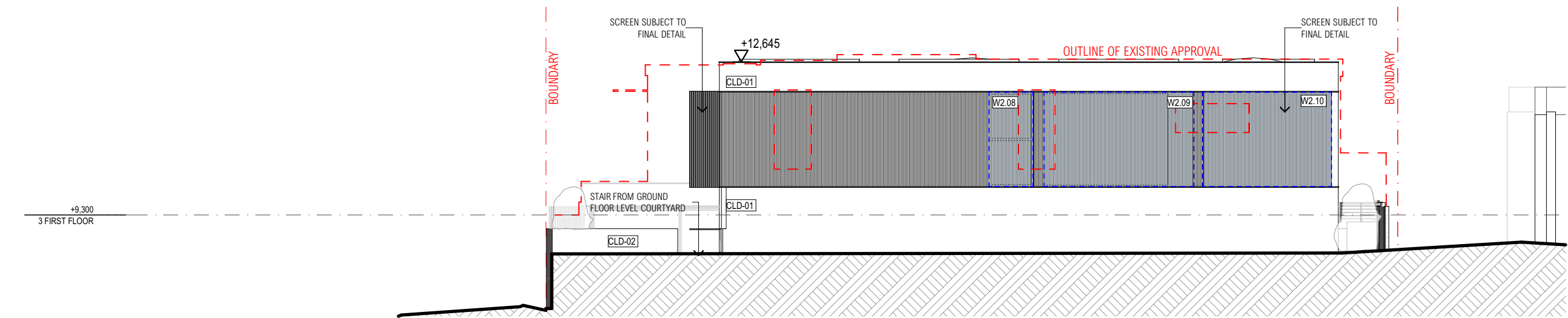
1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION
1:100



1 EAST ELEVATION
1:100



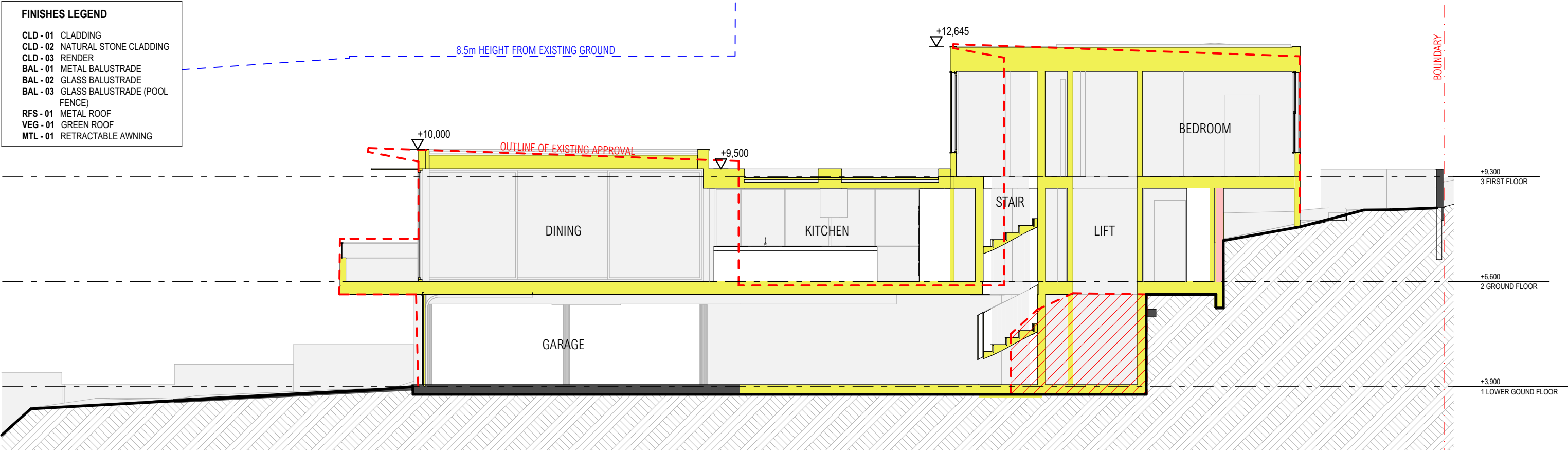
2 WEST ELEVATION
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LEGEND

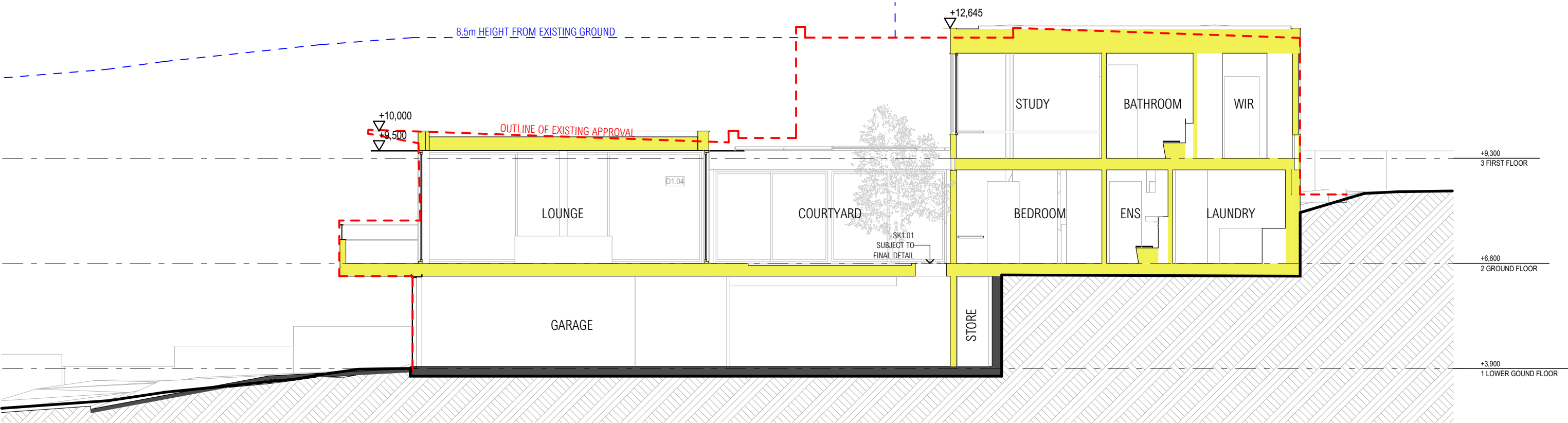
WINDOWS AND DOORS BEYOND

FINISHES LEGEND
CLD - 01 CLADDING
CLD - 02 NATURAL STONE CLADDING
CLD - 03 RENDER
BAL - 01 METAL BALUSTRADE
BAL - 02 GLASS BALUSTRADE
BAL - 03 GLASS BALUSTRADE (POOL FENCE)
RFS - 01 METAL ROOF
VEG - 01 GREEN ROOF
MTL - 01 RETRACTABLE AWNING

FINISHES LEGEND	
CLD - 01	CLADDING
CLD - 02	NATURAL STONE CLADDING
CLD - 03	RENDER
BAL - 01	METAL BALUSTRADE
BAL - 02	GLASS BALUSTRADE
BAL - 03	GLASS BALUSTRADE (POOL FENCE)
RFS - 01	METAL ROOF
VEG - 01	GREEN ROOF
MTL - 01	RETRACTABLE AWNING



1 SECTION A
1:100



2 SECTION B
1:100

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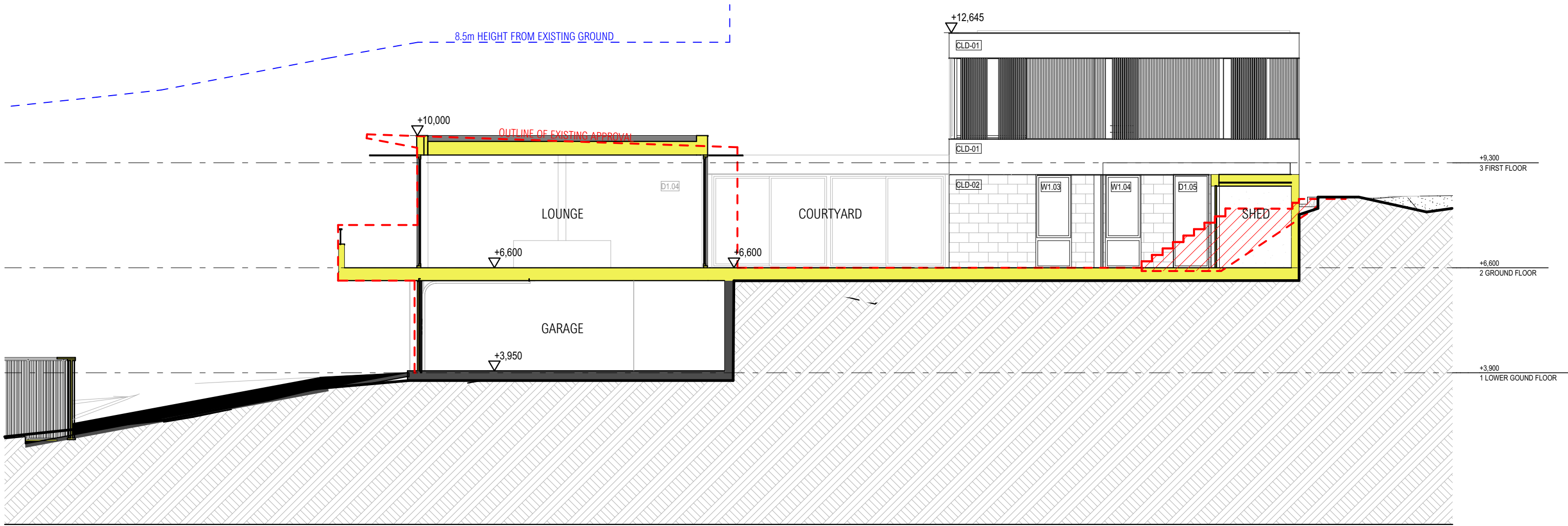
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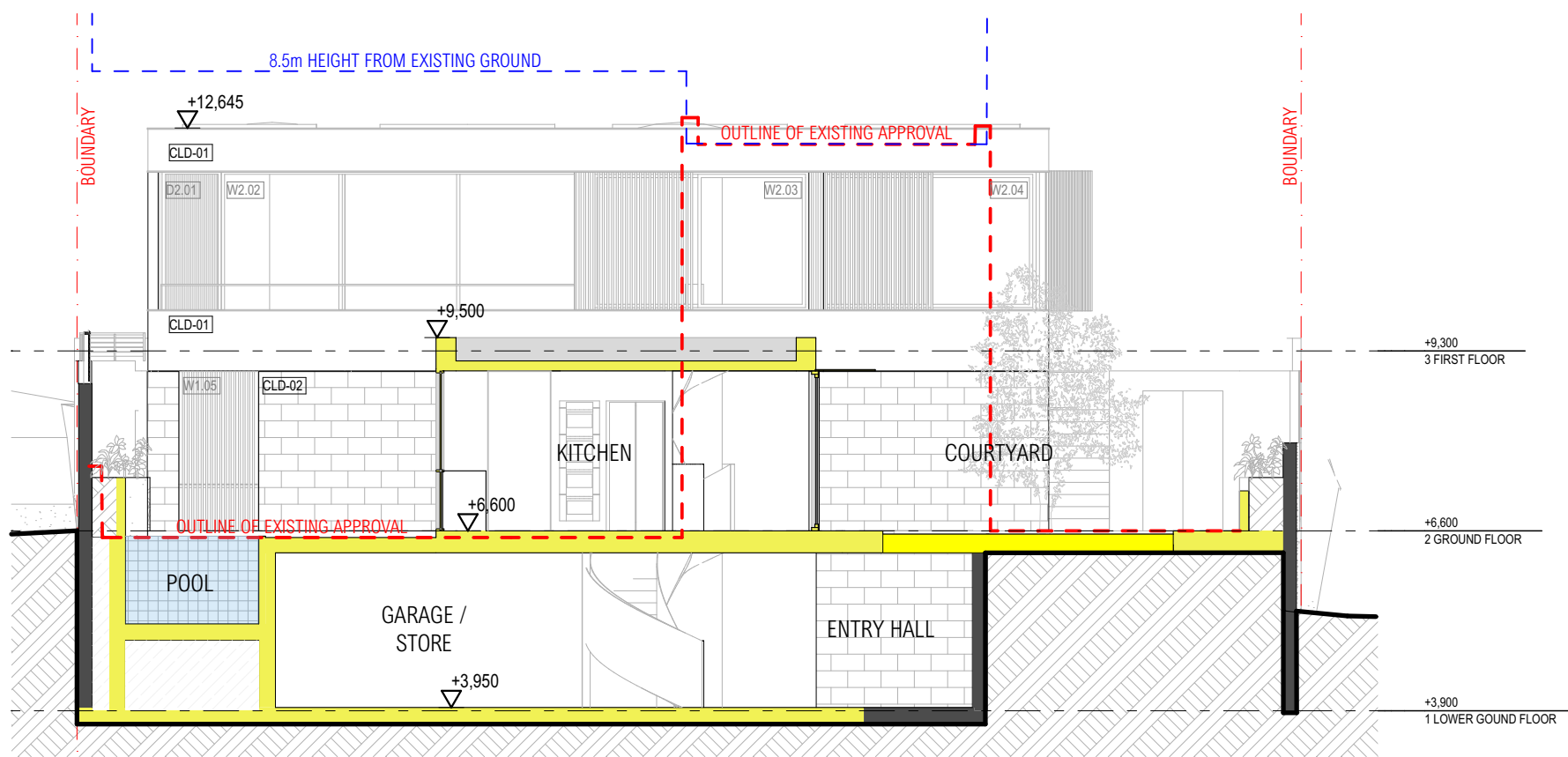
PROJECT DOWE RESIDENCE 2131 PITTSWATER ROAD, CHURCH POINT					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
25002	24/06/2025	TG / PW	MG	1:100	A3

FOR INFORMATION

DRAWING TITLE SECTIONS A & B	
DRAWING NUMBER	REVISION
DA300	03



1 SECTION C
1:100



2 SECTION D
1:100

FINISHES LEGEND

CLD - 01	CLADDING
CLD - 02	NATURAL STONE CLADDING
CLD - 03	RENDER
BAL - 01	METAL BALUSTRADE
BAL - 02	GLASS BALUSTRADE
BAL - 03	GLASS BALUSTRADE (POOL FENCE)
RFS - 01	METAL ROOF
VEG - 01	GREEN ROOF
MTL - 01	RETRACTABLE AWNING

FOR INFORMATION

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	PROPOSED ADDITIONS		

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PROJECT

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DRAWING TITLE

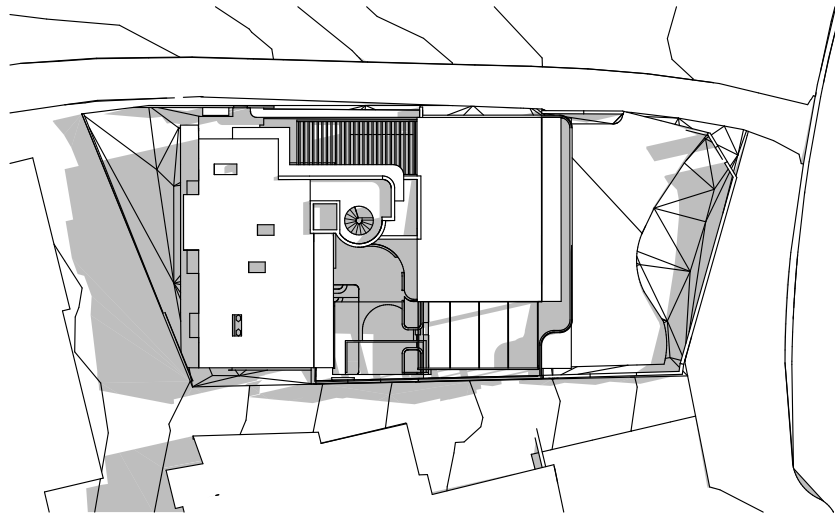
SECTIONS C & D

DRAWING NUMBER

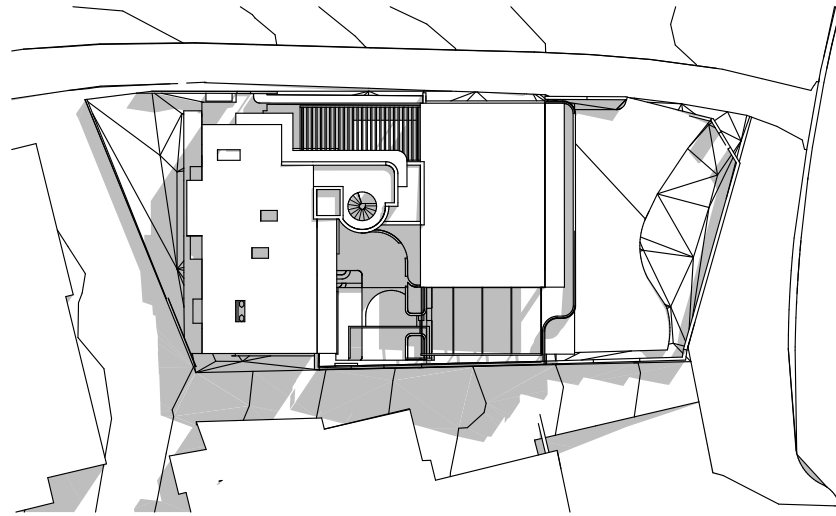
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REVISION

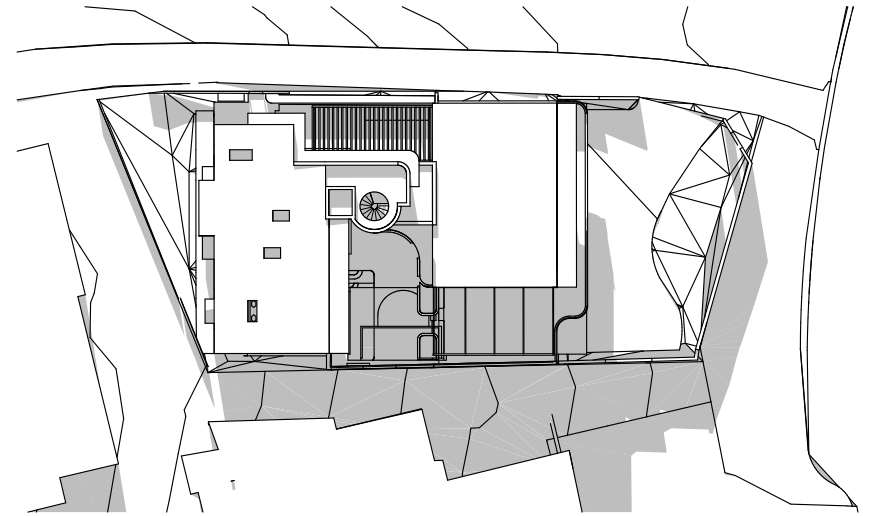
03



PITTWATER ROAD



PITTWATER ROAD

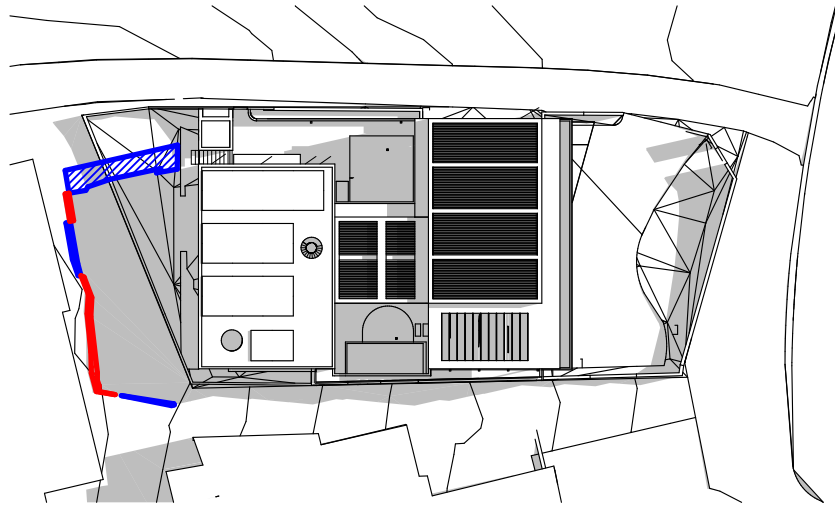


PITTWATER ROAD

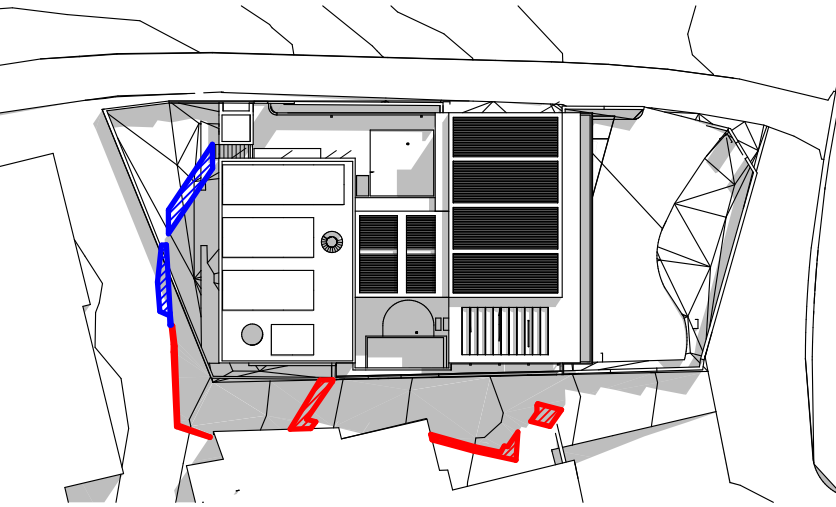
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1:500

2 APPROVED 21 JUNE AT 1200
1:500

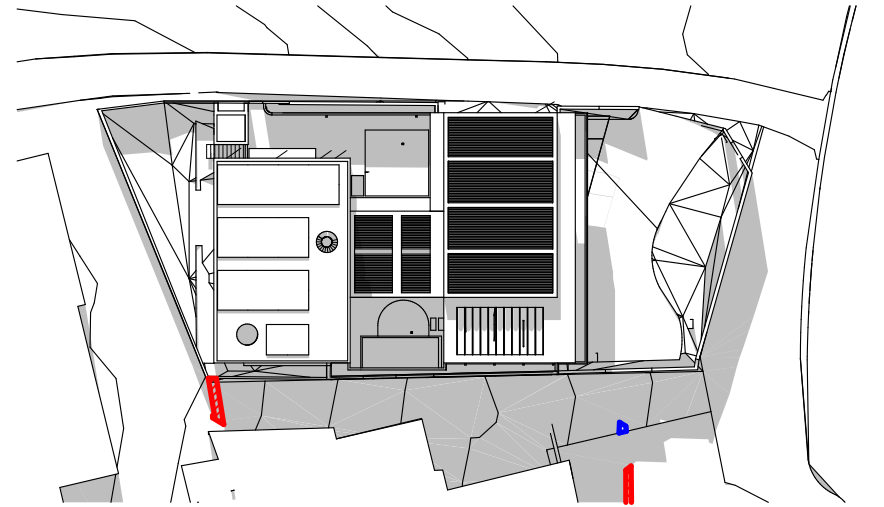
3 APPROVED 21 JUNE AT 1500
1:500



PITTWATER ROAD



PITTWATER ROAD





PITTWATER ROAD

4 PROPOSED 21 JUNE AT 0900
1:500

5 PROPOSED 21 JUNE AT 1200
1:500

6 PROPOSED 21 JUNE AT 1500
1:500

LEGEND








-  REDUCED SHADOWS
-  INCREASED SHADOWS

ARCHITECT

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LEGEND

-  BOUNDARY
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-  APPROVED DA
-  PROPOSED ADDITIONS
-  NEW WALLS TO REPLACE EXISTING
-  EXISTING
-  ADDITIONAL EXCAVATION

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PROJECT

DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
25002	24/06/2025	TG / PW	MG	1:500	A3

FOR INFORMATION

DRAWING TITLE

**SHADOW DIAGRAMS - WINTER
SOLSTICE**
DRAWING NUMBER

DA400

REVISION

03

Elevation																								
ID	D1-02			D1-01			D1-03			D1-04			D1-06			BK1-01			BK3-01			BK3-02		
Home Story Name	GROUND FLOOR			GROUND FLOOR			GROUND FLOOR			GROUND FLOOR			GROUND FLOOR			GROUND FLOOR			ROOF			ROOF		
ORIENTATION	NORTH / EAST			NORTH / EAST			SOUTH / WEST			NORTH / WEST			SOUTH / EAST			OF NORTH / WEST			TOP / ROOF			TOP / ROOF		
QTY	1			1			1			2			1			1			1			1		
Outside Frame Finish	DULUX Emulity - Champagne Kinetic			DULUX Emulity - Champagne Kinetic			DULUX Emulity - Champagne Kinetic			DULUX Emulity - Champagne Kinetic			DULUX Emulity - Champagne Kinetic			Metal - Nickel			Metal - Zinc			Metal - Zinc		
Glass	Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast		
Unit Dimensions	Height			2,900			2,900			2,900			2,900			1,350			1,400			1,400		
	Width			3,000			3,000			3,000			7,250			800			1,400			1,400		
Frame Width	50			50			50			100			50			—			—			—		
Frame Thickness	100			100			100			200			100			5			5			5		
Glazing	REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX		
Screen / Awning	AWNING			AWNING			AWNING			AWNING			AWNING			N/A			N/A			N/A		
BAL Rating	N/A			N/A			N/A			N/A			N/A			N/A			N/A			N/A		
Notes	—			—			—			—			—			—			—			—		

WINDOW SCHEDULE																								
Elevation																								
ID	W1-01			W1-03			W1-04			W1-05			W2-02			W2-03			W2-04			W2-05		
Home Story Name	GROUND FLOOR			GROUND FLOOR			GROUND FLOOR			GROUND FLOOR			FIRST FLOOR			FIRST FLOOR			FIRST FLOOR			FIRST FLOOR		
ORIENTATION	NORTH / WEST			NORTH / WEST			NORTH / WEST			NORTH / EAST			NORTH / EAST			NORTH / EAST			NORTH / EAST			NORTH / WEST		
QTY	1			1			1			1			1			1			1			1		
Outside Frame Finish	Metal - Nickel			Paint - Light Gray			Paint - Light Gray			Metal - Nickel			Metal - Nickel			Paint - Light Gray			Paint - Light Gray			Metal - Nickel		
Glass	Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast		
Unit Dimensions	Height	2,300		2,400		2,400		2,400		2,700		2,300		2,300		2,300		2,300		2,300		2,300		
	Width	1,400		900		900		1,000		5,349		3,282		3,190		3,190		1,800		1,800		1,800		
Frame Width	11			50			50			10			50			50			50			11		
Frame Thickness	50			50			50			50			50			50			50			50		
Glazing	REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX			REFER TO BASIX		
Screen / Awning	OPERABLE SCREEN			AWNING			AWNING			FIXED SCREEN			AWNING			FIXED SCREEN TO HALF OF THE WINDOW, OPERABLE SLIDING TO SECOND HALF			FIXED SCREEN TO HALF OF THE WINDOW, OPERABLE SLIDING SCREEN SECOND HALF			FIXED SCREEN		
BAL Rating	N/A			N/A			N/A			N/A			N/A			N/A			N/A			N/A		
Notes	--			--			--			--			--			--			--			--		

WINDOW SCHEDULE															
Elevation															
ID	W2-06			W2-07			W2-08			W2-09			W2-10		
Home Story Name	FIRST FLOOR			FIRST FLOOR			FIRST FLOOR			FIRST FLOOR			FIRST FLOOR		
ORIENTATION	NORTH / WEST			NORTH / WEST			SOUTH / WEST			SOUTH / WEST			SOUTH / WEST		
QTY	1			1			1			1			1		
Outside Frame Finish	Metal - Nickel			Metal - Nickel			Metal - Nickel			Metal - Nickel			Metal - Nickel		
Glass	Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast			Glass - Clear Fast		
Unit Dimensions	Height	2,100		Height	2,100		Height	2,100		Height	2,100		Height	2,100	
	Width	900		Width	1,100		Width	1,000		Width	3,270		Width	2,800	
Frame Width	11			Frame Width	11			Frame Width	11			Frame Width	50		
Frame Thickness	50			Frame Thickness	50			Frame Thickness	50			Frame Thickness	50		
Glazing	REFER TO BASIX			Glazing	REFER TO BASIX			Glazing	REFER TO BASIX			Glazing	REFER TO BASIX		
Screen / Awning	FIXED SCREEN			Screen / Awning	FIXED SCREEN			Screen / Awning	FIXED SCREEN			Screen / Awning	FIXED SCREEN		
BAL Rating	N/A			BAL Rating	N/A			BAL Rating	N/A			BAL Rating	N/A		
Notes	--			Notes	--			Notes	--			Notes	--		

Basix Requirements Summary - Alterations & Additions					
Alterations & Additions 2131 Pittwater Road CHURCH POINT NSW 2105			Prepared by Chapman Environmental Services www.cesenergy.com.au 1300 004 914		
<div>CES CHAPMAN Environmental Services</div>					
Assessment Based on the Following Minimum Requirements					
Fixtures	Shower heads	3 star (> 7.5 but <= 9 L/min)		Toilets	3 star All taps 3 star
Alternative Water	Minimum Rainwater tank size (L)		n/a		
Pool and Spa	Max pool volume (kL)	24	Pool requires a cover		Pool pump must have a timer
	Pool heating	No heating			
Energy	Hot water system		n/a		
Lighting	The applicate must ensure A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.				
Assessment Based on the Following Minimum Requirements					
Floor Types	Concrete slab on ground		with	n/a	
External Walls	Timber framed Fibro clad		with	Minumum Sarking and R1.3 bulk insulation	
Internal Walls	Plasterboard		with	No insulation required	
Ceilings (roof over)	Timber above plasterboard.		with	Minumum R1.00 bulk insulation	
Roof	Metal		with	55mm roof blanket	Colour Light
Windows and Doors	AF single glazed clear		Group A & B ALM-002-01 U-Value 7.63 or less SHGC 0.75 or less		
	TF single glazed clear		Group A & B TIM-002-01 U-Value 5.71 or less SHGC 0.66 or less		
	TF single glazed LowE		Group A & B TIM-002-03 U-Value 3.99 or less SHGC 0.40 or less		
	W1.03, W1.04 & D1.05 only				
	Skylight		Skylights	VEL-011-01	U-Value 2.60 or less SHGC 0.24 or less
	Group A windows are Awning, Bifold, Casement or Tilt'n'turn		Group A doors are Bifold, Entry, French or Hinged		
	Group B windows are Double hung, Fixed, Louvre or Sliding		Group B doors are Sliding or Stacker		
AF = Aluminium Framed		TB = Thermally Broken Aluminium Framed		TF = Timber Framed	
All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA					
If there is a discrepancy between this document and the BASIX Certificate, then the BASIX Certificate shall take precedence					

This document to be read in conjunction with the Basix Certificate and Naters Universal Certificate

FOR INFORMATION

ARCHITECT

CHROFI

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REV	DATE	ISSUE
01	24/06/2025	SECTION 4.55 DA MODIFICATION

REV DATE ISSUE

PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG	1:1	A1	

DRAWING TITLE
BASIX

DRAWING NUMBER	REVISION
DA501	01



CLD-01 LIGHT WEIGHT CLADDING



CLD-02 NATURAL STONE



CLD-03 RENDER



RFS-01 METAL ROOF SHEET



BAL-01 METAL BALUSTRADE



BAL-02 GLASS BALUSTRADE (POOL FENCE)



ALUMINIUM WINDOW FRAMES

FINISHES LEGEND

- CLD - 01 CLADDING
- CLD - 02 NATURAL STONE CLADDING
- CLD - 03 RENDER
- BAL - 01 METAL BALUSTRADE
- BAL - 02 GLASS BALUSTRADE
- BAL - 03 GLASS BALUSTRADE (POOL FENCE)
- RFS - 01 METAL ROOF
- VEG - 01 GREEN ROOF
- MTL - 01 RETRACTABLE AWNING

ARCHITECT

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REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
03	24/06/2025	SECTION 4.55 DA MODIFICATION

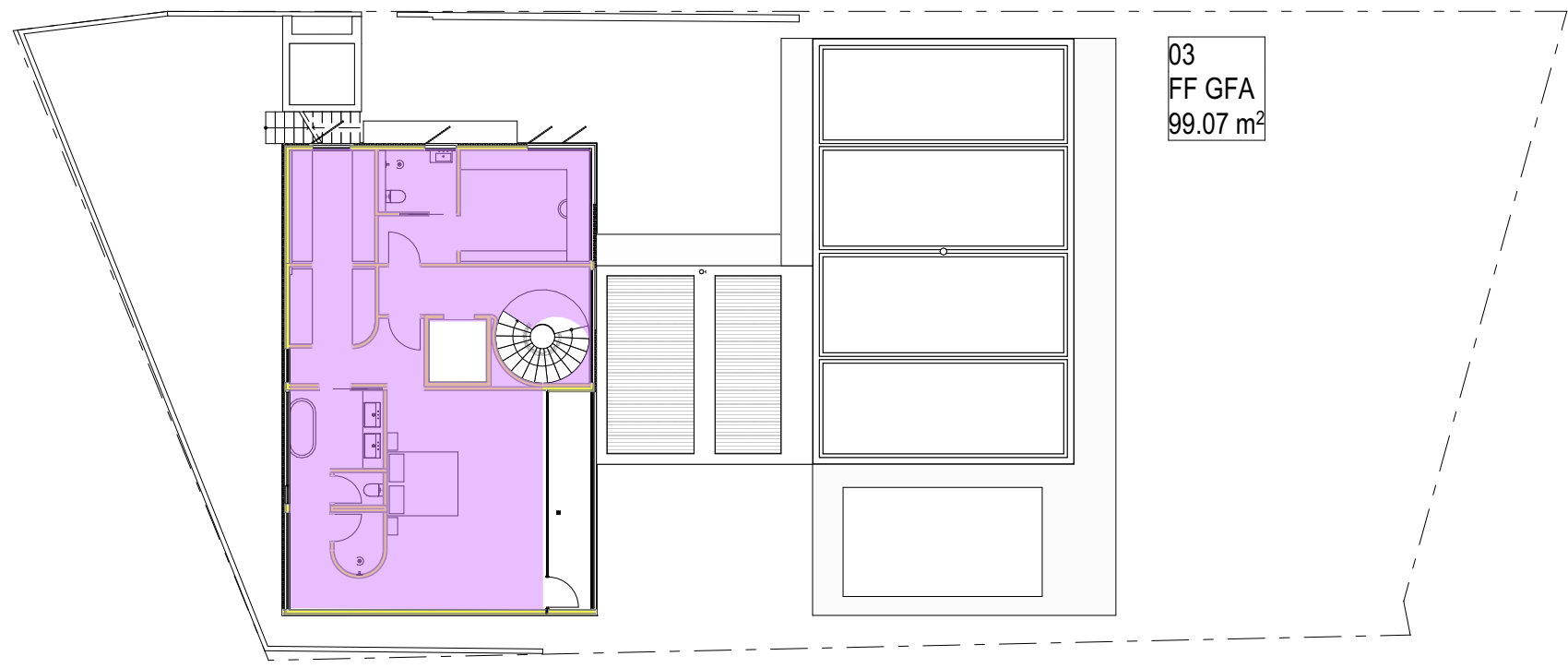
REV	DATE	ISSUE

PROJECT DOWE RESIDENCE 2131 PITTWATER ROAD, CHURCH POINT				
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE
25002	24/06/2025	TG / PW	MG	

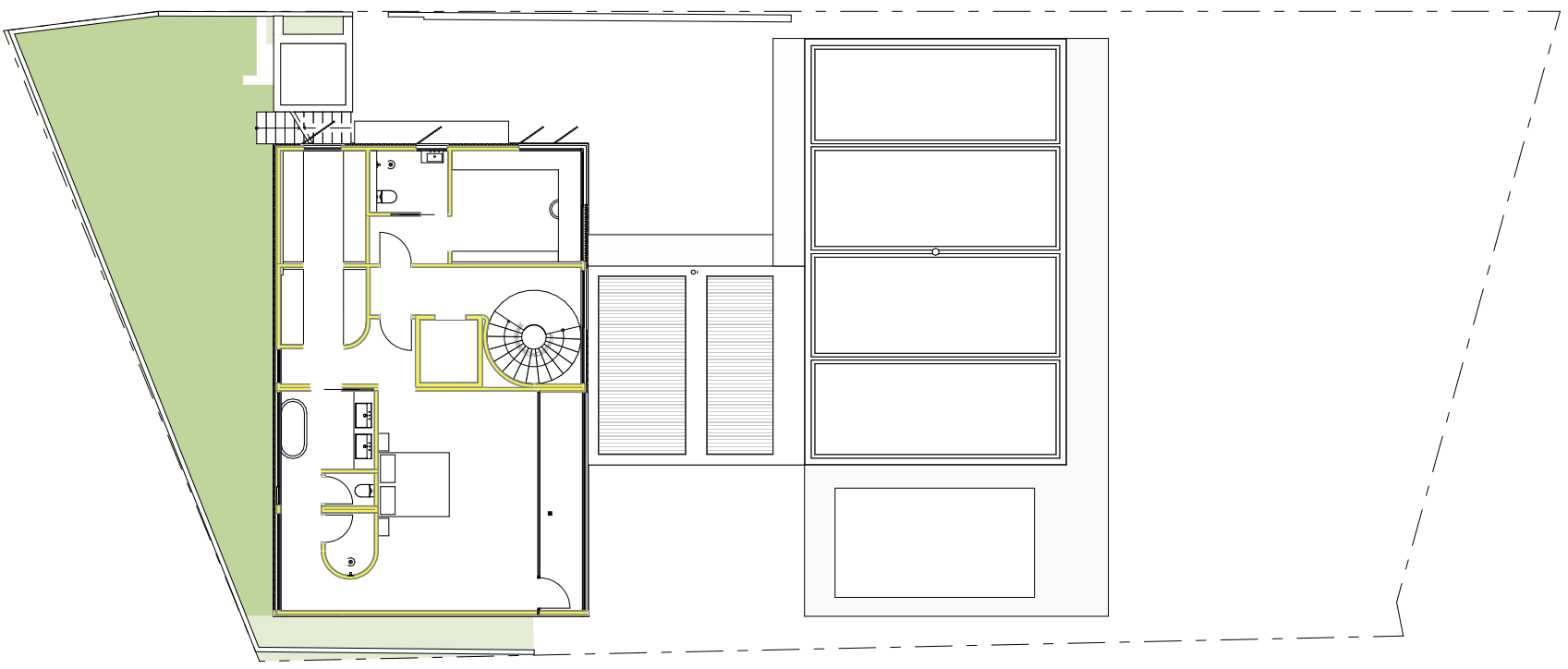
SHEET SIZE	NORTH
A1	

FOR INFORMATION

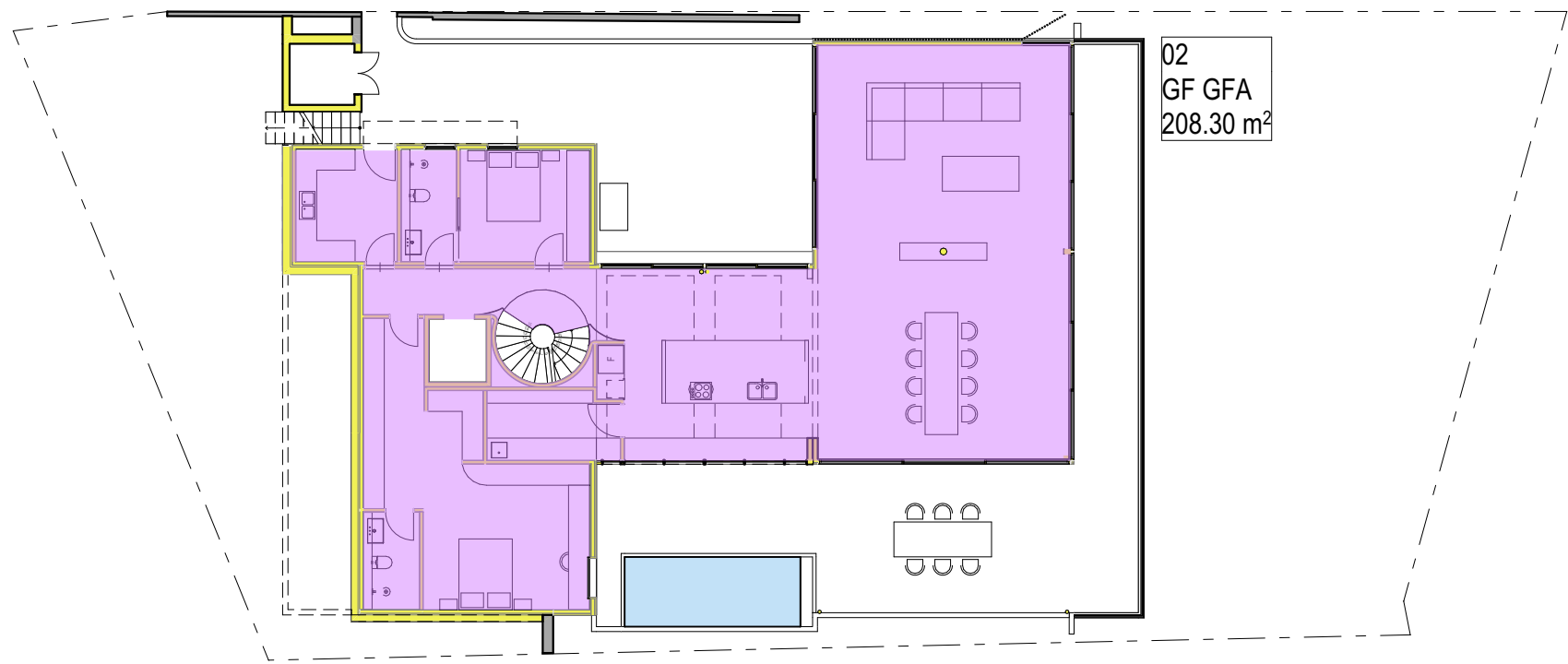
DRAWING TITLE EXTERNAL FINISHES SCHEDULE	
DRAWING NUMBER	REVISION
DA502	03



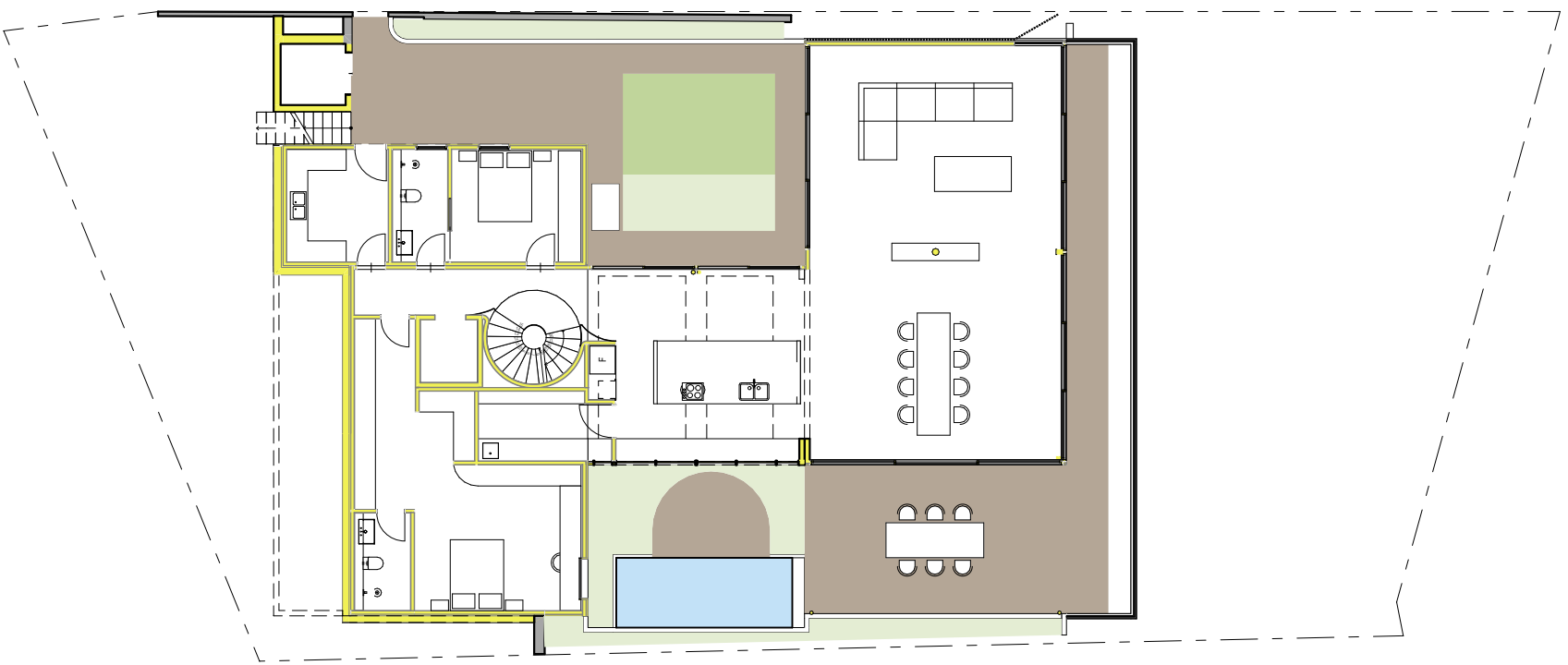
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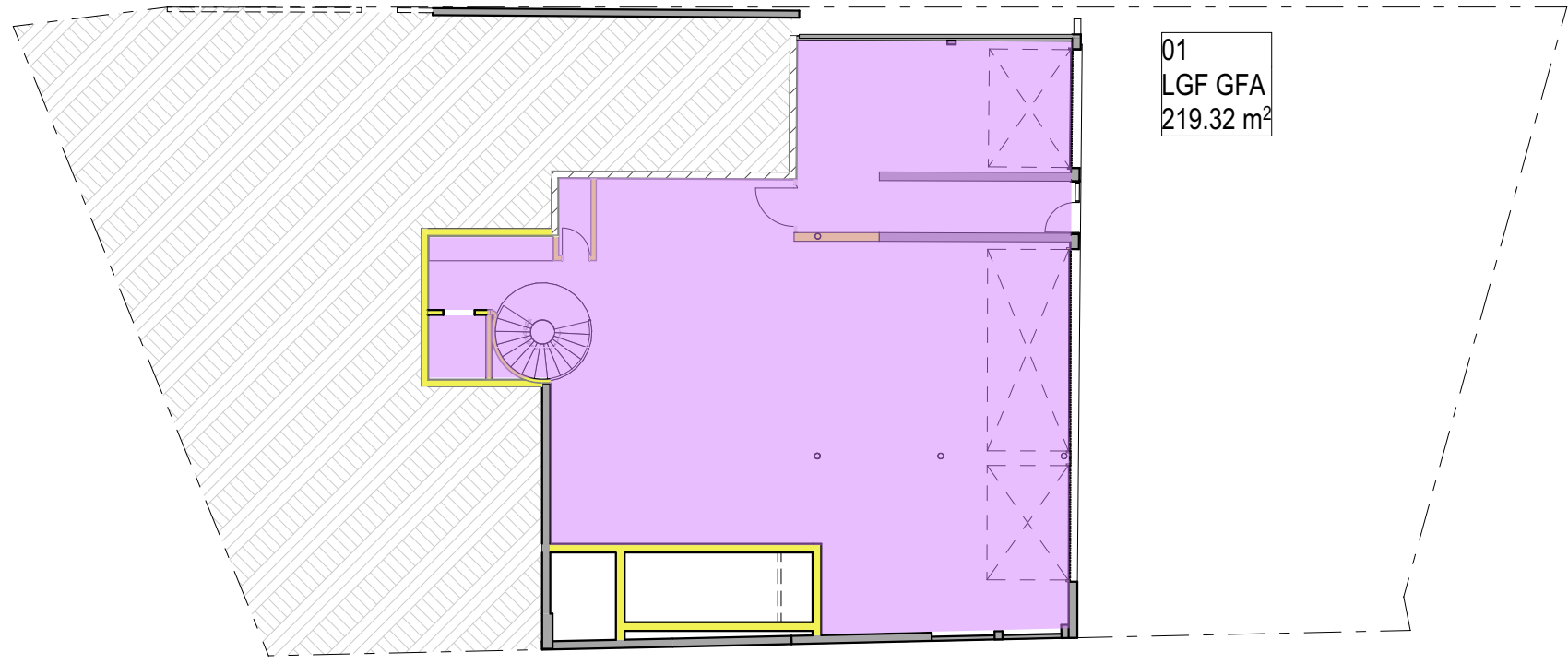
4 FIRST FLOOR



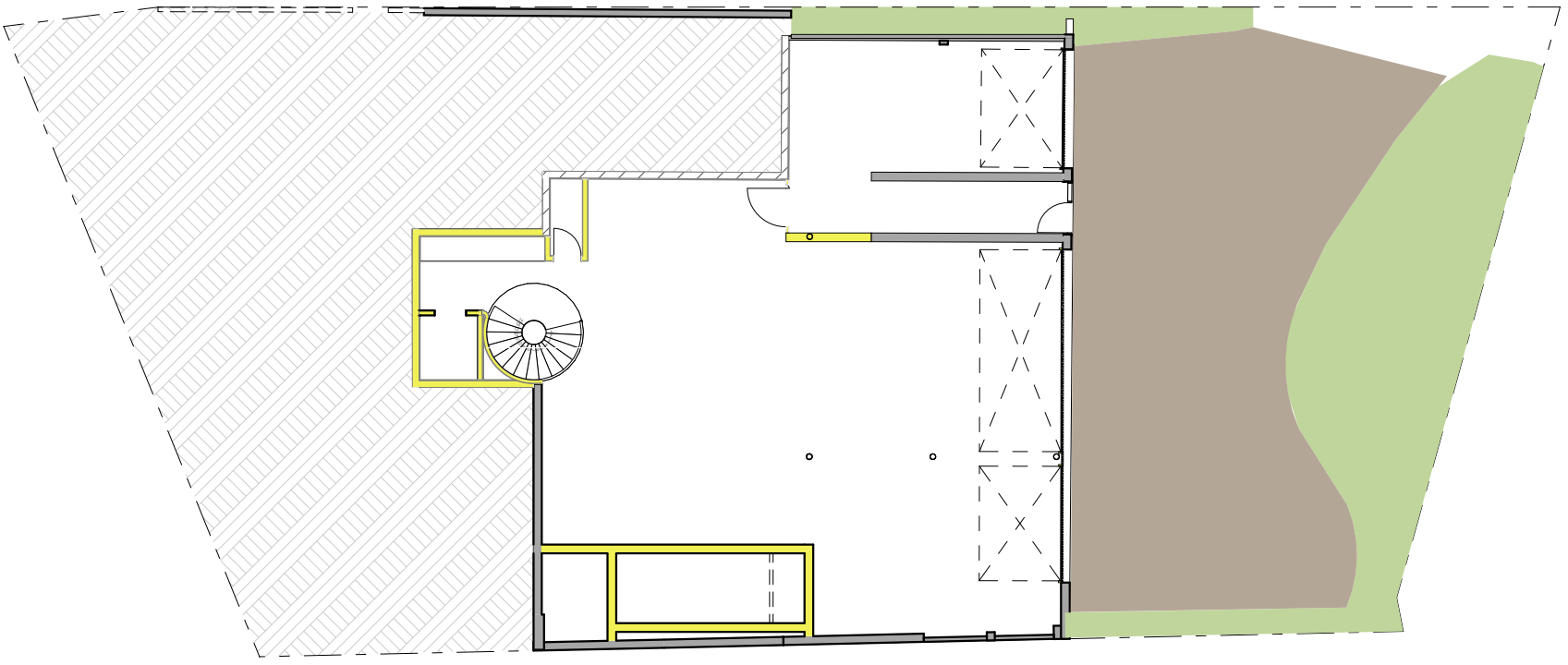
2 GROUND FLOOR



5 GROUND FLOOR



3 LOWER GOUND FLOOR



6 LOWER GOUND FLOOR

AREAS COMPARISION TABLE			
		APPROVED DA	PROPOSED
GROSS FLOOR AREA		(m2)	(m2)
	FF	112.79	99.07
	GF	188.45	208.30
	LGF	186.00	219.32
	TOTAL	487.24 m2	526.69 m2

AREAS COMPARISION TABLE		
		PROPOSED
ADDITIONAL LANDSCAPE	APPROVED DA	42.24
DEEP SOIL	APPROVED DA	160.87
IMPERVIOUS LANDSCAPE	APPROVED DA	241.89
	TOTAL	445
	% OF SITE AREA	63.3%

AREAS LEGEND

LANDSCAPE

DEEP SOIL

IMPERVIOUS LANDSCAPE

GFA

REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
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REV	DATE	ISSUE

PROJECT

DOWE RESIDENCE

2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG		A1	

FOR INFORMATION

DRAWING TITLE

AREAS

DRAWING NUMBER	REVISION
DA503	03