

**SYDNEY
BUILDING
APPROVALS
CENTRE**

- Principle Certifying Authority
- Building Regulation Consultation
- NatHERS Certifications
- Town Planning
- Building Approvals
- Inspections

SYDNEY BUILDING APPROVALS CENTRE PTY LTD

ABN 96 081 945 904

Unit 18 Christies Homemaker Centre

173-185 Canterbury Road, Bankstown NSW 2200

Phone: 9790 4741

Fax: 9796 4792

DX 11215 BANKSTOWN www.sbac.com.au

RESIDENTIAL • INDUSTRIAL • COMMERCIAL

R/141778

Date: 19 May 2004

Pittwater Council
DX 9018, MONA VALE

PREMISES: Lot 519, DP 16902, 30 The Circle, Bilgola Plateau
CONSTRUCTION CERTIFICATE: CC801/03

Dear Sir/Madam,

Please find enclosed a Construction Certificate, Notification of work to commence (Form 7), Plans, Engineers details & specification for the above premises.

Should you require any further assistance to the matter please do not hesitate to contact Sydney Building Approvals Centre on Tel: 9790 4741.

Yours Faithfully



Peter Ruck
Building Surveyor

Fittwater Council

ABN: 51340837871

TAX INVOICE OFFICIAL RECEIPT

21/05/2004 Receipt No 141778

TO SYDNEY BUILDING APPROVALS
CENTRE PTY LTD

R/141778

DX 11215
BANKSTOWN

Qty/ Applic	Reference	Amount
1	RMIS-Rcord	\$27.77
GL Rec 1 X	00001/03	
	GST	\$2.73
SL Rec		
To PL Receipt:		

Total Amount: \$30.00
Includes GST of: \$2.73

Amounts Tendered

Cheque	\$30.00
Total	\$30.00
Roundoff	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 21/05/2004 9:40:49 AM
Cashier Gailroy

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RESIDENTIAL • INDUSTRIAL • COMMERCIAL

CONSTRUCTION CERTIFICATE No.CC801/03

Environmental Planning and Assessment Act 1979 (as amended)

Date of determination:

18 May 2004

Attachments:

Development address:

Lot 519, DP 16902, 30 The Circle,
BILGOLA PLATEAU NSW 2107

Applicant:

Robert Dunn & Rhonda Luhrs
30 The Circle ,
BILGOLA PLATEAU NSW 2107

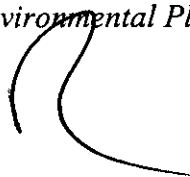
**Plans and specifications
approved**

Plans, drawings & Specifications
Two storey dwelling Class 1a

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of s 81 A(5) of the *Environmental Planning and Assessment Act 1979*

Signature:



Date of endorsement:

18 May 2004

Certificate no:

CC801/03

Certifying Authority

Name of certifying authority:

Peter Ruck

Accreditation no.: D.I.P.N.R.

2603

Development consent

Number and date of

N0221/02 & Mod

Determination:

29/8/02 & 19/9/02

certificate

of insurance

Milpete Concreting Pty Ltd
Lot 409 Bowood Road
MOUNT VERNON NSW 2759

FORM 1

HOME BUILDING ACT 1989

Section 92

Certificate in respect of insurance

CONTRACT WORK

A contract of insurance complying with Section 92 of the Home Building Act 1989
has been issued by: Vero Insurance Limited ABN 48 005 297 807

HIA INSURANCE SERVICES P/L
ABN 84 076 460 967

An associated company of
Aon Risk Services Australia Ltd
PO Box 241

Ryde NSW 2112

Telephone (02) 9808 7222

Facsimile (02) 9808 7233

CLAIMS ENQUIRY LINE

1800 554 255

Certificate No: 301578

Local Authority Copy

Issue Date 22/12/2003

Please note that Aon Risk Services
Australia Ltd ABN 17 000 434 720
is arranging the insurance policy as
agent of the insurer below.

They also act as agent of the insurer
below and not as agent of the insured
in dealing with or settling any claim.

In Respect Of: Single Dwelling
At: Lot No: 519 Unit No: House No: 30
The Circle
BILGOLA PLATEAU NSW 2107

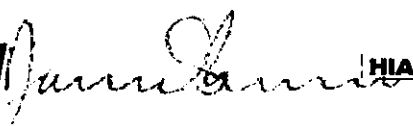
Carried Out By: Milpete Concreting Pty Ltd
Licence No: 44496C
ABN: 14 059 519 023

Subject to the Act and the Home Building Regulation 1997 and the
conditions of the insurance contract, cover will be provided to a
beneficiary described in the contract and successors in title to the
beneficiary.

Insurer:

- Vero Insurance Limited
ABN 48 005 297 807

Signed for and on behalf of the insurer:

AON  **HIA INSURANCE SERVICES**
Tailormade
for the trade

Sydney Building Approvals Centre

Application for a construction certificate

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system), you need a construction certificate before you can start work. You can use this form to apply to us for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information.

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other ☐

First name

BOB / RHONDA

Family name

DUNN / LUHRS

Company/Organisation

Unit/street no.

30

Street name

THE CIRCLE

Suburb or town

BILGOLA PLATEAU

State

NSW

Postcode

2107

Daytime telephone

Fax

Mobile

0414 631 440

Email

2. Identify the land

Unit/street no.

30

Street name

THE CIRCLE

Suburb or town

BILGOLA PLATEAU

Postcode

Lot no.

519

Section

DP/MPS no.

16902

Volume/folio

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

3. Estimated cost of the development

\$

including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

DEMOLITION OF EXISTING &
CONSTRUCTION OF NEW DWELLINGS.

For building work, what is the class of the building under the Building Code of Australia?

1a

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

DA No N0221/02

What date was development consent granted?

29/8/02

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐.

1. If you are going to carry out building work:

☐ a copy of any compliance certificates on which you rely

☐ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

☐ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

☐ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist us to assess whether the work will reduce the fire protection capacity of the building.

5. continued

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
- a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely
- ☐ evidence of any accredited component, process or design on which you seek to rely
Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.
- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
- a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- The lists must describe the extent, capability and the basis of design of each measure.*
- ☐ the attached schedule, completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.

You may also need to pay a long service levy under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments, the first instalment of the levy) before we can issue a certificate to you.

5. continued

3. If you are going to change the use of a building or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):
- ☐ a list of any fire safety measures you propose to include in the building or on the land
 - ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
 - ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

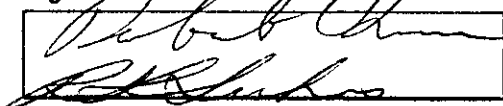
6. Signatures

The owner(s) of the land must sign this application if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application:

Signature



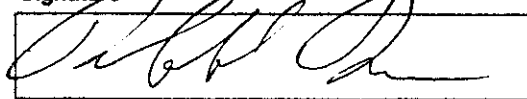
Name

Ritonda Wicks

Date

10/12/03

Signature



Name

Robert Dunn

Date

10/12/03

The applicant, or the applicant's agent, must sign the application.

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

2
278.5 m ²
278.5 m ²

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

1
1
1

Yes ☐ No ☒

Yes ☐ No ☒

Yes ☐ No ☒

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☒ 20	Timber	☒ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☒ 40	Steel	☒ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☒ 60	Not specified	☐ 90	Other	☐ 80
Timber	☒ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

certificate

of insurance

Milpete Concreting Pty Ltd
Lot 409 Bowood Road
MOUNT VERNON NSW 2759

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Telephone (02) 9808 7222
Facsimile (02) 9808 7233
CLAIMS ENQUIRY LINE
1800 554 255

Certificate No: 301578
Local Authority Copy
Issue Date 22/12/2003

Please note that Aon Risk Services
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They also act as agent of the insurer
below and not as agent of the insured
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In Respect Of: Single Dwelling
At: Lot No: 519 Unit No: House No: 30
The Circle
BILGOLA PLATEAU NSW 2107

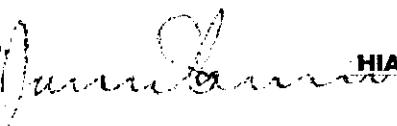
Carried Out By: Milpete Concreting Pty Ltd
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ABN: 14 059 519 023

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beneficiary described in the contract and successors in title to the
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Signed for and on behalf of the insurer:

Insurer:

- Vero Insurance Limited
ABN 48 005 297 807

AON  **HIA INSURANCE SERVICES**
Tailormade
for the trade

SUGGESTED PLANT SPECIES

IT IS PROPOSED THAT PREDOMINATELY LOCALLY INDIGENOUS SPECIES BE USED TO BE IN HARMONY WITH THE ADJOINING AREA AND BE ABLE TO COPE WITH THE HARSH EXPOSED CONDITIONS.

BOTANICAL NAME	COMMON NAME
CANOPY TREES	
ACMENA SMITHII	LILLI PILLI
ANGOPHORA COSTATA	SYDNEY RED GUM
EUCALYPTUS HAEMASTOMA	SCRIBBLY GUM
SMALL TREES	
BANKSIA INTEGRIFOLIA	COASTAL BANKSIA
BANKSIA SERRATA	OLD MAN BANKSIA
ELAEOCARPUS RETICULATUS	BLUEBERRY ASH
SCREEN SHRUBS	
ACMENA SMITHII 'MINOR'	DWARF LILLI PILLI
BANKSIA ERICIFOLIA	HEATH BANKSIA
CALLISTEMON CITRINUS	CRIMSON
BOTTLEBRUSH	TEA-TREE
LEPTOSPERMUM ATTENUATUM	DWARF CHERRY
SYZYGIIUM PANICULATUM 'DWARF'	
FEATURE SHRUBS	
BANKSIA SPINULOSA	HAIRPIN BANKSIA
LOMANDRA LONGIFOLIA	MAT RUSH
GREVILLEA SERICEA	PINK SPIDER FLOWER
GROUND COVERS	
DIANELLA CAERULEA	FLAX LILY
HIBBERTIA SCANDENS	GUINEA FLOWER
VIOLA HEDERACEA	NATIVE VIOLET
PALMS & FERNS	
ARCHONTOPHOENIX CUNNINGHAMIANA	BANGALOW PALM
ASPLENIUM NIDUS	BIRDS NEST FERN
LIVISTONA AUSTRALIS	CABBAGE TREE PALM
DICKSONIA ANTARCTICA	TREE FERN

LEGEND

EXISTING TREES TO BE RETAINED AND PROTECTED

EXISTING TREES & SHRUBS TO BE REMOVED

EXISTING PLANTED AREAS TO BE RETAINED

EXISTING LEVELS

PROPOSED DESIGN LEVELS

STEPPING STONES

LOW MASONRY WALLS

EXISTING WIRE FENCES

PROPOSED 1.8m HIGH LAPPED & CAPPED TIMBER FENCE

GRAVEL MULCH

CANOPY TREES

SMALL TREES

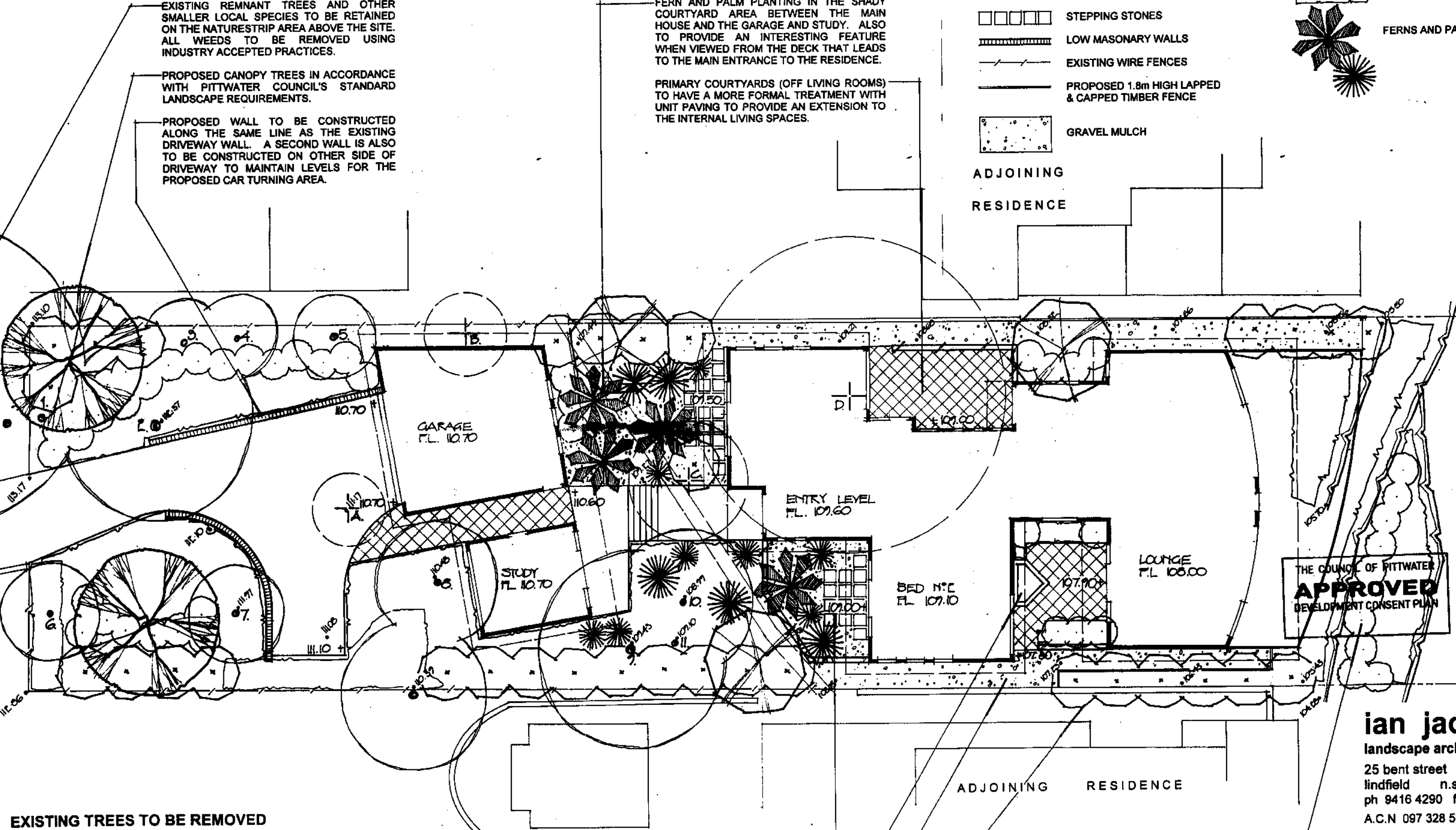
SCREEN SHRUBS

FEATURE SHRUBS

GROUND COVERS

FERNS AND PALMS

THE CIRCLE



EXISTING TREES TO BE REMOVED

KEY	BOTANICAL NAME	COMMON NAME	SIZE (height x spread)
A.	Elaeocarpus reticulatus	Blueberry ash	4 x 3
B.	Bauhinia galpinii	Red bauhinia	4 x 3
C.	Cotoneaster lacteus	Cotoneaster	3 x 5
D.	Eucalyptus haemastoma	Scribbly gum	12 x 13*

* Refer to arborist's report

EXISTING TREES TO BE RETAINED

KEY	BOTANICAL NAME	COMMON NAME	SIZE (height x spread)
1.	Jacaranda mimosafolia	Jacaranda	5 x 4
2.	Corymbia gummlifera	Red bloodwood	7 x 8
3.	Angophora costata	Sydney red gum	7 x 3
4.	Bauhinia galpinii	Red bauhinia	4 x 3
5.	Bauhinia galpinii	Red bauhinia	4 x 3
6.	Jacaranda mimosafolia	Jacaranda	5 x 4
7.	Photinia x fraseri	Photinia	3 x 4
8.	Banksia serrata	Old man banksia	6 x 5
9.	Angophora costata	Sydney red gum	8 x 8
10.	Plumeria rubra	Frangipani	3 x 4
11.	Gordonia axillaris	Gordonia	4 x 6

SECONDARY COURTYARDS (OFF BEDROOMS) TO HAVE A GENERALLY SOFT LANDSCAPE TREATMENT. PAVING TO BE PROVIDED IN THE FORM OF STEPPING STONES WITH GRAVEL INFILL.

SMALL POND/ FOUNTAIN OR RAISED GARDEN BED TO FUTURE SELECTION BY OWNER. TO PROVIDE A FOCAL POINT WHEN VIEWED FROM THE MAIN LIVING ROOM AREA.

GRAVEL PATHWAYS TO PROVIDE INFORMAL ACCESS ALONG THE SIDE BOUNDARIES FOR MAINTENANCE PURPOSES.

SCREEN PLANTING ALONG SIDE BOUNDARIES. FINAL SPECIES SELECTION BASED UPON THE PLANTS ABILITY TO BE PRUNED TO A MUTUALLY AGREEABLE HEIGHT TO PROVIDE A BALANCE BETWEEN PRIVACY AND SOLAR ACCESS.

2 x ADDITIONAL CANOPY TREES TO BE PLANTED BELOW THE CLIFF IN ACCORDANCE WITH PITTSWATER COUNCIL'S STANDARD LANDSCAPE REQUIREMENTS.

ALL WEEDS TO BE REMOVED FROM THE EXISTING ROCK SHELVES AND BARE AREAS PLANTED WITH INDIGENOUS SMALL SHRUBS AND GROUND COVERS.



THE COUNCIL OF PITTSWATER
APPROVED
DEVELOPMENT CONSENT PLAN

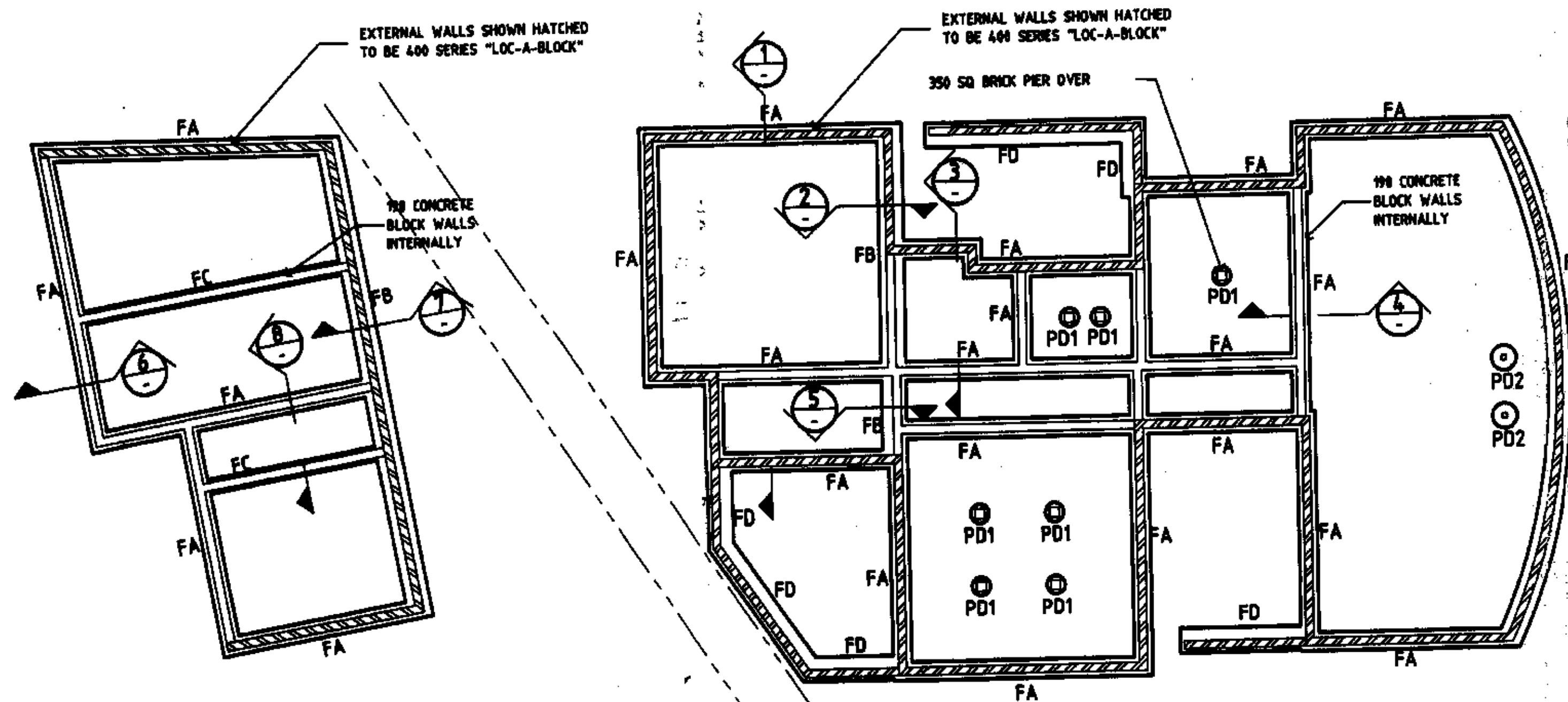
ian jackson
landscape architect pty ltd
25 bent street
indfield n.s.w 2070
ph 9416 4290 fax 9416 4735
A.C.N 097 328 580

project
RESIDENTIAL LANDSCAPING
30 The Circle, Bilgola Plateau
drawing
D/A LANDSCAPE CONCEPT PLAN

client
R. Luhrs & R. Dunn

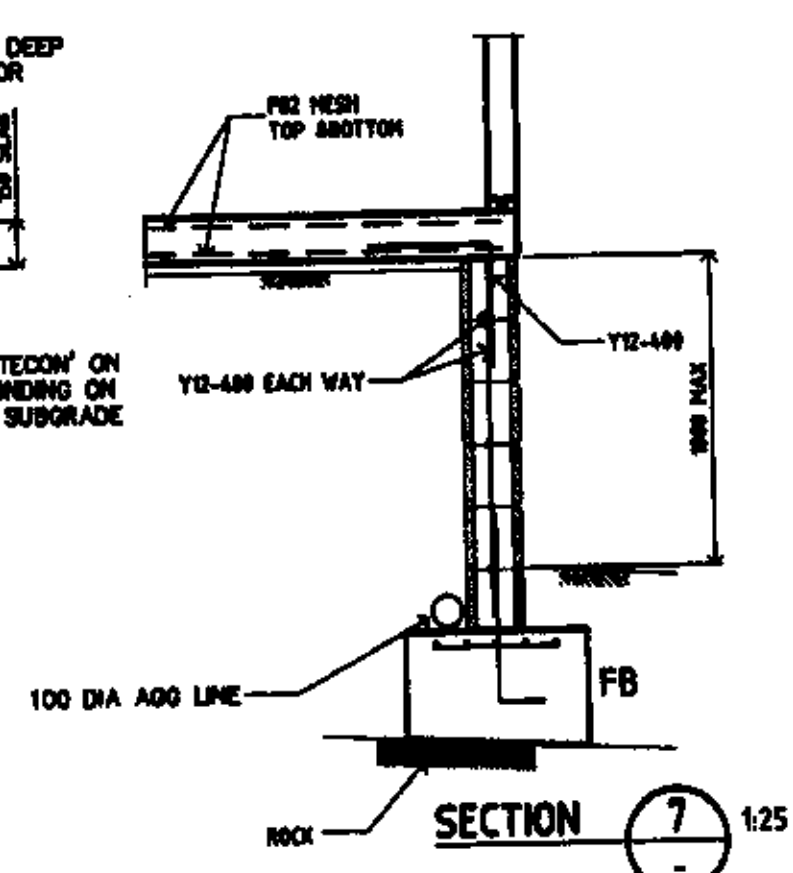
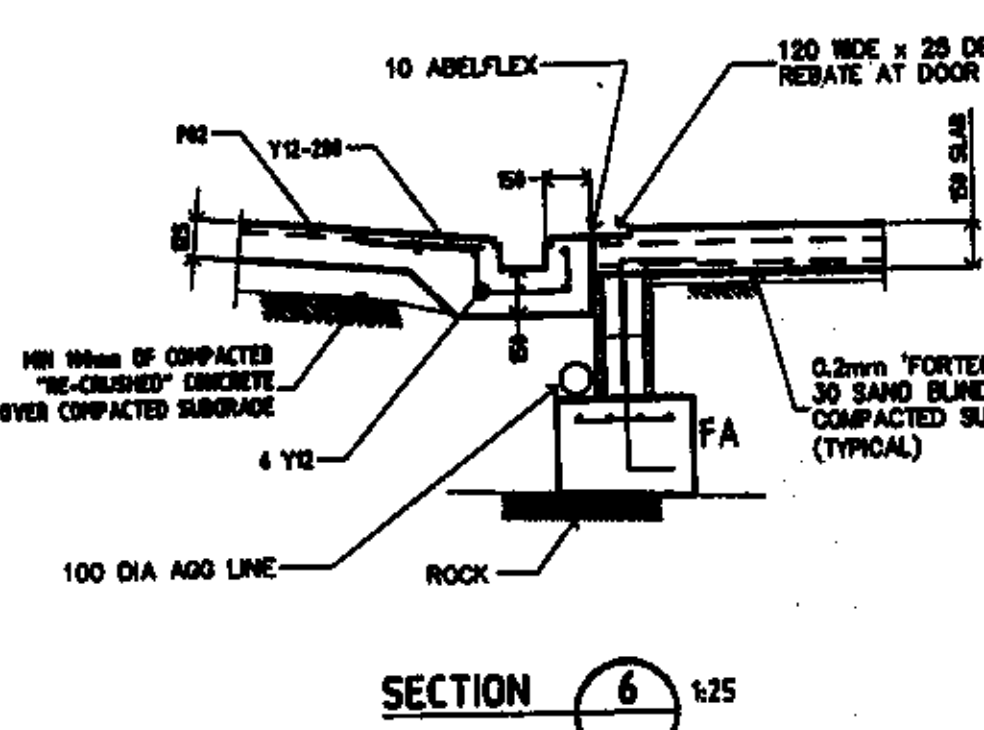
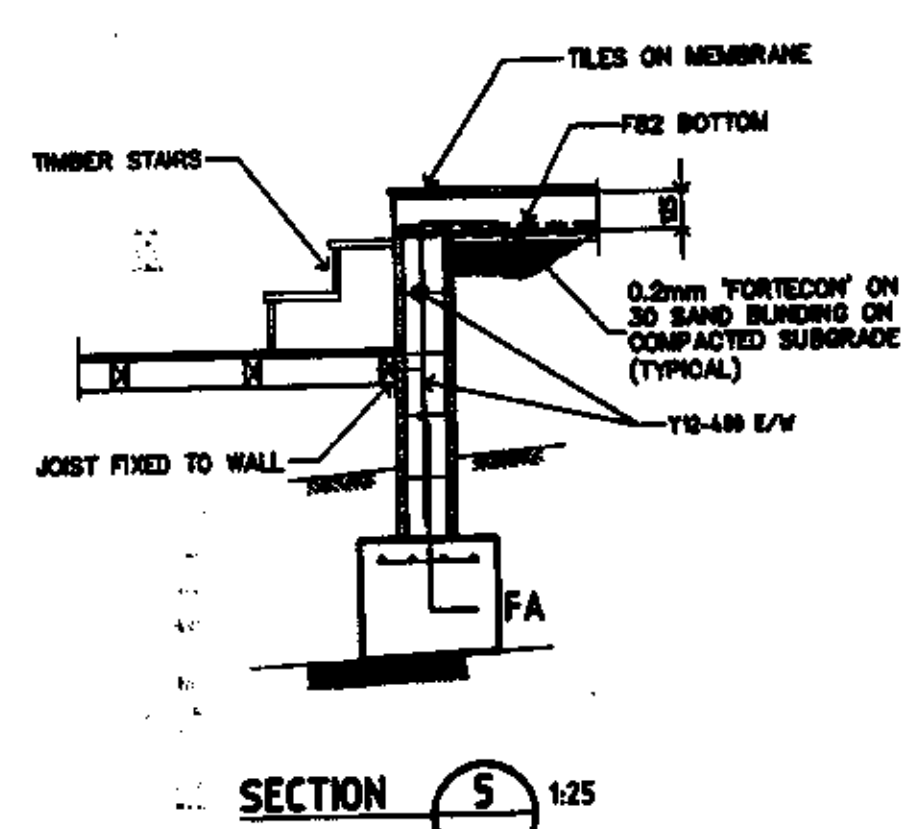
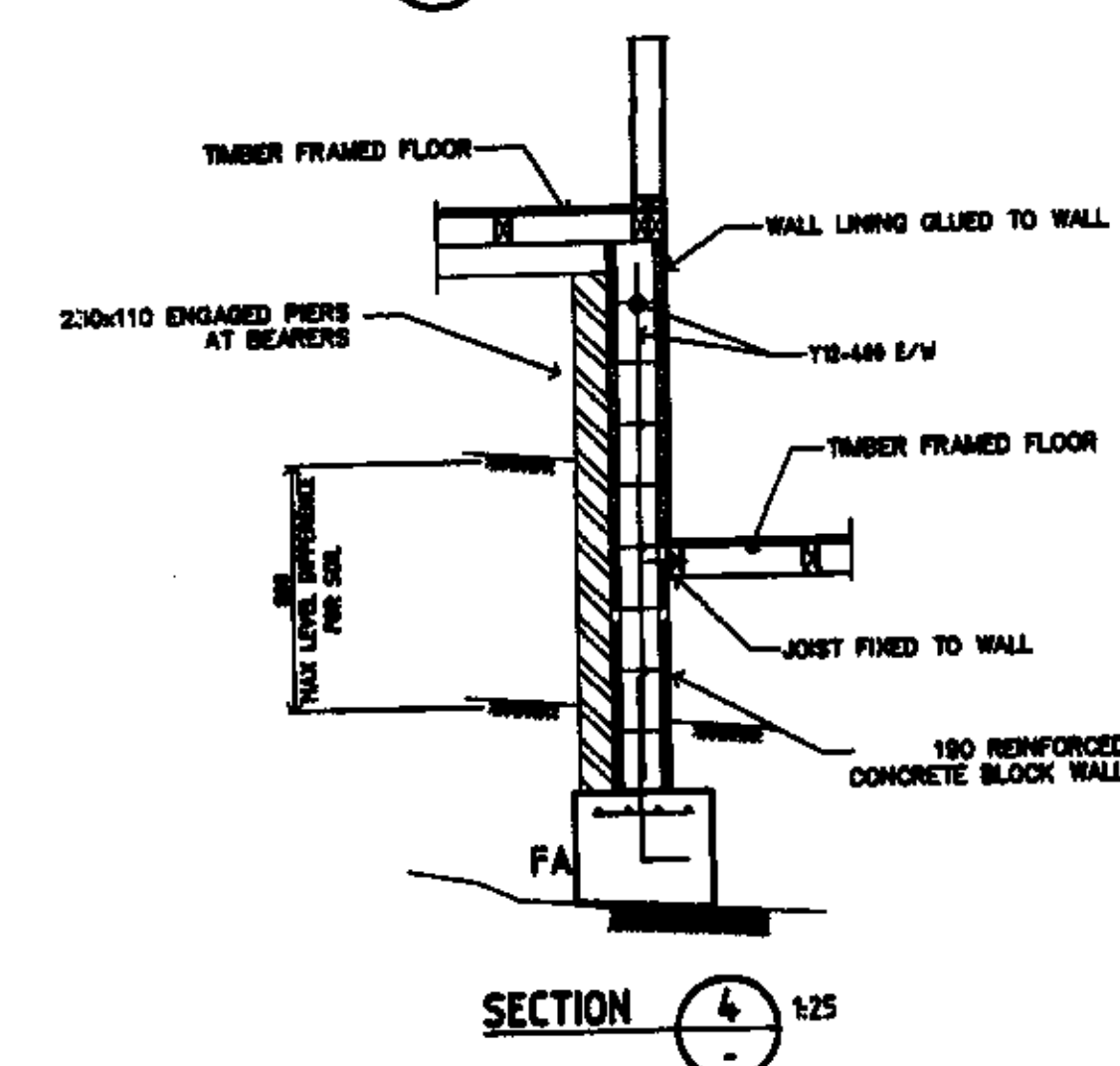
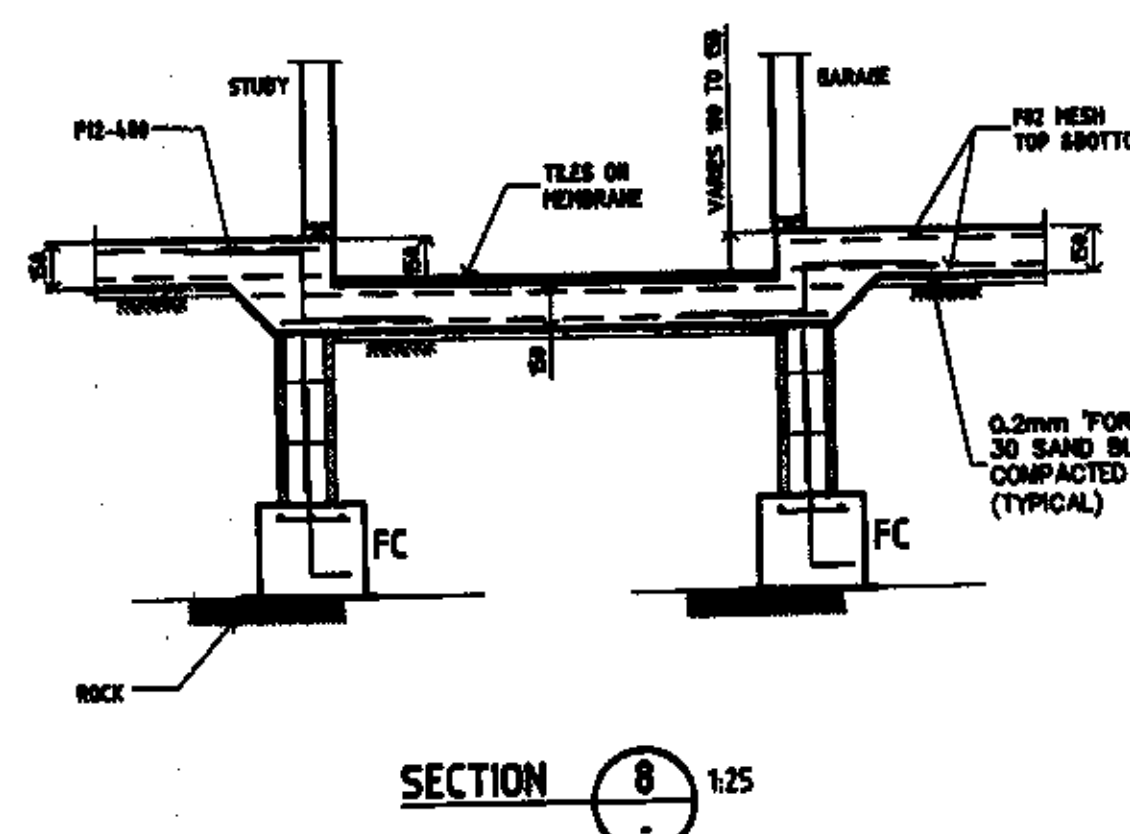
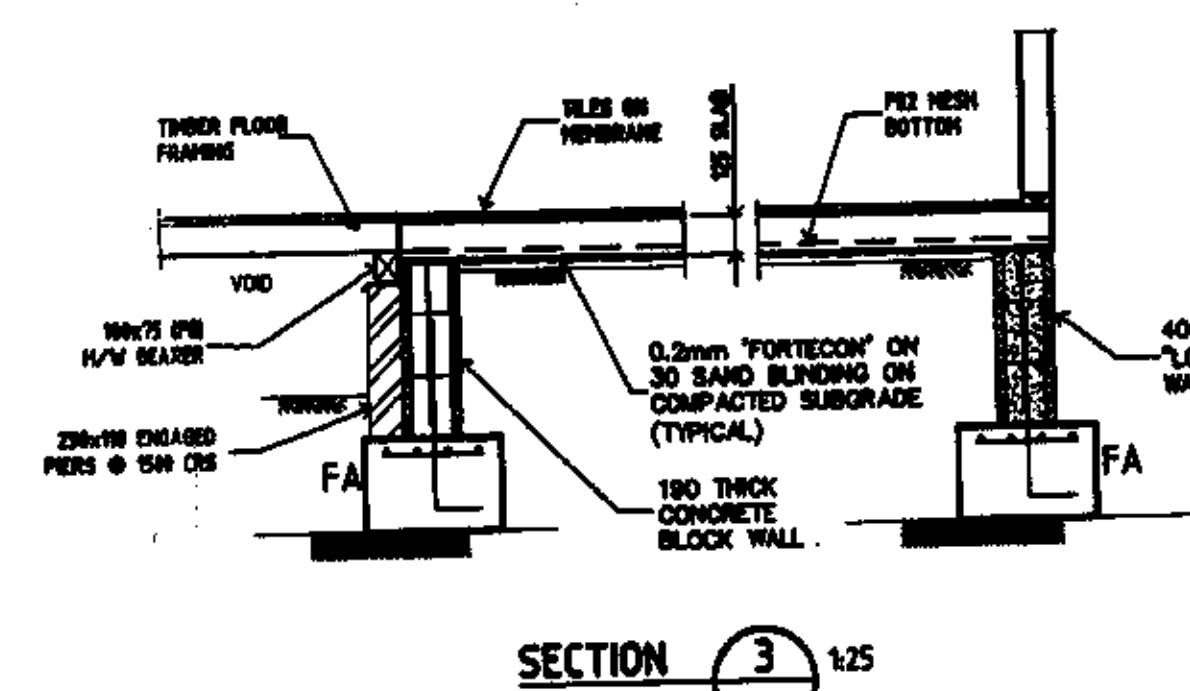
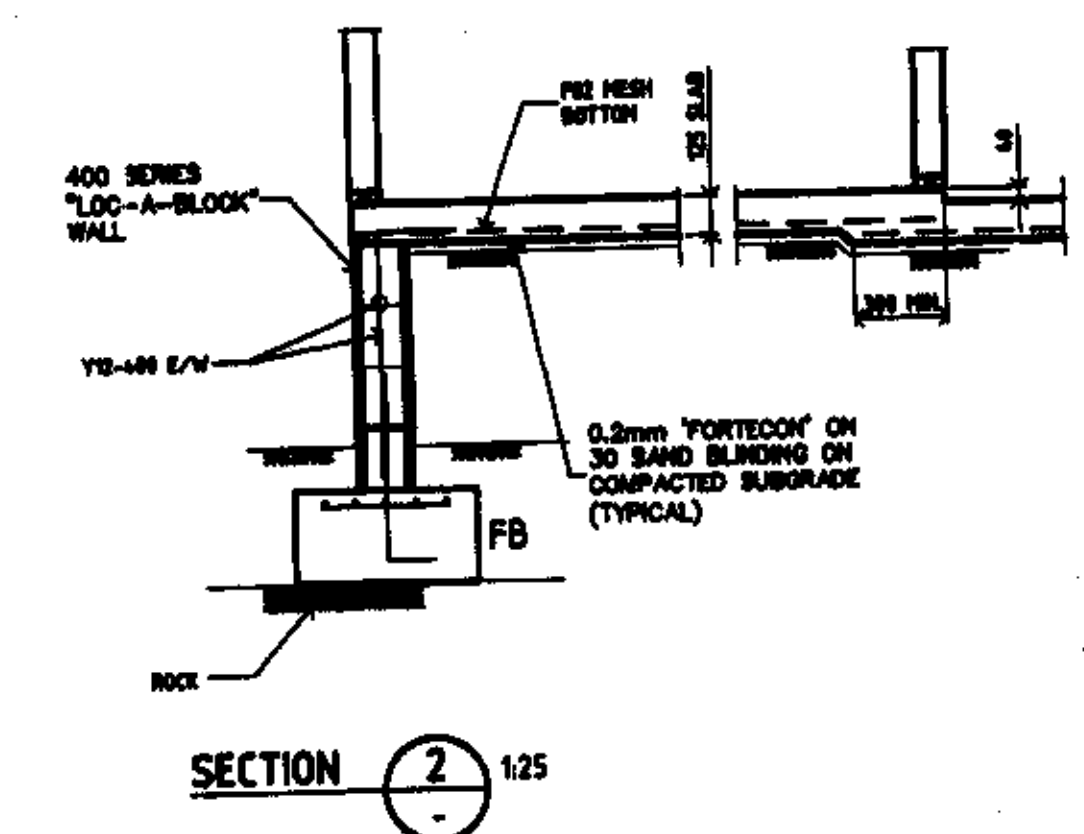
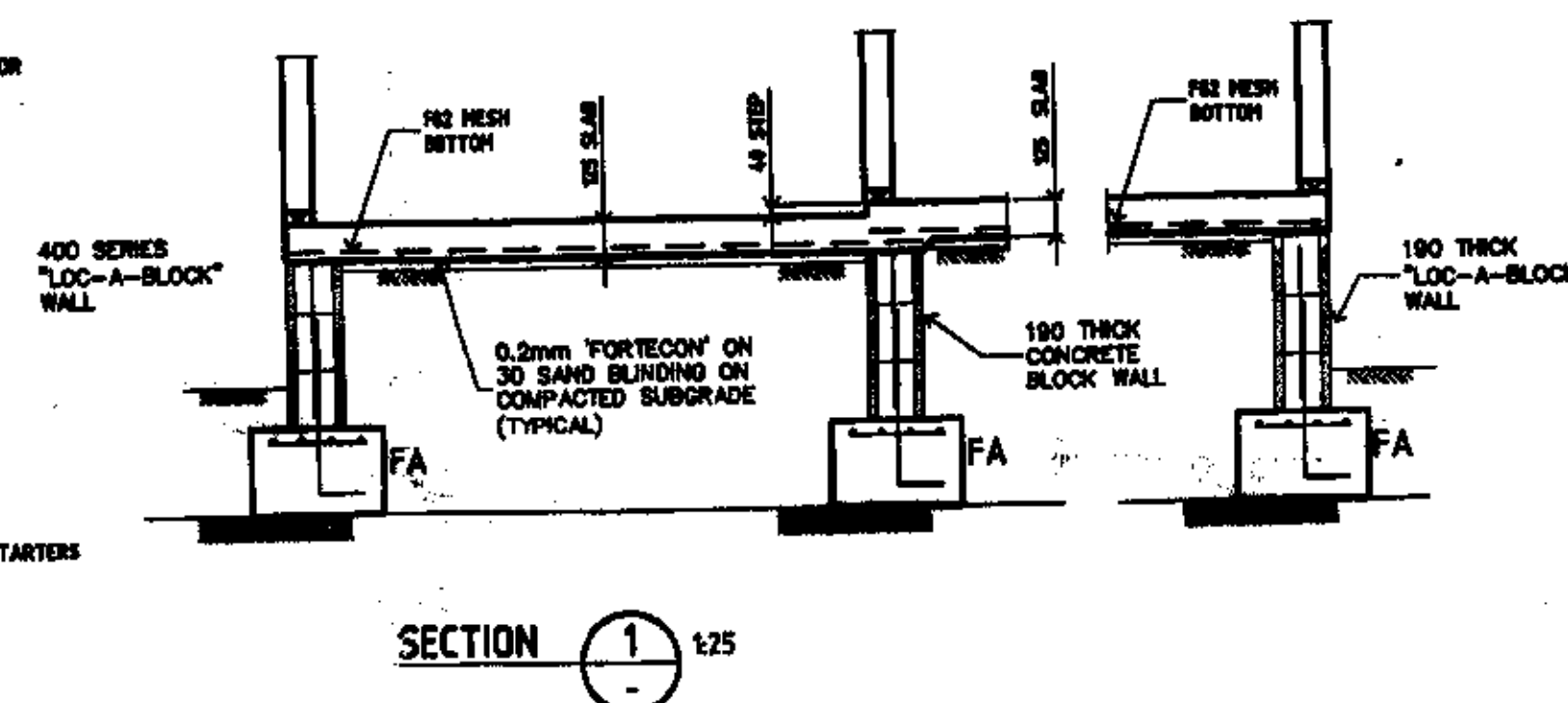
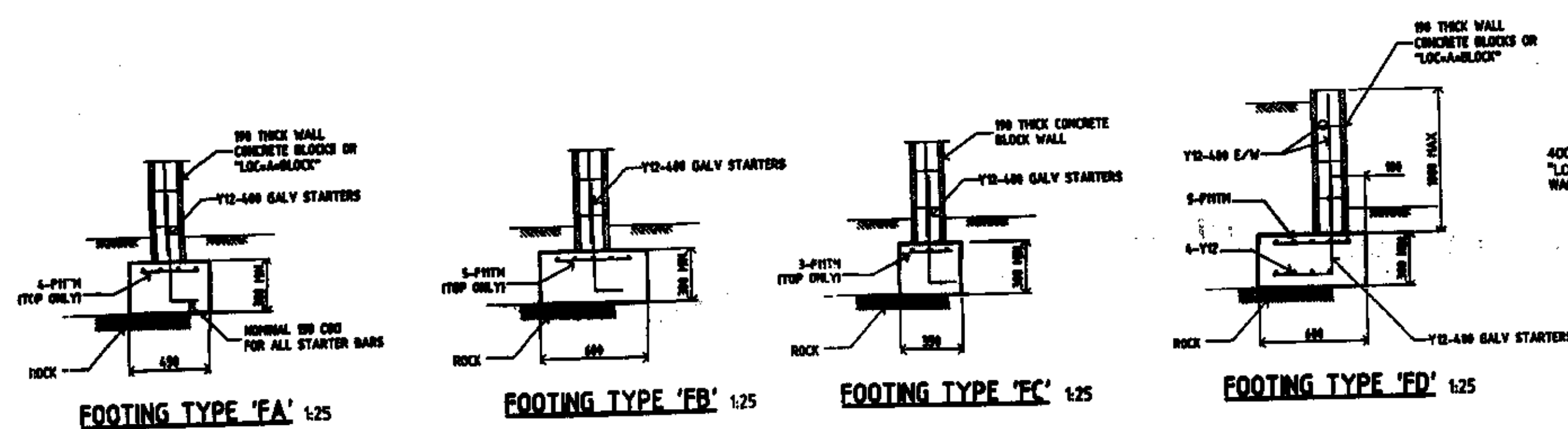
NOTES
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE DOCUMENTATION PREPARED BY **peter downes DESIGNS**.

date February 2002 scale 1:100 at A1
job.dwg no. 14.02/016 no. in set ONE



FOOTING PLAN

PD1-450 DIA MASS CONCRETE PIER TO ROCK WITH 230 SQ BRICK PIER OVER U.N.O.
PD2-600 DIA MASS CONCRETE PIER TO ROCK



CONSTRUCTION NOTES

1. Footings have been designed for an allowable bearing pressure of 400 kPa (6000 lb/ft²).
2. The builder shall obtain approval from the supervising engineer/builder prior to the placement of the foundation material prior to placing concrete.
3. Any weak or defective areas of foundation soil shall be removed and replaced with sound granular material (compacted in layers, each not more than 150mm thick, to achieve a min. dry density ratio of 95% - standard compaction).

4. All concrete works and materials are to be in accordance with AS3600-Concrete Structures Code (current edition) & BCA Part 3.1.3.1.1.
5. Concrete compressive strength (f_{cd}) shall be as follows:

Element	F _{cd}	Temp	Max. Exp.
FOOTINGS	25	00	25
SLAB/BEAM	25	00	25
SUSPENDED	40	00	25
COLUMNS	40	00	25
BEAMS	40	00	25
SPARE	40	00	25

6. Addition of water on site to concrete shall not be permitted.
7. Reinforcement is to be fixed so as to achieve the following clear covers:

Element	Formed or finished	Cover min. surfaces cast against ground
Footings	50	75
Columns	Internal 40 external 40	50 45
Walls	Internal 30 external 40	50 45
Beams	Internal 30 external 40	50 45
Slabs/Beams	Internal 20 external 40	30 45
Slabs on ground	with membrane without membrane	30 50
Concrete blockwork	against ground not against ground	45 50

8. Concrete shall be moist cured for a minimum of 3 days following placement of concrete. Alternative methods of curing may be acceptable, provided approval from the supervising engineer has been obtained.
9. Splice in reinforcement are to be made only where shown on drawings, except where written approval has been obtained from the engineer.

10. U.N.O. provide 25mm minimum and top to fabric and lap bars as noted below. Securely fix reinforcement of all type and intersections with 125mm black annealed wire.
11. LAP LENGTH: Y12 400, Y14 400, Y16 400, Y18 400, Y20 400, Y22 400, Y24 400, Y26 400, Y28 400, Y30 400.

12. Read these drawings in conjunction with all architectural and other constraints' drawings and specifications and such other written instructions as may be issued during the course of the contract. U.N.O. obtain all dimensions from the architectural drawings. Refer any discrepancies in these documents to the architect before proceeding with the work.
13. Check and be responsible for the correctness of all dimensions and report any discrepancy immediately to the architect. Do not scale dimensions from the drawings.
14. Ensure stability of the works during construction, and that of the adjacent structures, including excavations in the vicinity. Temporarily brace all structural steelwork until masonry or steel shear walls have been erected. Ensure no part of the structure is overstressed.
15. Ensure all workmanship and materials are in accordance with the requirements of the current SAA codes with amendments and the by-laws and ordinances of the relevant building authority and the specifications.

Structural Notes

16. All workmanship and materials shall be in accordance with AS1900 & BCA Part 3.1.3.1.1 (except where varied by the contract documents).
17. Unless otherwise stated, all bolts shall be galvanized 20mm diameter and all gusset plates to be 10mm thick unless noted otherwise.
18. All bolts shall be shown with complete penetration and treated as follows:
19. The builder shall provide all cleats and dowel all holes necessary for fixing of steelwork and ensure that the structure is kept in a stable condition during erection.
20. Structural steelwork shall have the surfaces clean and treated as follows:
21. Unless noted otherwise, hand or foot class AS/NZS 4 class 1 and provide 1 coat of a zinc phosphate primer such as 'Zinc 20' in accordance with manufacturers' recommendations.

Structural Tables

22. Timber and workmanship shall comply with AS1728 Timber Engineering Code and AS1684 Light Timber Framing Code.
23. All timber used shall have been stress graded by visual or mechanical means in accordance with the appropriate Australian Standards.
24. Nails for bolts, unless noted otherwise (U.N.O.), shall be made of steel and shall be hot dipped galvanized. Bolt diameter 10mm or less - 2mm over size. Bolt diameter 12mm and greater - 3mm over size.
25. Shank and thread of bolts shall be thoroughly coated with a heavy water-proof grease before inserting into the timber.
26. Specialized metal fasteners such as Gang-nail plates, Trip-L-Grp etc. shall be of proven type and shall have had working loads determined in accordance with the procedure specified in AS1684.
27. At the practical completion of the contract, and upon the end of the maintenance period and if necessary during that period, the contractor shall re-tighten all bolts to approval. Bolts that will be inaccessible after completion of the project, shall be re-tightened immediately after being built.
28. Trusses shall be constructed only by a fabricator approved by the responsible engineer. Design shall be in accordance with AS1728 and to the loadings, profiles and together with requirements specified on the drawings. Design of trusses shall be by a qualified structural engineer experienced in timber design. Shop drawings of trusses, together with all necessary information for checking the strength of truss members and connectors shall be submitted not less than fourteen days prior to commencement of fabrication. Fabrication shall not commence unless permission to do so has been given.
29. Edge distances for fasteners in timber from ends and sides shall be in accordance with AS1728.

Brickwork & Blockwork

30. All workmanship and materials shall be in accordance with AS1728-Masonry Structures Code & BCA Part 3.1.3.1.1.
31. Mortar for the masonry shall be proportioned as follows:
Generally: Sand, 4 parts; Cement, 1 part; Lime - part Admixture standard dose.
Below damp proof course and in retaining walls: Sand, 3 parts; Cement, 1 part; Lime - part Admixture standard dose.
32. Brickwork or blockwork supporting concrete or steel members shall be trussed masonry and constructed of the bearing surface by 2 layers of Alcor.
33. Reinforced blockwork shall be core filled with concrete compressive strength (f_{cd}) of 25 MPa, max. 18 mm aggregate and 150 slump (typical U.N.O.). All blocks to have a minimum grade of F-20.
34. Provide clean cut blocks to all core filled blockwork.

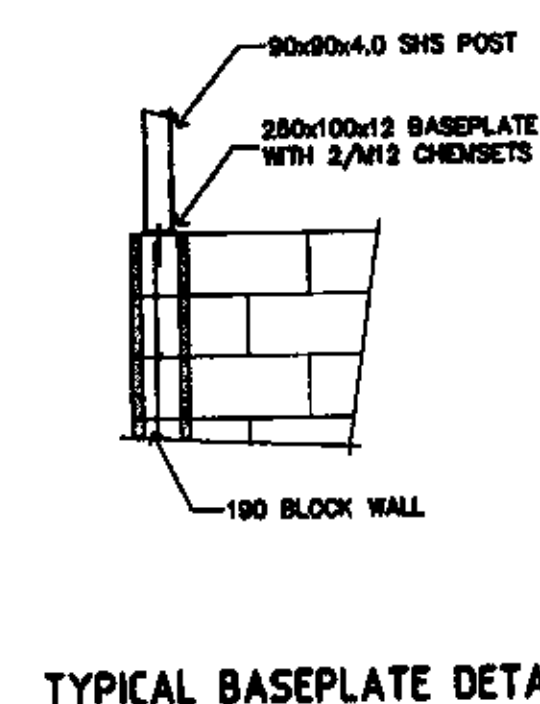
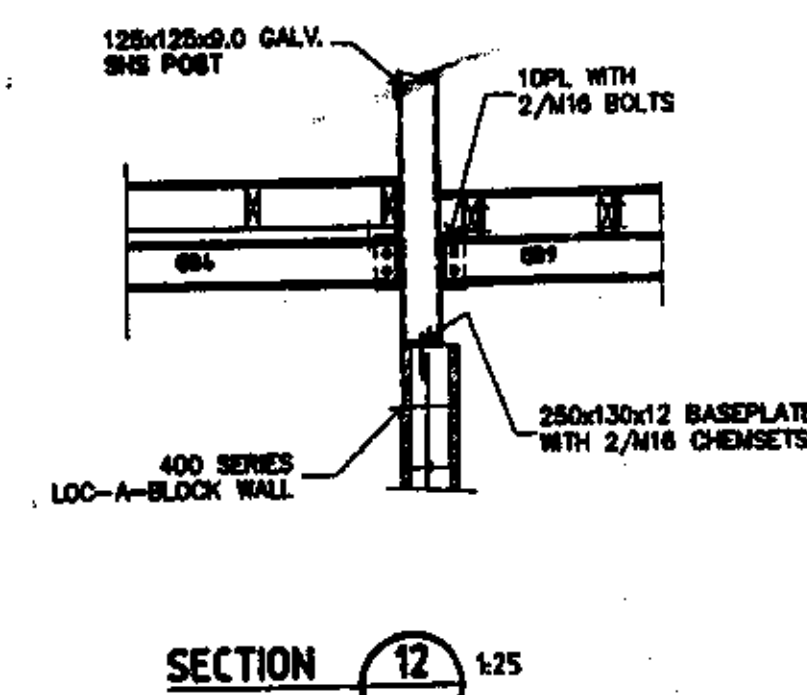
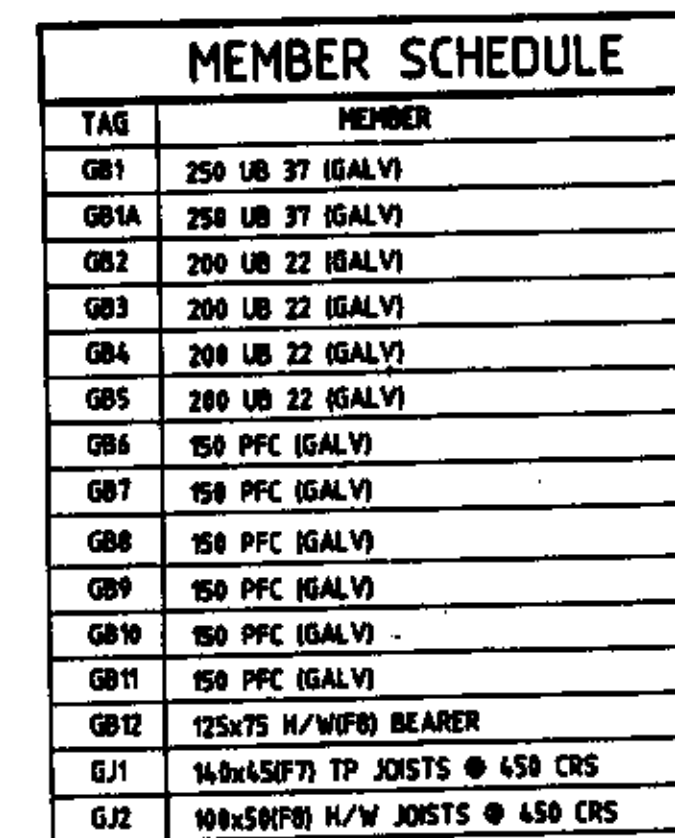
Excavation Adjacent to Existing Buildings

35. Builder to maintain stability of adjoining buildings. Do not excavate below level of adjoining footings without written consent of engineer.
36. Builder to allow to provide temporary and/or permanent shoring to prevent collapse of ground during excavation works.

PLAN OR DOCUMENT CERTIFICATION
I am a qualified **STRUCTURAL ENGINEER**
I hold the following qualifications or licence No. **NPBR3 (STRUCTURAL)**
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/industry standards.
Name **ANGELO D'AMBROSIO** Date **6/9/02** Signature **[Signature]**
I am a Licensed Builder, Electrical Contractor, Engineer, Landscape Architect, Gasfitter/Engineer, etc.

REFER TO DWG. 1.01 FOR CONSTRUCTION NOTES

A ISSUED FOR TENDER **6/9/02**
DATE **6/9/02** DAY **THU** CHECKED **[Signature]**
Architect
PETER DOWNES DESIGNS
115 PALMGROVE ROAD
AYALON, NSW, 2007
TEL: (02) 9973 3312 FAX: (02) 9973 3314
Project:
NEW RESIDENCE
30 THE CIRCLE
BILGOLA PLATEAU, NSW
FOR R. LUHRS & R. DUNN
D'AMBROSIO CONSULTING
SIRTE 1/153 VICTORIA ROAD
GLADESVILLE NSW 2111
AUSTRALIA
PHONE (02) 9879 5577
FAX (02) 9879 5588
STRUCTURAL ENGINEERS
Title:
FOUNDATION PLAN AND SECTIONS
STRUCTURAL DRAWING
Designed **ADA** Drawn **AR** Job No. **S4177**
Scale **1:100 U.N.O.** Date **AUG '02** Drawn No. **1.01** Issue **A**
Cut file **F:/dwg/jobs/1.01** B.E. (Hons) M.E.E.-Aust.
Checked **[Signature]** NPBR3 (Structural)



PLAN OR DOCUMENT CERTIFICATION

I am a qualified STRUCTURAL ENGINEER

I hold the following qualifications or license No. MP002 (STRUKTURAL)

I am a competently qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of design contract, the provisions of the Building Code of Australia and/or relevant Australian Standards.

ANGELO D'AMBROSIO 6/8/02 *A. D'A*

Name Date Signature

• a duly Licensed Architect, Engineer, Landscape Architect, Surveying Engineer, or

REFER TO DWG. 1.01 FOR CONSTRUCTION NOTES

A	ISSUED FOR TENDER	6/7/92	JAL
DECEASEMENT		DATE	CHECKED

Architect
 PETER DOWNES DESIGNS
 115 PALMEROVE ROAD
 AYALON, NSW, 2107
 TEL: (02) 9973 3312 FAX: (02) 9973 3314

Project:
 NEW RESIDENCE
 30 THE CIRCLE
 BILGOLA PLATEAU, NSW
 FOR R. LUHS & R. DUNN

D'AMBROSIO
 CONSULTING

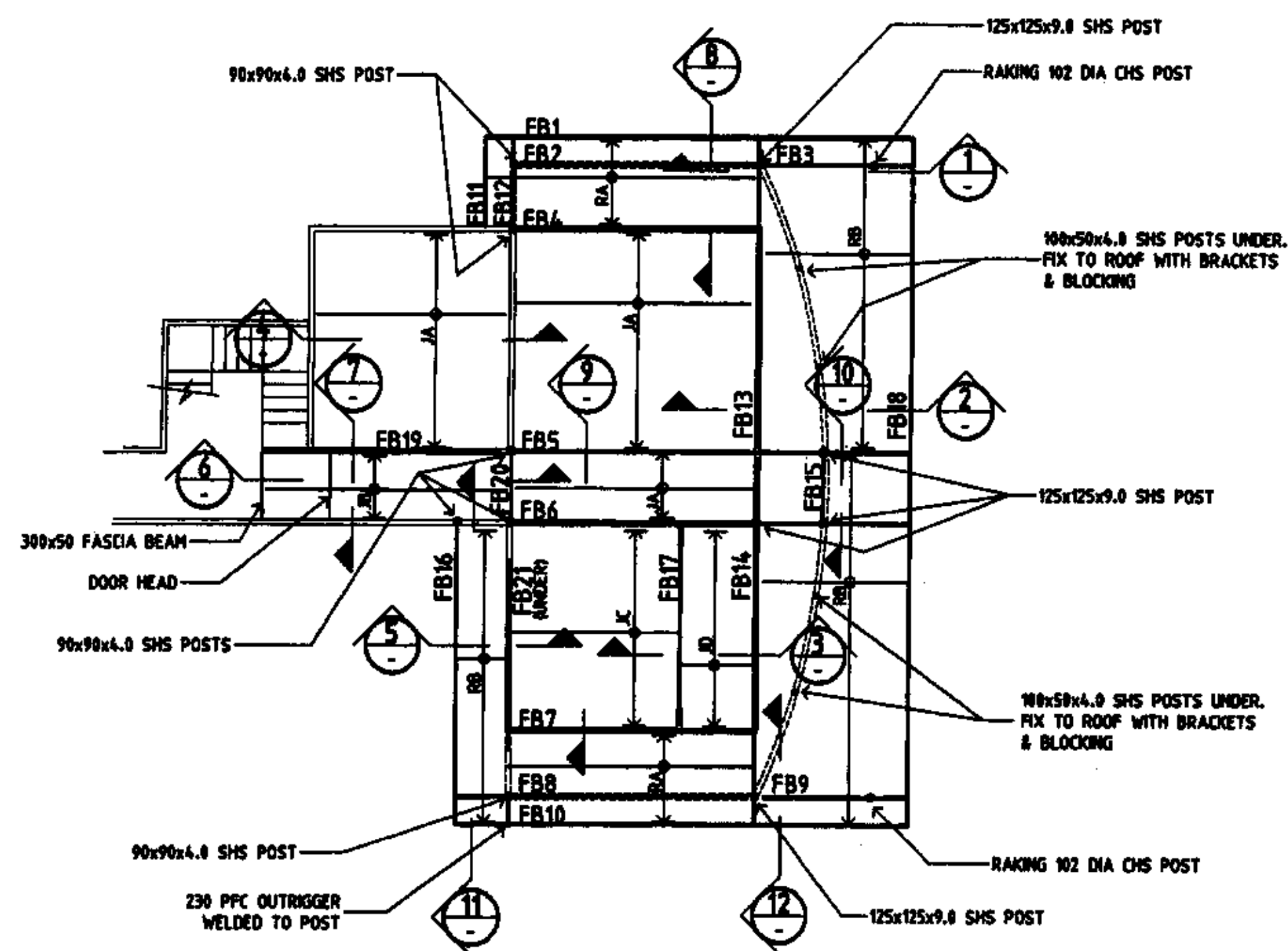
SUITE 4/153 VICTORIA ROAD
 GLADESVILLE NSW 2111
 AUSTRALIA
 PHONE (02) 9879 5577
 FAX (02) 9879 5540

STRUCTURAL ENGINEERS

Title:
 GROUND FLOOR
 AND SECTIONS

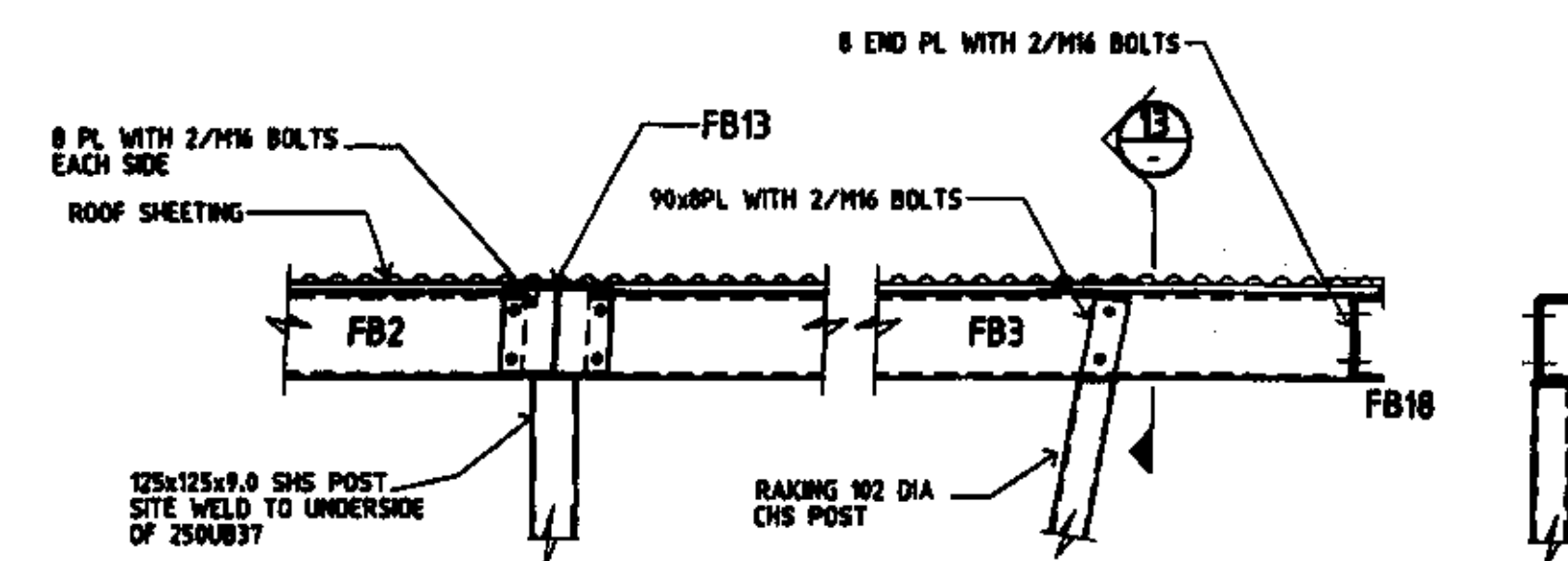
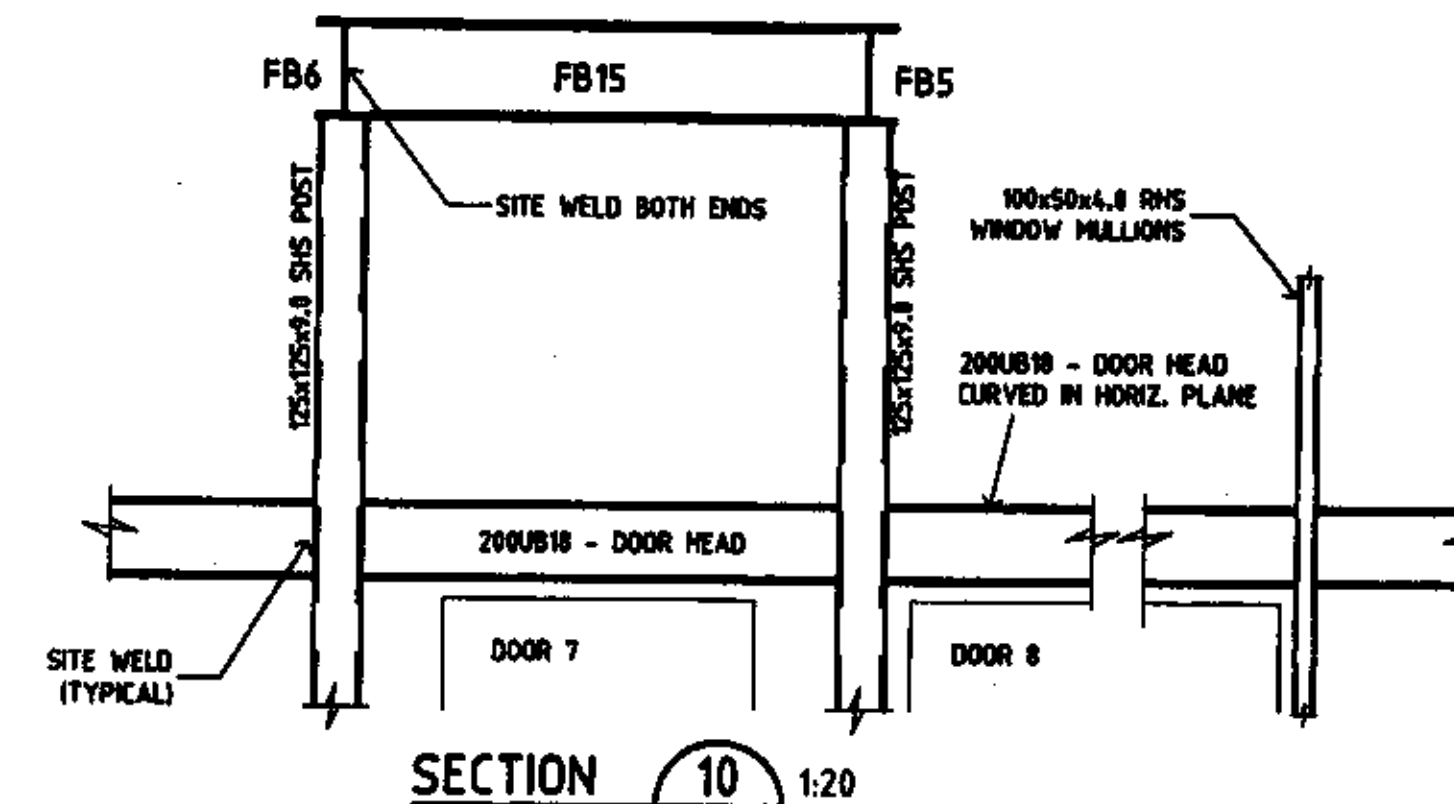
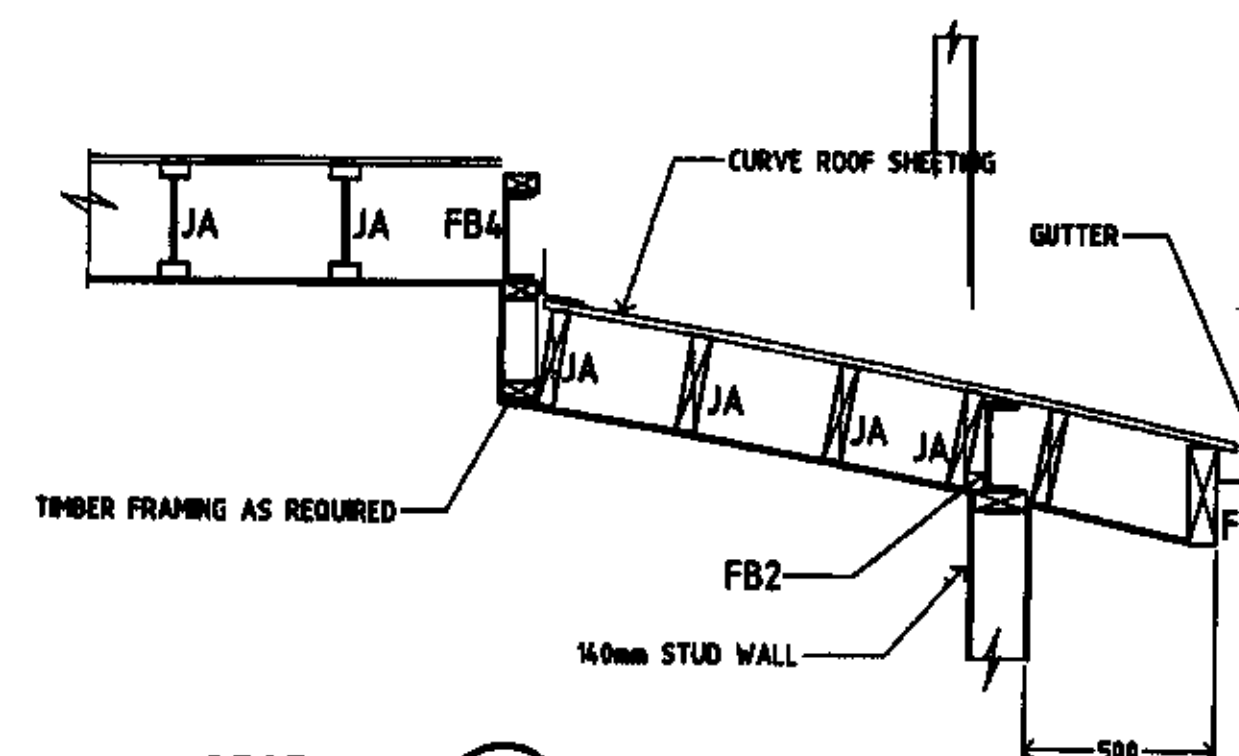
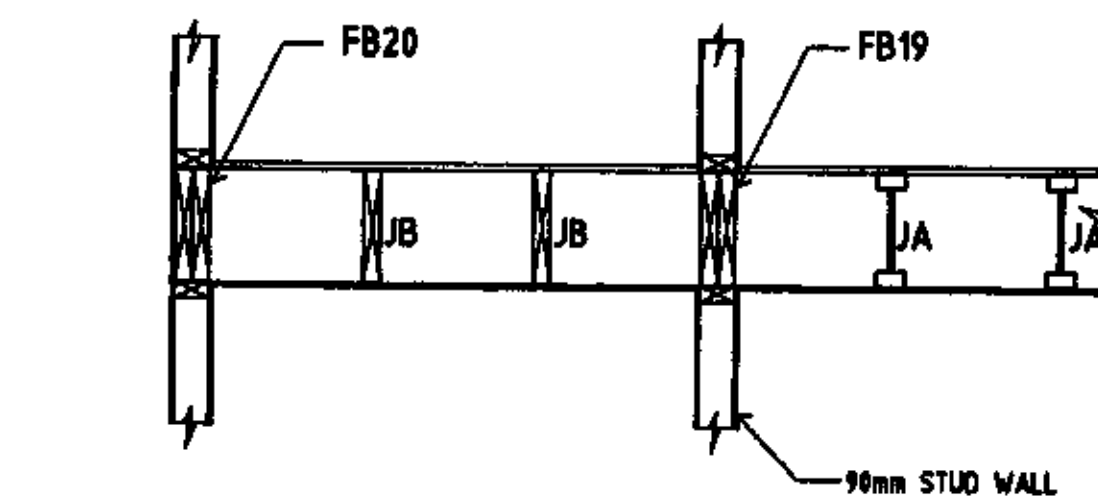
STRUCTURAL DRAWING

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Scale 1:100 U.N.O.	Date AUG'92	Dep. No.	Issue
Cadd File R:\dwg\jals\ S4177\201.dwg		2.01	A
Certified 		B.E. (Hons) M.J.E.-Aust. NPER3 (Structural)	



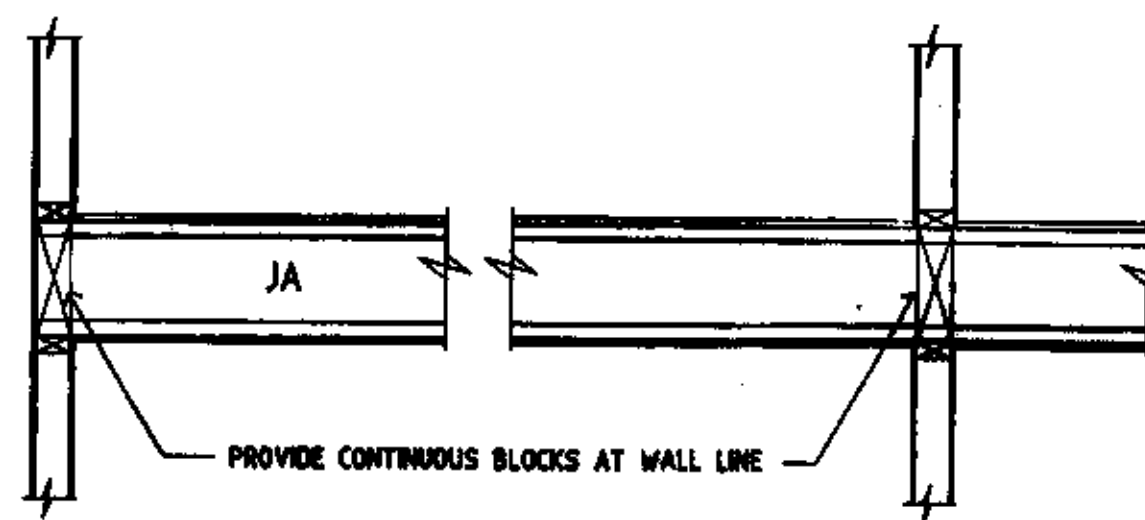
FIRST FLOOR PLAN

TAG	MEMBER
FB1	250x75(F7)
FB2	230PFC
FB3	230PFC
FB4	230PFC
FB5	250x83
FB6	250x83
FB7	230PFC
FB8	230PFC
FB9	230PFC
FB10	250x75(F7)
FB11	CURVED TIMBER FASCIA BEAM
FB12	230PFC (CURVED)
FB13	250x83 (CURVED)
FB14	250x83 (CURVED)
FB15	250PFC
FB16	230PFC (CURVED)
FB17	230PFC
FB18	230PFC (CURVED)
FB19	2/30x45 MYNE EDGE BEAMS
FB20	300x90 MYNE EDGE BEAM
FB21	300x90 MYNE EDGE BEAM LINTEL (MAX 3.2 M SPAN)
JA	H300x48 @ 450 CRS
JB	300x45 MYNE EDGE BEAM @ 450 CRS
JC	H240x60 @ 300 CRS
JD	140x45(F7) @ 300 CRS
RA	250x50(F7) @ 450 CRS
RB	250x50(F7) @ 400 CRS

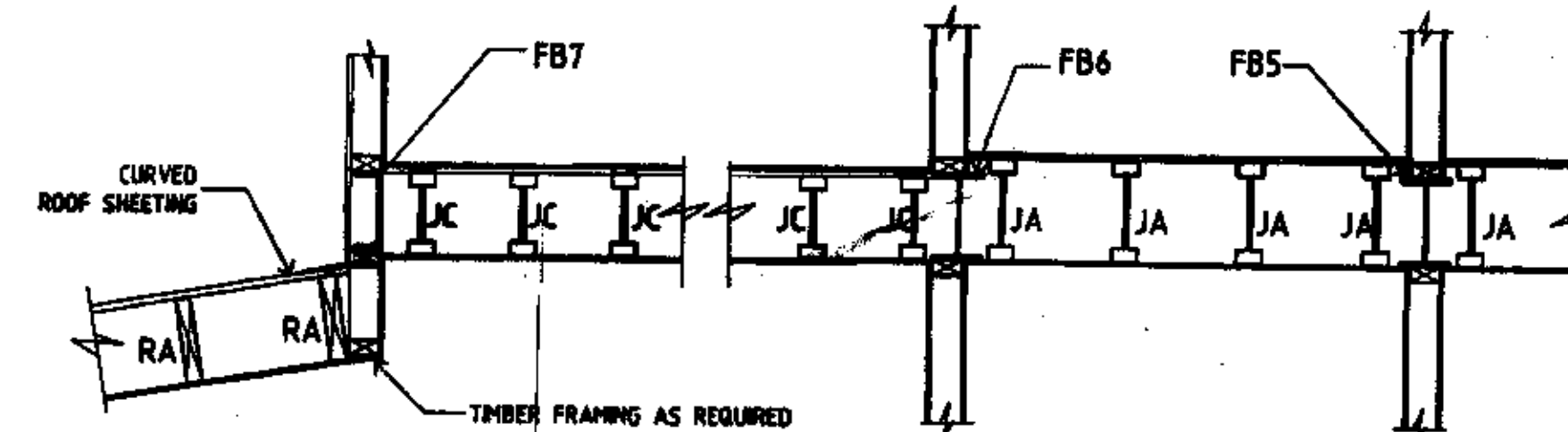


SECTION 1 1:20

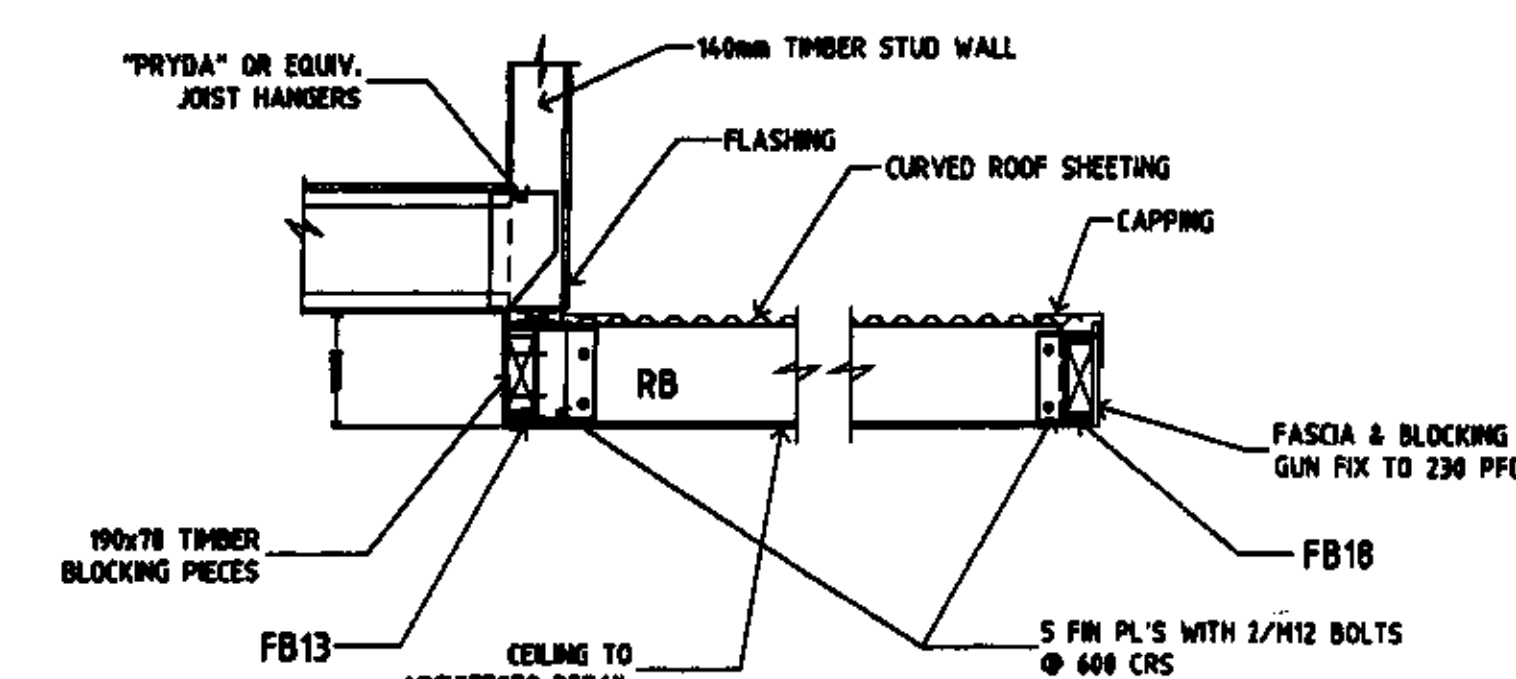
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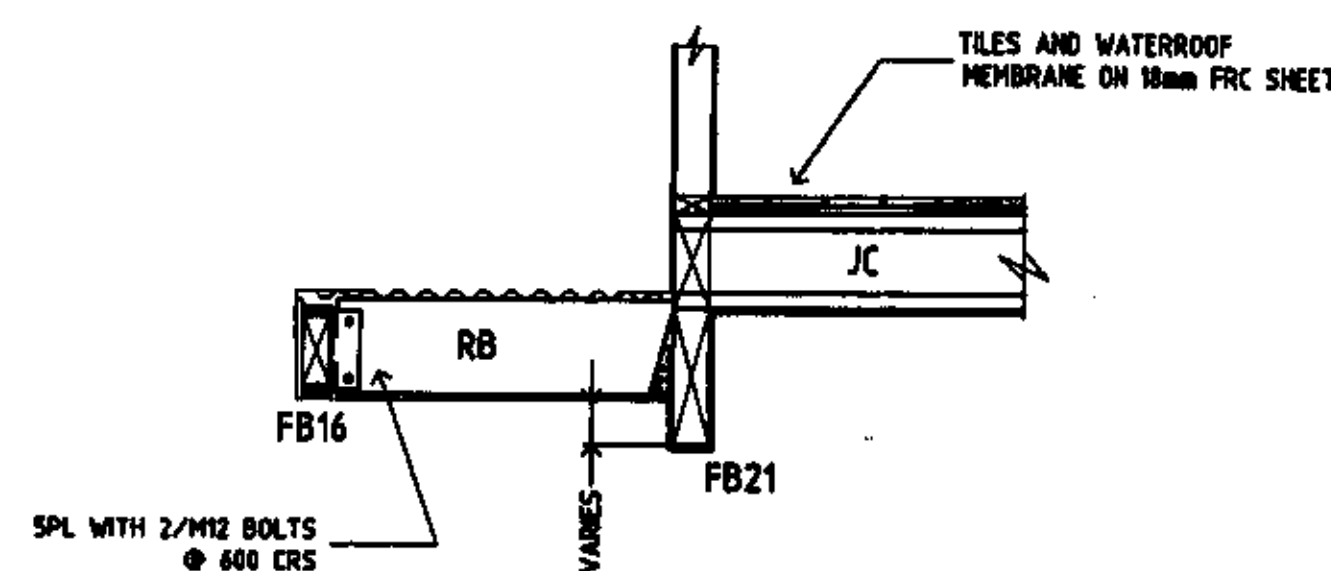
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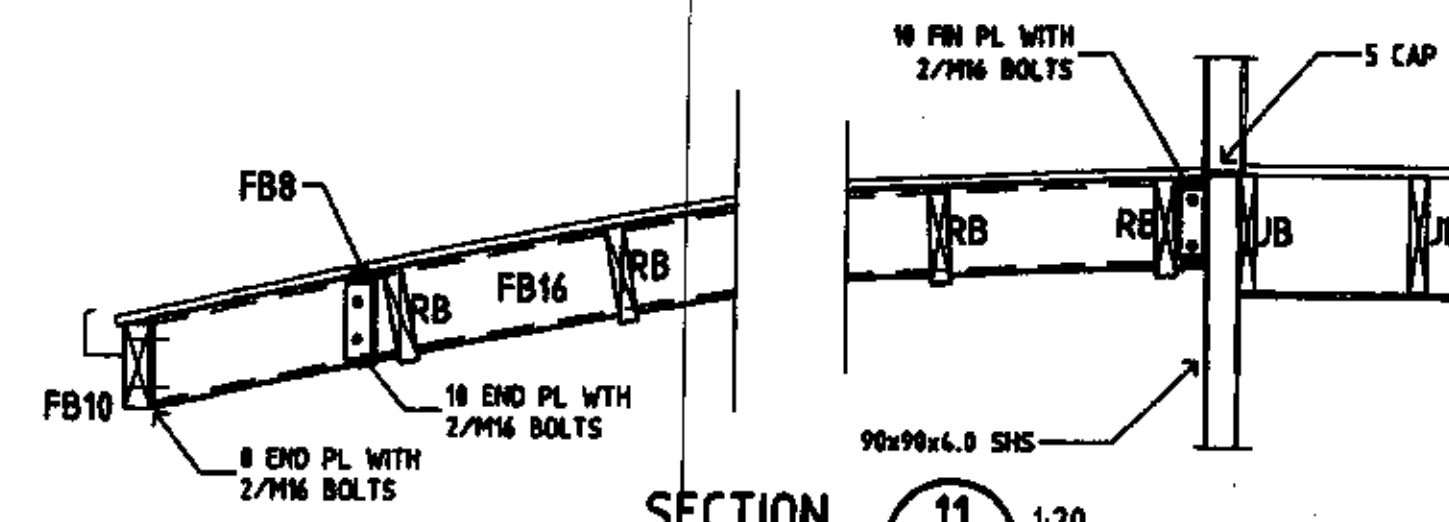
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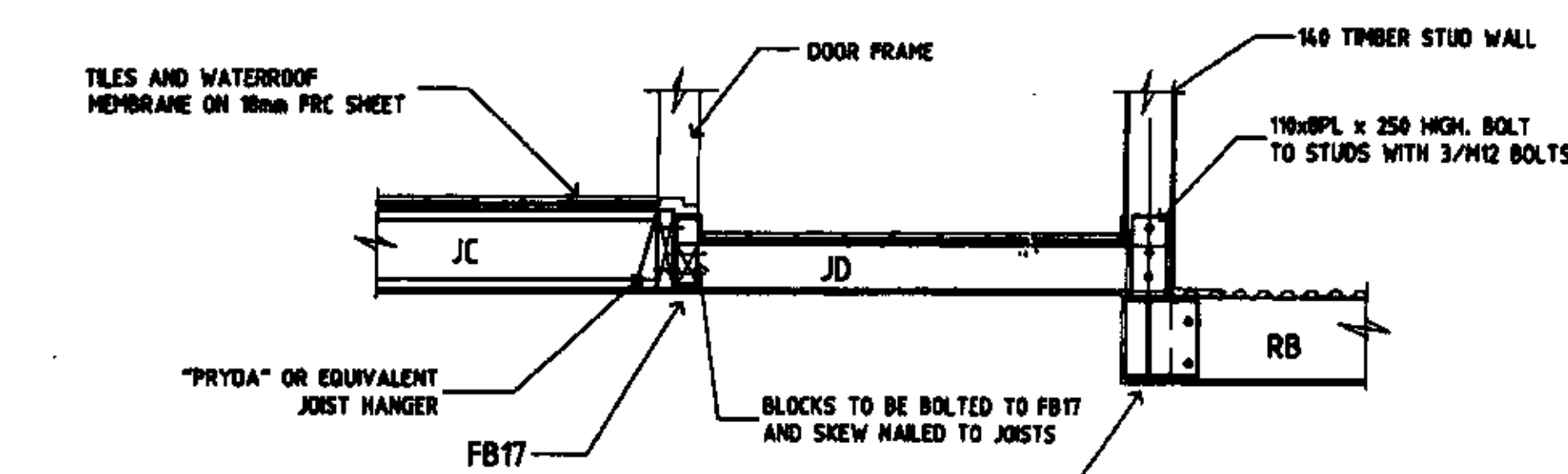
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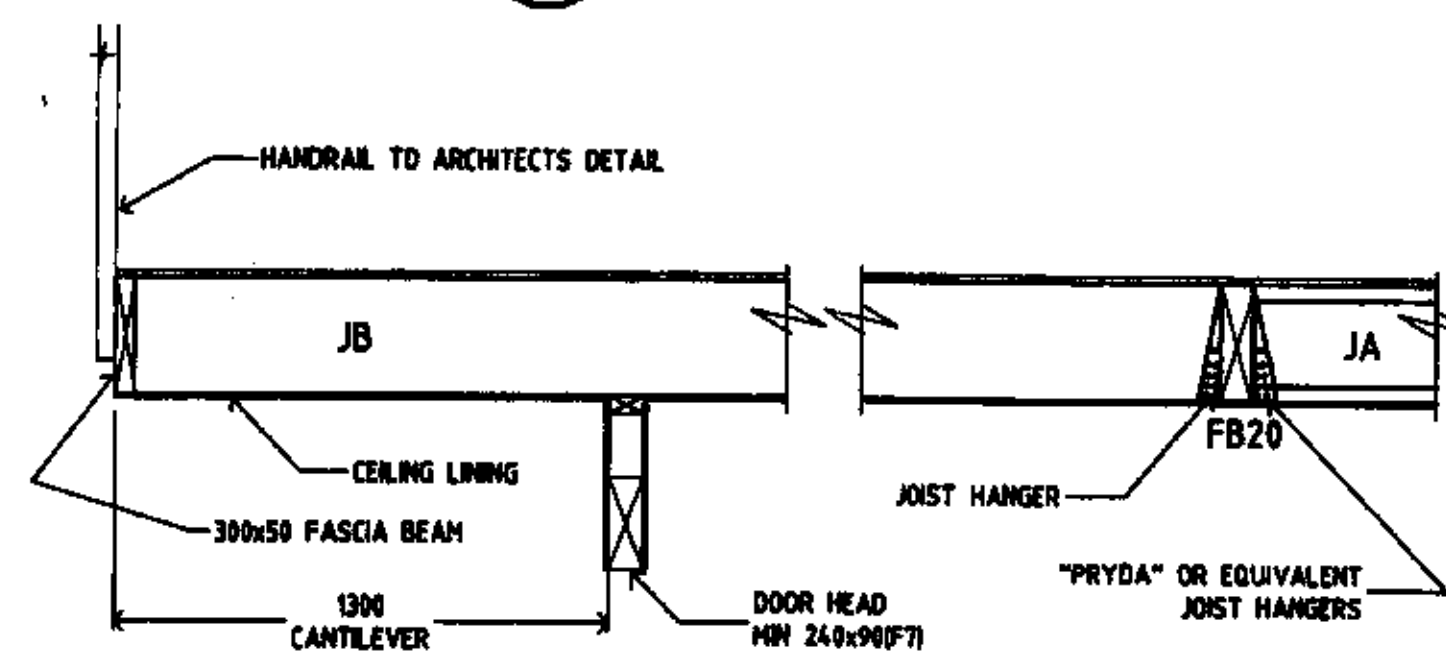
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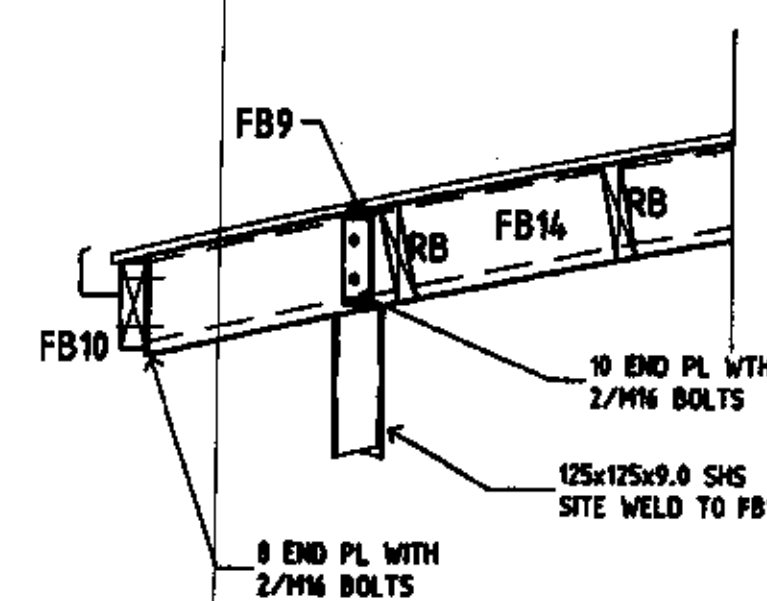
SECTION 11 1:20



SECTION 3 1:20



SECTION 6 1:20



SECTION 12 1:20

PLAN OR DOCUMENT CERTIFICATION

I am a qualified **STRUCTURAL ENGINEER**

I hold the following qualifications or licenses in **NSW (STRUCTURAL)**

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, and/or relevant Australian Standards.

Signature: **ANNELO D'AMBROSIO** Date: **6/8/02**

As a Licensed Builder, Qualified Contractor, Engineer, Landscape Architect, Qualified Engineer, etc.

REFER TO DWG. 1.01 FOR CONSTRUCTION NOTES

ISSUED FOR TENDER 6/8/02

Architect
PETER DOWNES DESIGNS
115 PALMGROVE ROAD
AVALON, NSW, 2107
TEL: (02) 9973 3312 FAX: (02) 9973 3314

Project:
NEW RESIDENCE
30 THE CIRCLE
BILGOLA PLATEAU, NSW
FOR R. LUHRS & R. DUNN

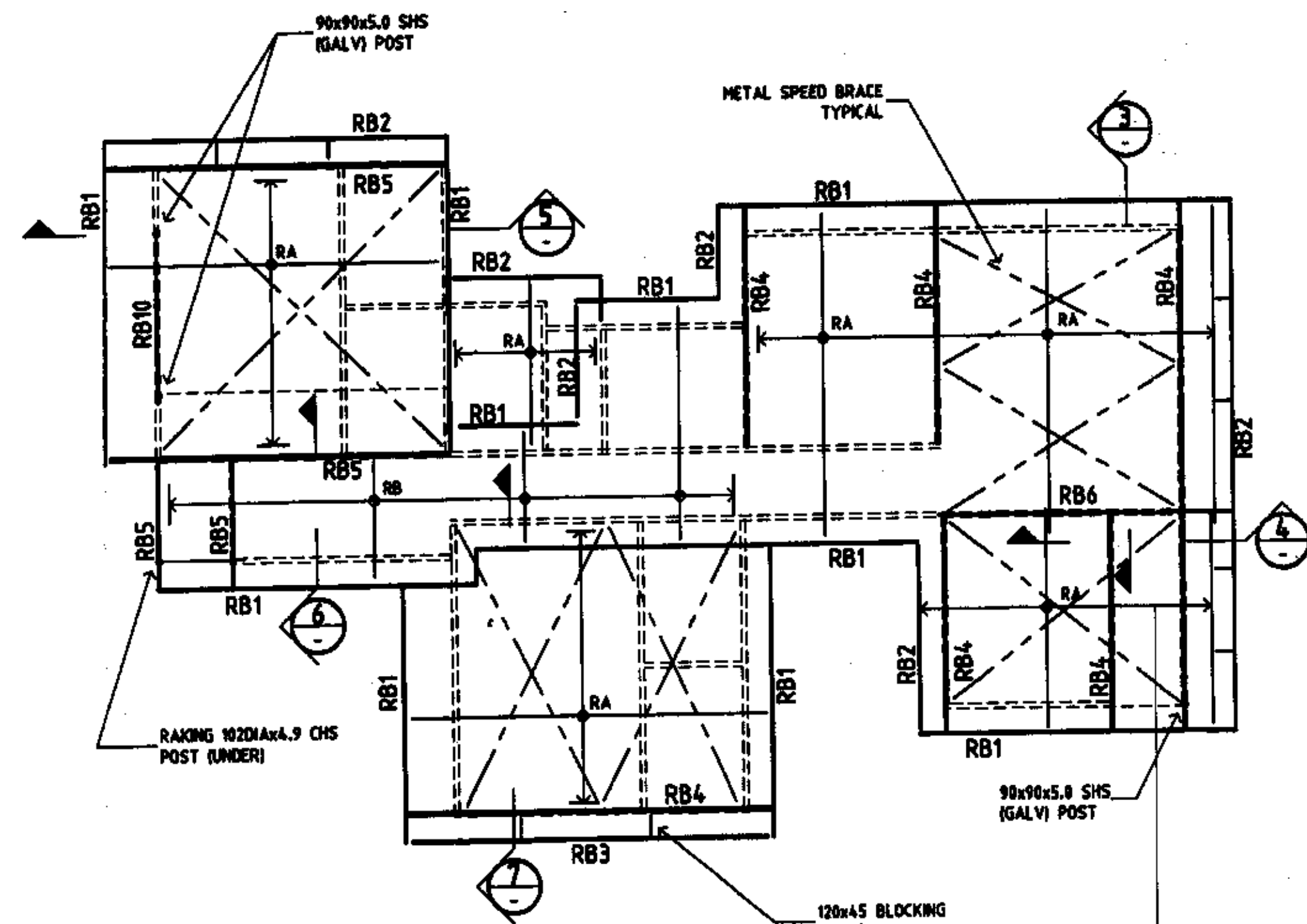
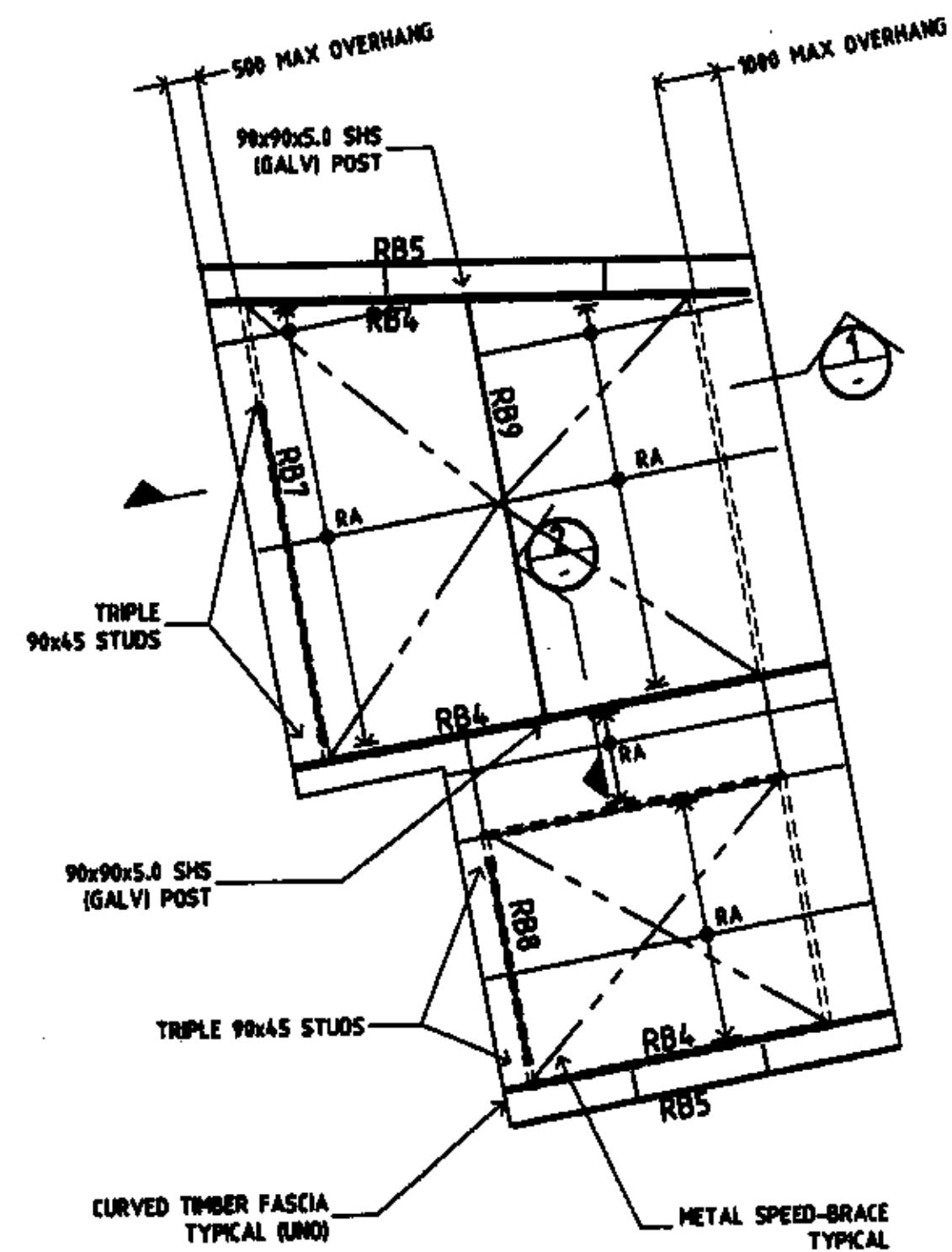
D'AMBROSIO CONSULTING
SUITE 4/153 VICTORIA RD
GLADESVILLE NSW
AUSTRALIA
PHONE (02) 9879 5577
FAX (02) 9879 5508

STRUCTURAL ENGINEERS

TIME:
FIRST FLOOR PLAN AND SECTIONS

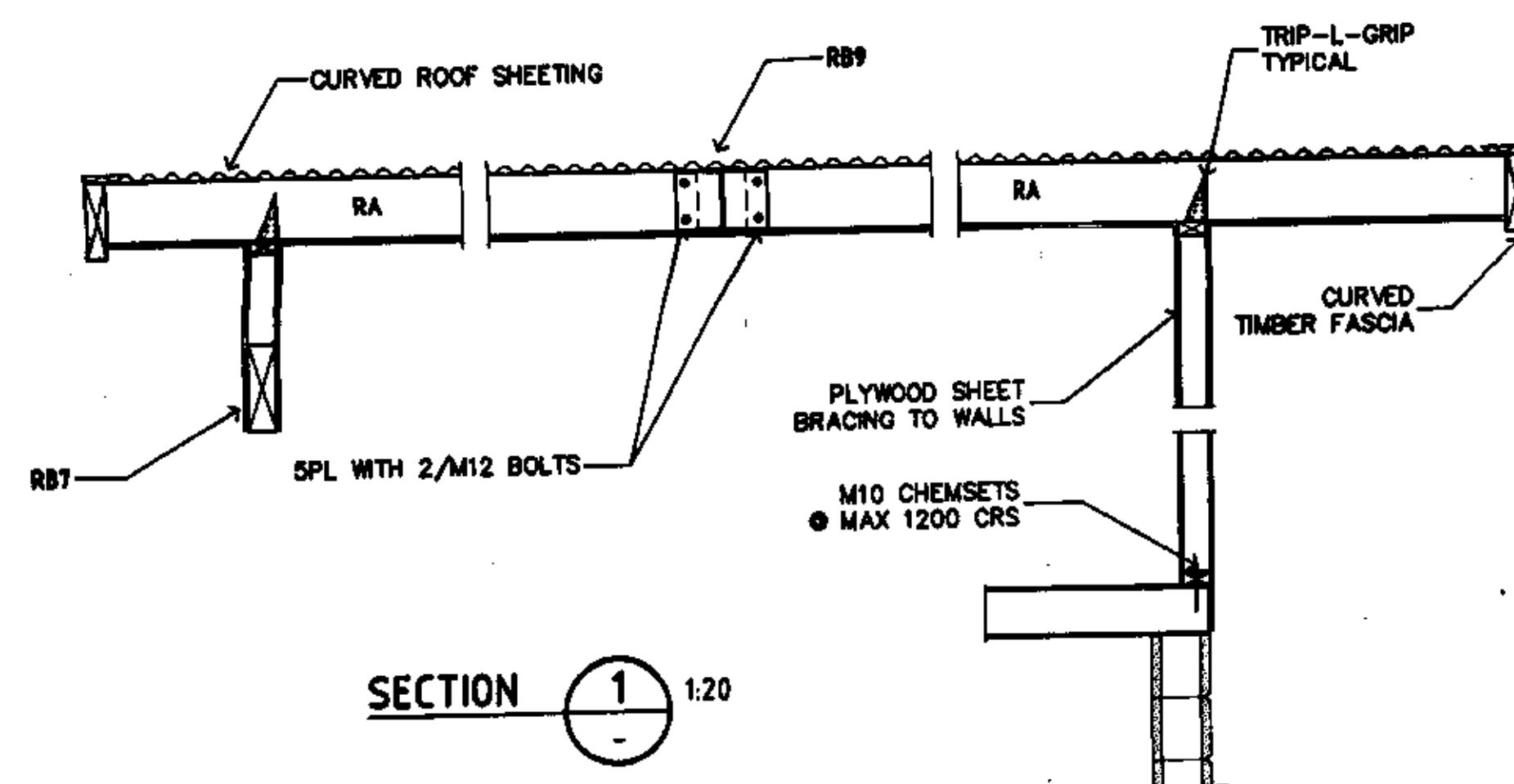
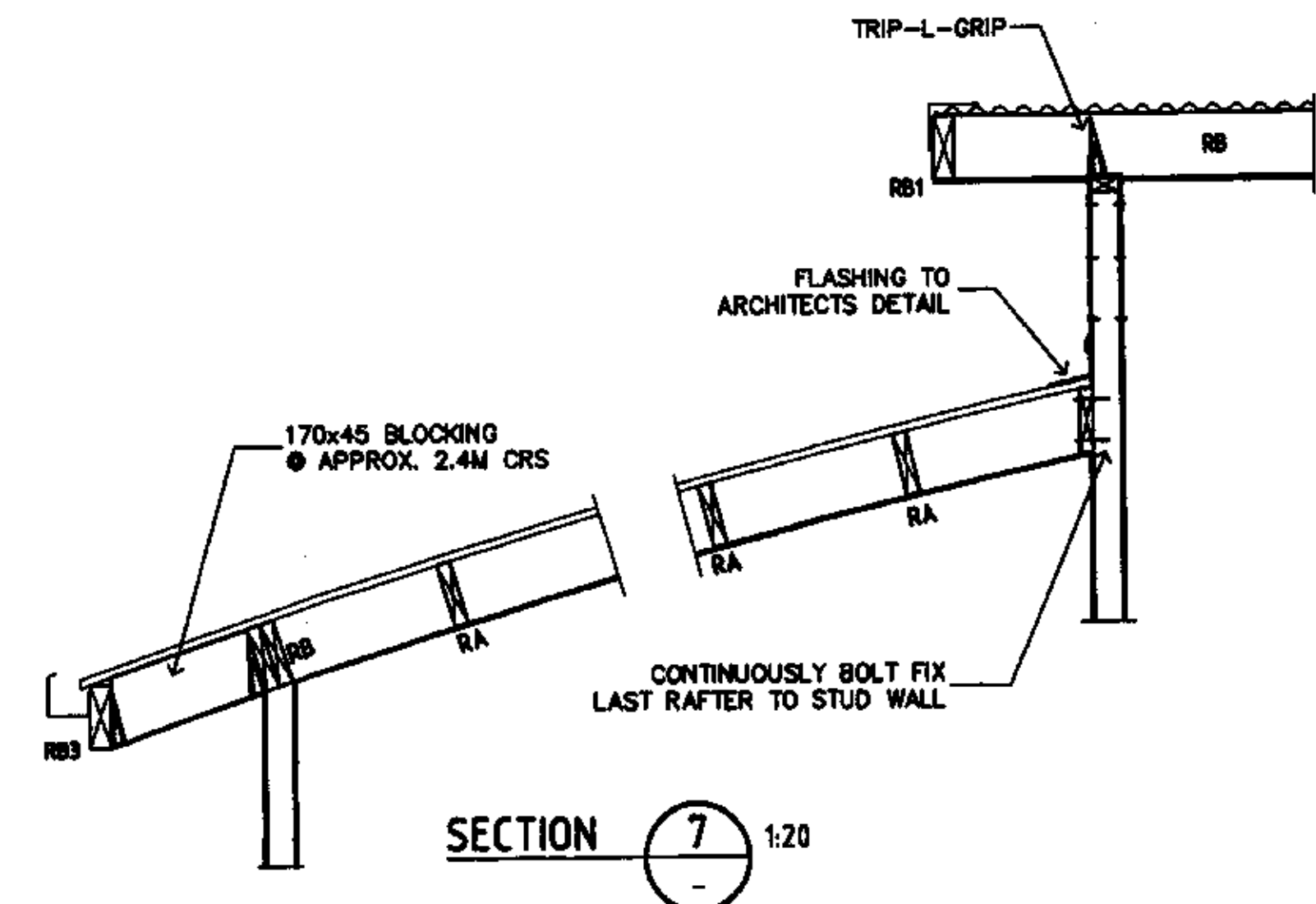
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Scale 1:100 U.N.D.	Date AUG'02	Sheet No. 3.01
File F:/dwg/jobs/S4177/201.dwg		Checked A. D'AMBROSIO
Drawing A. D'AMBROSIO		By E. (Shane) M.J.E. (Structural)

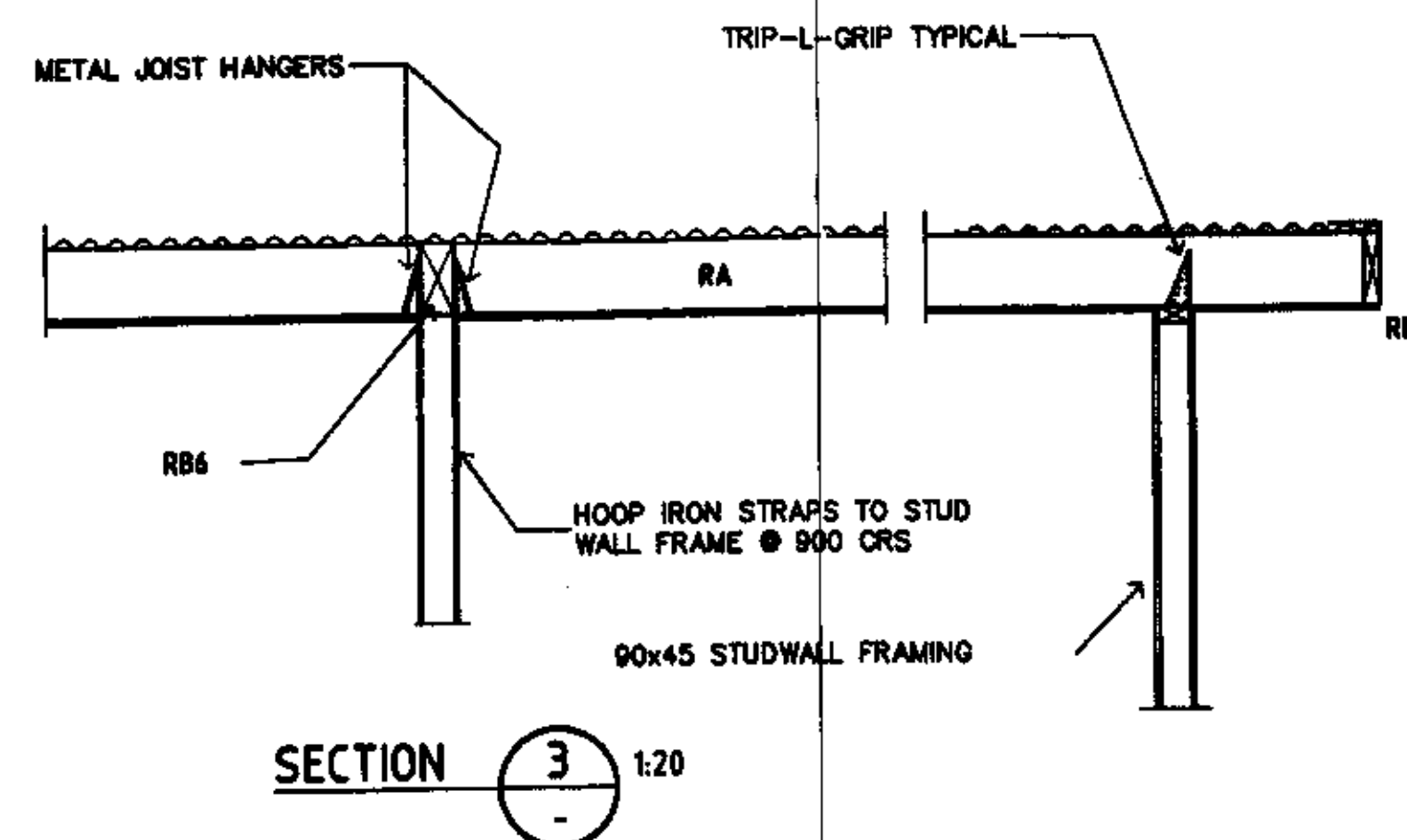


ROOF PLAN

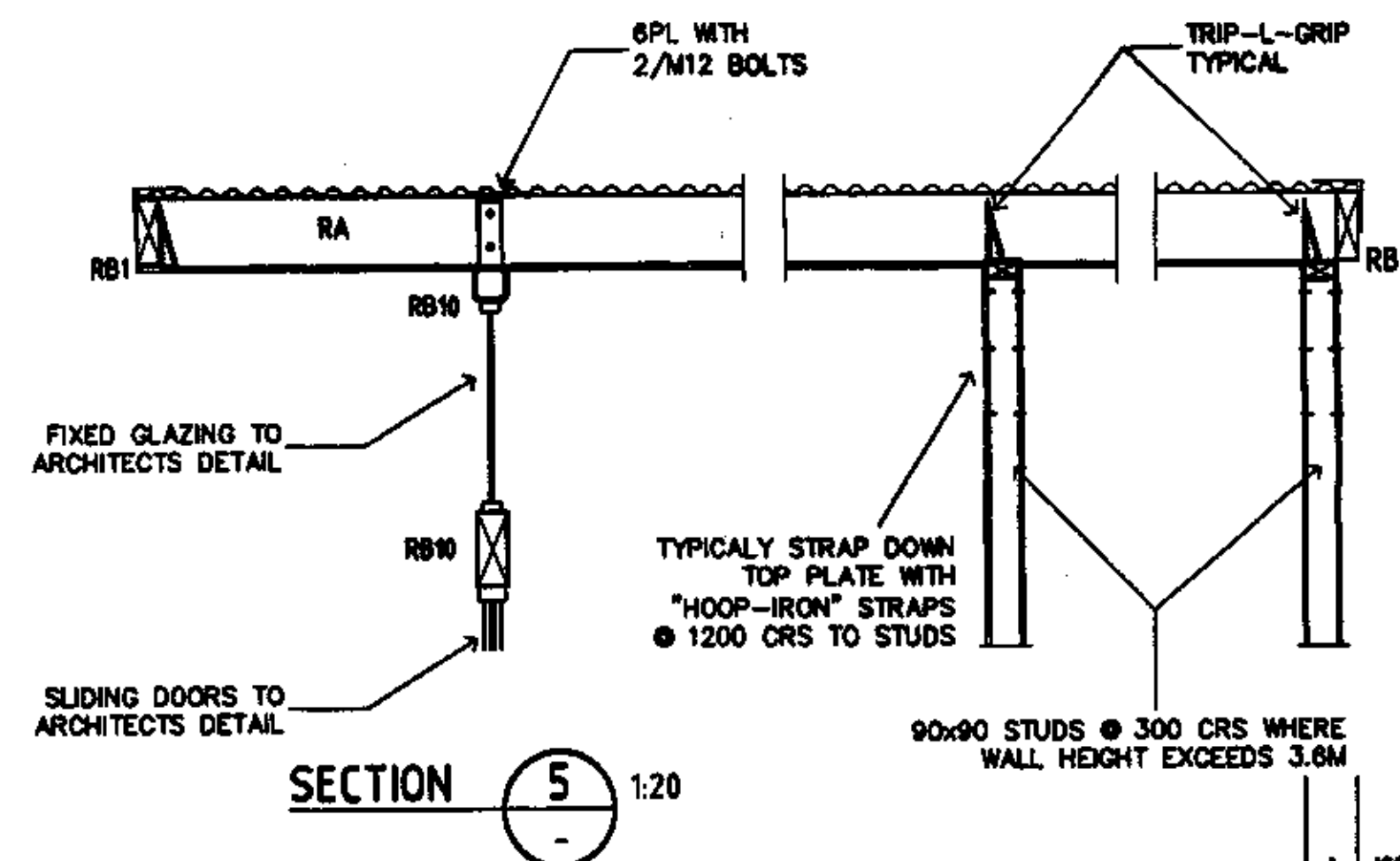
TAG	MEMBER
RB1	195x45 HYNEBEAM 17C (H3) - CURVED
RB2	195x45 HYNEBEAM 17C (H3)
RB3	195x45 HYNEBEAM 17C
RB4	DOUBLE RAFTER OVER WALL LINE
RB5	2/200x45 HYNE EDGE BEAM
RB6	195x85 HYNEBEAM 17C (H3) - CURVED
RB7	270x90 HYNE EDGE BEAM 17C (H3) - LINTEL
RB8	200x90 HYNE EDGE BEAM 17C (H3) - LINTEL
RB9	200x90 - CURVED
RB10	220x90 HYNE EDGE BEAM LINTEL (AT DOOR LEVEL) + CURVED 90x90x5.0 SHS (AT ROOF LEVEL)
RA	200x45(F16) HYNE EDGE BEAM RAFTERS @ 600 CRS
RB	200x50(F17) RAFTERS @ 600 CRS



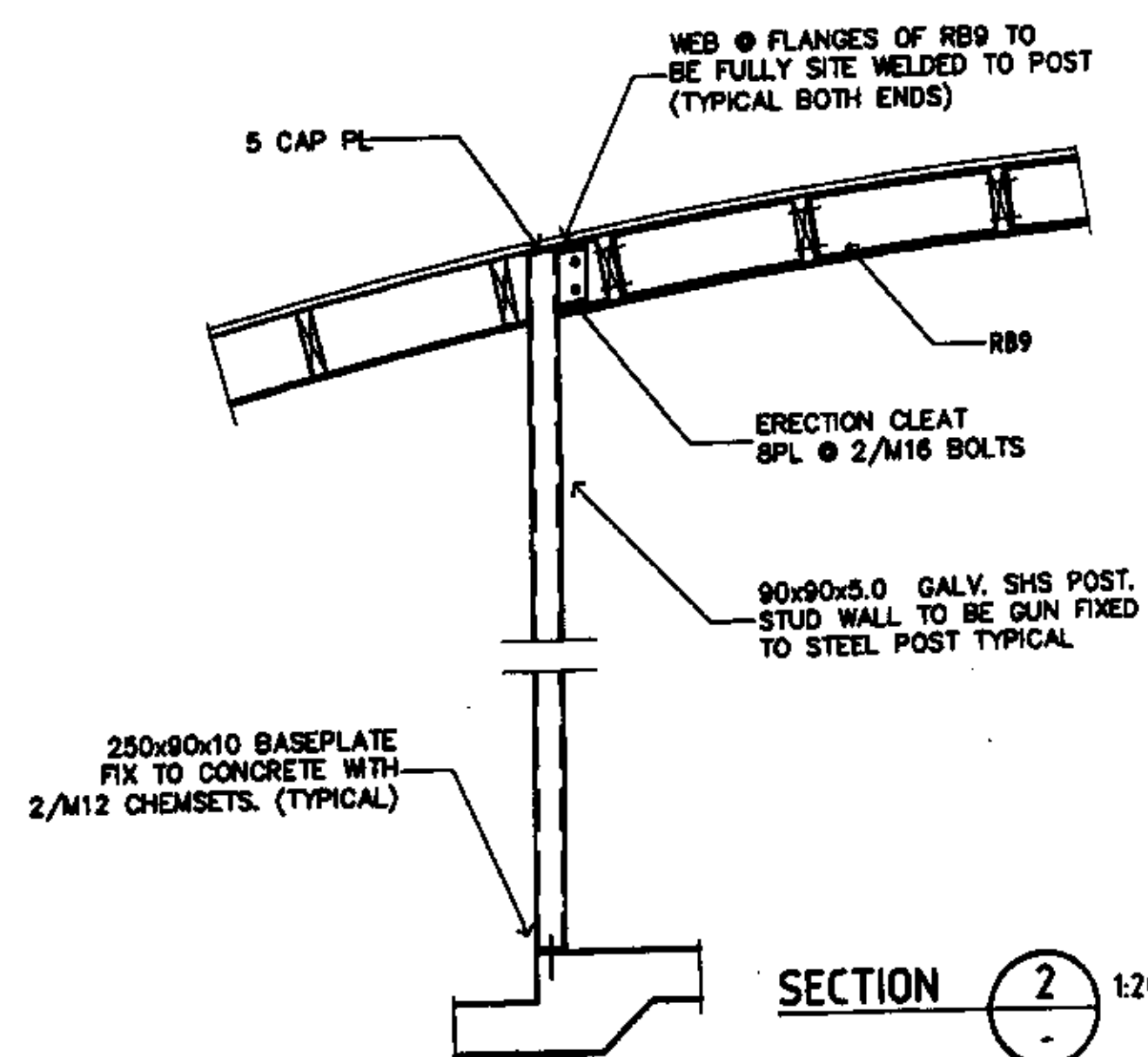
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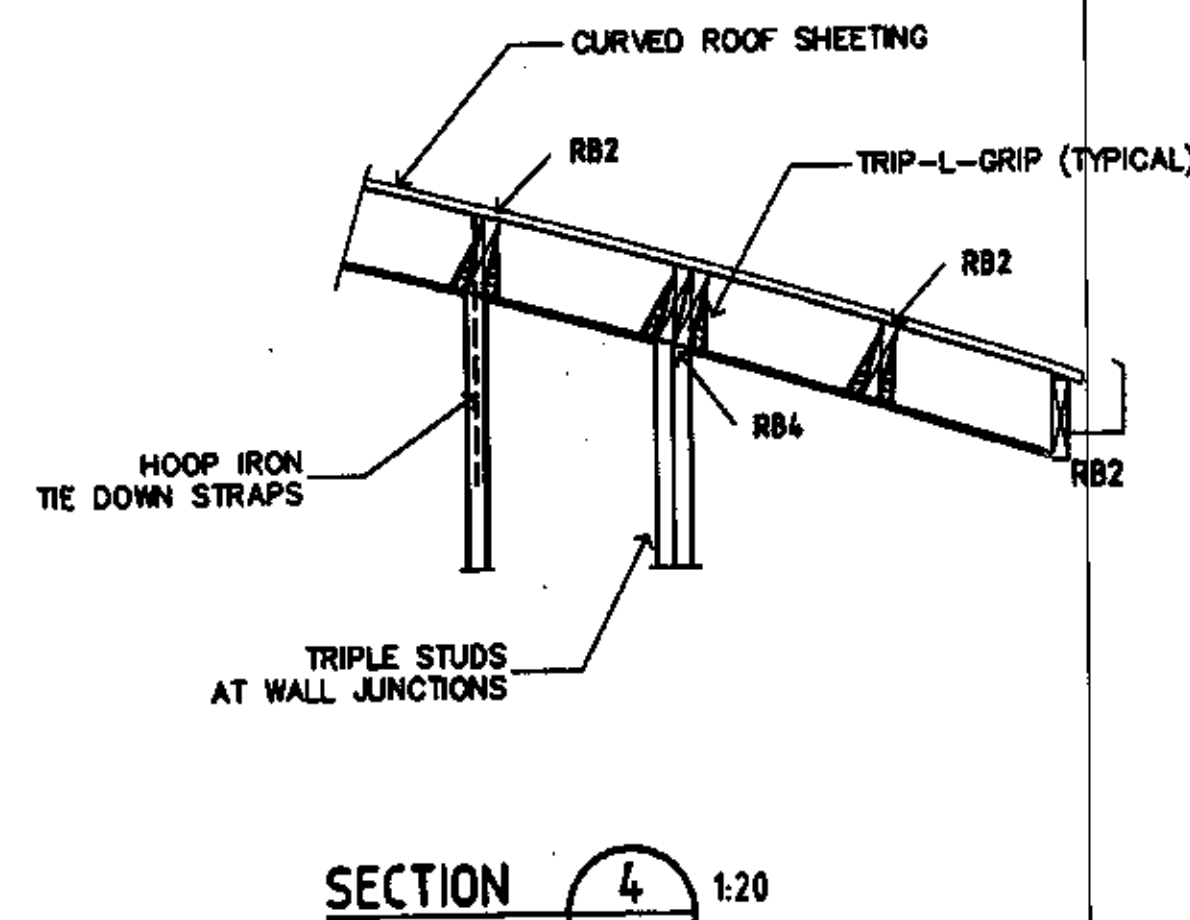
SECTION 3 1:20



SECTION 5 1:20

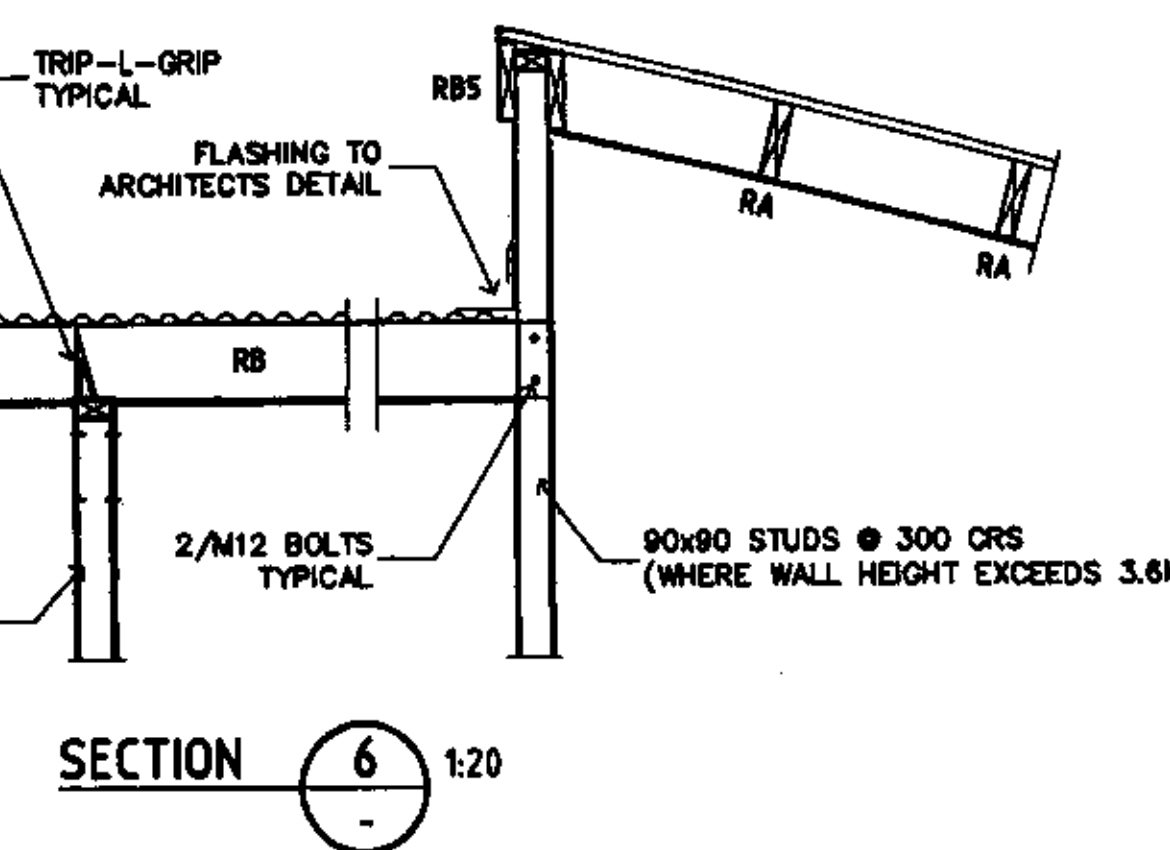


SECTION 2 1:20



SECTION 4 1:20

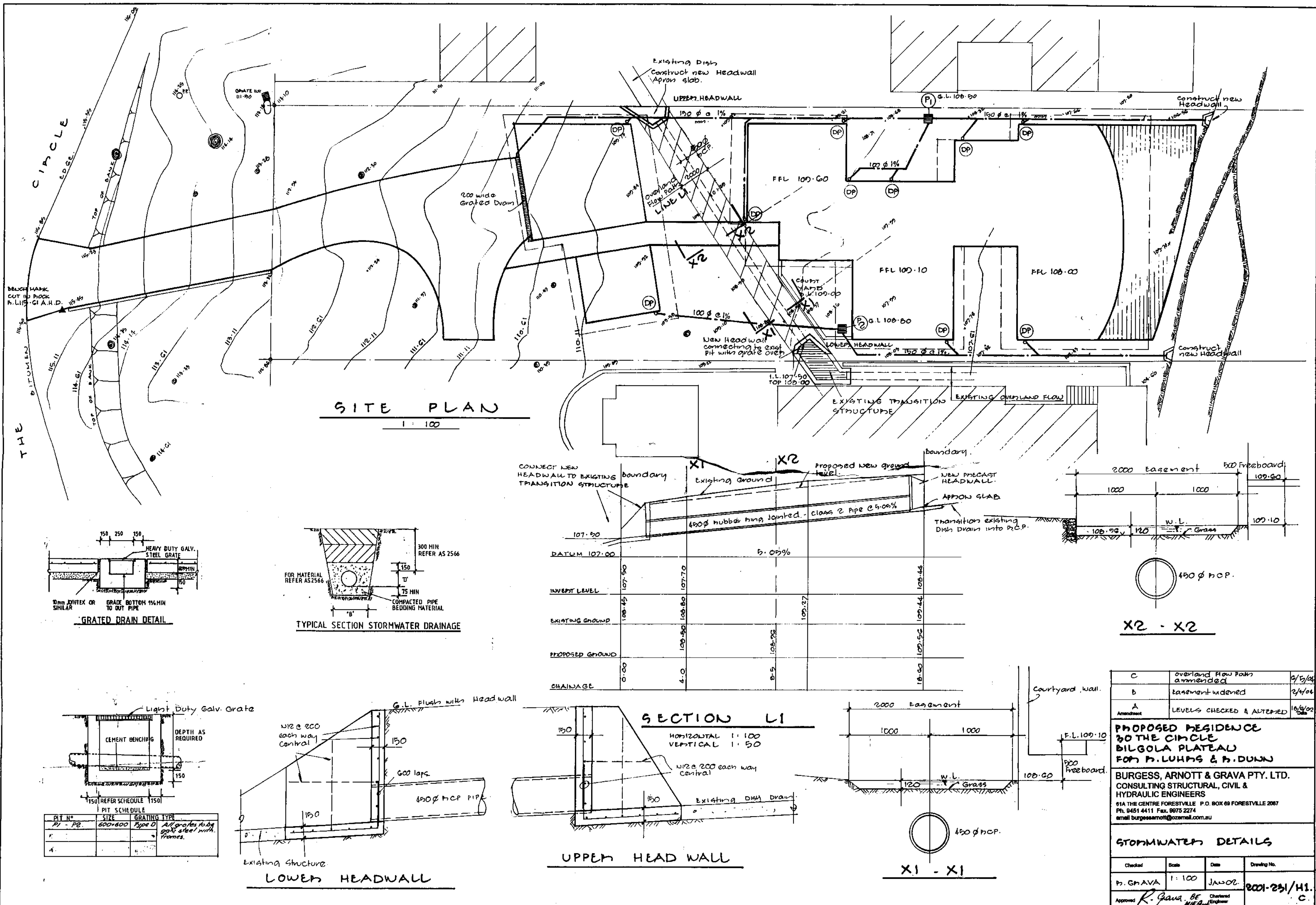
PLAN OR DOCUMENT CERTIFICATION
 I am a qualified **STRUCTURAL ENGINEER**
 I hold the following qualifications or licenses in **NSW (STRUCTURAL)**
 Further I am appropriately qualified to certify the component of the project.
 I hereby declare that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/industry standards.
 ANGELO D'AMBROSIO 6/5/02
 144 National Builders, Structural Contractors, Engineers, Landscapers, Architects, Environmental Engineers, etc.



SECTION 6 1:20

REFER TO DWG. 1.01 FOR CONSTRUCTION NOTES

A ISSUED FOR TENDER 4/9/02
 Architect
 PETER DOWNES DESIGNS
 115 PALMGROVE ROAD
 AVALON, NSW, 2107
 TEL: (02) 9973 3312 FAX: (02) 9973 3314
 Project:
 NEW RESIDENCE
 30 THE CIRCLE
 BILGOLA PLATEAU, NSW
 FOR R. LUHRS & R. DUNN
 D'AMBROSIO CONSULTING
 SUITE 4/153 VICTORIA ROAD
 GLADESVILLE NSW 2111
 AUSTRALIA
 PHONE (02) 9879 5577
 FAX (02) 9879 5588
 STRUCTURAL ENGINEERS
 TIME:
 ROOF PLAN
 AND SECTIONS
 STRUCTURAL DRAWING
 Designed: ADA
 Drawn: AR
 Scale: 1:100 U.N.O.
 Date: AUG'02
 Job No. S4177
 Drawn By: 4.01
 Issue: A
 E.I. (Hons) M.E.-Aust.
 NPER3 (Structural)



C	overland flow path amended	01/07/08
B	basement widened	2/4/06
A Amendment	LEVELS CHECKED & ALTERED	16/6/02 Date

**PROPOSED RESIDENCE
30 THE CIRCLE
BILGOLA PLATEAU
FOR D. LUHNS & B. DUNN**

**BURGESS, ARNOTT & GRAVA PTY. LTD.
CONSULTING STRUCTURAL, CIVIL &
HYDRAULIC ENGINEERS**
61A THE CENTRE FORESTVILLE P.O. BOX 69 FORESTVILLE 2067
Ph. 9451 4411 Fax. 9675 2274
email burgessarnott@ozemail.com.au

STORMWATER DETAILS

Checked	Scale	Date	Drawing No.
D. GRAVA	1:100	Jan 02.	2001-231/H1.
Approved <i>R. Gava</i> NEAD	Chartered Engineer		

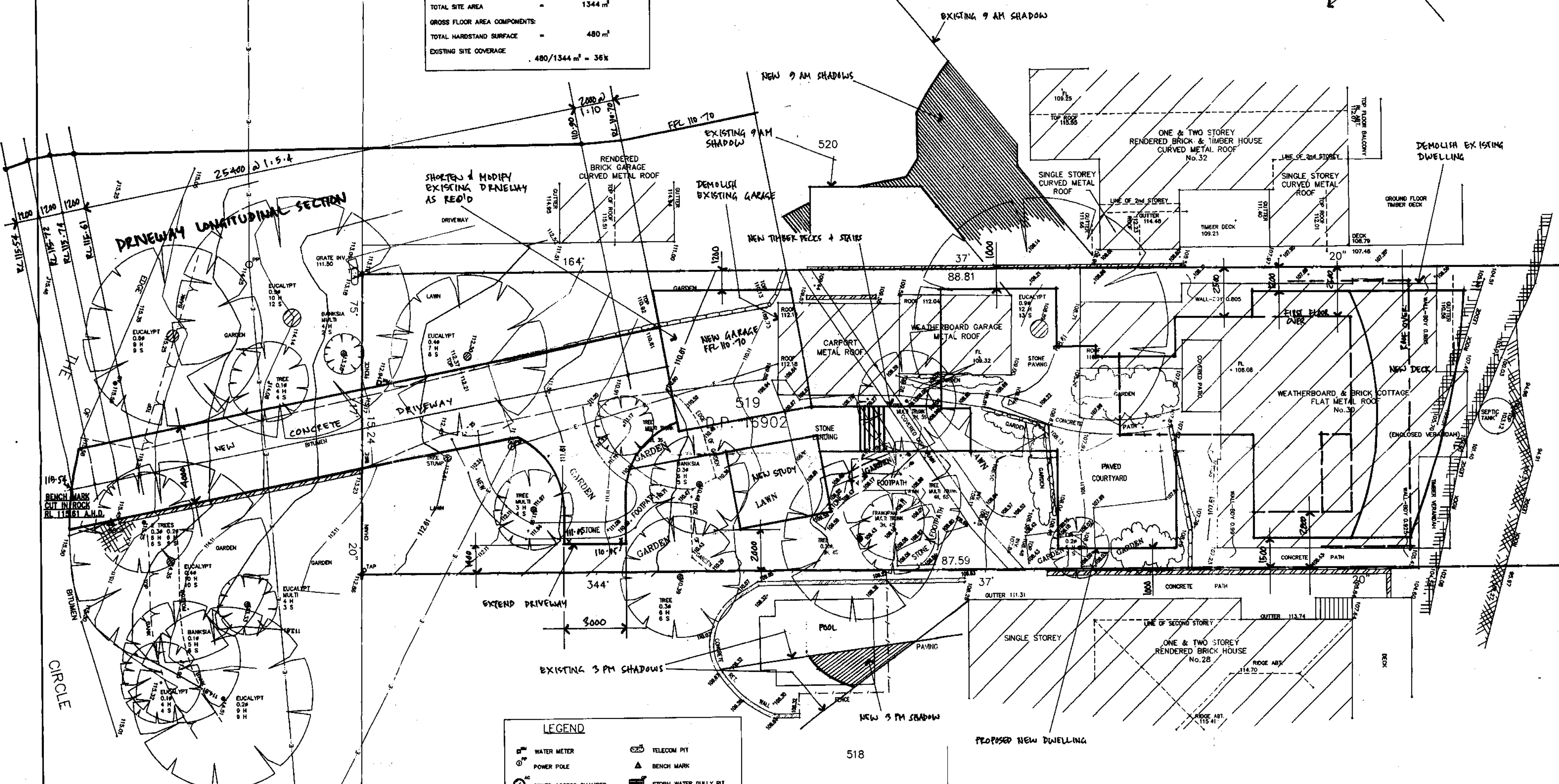
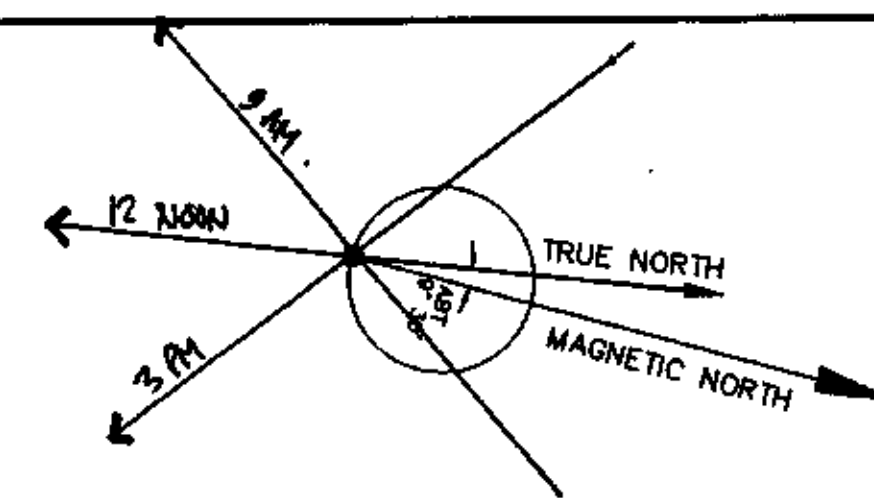
C

NOTES:
1) BEARINGS QUOTED ARE ON MAGNETIC MERIDIAN

EXISTING SITE COVERAGE ANALYSIS:

TOTAL SITE AREA = 1344 m²
GROSS FLOOR AREA COMPONENTS:
TOTAL HARDSTAND SURFACE = 480 m²
EXISTING SITE COVERAGE = 480/1344 m² = 36%

OVERSHADOWING NOTES:
1. ALL SHADOWS ARE FOR THE WINTER SOLSTICE
2. 12 NOON SHADOWS OMITTED AS THEY DO NOT AFFECT ADJOINING PROPERTIES.



LEGEND

WATER METER	TELECOM PIT
POWER POLE	BENCH MARK
SEWER ACCESS CHAMBER	STORM WATER GULLY PIT
LIGHT POLE	FIRE HYDRANT
FENCING	BOARDS SEWER
TOP OF BANK	ELECTRIC
TELECOM	STORM WATER
GAS	WATER

518

PROPOSED NEW DWELLING

BEE & LETHBRIDGE PTY. LIMITED.

ACN 003 194 447
CONSULTING SURVEYORS

SUITES 2&3, FIRST FLOOR
THE CENTRE, 14 STARKEY
STREET FORESTVILLE 2087
TELEPHONE: (02) 9461 8757
FACSIMILE: (02) 9075 3535
Email: survey@bml.com.au

REVISIONS
A. 14.10.2002
NEW DRIVEWAY
ADDED

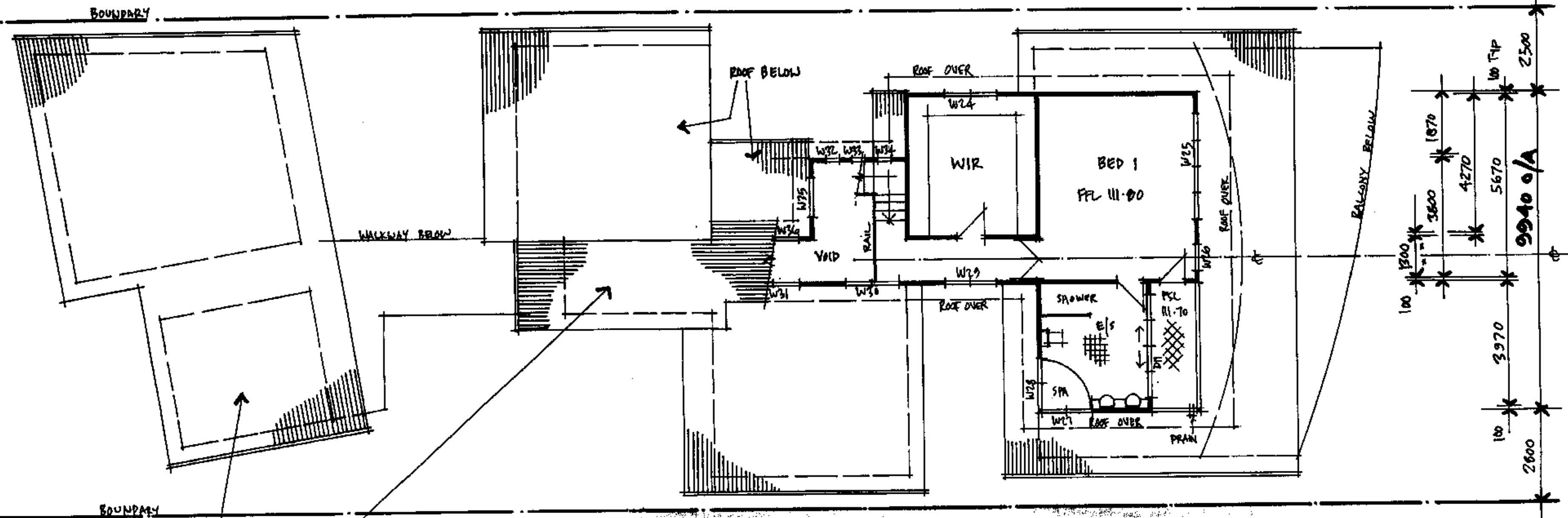
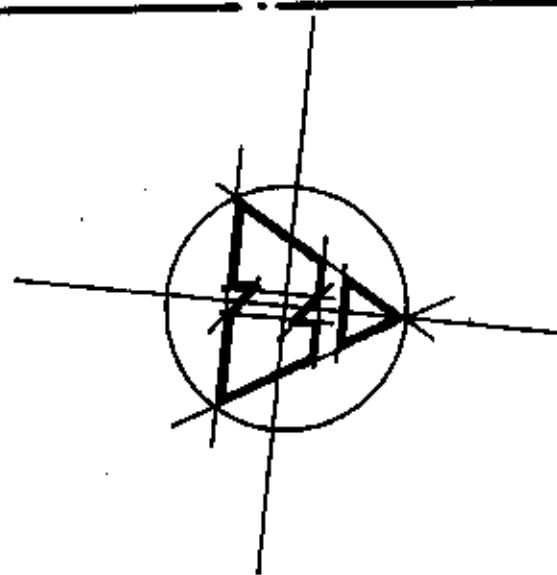
PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL
FEATURES OVER LOT 519 IN D.P. 16902, KNOWN AS No.30
THE CIRCLE, BILGOLA PLATEAU.

L.G.A.: PITTWATER

SYDNEY REGIONAL COUNCIL
CONSTRUCTION CERTIFICATE
No. 11942
Date of Issue: 28/6/2000
Author: Peter Rack Accreditation No. 260
Date of Issue: 14/10/2000

02	DEC. '01	LEVELS CONVERTED TO A.H.D.
01	NOV. '01	ADDITIONAL DETAILS & CONTOURS ADDED
No.	DATE	DESCRIPTION OF REVISION
CLIENT R. LUHRS & R. DUNN		
PROPERTY No. 30 THE CIRCLE, BILGOLA PLATEAU.		
DATUM	A.H.D.	SCALE 1:100
SURVEYED	PB / DV	DRAWN TP/J.S.
DATE	28/6/2000	CAD DWG No. 11942E
SHEET No.	1 of 1	DWG. SIZE A1
REV	02	

0116-01/A



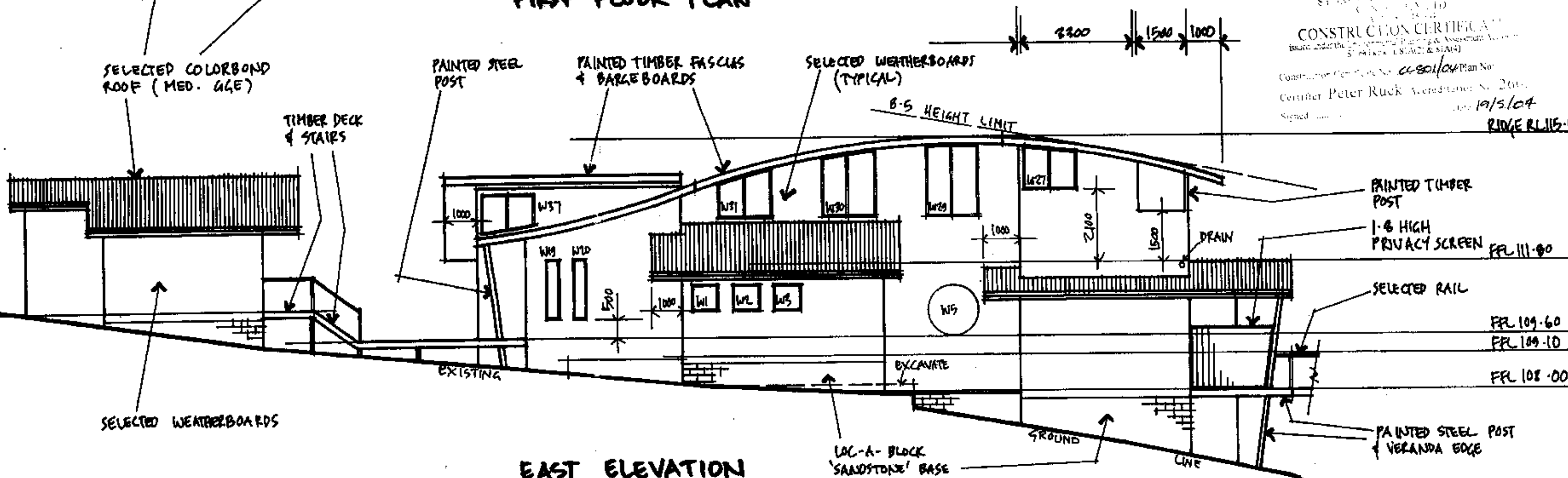
FIRST FLOOR PLAN

ENERGY EFFICIENCY NOTES

- R 1.5 INSULATION TO BE FITTED TO ALL NEW EXTERNAL WALLS.
- FOIL BACKED BLANKET TO BE INSTALLED UNDER ROOF CLADDING TOGETHER WITH R 3.0 INSULATION TO CEILING.
- ALL DOORS AND WINDOWS TO BE FITTED WITH DRAFT SEALS.
- EXTERNAL WALLS AND ROOF TO BE MEDIUM COLOUR.
- WATER HEATING TO BE GAS.
- ALL SKYLIGHTS TO BE DOUBLE GLAZED AND TINTED.
- HEAVY, CLOSE FITTING CURTAINS WITH ENCLOSED PELMETS ARE TO BE FITTED TO D2, D8, D6, D9 AND W9.

BUILDING NOTES

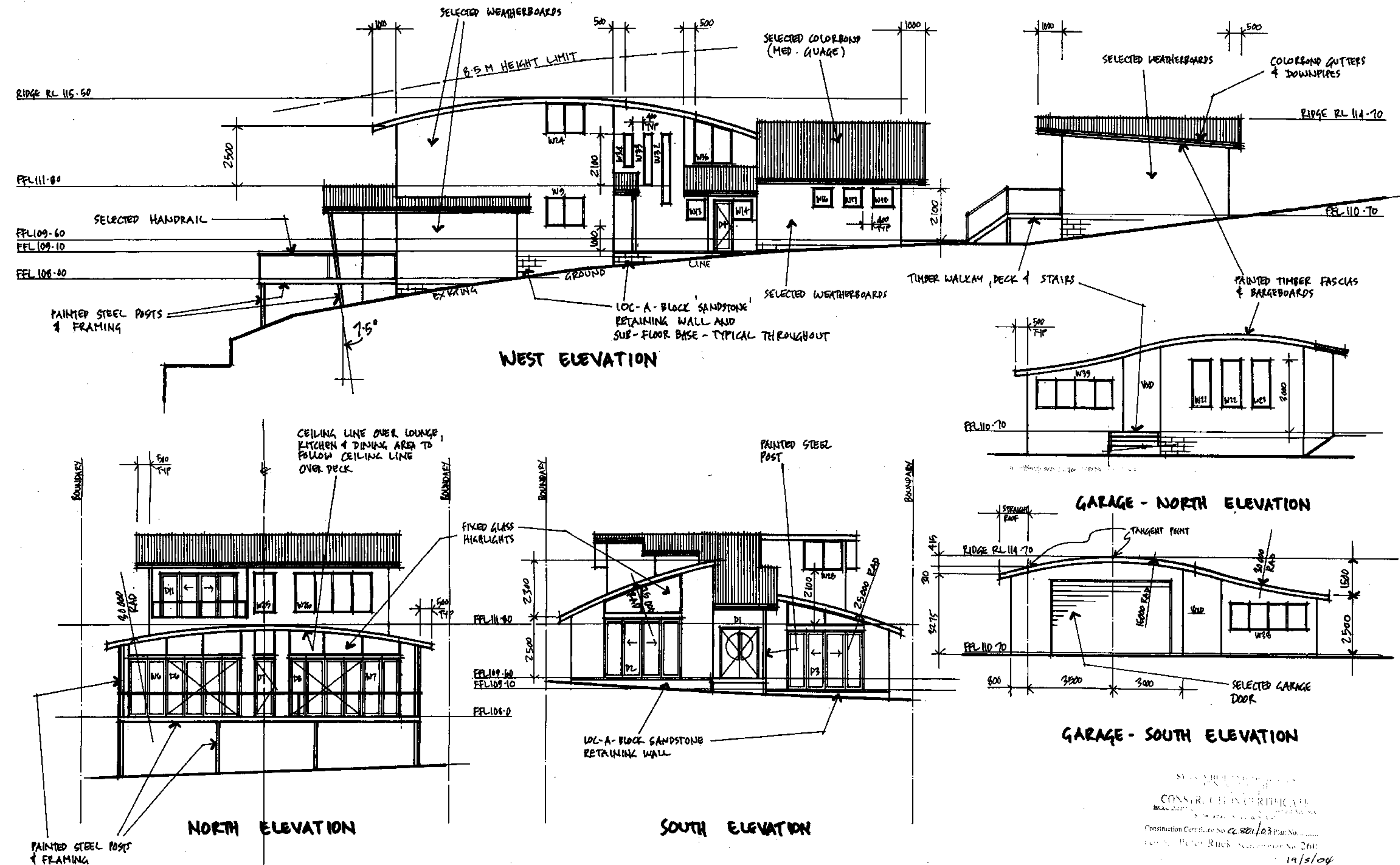
- ALL WORK TO BE UNDERTAKEN BY SUITABLY QUALIFIED LICENSED TRADESMAN AND TO COMPLY WITH ALL RELEVANT STANDARDS AND COUNCIL REQUIREMENTS.
- CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSPECTION CERTIFICATES.
- AN APPROVED SITUATION CONTROL SYSTEM TO BE INSTALLED AND MAINTAINED TO COUNCIL'S SATISFACTION FOR THE DURATION OF CONSTRUCTION.
- SMOKE ALARMS TO BE FITTED TO BUILDING CODE OF AUSTRALIA REQUIREMENTS

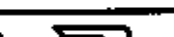


EAST ELEVATION

CONSTRUCTION CERTIFICATE
 Issued under the Building Act 2003 (NSW)
 Construction Certificate No. 04801/04 Plan No. 04801/04
 Engineer Peter Ruck, Accredited No. 2001
 Signed 19/5/04
 RIDGE RL 115.50

REVISION	A. 2.5.2002. PRIVACY SCREEN ADDED TO NORTH DECK	 BUILDING DESIGNERS ASSOCIATION NEW SOUTH WALES INC. FULL MEMBER	peter downes <i>DESIGNS</i> address 115 Palmgrove Rd. Avalon 2107 phone 9973 3312 www.peterdownesdesigns.com.au	PROJECT PROPOSED NEW DWELLING AT 30 THE CIRCLE BILGOLA PLATEAU FOR RHONDA LYLES & ROBERT DUNN	DRAWN P. DOWNES	CHECKED P. DOWNES
				DRAWING FIRST FLOOR PLAN, EAST ELEVATION	SCALE 1:100	DATE 28.2.2002
				DRG. No. 0116-03/A		



REVISION	A. 2.5.2002 DECK ATTACHED TO STUDY REMOVED	 BUILDING DESIGNERS ASSOCIATION NEW SOUTH WALES INC FULL MEMBER	peter downes <i>DESIGNS</i>	address 115 Palmgrove Rd, Avalon 2107 phone 9973 3312 www.peterdownesdesigns.com.au	PROJECT PROPOSED NEW DWELLING AT 30 THE CIRCLE BILGOLA PLATEAU FOR RHONDA LUNDS & ROBERT DUNN	DRAWN P. DOWNES	CHECKED P. DOWNES
					DRAWING ELEVATIONS	SCALE 1:100	DATE 20.2.2002
					DRG. No. 0116-04/A		