



ACTION PLANS

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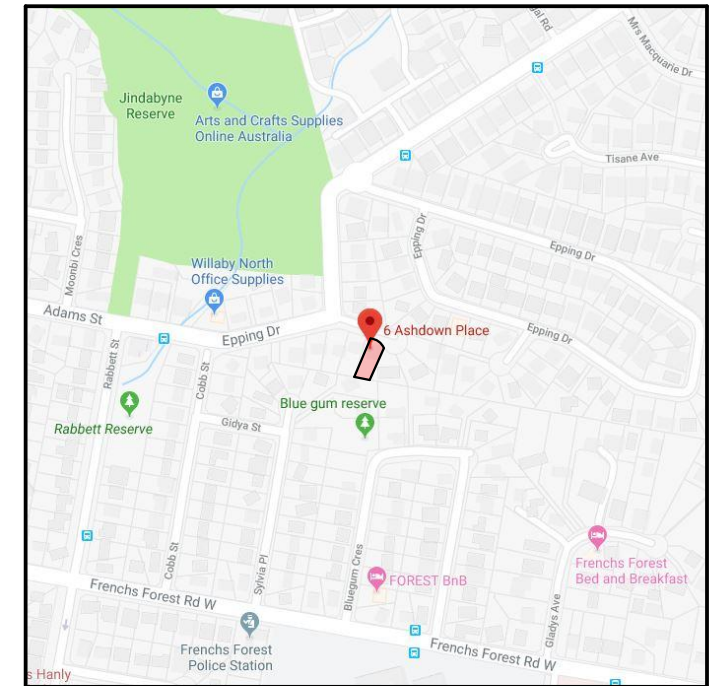
DEVELOPMENT APPLICATION

These plans are for Development Approval only.

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	28/03/2019
DA01	SITE ANALYSIS	28/03/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	28/03/2019
DA03	EXISTING GROUND FLOOR PLAN	28/03/2019
DA04	PROPOSED GROUND FLOOR PLAN	28/03/2019
DA05	EXISTING FIRST FLOOR PLAN	28/03/2019
DA06	PROPOSED FIRST FLOOR PLAN	28/03/2019
DA07	EXISTING ROOF PLAN	28/03/2019
DA08	PROPOSED ROOF PLAN	28/03/2019
DA09	NORTH ELEVATION	28/03/2019
DA10	EAST ELEVATION	28/03/2019
DA11	SOUTH ELEVATION	28/03/2019
DA12	WEST ELEVATION	28/03/2019
DA13	LONG / CROSS SECTION	28/03/2019
DA14	AREA CALCULATIONS	28/03/2019
DA15	SAMPLE BOARD	28/03/2019
DA16	WINTER SOLSTICE 9 AM	28/03/2019
DA17	WINTER SOLSTICE 12 PM	28/03/2019
DA18	WINTER SOLSTICE 3 PM	28/03/2019
DA19	DRIVEWAY PLAN	28/03/2019
DA20	BASIX COMMITMENTS	28/03/2019

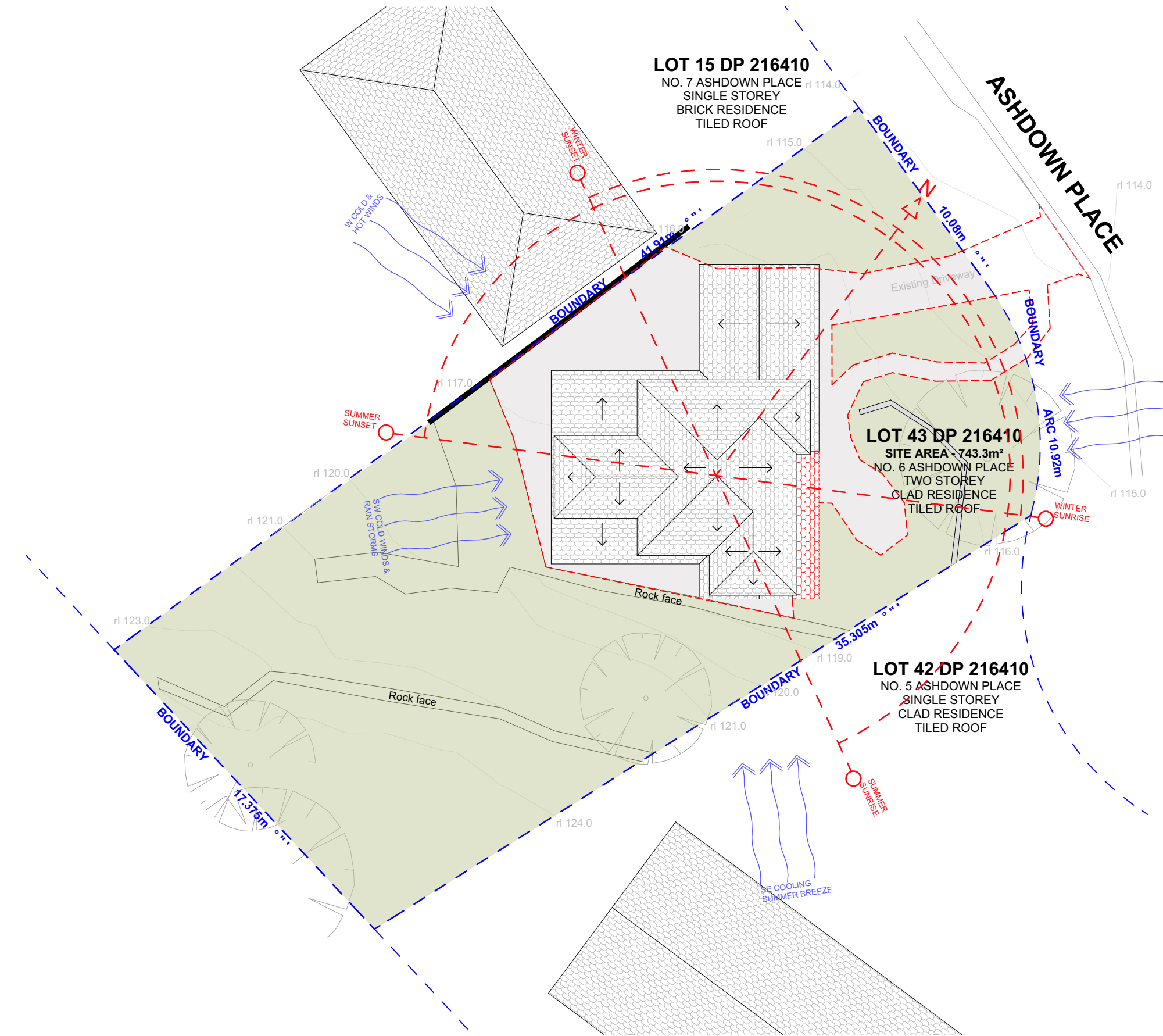
ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	6 ASHDOWN PLACE, FRENCHS FOREST, NSW 2086			
LOT & DP/SP	LOT 43 DP 216410			
COUNCIL	NORTHERN BEACHES COUNCIL (WARRINGAH)			
SITE AREA	743.3m ²			
FRONTAGE	20.420m Average			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m ²	743.3m ²	UNCHANGED	YES
MAXIMUM BUILDING HEIGHT	8.5m	N/A	N/A	YES
HAZARDS				
BUSHFIRE PRONE LAND	VEGETATION BUFFER	YES	UNCHANGED	YES
DEVELOPMENT ON SLOPING LAND	Area B – Flanking slopes 5-25	N/A	UNCHANGED	YES
DCP				
WALL HEIGHT	7.2m	6.205m	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	4m	N/A	UNCHANGED	YES
SIDE BOUNDARY SETBACKS	0.9m	E: 2.820m W: 2.085m	E: 1.9m W: 2.065m CARPORT: 1.39m	YES
FRONT BOUNDARY SETBACK	6.5m	HOUSE: 8.11m	HOUSE: 6.32m CARPORT: 0.0m	NO
REAR BOUNDARY SETBACK	6.0m	18.165m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (297.32)	67% (498.57m ²)	53.5% (398.08m ²)	YES
PRIVATE OPEN SPACE	60m ²	38.7m ²	428.23m ²	YES

6 Ashdown Place Frenchs Forest NSW 2086

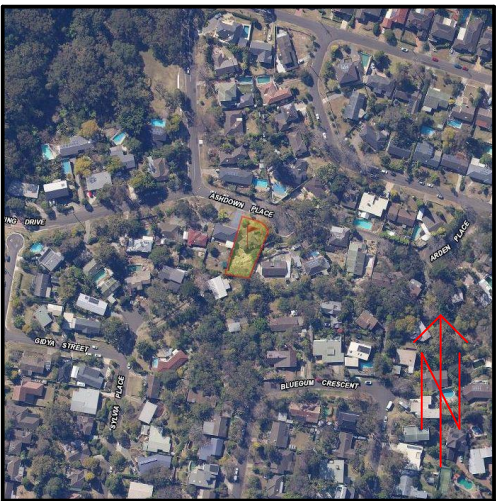


NCC & AS COMPLIANCES SPECIFICATIONS

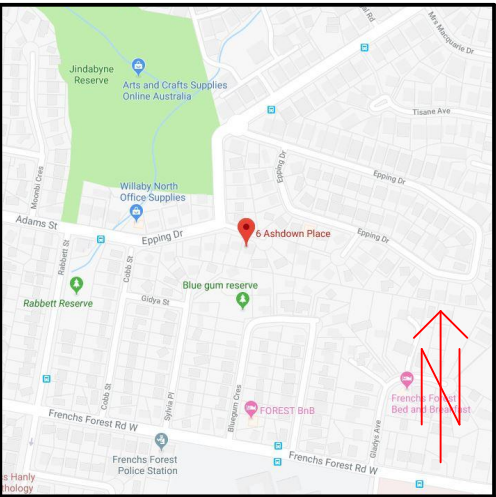
- EARTHWORKS: METHOD OF EXCAVATIONAND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991



STREET VIEW



LOCATION VIEW



AERIAL MAP

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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B	01/03/19	FIRST DESIGN AMENDMENT	AL	
C	27/03/19	DOCUMENTATION	SM	

LEGEND

NEW FLOOR AREA

NEW WET FLOOR AREA

METAL ROOFING

TILED ROOFING

TIMBER

CONCRETE

BRICKWORK

METAL

EXISTING

DEMOLISHED

CLIENT
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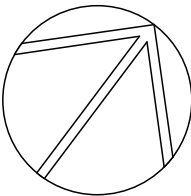
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2086

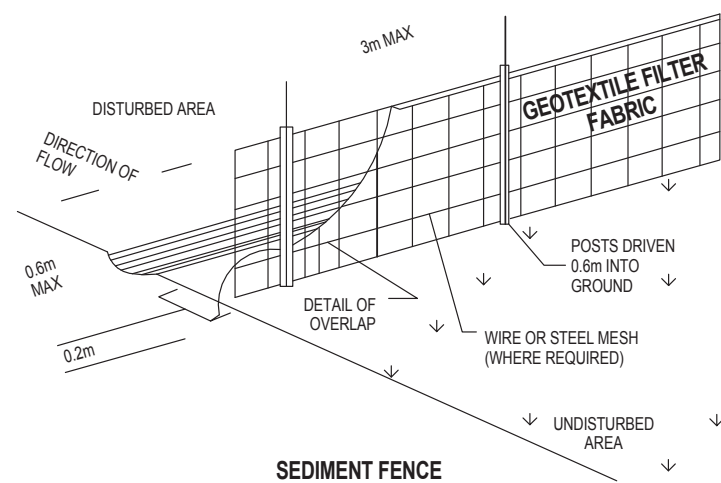
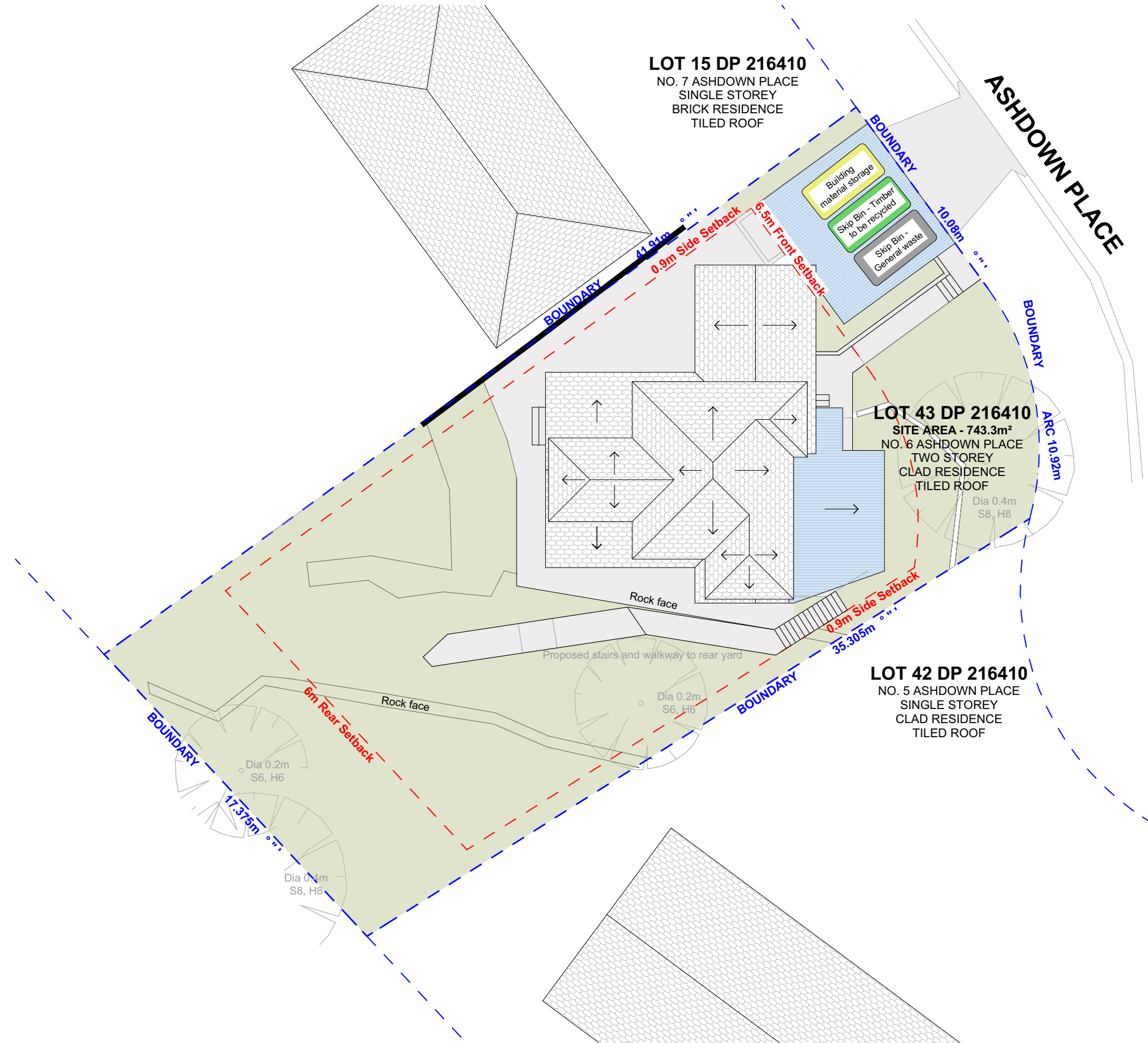
DRAWING NO.
DA01

DATE
28 March 2019

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3





DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

- SEDIMENT NOTE :**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
 2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
 3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
 4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



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LEGEND

NEW FLOOR AREA

NEW WET FLOOR AREA

METAL ROOFING

TILED ROOFING

TIMBER

CONCRETE

BRICKWORK

METAL

EXISTING

DEMOLISHED

CLIENT
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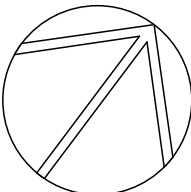
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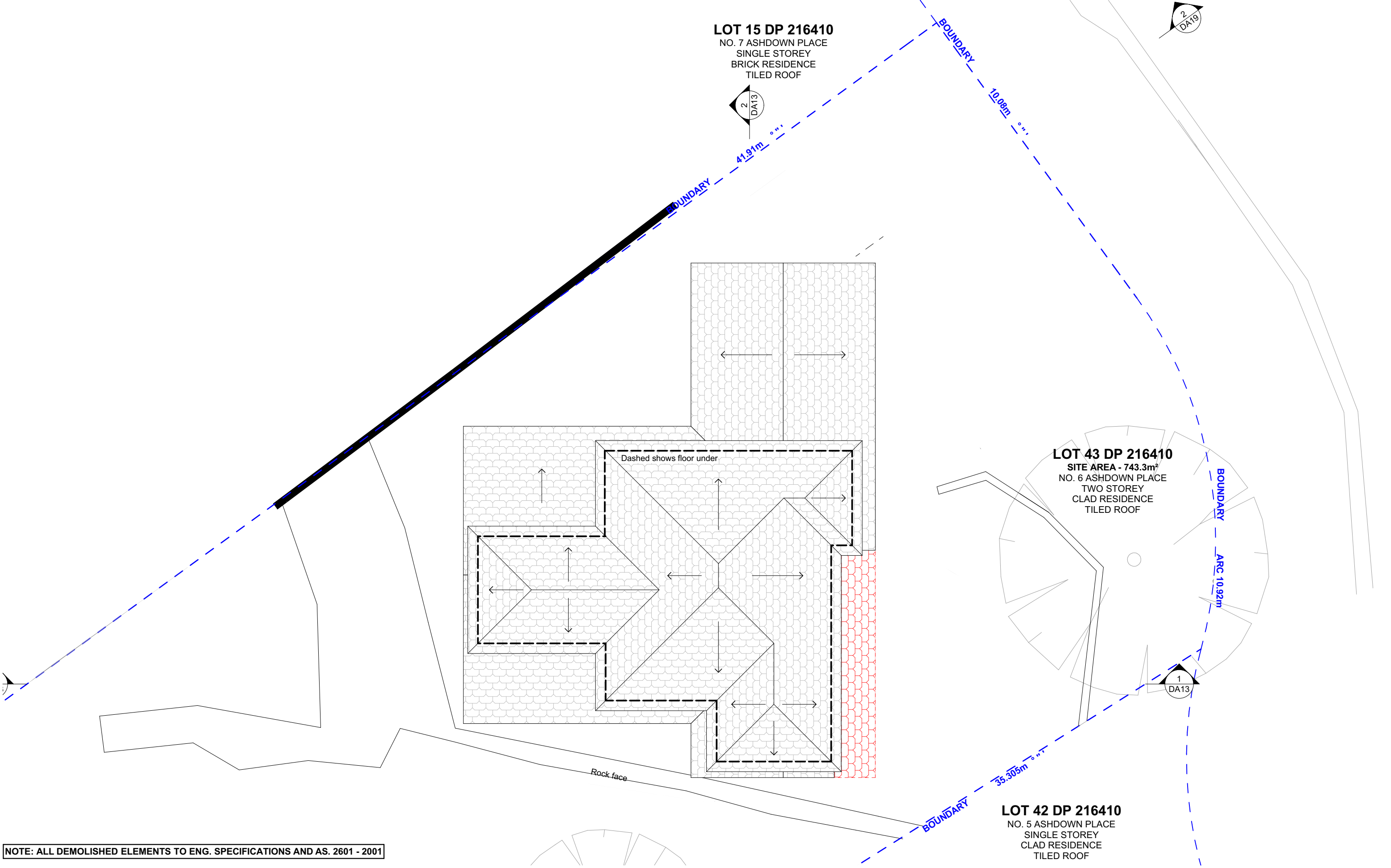
DRAWING NO.
DA02

DATE
28 March 2019

DRAWING NAME
SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE
1:200 @A3





NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

NEW FLOOR AREA

NEW WET FLOOR AREA

METAL ROOFING

TILED ROOFING

TIMBER

CONCRETE

BRICKWORK

METAL

EXISTING

DEMOLISHED

CLIENT

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DRAWING NO.

DA07

DATE

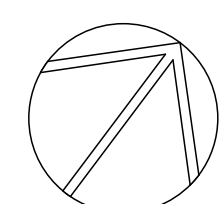
28 March 2019

DRAWING NAME

EXISTING ROOF PLAN

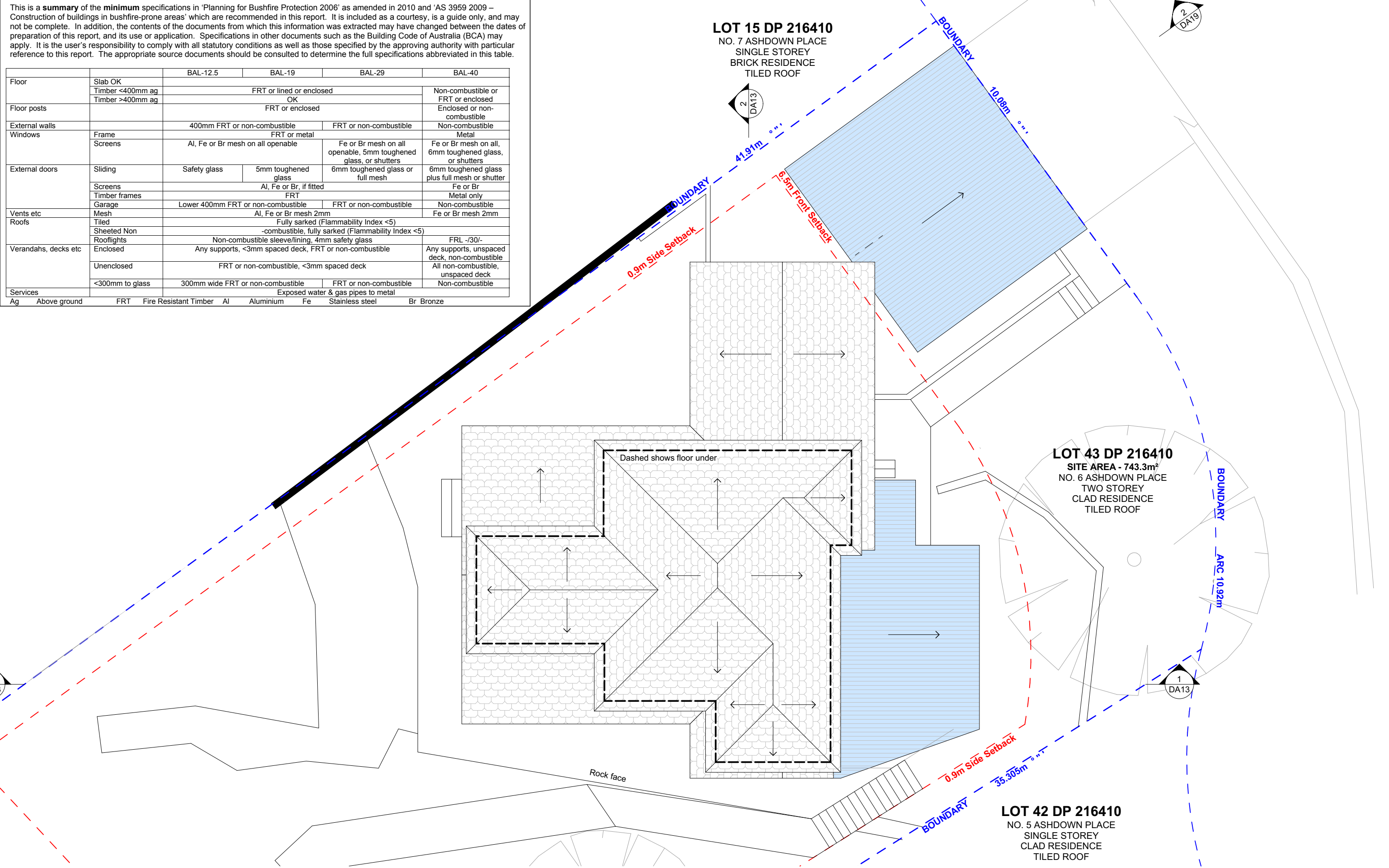
SCALE

1:100 @A3



This is a **summary** of the **minimum** specifications in 'Planning for Bushfire Protection 2006' as amended in 2010 and 'AS 3959 2009 – Construction of buildings in bushfire-prone areas' which are recommended in this report. It is included as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application. Specifications in other documents such as the Building Code of Australia (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

		BAL-12.5	BAL-19	BAL-29	BAL-40				
Floor	Slab OK								
	Timber <400mm ag	FRT or lined or enclosed			Non-combustible or FRT or enclosed				
	Timber >400mm ag	OK							
Floor posts		FRT or enclosed			Enclosed or non-combustible				
External walls		400mm FRT or non-combustible		FRT or non-combustible	Non-combustible				
Windows	Frame	FRT or metal			Metal				
	Screens	Al, Fe or Br mesh on all openable		Fe or Br mesh on all openable, 5mm toughened glass, or shutters	Fe or Br mesh on all, 6mm toughened glass, or shutters				
External doors	Sliding	Safety glass	5mm toughened glass	6mm toughened glass or full mesh	6mm toughened glass plus full mesh or shutter				
	Screens	Al, Fe or Br, if fitted			Fe or Br				
	Timber frames	FRT			Metal only				
	Garage	Lower 400mm FRT or non-combustible		FRT or non-combustible	Non-combustible				
Vents etc	Mesh	Al, Fe or Br mesh 2mm			Fe or Br mesh 2mm				
Roofs	Tiled	Fully sarked (Flammability Index <5)							
	Sheeted Non	-combustible, fully sarked (Flammability Index <5)							
	Rooflights	Non-combustible sleeve/lining, 4mm safety glass			FRL -/30/-				
Verandahs, decks etc	Enclosed	Any supports, <3mm spaced deck, FRT or non-combustible			Any supports, unspaced deck, non-combustible				
	Unenclosed	FRT or non-combustible, <3mm spaced deck			All non-combustible, unspaced deck				
	<300mm to glass	300mm wide FRT or non-combustible	FRT or non-combustible		Non-combustible				
Services		Exposed water & gas pipes to metal							
Ag	Above ground	FRT	Fire Resistant Timber	Al	Aluminium	Fe	Stainless steel	Br	Bronze





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C	27/03/19	DOCUMENTATION	SM	

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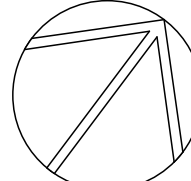
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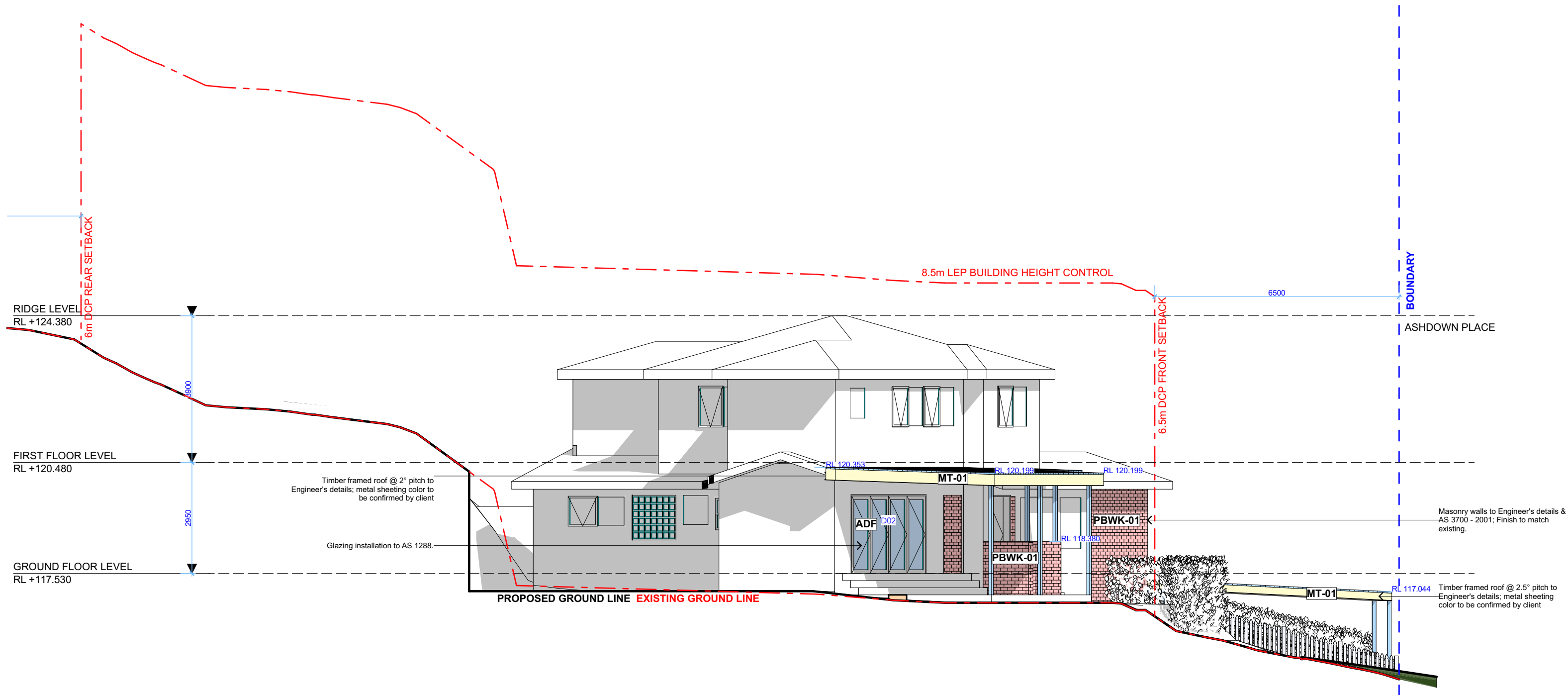
DRAWING NO.
DA08

DATE
28 March 2019

DRAWING NAME
PROPOSED ROOF PLAN

SCALE
1:100, 1:1.62 @A3





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LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

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DRAWING NO.

DA10

DATE

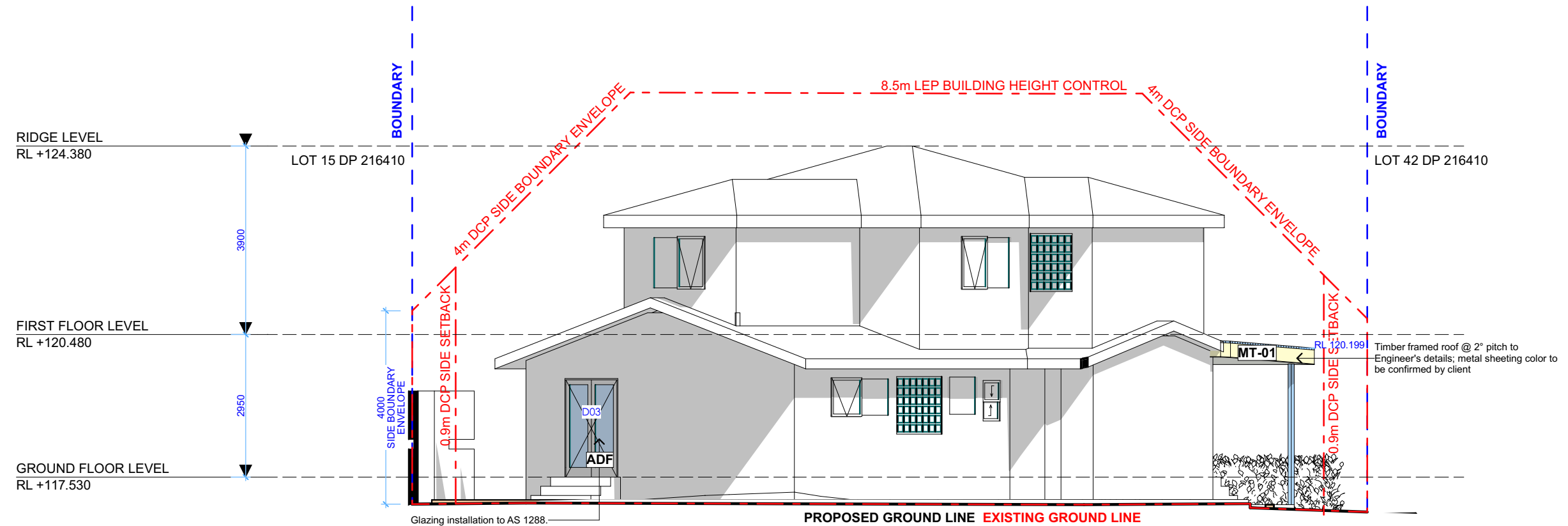
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DRAWING NAME

EAST ELEVATION

SCALE

1:100 @A3



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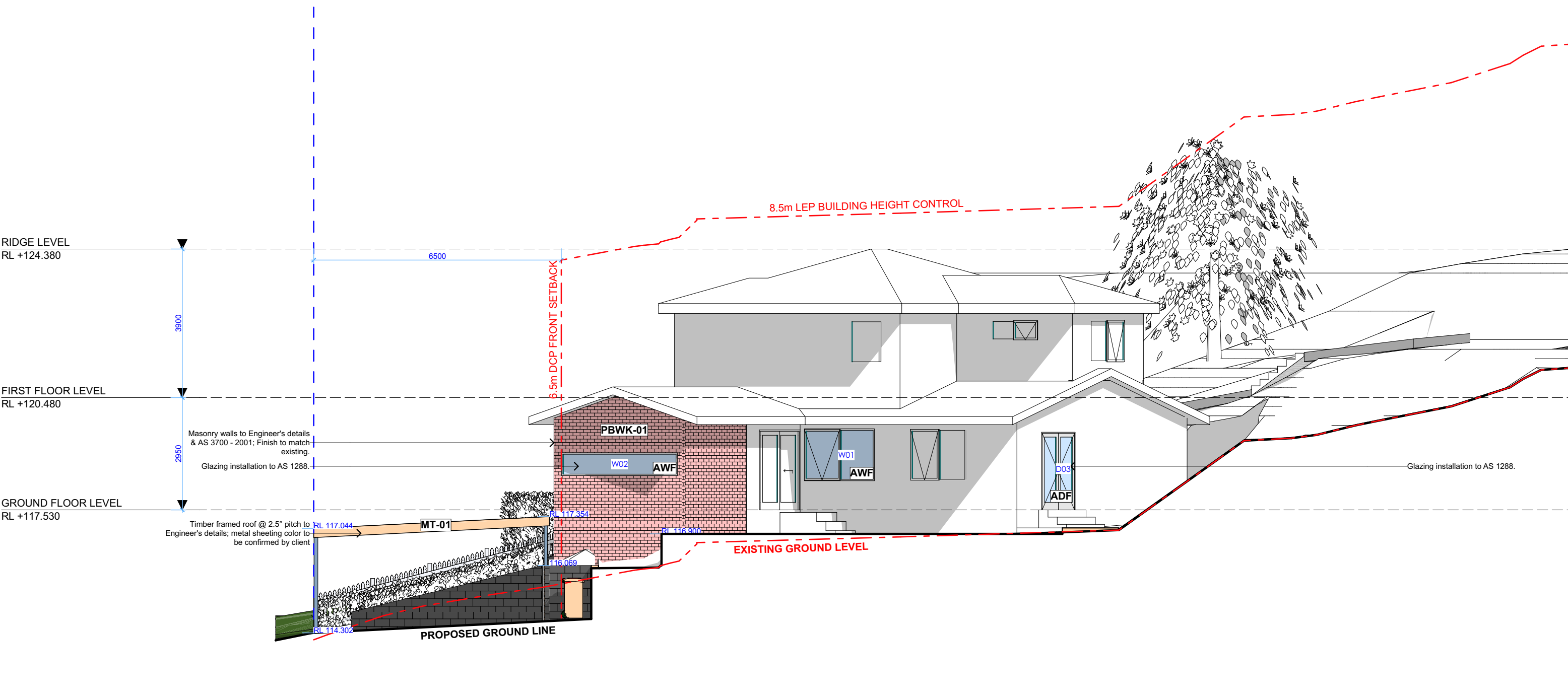
LEGEND

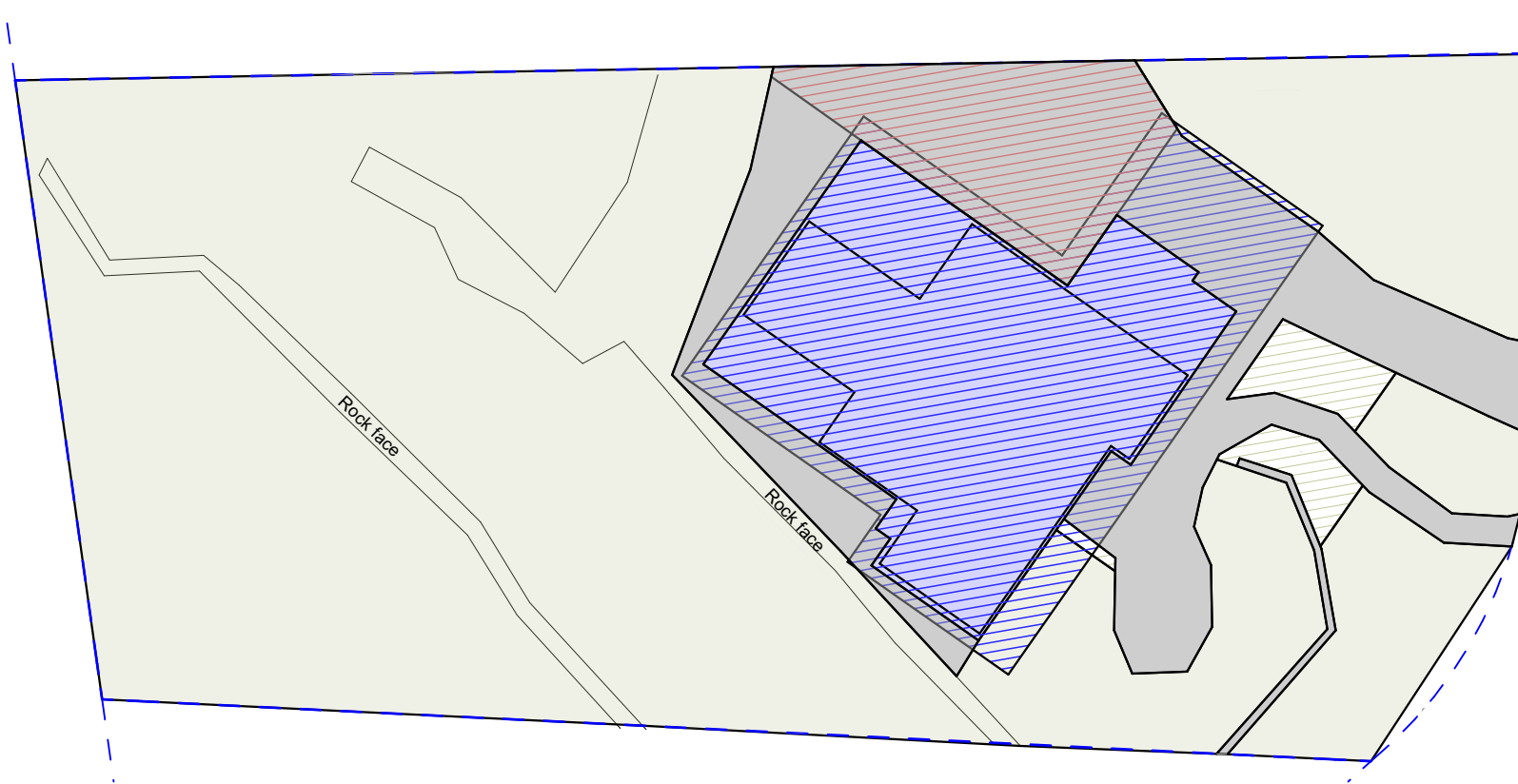
	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

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PROJECT ADDRESS
6 Ashdown Place Frenchs Forest NSW 2086

DRAWING NO.
DA11
DATE
28 March 2019

DRAWING NAME
SOUTH ELEVATION
SCALE
1:100 @A3





SITE AREA
743.3m²

LANDSCAPED AREA
REQUIRED: 40% (297.32m²)
EXISTING: 67% (498.57m²)

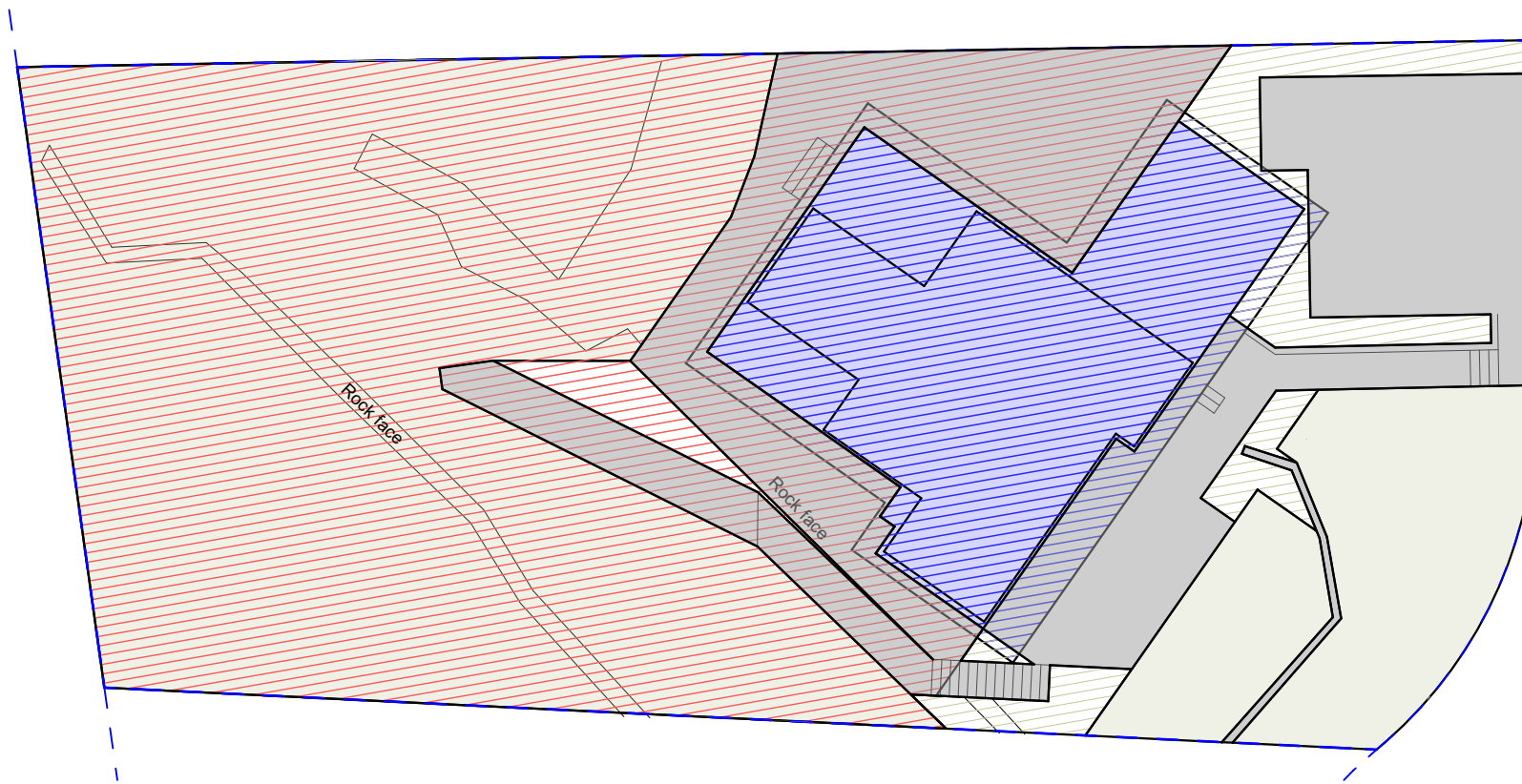
PERVIOUS AREA

HARD SURFACE AREA

BUILDING ENVELOPE

FLOOR AREA
EXISTING: 169.62m²

PRIVATE OPEN SPACE
REQUIRED: 60m²
EXISTING: 38.7m²



SITE AREA
743.3m²

LANDSCAPED AREA
REQUIRED: 40% (297.32m²)
PROPOSED: 53.5% (398.08m²)

PERVIOUS AREA

HARD SURFACE AREA

BUILDING ENVELOPE

FLOOR AREA
EXISTING: 181.61m²

PRIVATE OPEN SPACE
REQUIRED: 60m²
PROPOSED: 428.23m²



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LEGEND

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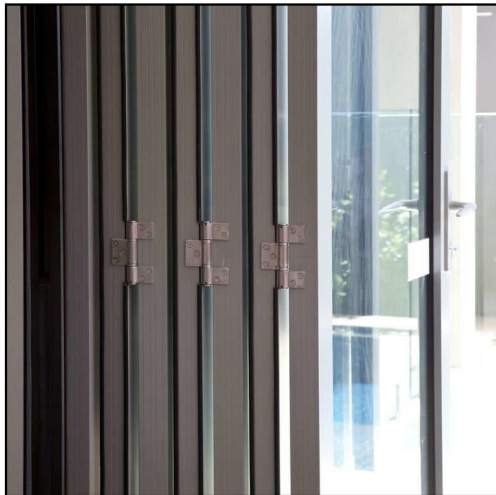
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DRAWING NO.
DA14

DATE
28 March 2019

DRAWING NAME
AREA CALCULATIONS

SCALE
1:200 @A3



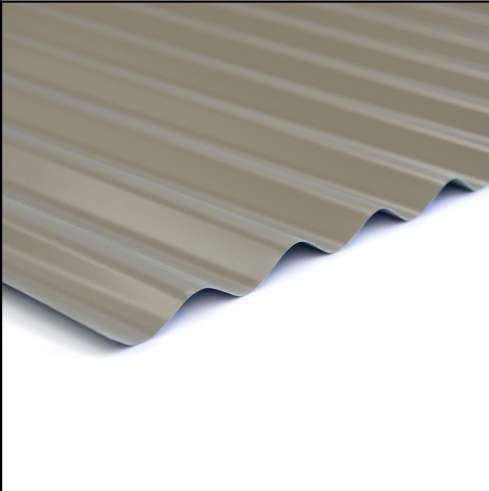
ADF
ALUMINIUM DOOR FRAME
POWDERCOAT FINISH TO MATCH EXISTING
WHERE MARKED ON ELEVATION.



PBWK-01
PAINTED BRICKWORK
PAINTED TO MATCH EXISTING
WHERE MARKED ON ELEVATION.



AWF
ALUMINIUM WINDOW FRAME
POWDERCOAT FINISH TO MATCH EXISTING
WHERE MARKED ON ELEVATION.



MT-01
COLOURBOND METAL ROOF SHEETING
POWDERCOAT FINISH COLOUR TO BE CONFIRMED BY CLIENTS
WHERE MARKED ON ELEVATION.



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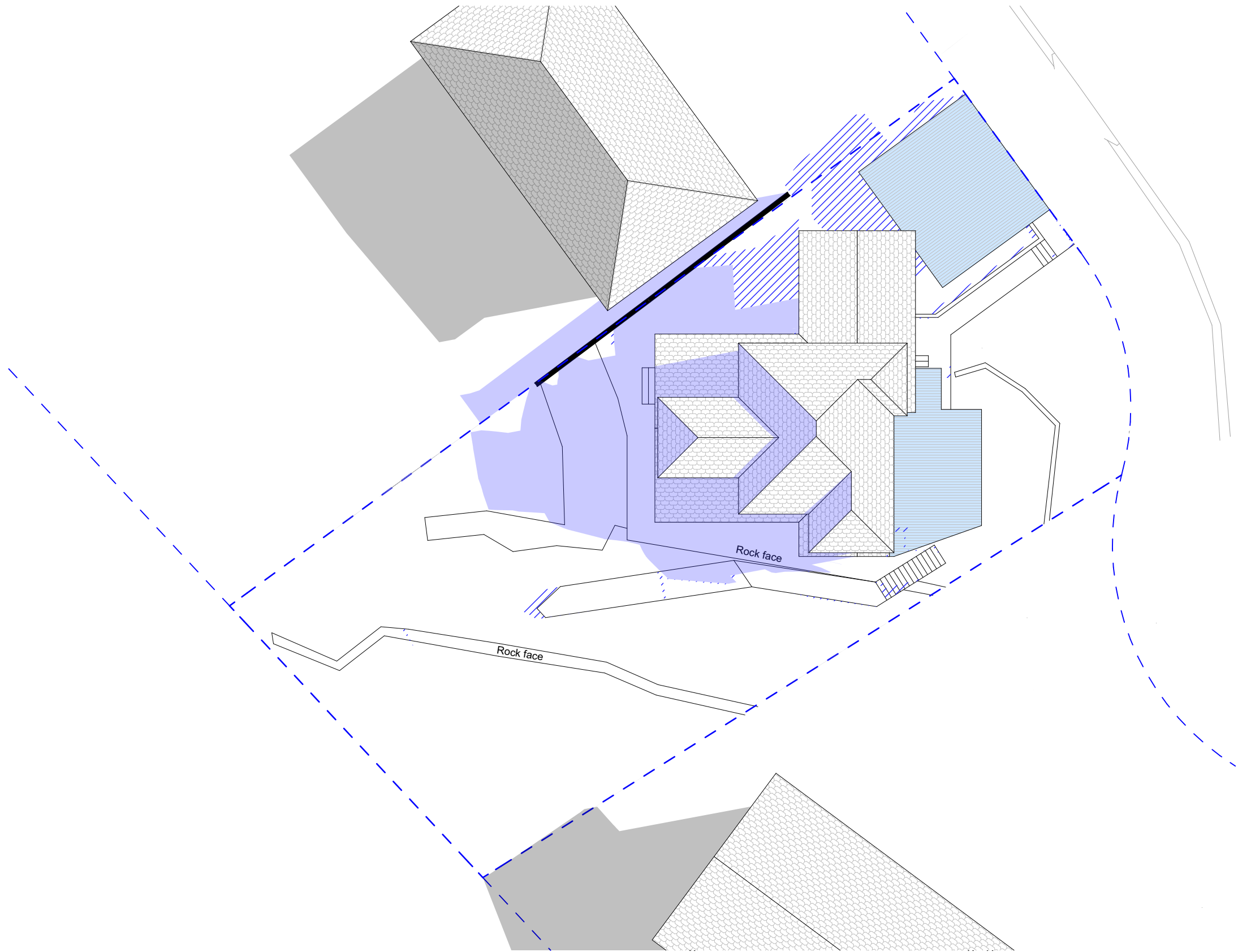
PROJECT ADDRESS
6 Ashdown Place
Frenchs Forest NSW
2086

DRAWING NO.
DA15

DATE
28 March 2019

DRAWING NAME
SAMPLE BOARD

SCALE
1:142.32, 1:10.85, 1:4.12,
1:18.76, 1:1.94 @A3



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C	27/03/19	DOCUMENTATION	SM

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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
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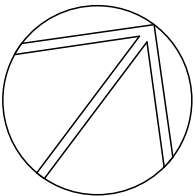
PROJECT ADDRESS
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Frenchs Forest NSW
2086

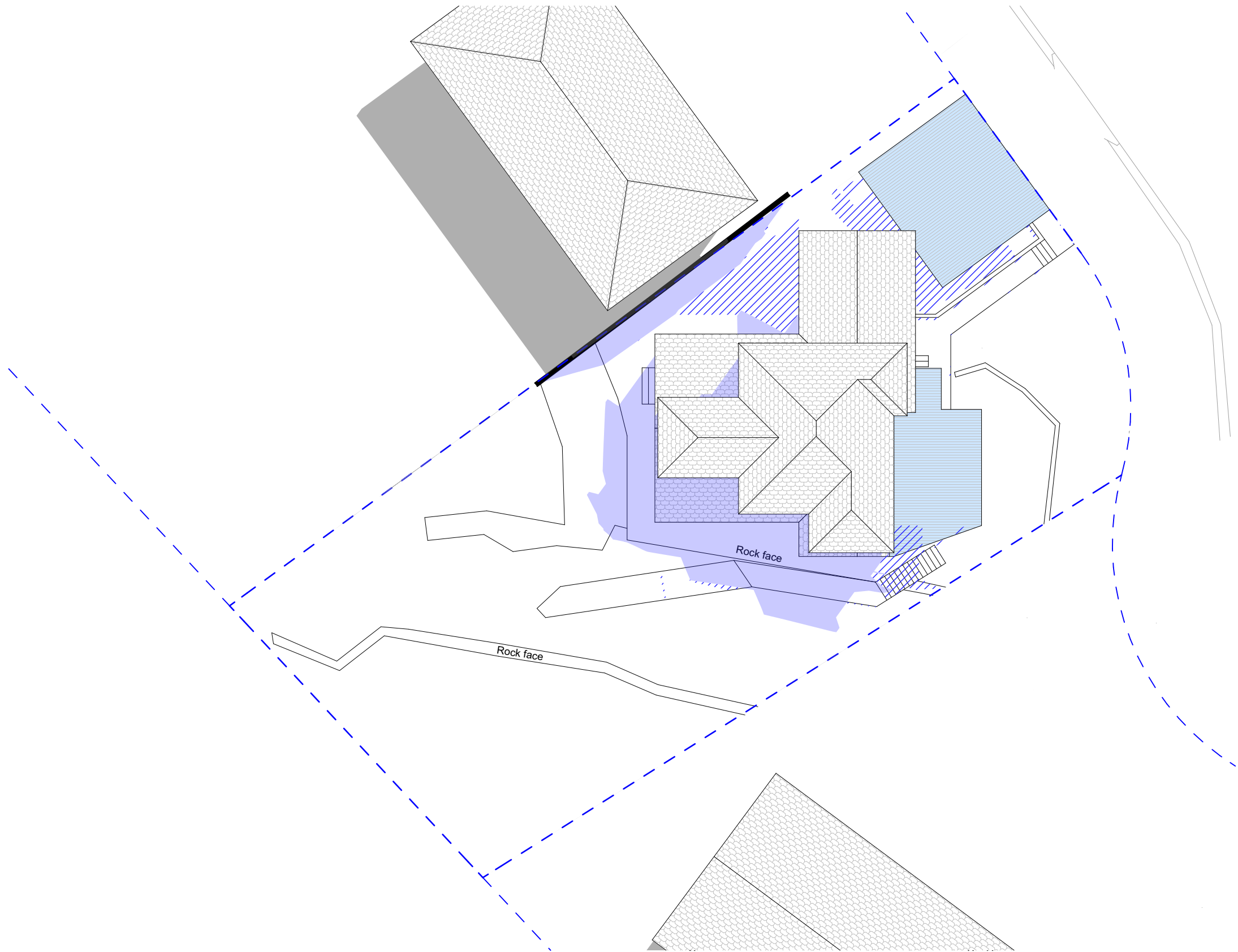
DRAWING NO.
DA16

DATE
28 March 2019

DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3





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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
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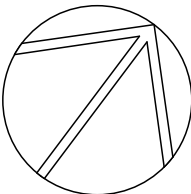
PROJECT ADDRESS
6 Ashdown Place
Frenchs Forest NSW
2086

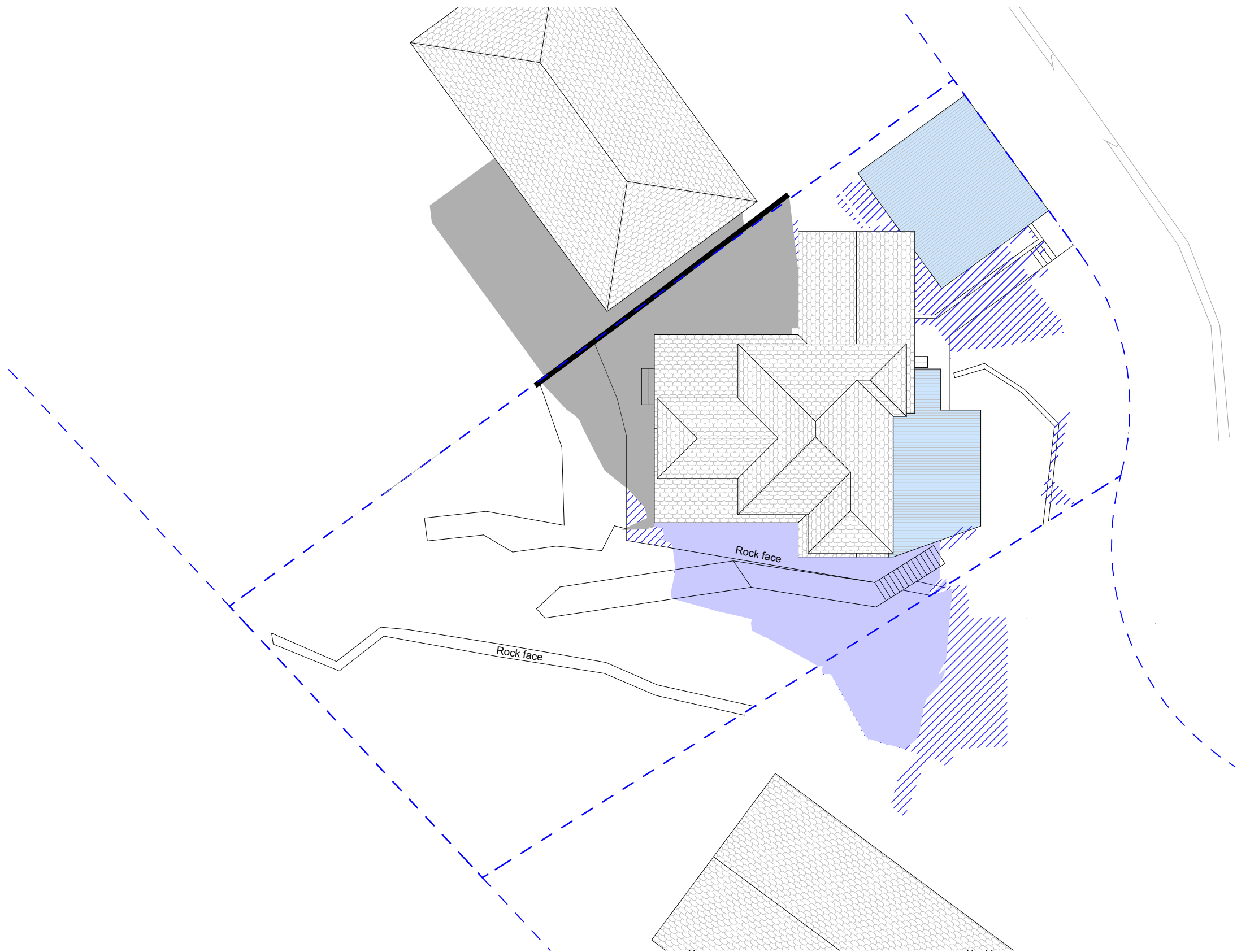
DRAWING NO.
DA17

DATE
28 March 2019

DRAWING NAME
WINTER SOLSTICE 12 PM

SCALE
1:200 @A3





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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
Lauren & Paul White

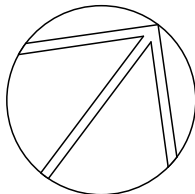
PROJECT ADDRESS
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2086

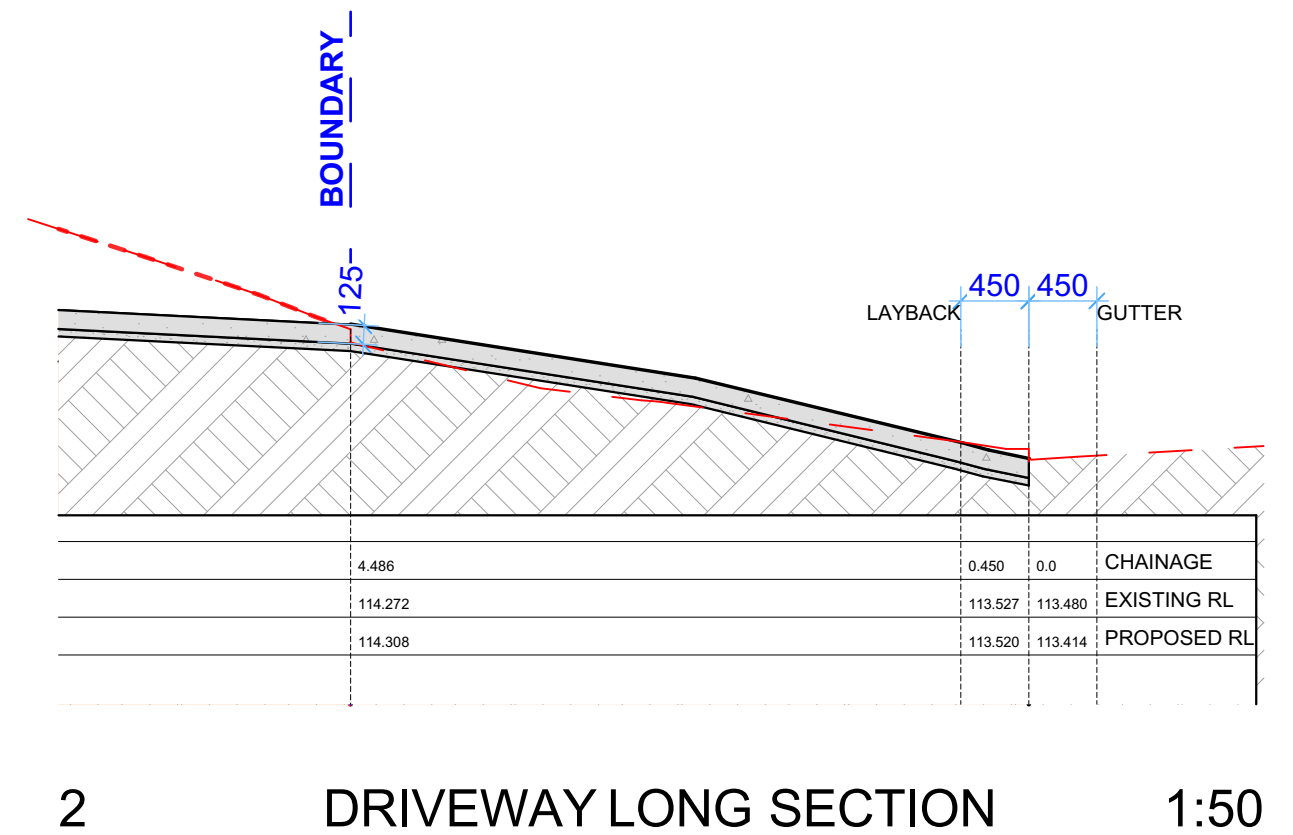
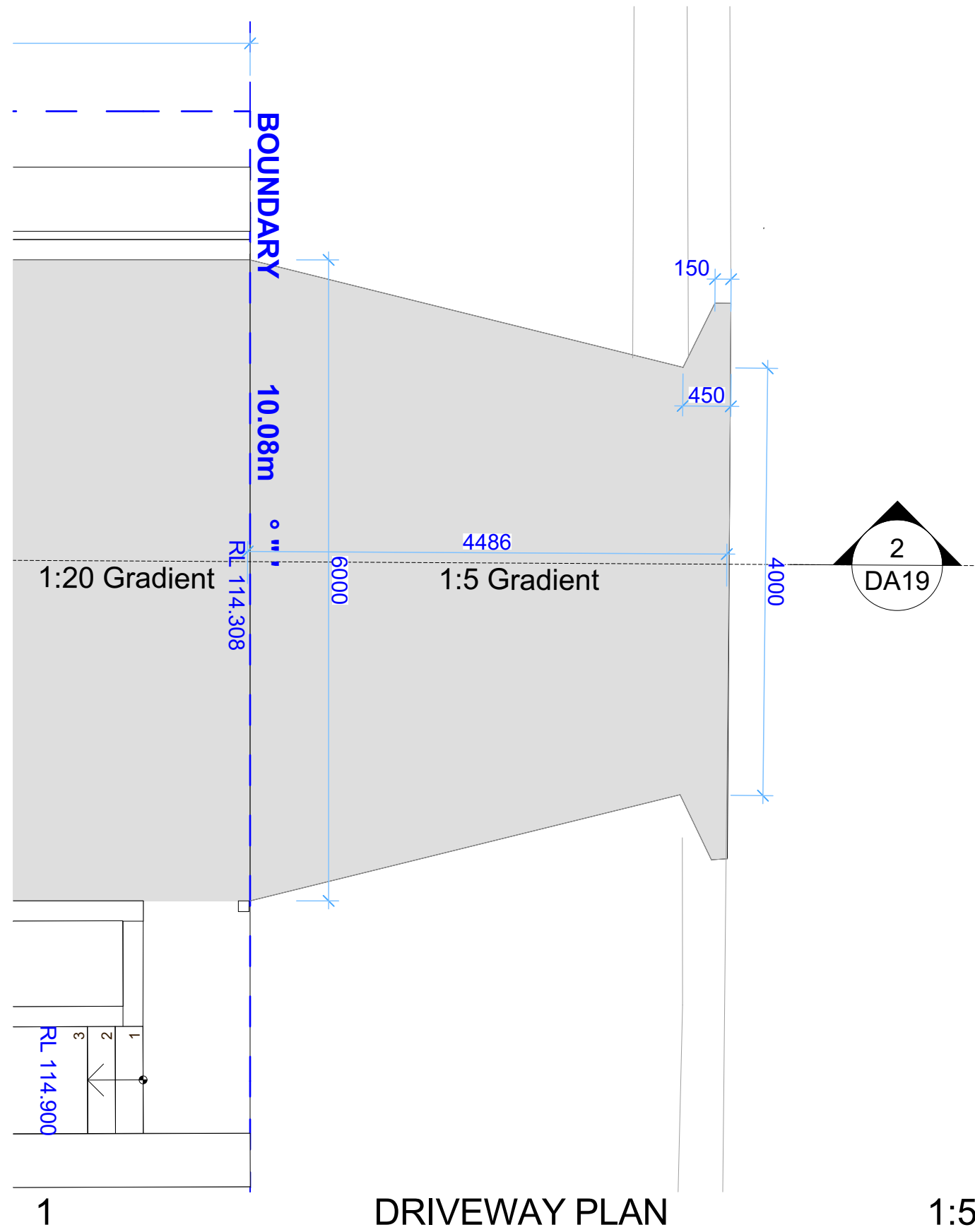
DRAWING NO.
DA18

DATE
28 March 2019

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3





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B	01/03/19	FIRST DESIGN AMENDMENT	AL	
C	27/03/19	DOCUMENTATION	SM	

LEGEND

CLIENT
Lauren & Paul White

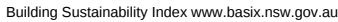
PROJECT ADDRESS
6 Ashdown Place
Frenchs Forest NSW
2086

DRAWING NO.
DA19

DATE
28 March 2019

DRAWING NAME
DRIVEWAY PLAN

SCALE
1:50 @A3



Certificate number: A344023

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 27, March 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	6 ASHDOWN PLACE
Street address	6 ASHDOWN PLACE FRENCHS FOREST 2086
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 216410
Lot number	43
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

BASIX Certificate number: A344023

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Planning & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A344023

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		✓
external wall: brick veneer	R1.16 (or R1.70 including construction)		✓
			✓

page 3 / 6

BASIX Certificate number: A344023

page 4 / 6

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type		
W01	NW	3.09	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W02	NW	2.26	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
D01	NE	1.37	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Planning & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A344023

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
D02	NE	7.875	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D03	SW	3.06	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

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BASIX Certificate number: A344023

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.

U value takes precedence over glazing type/colour in all cases.

all new glazing must meet the BASIX specified frame and glass type, OR meet the ecified U value and SHGC value.

CLIENT

Lauren & Paul White

PROJECT ADDRESS

6 Ashdown Place
Frenchs Forest NSW
2086

DRAWING NO.

DA20

DATE _____

28 March 2019

DRAWING NAME

BASIX COMMITMENTS