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- Landscaping modifications throughout including reduced rear garden level



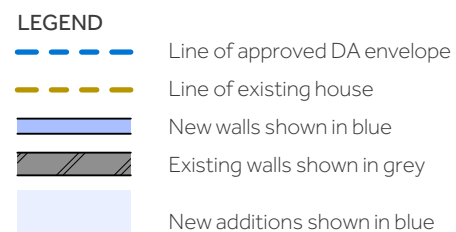
Site & Roof Level Plan

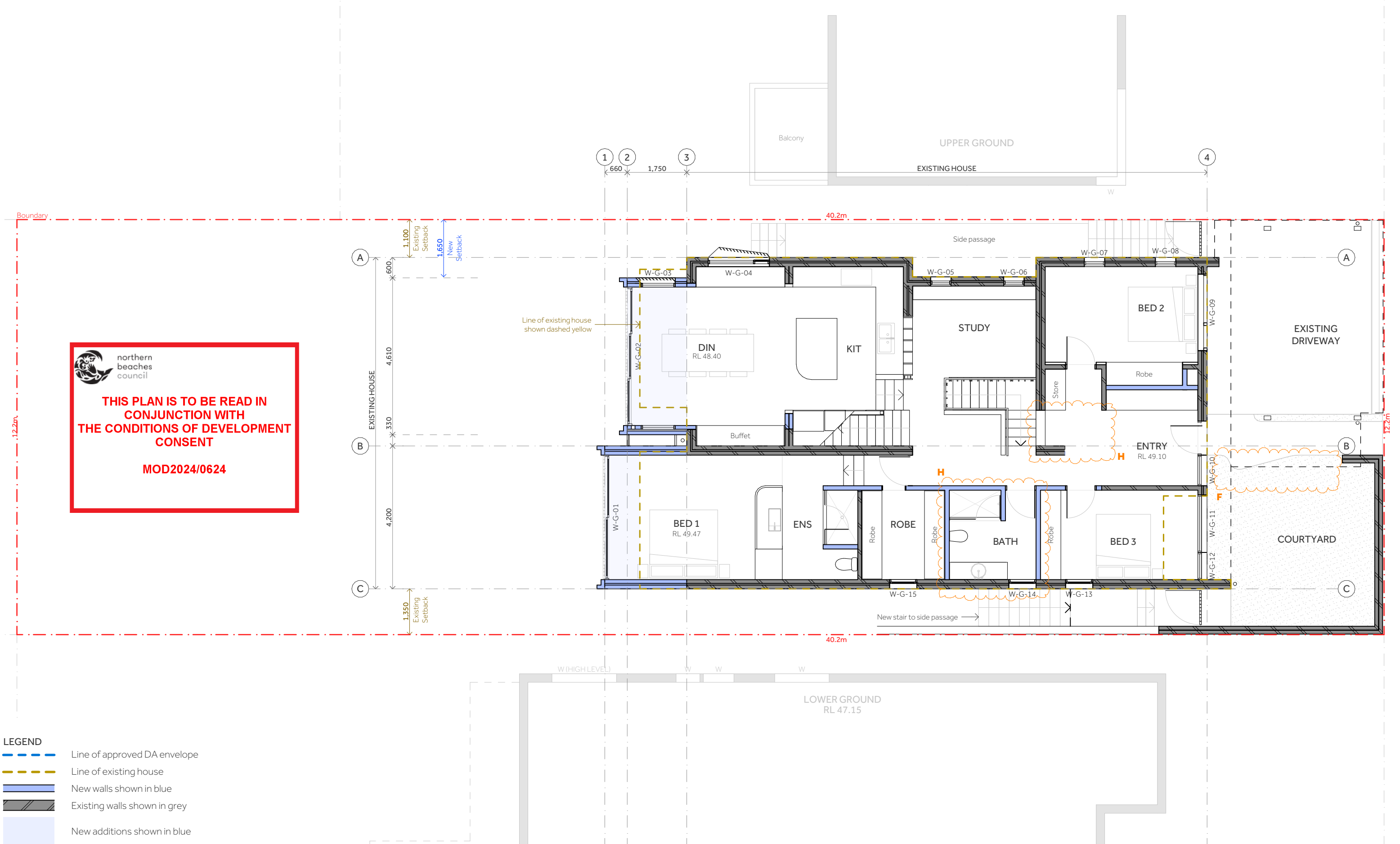
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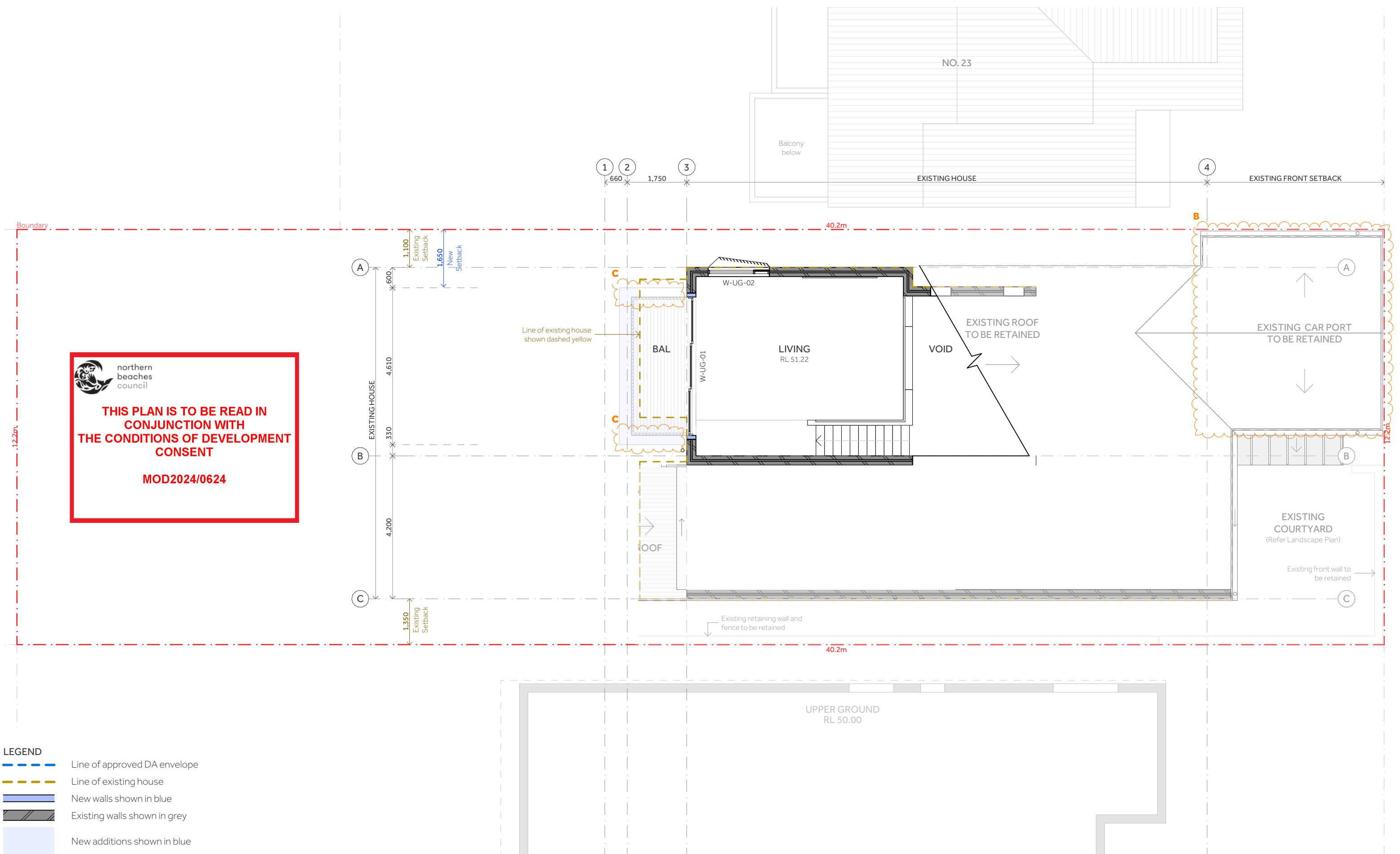
11 November 2024

DA-08

B







LEGEND

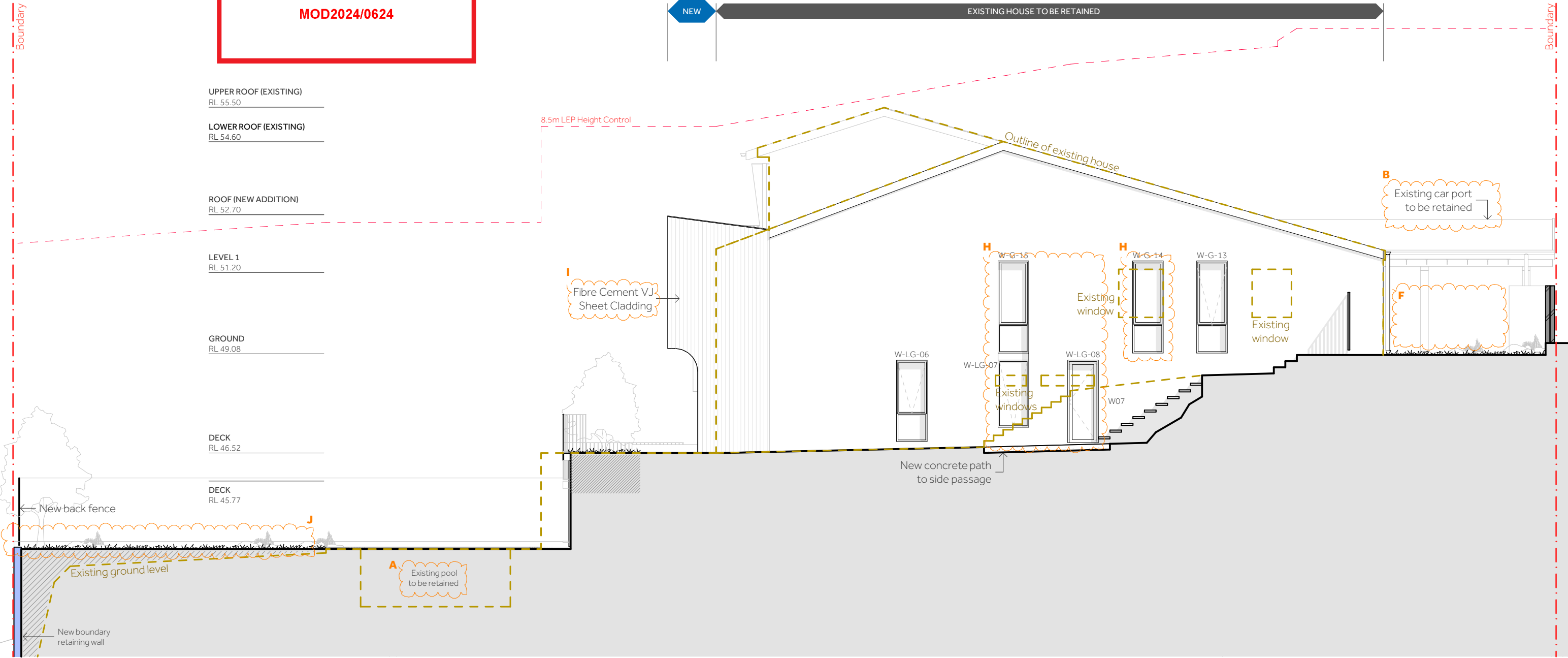
- Line of approved DA envelope
- Line of existing house
- New walls shown in blue
- Existing walls shown in grey
- New additions shown in blue



northern
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council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT

MOD2024/0624



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project Alterations & Additions

address 21 Moore Street

client Rod & Natalie Pindar

Do not scale these drawings. Verify all dimensions on site.

title East Elevation

scale 1:100 @ A3

date 11 November 2024

drawing no. DA-12

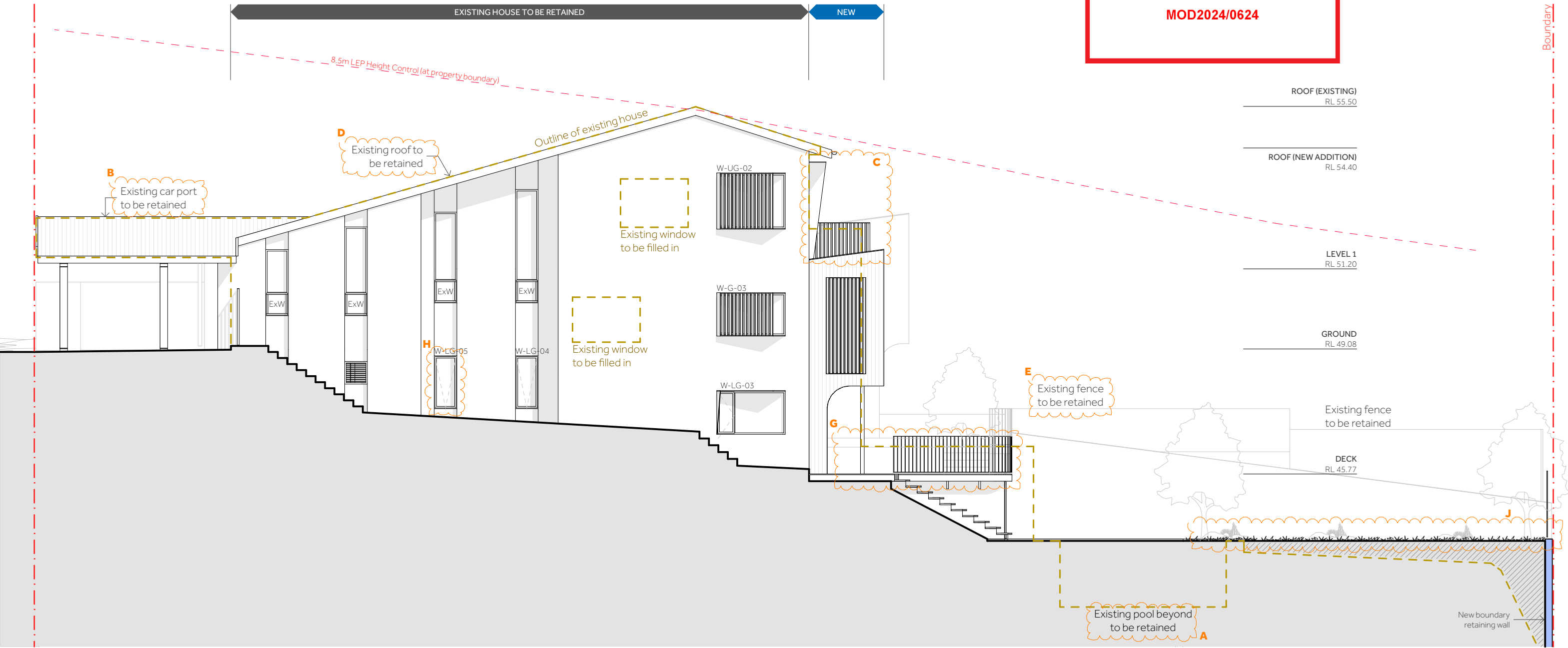
issue B



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LEGEND

Outline of approved DA envelope

Outline of existing house

Existing house shown in yellow

New additions shown in blue

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project

Alterations & Additions

address

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Clontarf

client

Rod & Natalie Pindar

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title

West Elevation

scale

1:100 @ A3

date

11 November 2024

drawing no.

DA-13

issue

B



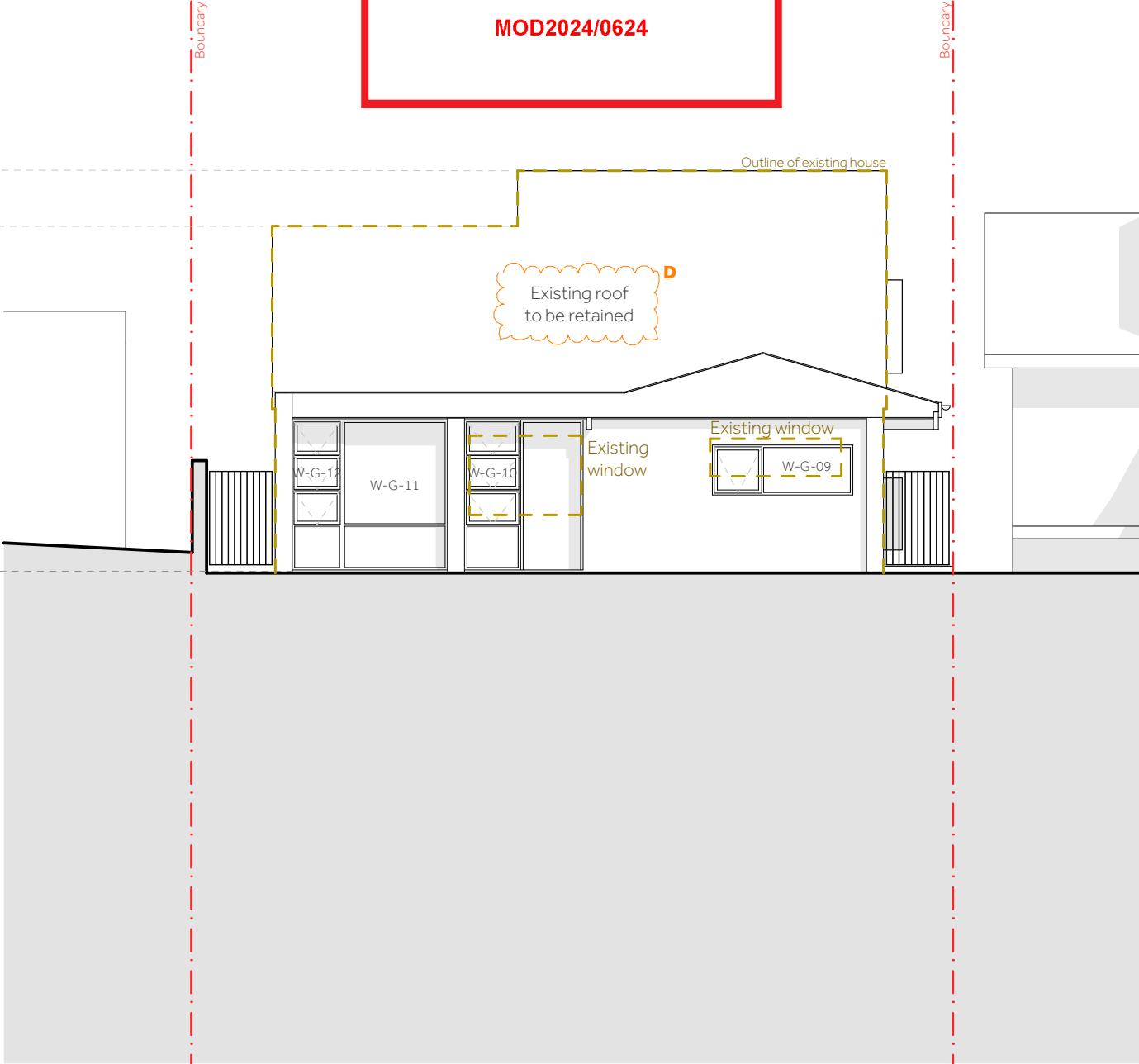
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South Elevation



North Elevation

LEGEND

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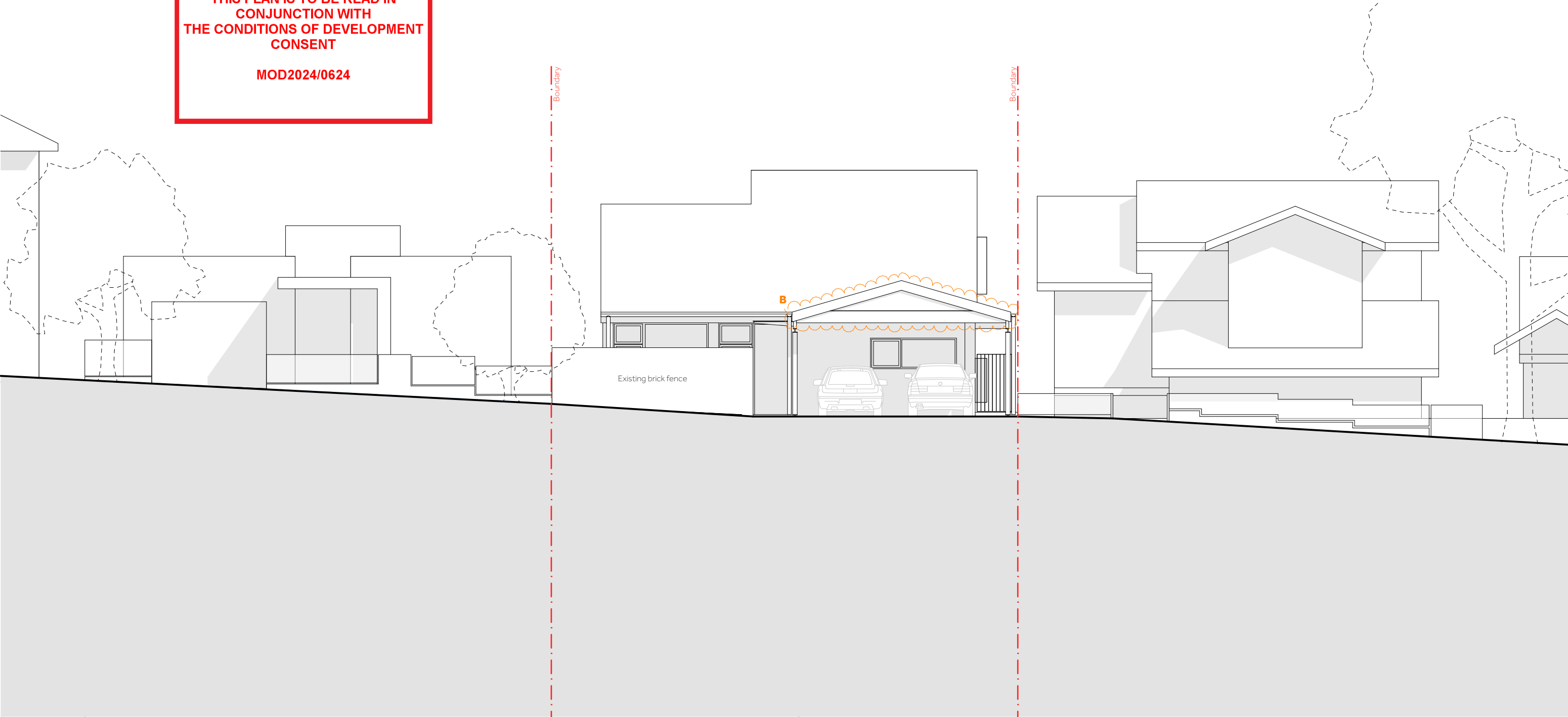
title North & South Elevation
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-14
issue B



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title Street Elevation
scale 1:100 @ A3
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drawing no. DA-15
issue B



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UPPER ROOF (EXISTING)
RL 55.50

LOWER ROOF (EXISTING)
RL 54.60

ROOF (NEW ADDITION)
RL 52.70

LEVEL 1
RL 51.20

GROUND
RL 49.08

DECK
RL 46.52

DECK
RL 45.77

Top of fence
RL 45.85

Existing ground level

EXISTING POOL TO
BE RETAINED

New boundary
retaining wall

New balcony
to replace existing

New extension
to Kitchen/Dining

Outline of existing house

8.5m LEP Height Control

LIVING

KITCHEN / DINING

RUMPUS

STUDY

BED 2

BED 5

LEGEND

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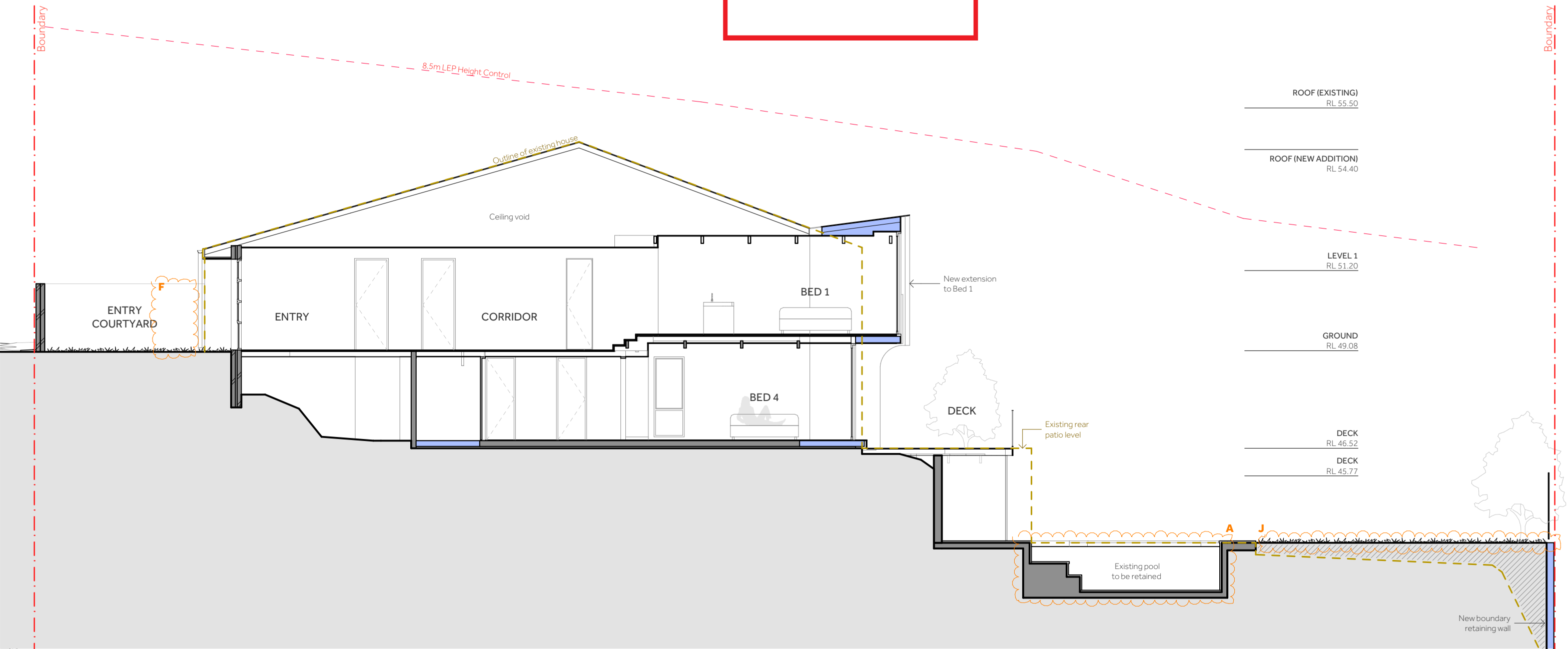
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title Section AA
scale 1:100 @ A3
date 11 November 2024
drawing no. DA-16
issue B



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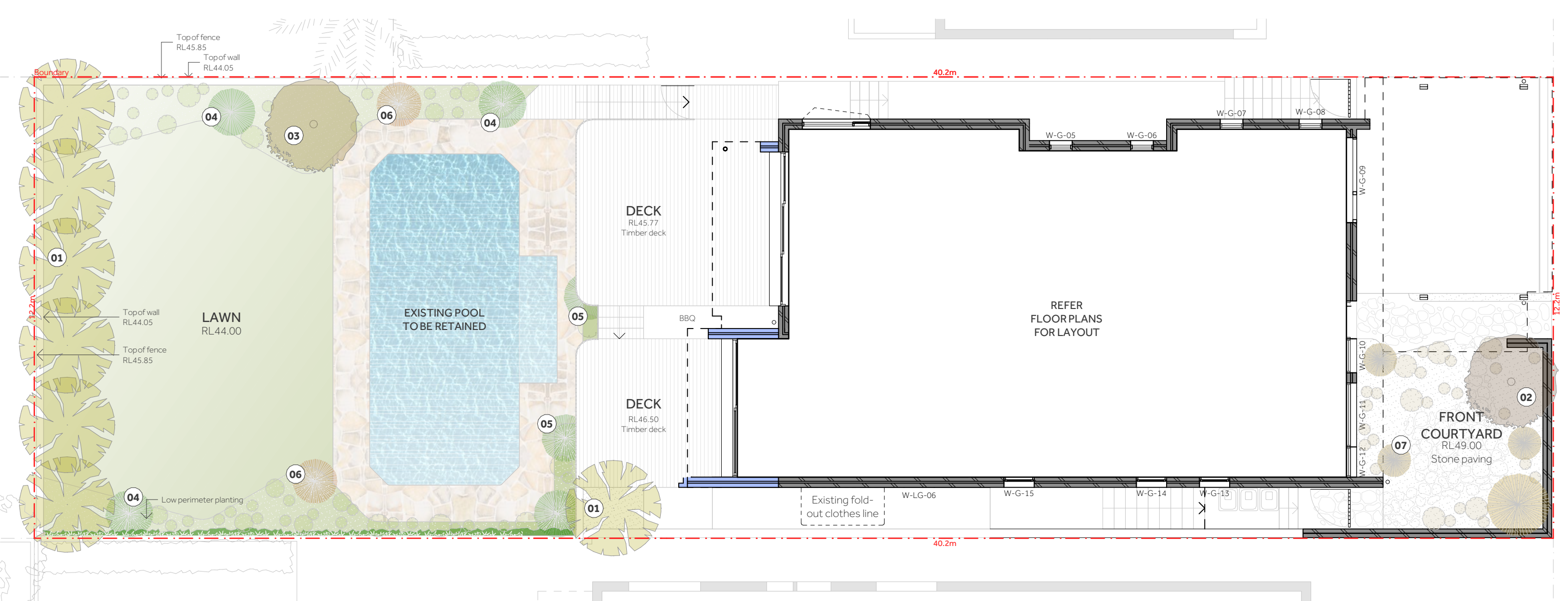
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date
drawing no.
issue

Section BB
1:100 @ A3
11 November 2024
DA-17
B



FEATURE PLANTS

01	<i>Dypsis Lutescens</i>	Golden Cane Palm	45 Ltr	3-4m	7
02	<i>Banksia Serrata</i>	Saw Tooth Banksia	25 Ltr	6m	3
03	<i>Chamaerops Humilis</i>	Fan Palm	100 Ltr	2-3m	1
04	<i>Doryanthes Palmeri</i>	Giant Spear Lily	200mm	1m	6
05	<i>Cycas Revoluta</i>	Cycad	200mm	<1m	3
06	<i>Alcantarea Imperialis</i>	Imperial Bromeliad	200mm	<1m	2
07	<i>Cusarina Glauca</i>	Green Wave	200mm	<1m	20

* Golden Cane Palms to be used as hedging and maintained at a maximum of 3-4m

REAR GARDEN

<i>Leucophyta Brownii</i>	Cushion Bush	200mm	<1m	10
<i>Westringia Fruticosa</i>	Native Rosemary	200mm	<1m	6
<i>Senecio Mandraliscae</i>	Blue Chalksticks	200mm	<1m	30
<i>Senecio Taliniodes</i>	Narrow Leaf Chalksticks	200mm	0.4	10
<i>Zoysia Tenuifolia</i>	Long growing grass	200mm	<1m	10

FRONT COURTYARD

<i>Senecio Mandraliscae</i>	Blue Chalksticks	200mm	<1m	20
<i>Cotyledon rbiculata</i>	Pig's ear	200mm	<1m	10
<i>Agave</i>	Blue Glow	200mm	<1m	4
<i>Agave Angustifolia</i>	Caribbean Agave	200mm	<1m	2
<i>Sedum Mexicanum</i>	Gold Mound	200mm	<1m	8
<i>Zoysia Tenuifolia</i>	Long growing grass	200mm	<1m	10
<i>Kalanchoe Tomentosa</i>	Panda Plant	200mm	<1m	6
<i>Agave Geminiflora</i>	Twin Flower Agave	200mm	<1m	2





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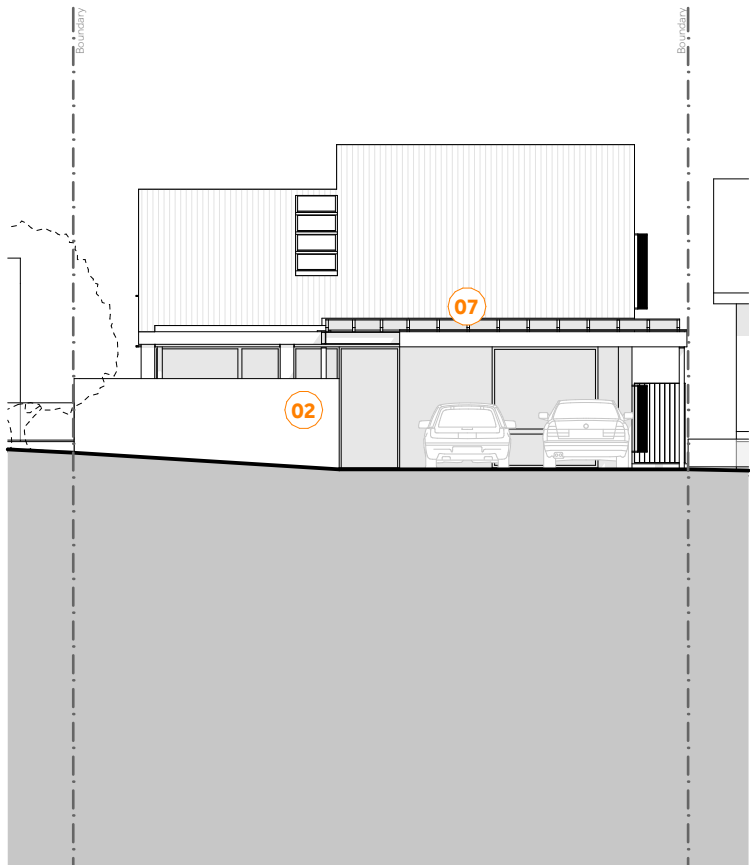
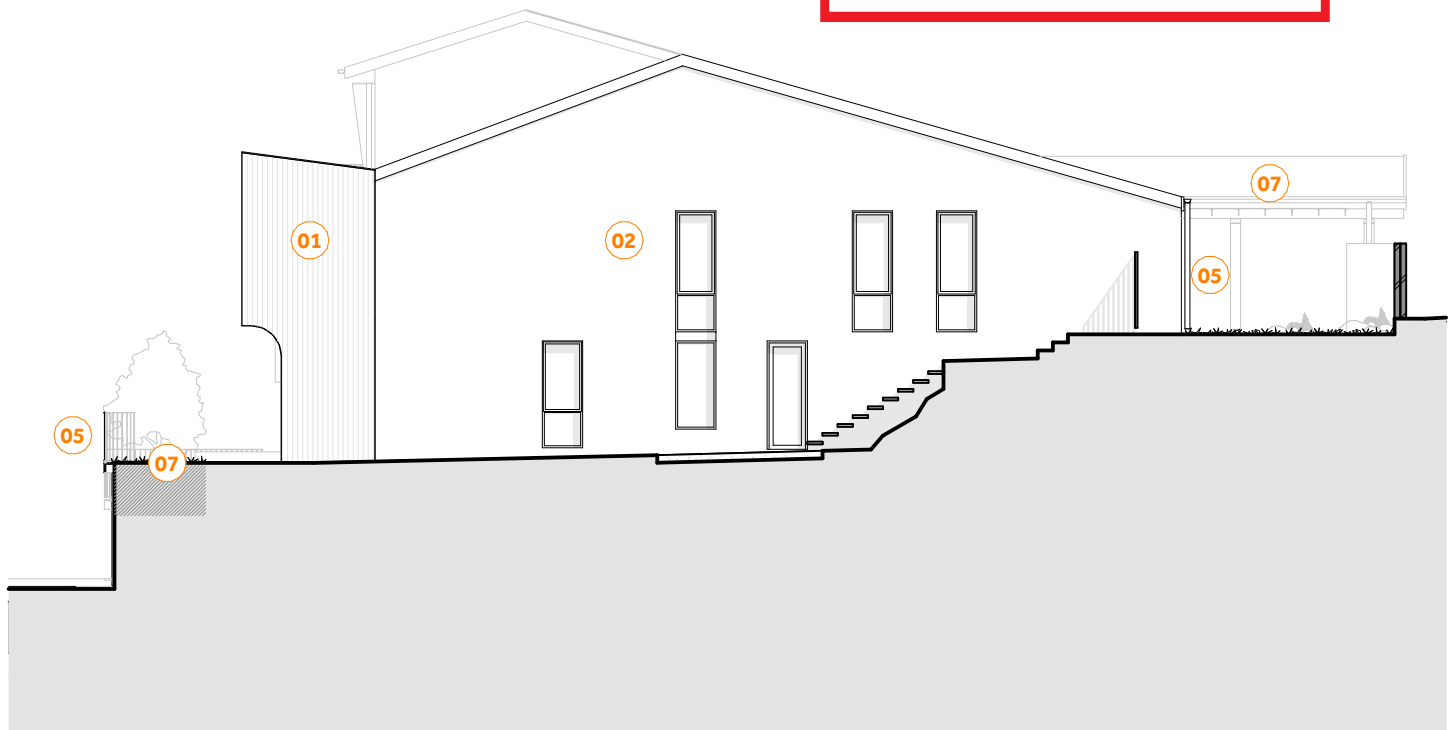
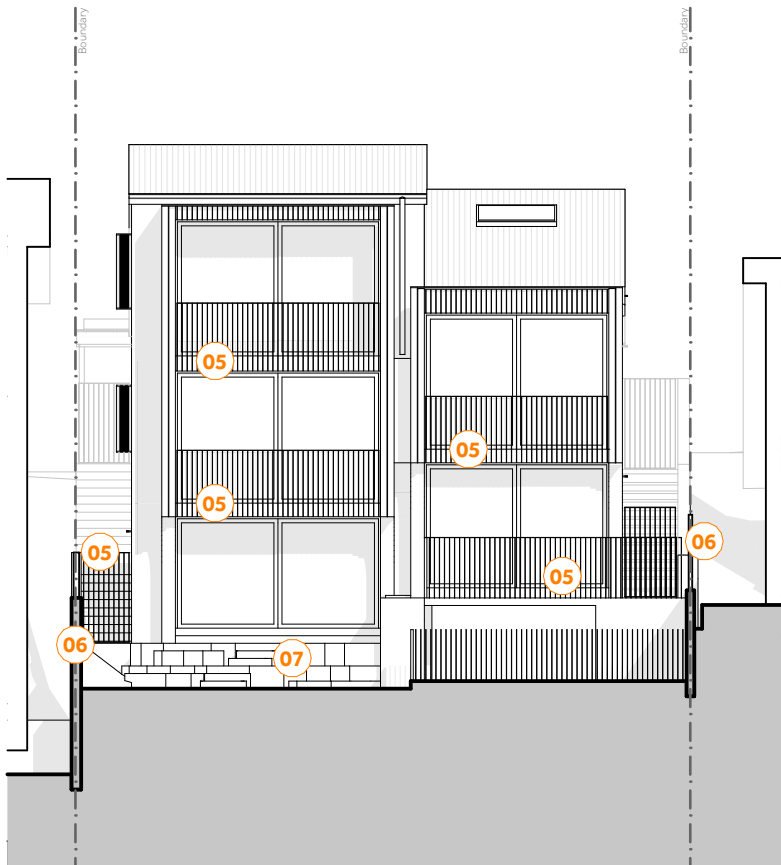
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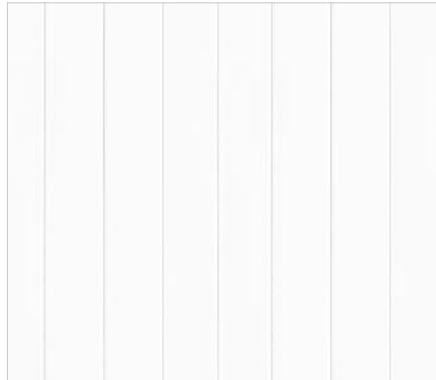
title Landscape Plan
scale 1:100 @ A3
date 16 January 2024
drawing no. DA-18
issue C



01

Material: VJBoard Cladding
Colour: White

VJBoard Cladding (James Hardie Scyon Axon or similar) is proposed for the new rear addition. A light colour (white) is proposed to minimise solar heat gain and present a colour palette consistent with a coastal aesthetic.



02

Material: Painted brickwork
Colour: White

The existing house comprises painted brick facades which are to be retained. This materiality will be continued through various internal and external parts of the proposed alterations and additions.



03

Material: Hardwood timber
Colour: Natural oil finish

Certain elements of the new rear addition are proposed to be hardwood timber boards to provide a warm, natural aesthetic. These areas include all balcony floor decking and soffit cladding.



04

Material: Painted steel balustrade
Colour: White

Gates and fencing is proposed to be steel flat bar with a durable white paint finish. This is in keeping with a coastal aesthetic and allows high visibility through to showcase plants and landscaping.



05

Material: Hardwood timber fencing
Colour: Natural oil finish

Side perimeter fencing is proposed to be hardwood timber with a natural oil finish. This is in keeping with the recently constructed fencing to No. 19 adjacent and provides a natural backdrop to perimeter planting.



06

Material: Stone Paving
Colour: Limestone

Front and rear paving is proposed to be Limestone crazy-paving. Limestone is durable and hardwearing and combined with the landscape design contributes to the overall natural, coastal aesthetic.



07

Material: Polycarbonate
Colour: Clear

Polycarbonate sheeting is proposed to be used for the roof of the new car port. The use of a translucent material will allow additional light into the front of the house and the north-facing window to Bed 2.



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title

Schedule of Materials, Colours & Finishes

scale

1:150 @ A3

date

11 November 2024

drawing no.

DA-24
B

issue