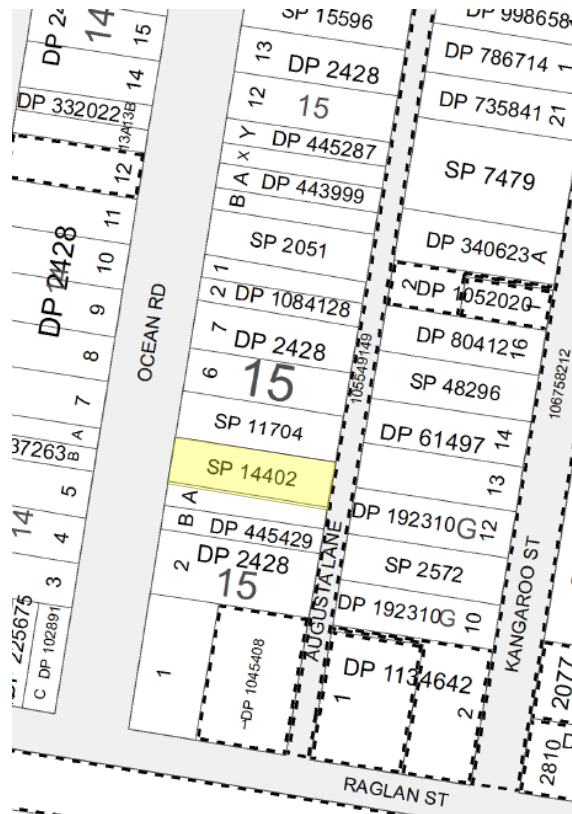
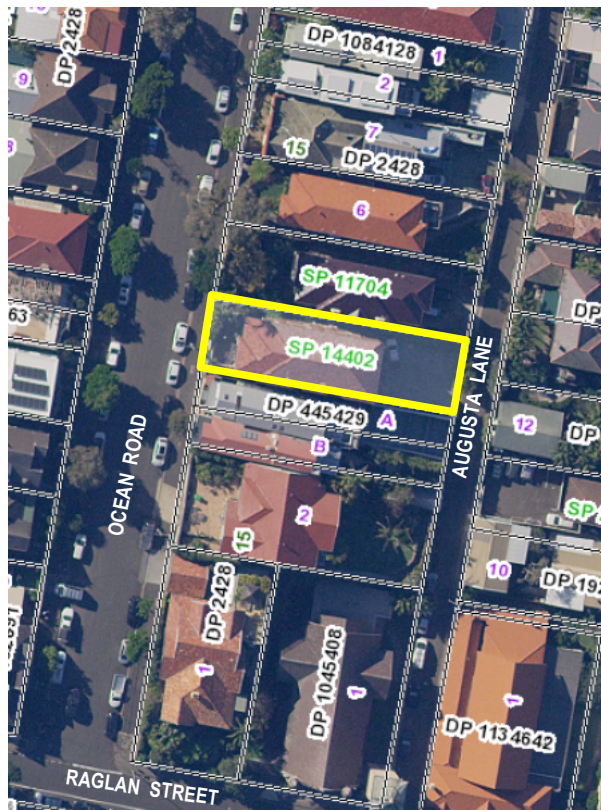




DRAWING SCHEDULE.	
DA-A01-B	EXISTING SITE PLAN AND SITE ANALYSIS PLAN.
DA-A02-C	PROPOSED SITE PLAN
DA-A03-D	PROPOSED PLAN AT GFL LEVEL
DA-A04-D	PROPOSED PLAN AT FIRST FL LEVEL
DA-A05-C	PROPOSED PLAN AT SECOND FL LEVEL
DA-A06-B	PROPOSED PLAN AT THIRD FL LEVEL
DA-A07-A	ROOF PLAN
DA-A08-E	SECTION AA
DA-A09-E	SECTION BB
DA-A10-D	SECTION CC and BASIX COMMITMENTS
DA-A11-E	WEST AND EAST ELEVATIONS and BASIX COMMITMENTS.
DA-A12-E	PROPOSED S ELEVATION
DA-A13-E	EXTERNAL FINISHES WEST AND EAST ELEVATIONS
DA-DEM-01-C	DEMOLITION PLAN, WASTE AND MATERIAL STORAGE, SEDIMENT AND EROSION CONTROL MEASURES

E	30.10.2023	amended to show BASIX COMMITMENTS
D	12.9.2023	amended drawing issue- OSD amended. additional works required for Fire Safety upgrade deleted from this application. rebuild partially collapsed retaining wall NW corner added.
C	7.8.2023	amended drawing issue- OSD added .
B	25.7.2023	amended drawing issue.

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY AND UNIT 4 BALCONY AND ASSOCIATED WORKS AT 8 OCEAN ROAD MANLY 2095 SP 14402	FOR THE OWNERS SP 14402	KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592 LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047 PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU				DRWG No DA.A0-E
		Scale NTS	Date April 14 2023	Drawn jk		



EXISTING VIEW FROM
OCEAN ROAD
google earth streetview



EXISTING ENTRY TO SITE
FROM OCEAN ROAD



CONDITION OF FRONT FENCE



EAST ELEVATION.
rear of building

ocean road carries limited traffic,
with restricted parking for non
residents, light pedestrian traffic.

much of courtyard sheltered
from summer winds by buildings

existing rendered and painted brick
fence in poor and unsightly
condition.
no direct access to courtyard of
unit 2.

some West to SW winds in winter.
fence provide some shelter.

courtyard recieves some winter sun and
considerable summer sun.

PREDOMINANT SUMMER and WINTER WIND
NE

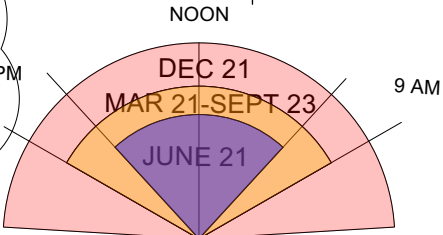
courtyard overlooked from street entry to no 10.
existing vegetation provides limited screening

No.10
3 STOREY
RENDERED UNIT
BUILDING
TILE ROOF
S.P.11704

PARKING
S.P.14402
519.5 msq

NO 6
1 & 2 STOREY
CLAD & STONE HOUSE
TILE ROOF
A
D.P.445429

dangerously deteriorated steps and
landings demolished and temporary access
steps and landings installed DEC 2022
pending DA approval for reconstruction



SOLAR ACCESS

		SPREAD	DIA	HT
T1	EXISTING STREET TREE	12 M	0.3	8
T2	FIG (former pot plant)	2 M	multi trunk	3
T3	LILLY PILLY	3M	0.1	6
T4	LILLY PILLY	4M	0.2	7

Trees T3 and T4 are located in small cutouts in concrete and very close to the building.
Condition of these is poor as a consequence.

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY
AND UNIT 4 BALCONY
AT 8 OCEAN ROAD
MANLY 2095
SP 14402

FOR
THE OWNERS
SP 14402

KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592
LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047
PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU

Scale 1:200

Date
April 14 2023

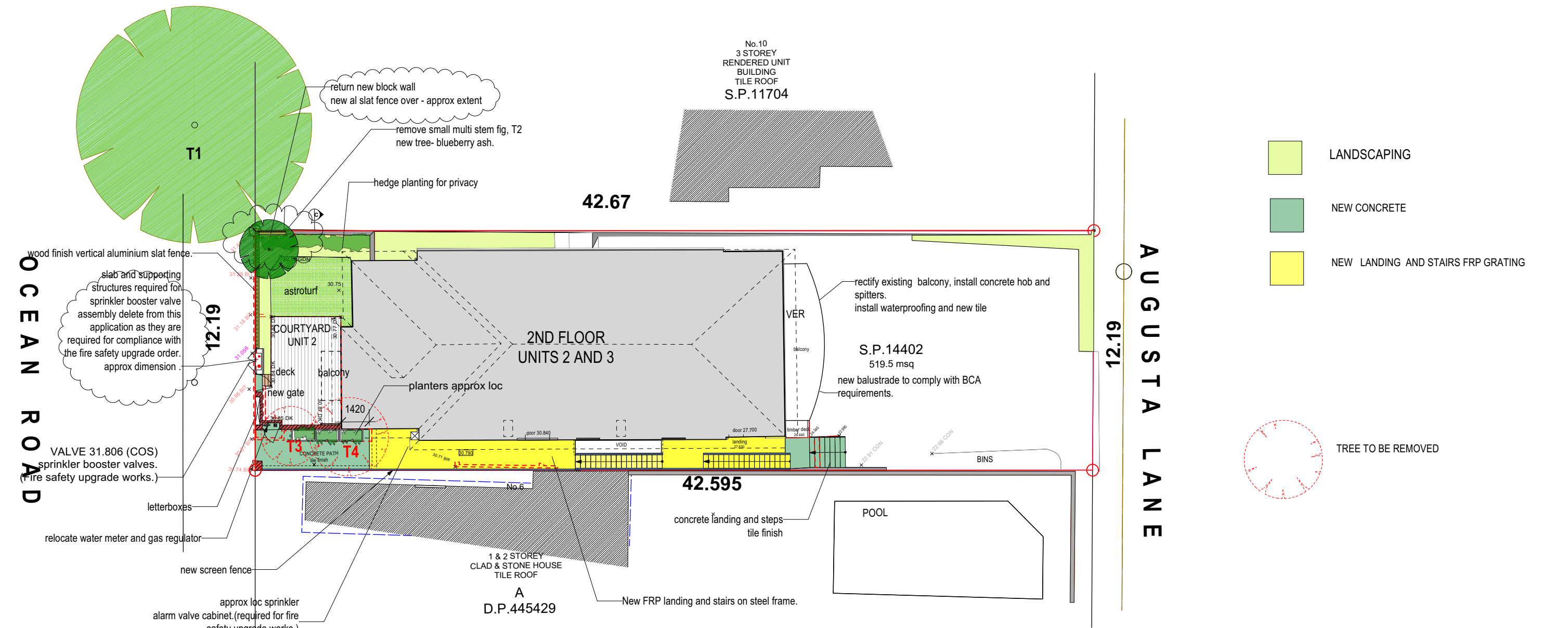
Drawn
jk



issue
DA

DRWG No DA-A01-B
EXISTING SITE
PLAN and
SITE ANALYSIS

B 25.7.2023 reconstruction of stairs and landings added
to this DA application. reference to currently
approved DA 2020/0875 deleted



FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

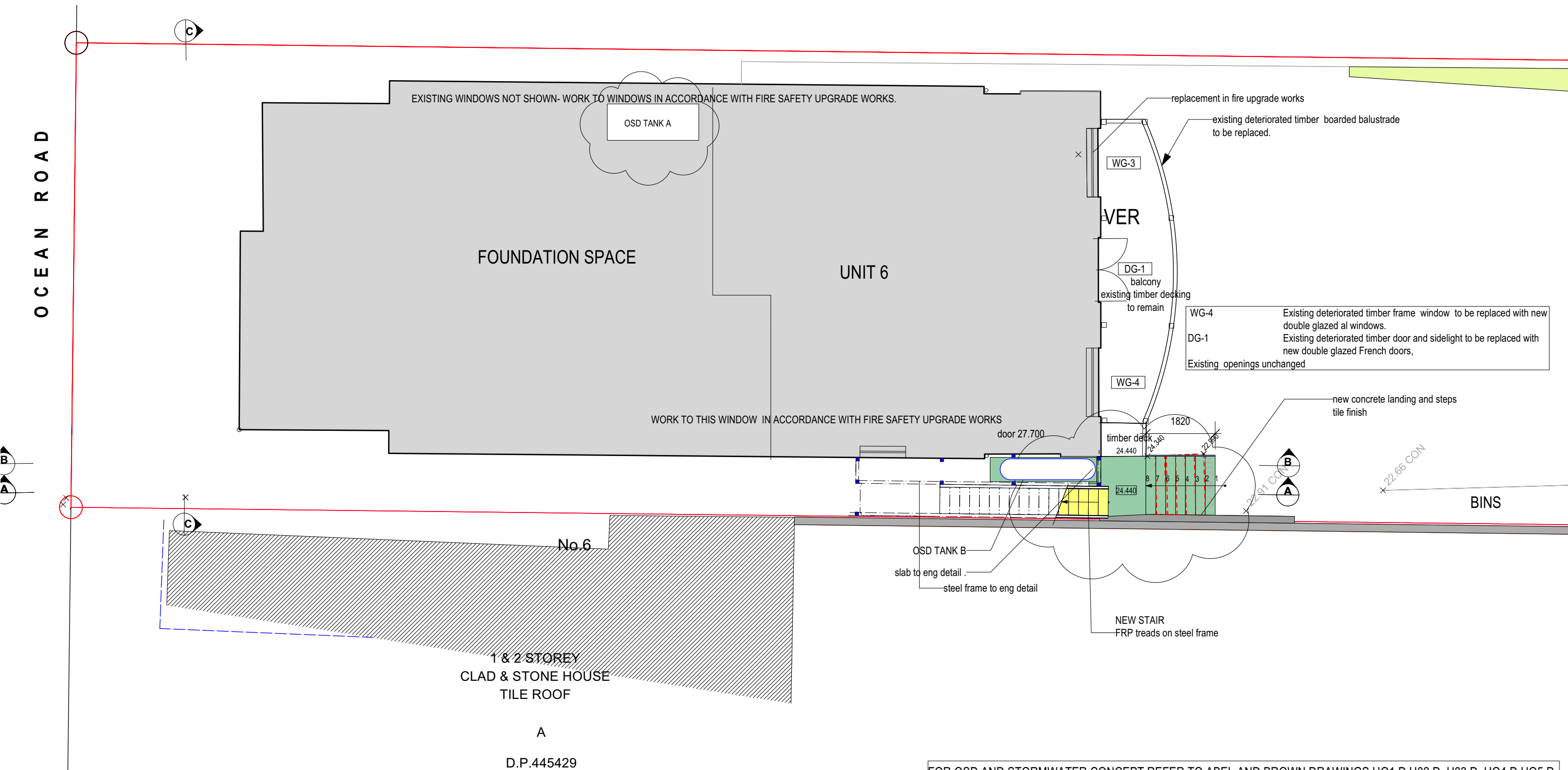
**WORKS REQUIRED TO ENABLE SPRINKLER
INSTALLATION AND COMMISSIONING.
(fire safety upgrade)**
construct slab and supporting structures for
sprinkler booster valve assembly on western boundary

		SPREAD	TRUNK DIA	HT
T2	SELF SEEDED FIG	2 M	multi trunk	3
T3	LILLY PILLY	3M	0.1	6
T4	LILLY PILLY	4M	0.2	7

Trees T3 and T4 are located in small cutouts in concrete and very close to the building .
Condition of these is poor as a consequence.

C	12.9.2023	slab and supporting structure required for sprinkler booster valve assembly deleted from this application as it is required Fire Safety Upgrade works . Replacement of partially collapsed retaining wall on NW corner of site added.
B	25.7.2023	reference to currently approved DA 2020/0875 deleted. new landing and stairs shown this DA

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY AND UNIT 4 BALCONY AT 8 OCEAN ROAD MANLY 2095 SP 14402	FOR THE OWNERS SP 14402	KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592 LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047 PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU				DRWG No DA-02-C PROPOSED SITE PLAN
		Scale	Date April 14 2023	Drawn jk		



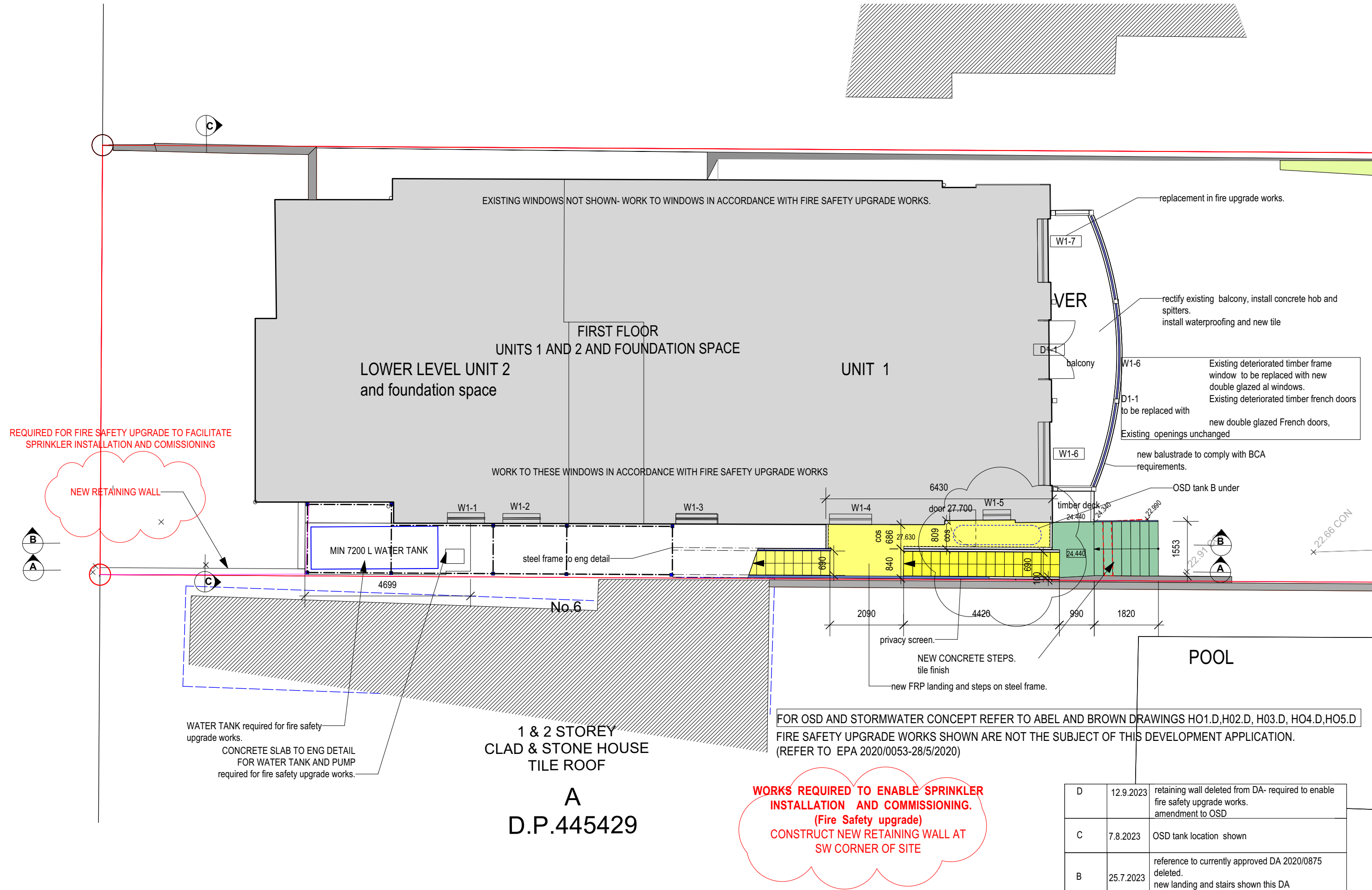
FOR OSD AND STORMWATER CONCEPT REFER TO ABEL AND BROWN DRAWINGS HO1.D, H02.D, H03.D, HO4.D, HO5.D

FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

D	12.9.2023	OSD tank locations amended
C	7.8.2023	OSD tank locations shown
B	25.7.2023	reference to currently approved DA 2020/0875 deleted. new landing and stairs shown this DA

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY AND UNIT 4 BALCONY AND ASSOCIATED WORKS AT 8 OCEAN ROAD MANLY 2095 SP 14402	FOR THE OWNERS SP 14402	KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592 LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047 PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU				DRWG NoDA-A03- D PLAN AT GFL LEVEL
		Scale 1:100@A3	Date April 14 2023	Drawn jk		

OCEAN ROAD



PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY
AND UNIT 4 BALCONY AND ASSOCIATED WORKS
AT 8 OCEAN ROAD
MANLY 2095
SP 14402

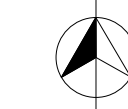
FOR
THE OWNERS
SP 14402

KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592
LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047
PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU

Scale
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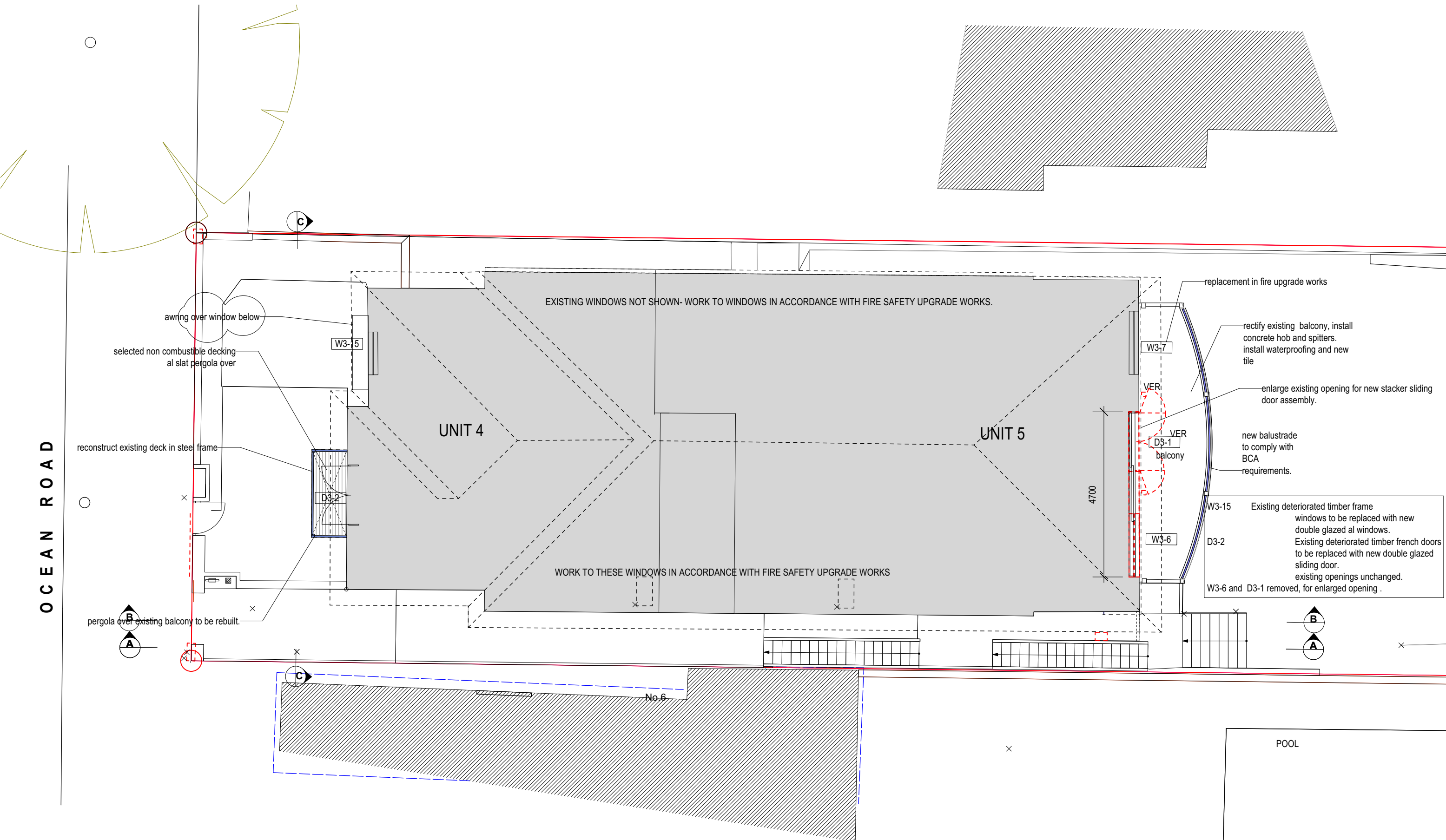
Date
April 14 2023

Drawn
jk

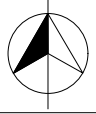


issue
DA

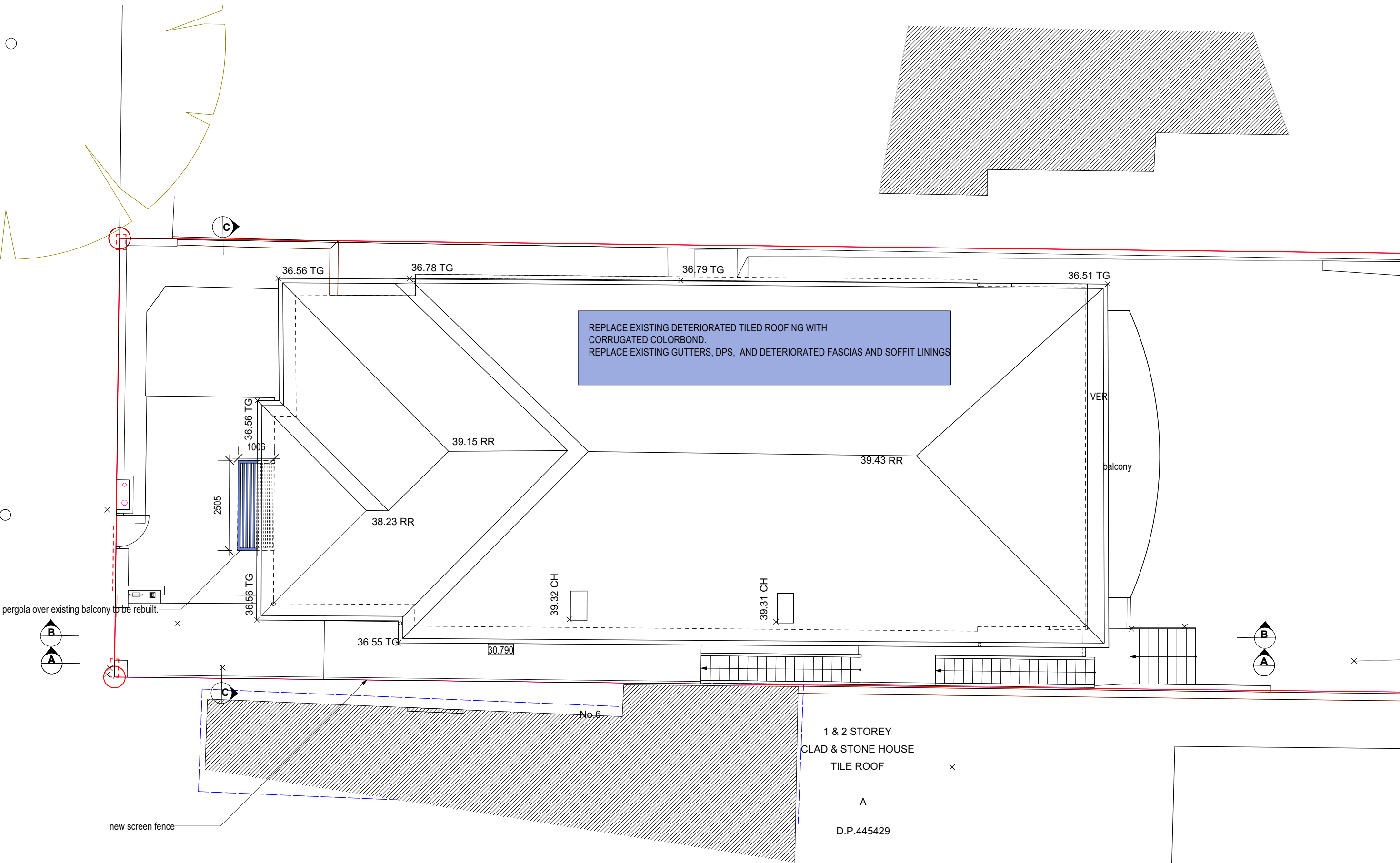
DRWG No DA-A04-D
PLAN AT 1ST FLOOR
LEVEL



FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY AND UNIT 4 BALCONY AND ASSOCIATED WORKS AT 8 OCEAN ROAD MANLY 2095 SP 14402				FOR THE OWNERS SP 14402		KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592 LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047 PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU			B	30.10.2023	awning required to comply with BASIX added
										issue DA	DRWG No DA-A06-B 3RD FLOOR PLAN

OCEAN ROAD



PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY
AND UNIT 4 BALCONY AND ASSOCIATED WORKS
AT 8 OCEAN ROAD
MANLY 2095
SP 14402

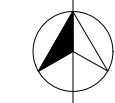
FOR
THE OWNERS
SP 14402

KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592
LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047
PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU

Scale
1:100@A3

Date
April 14 2023

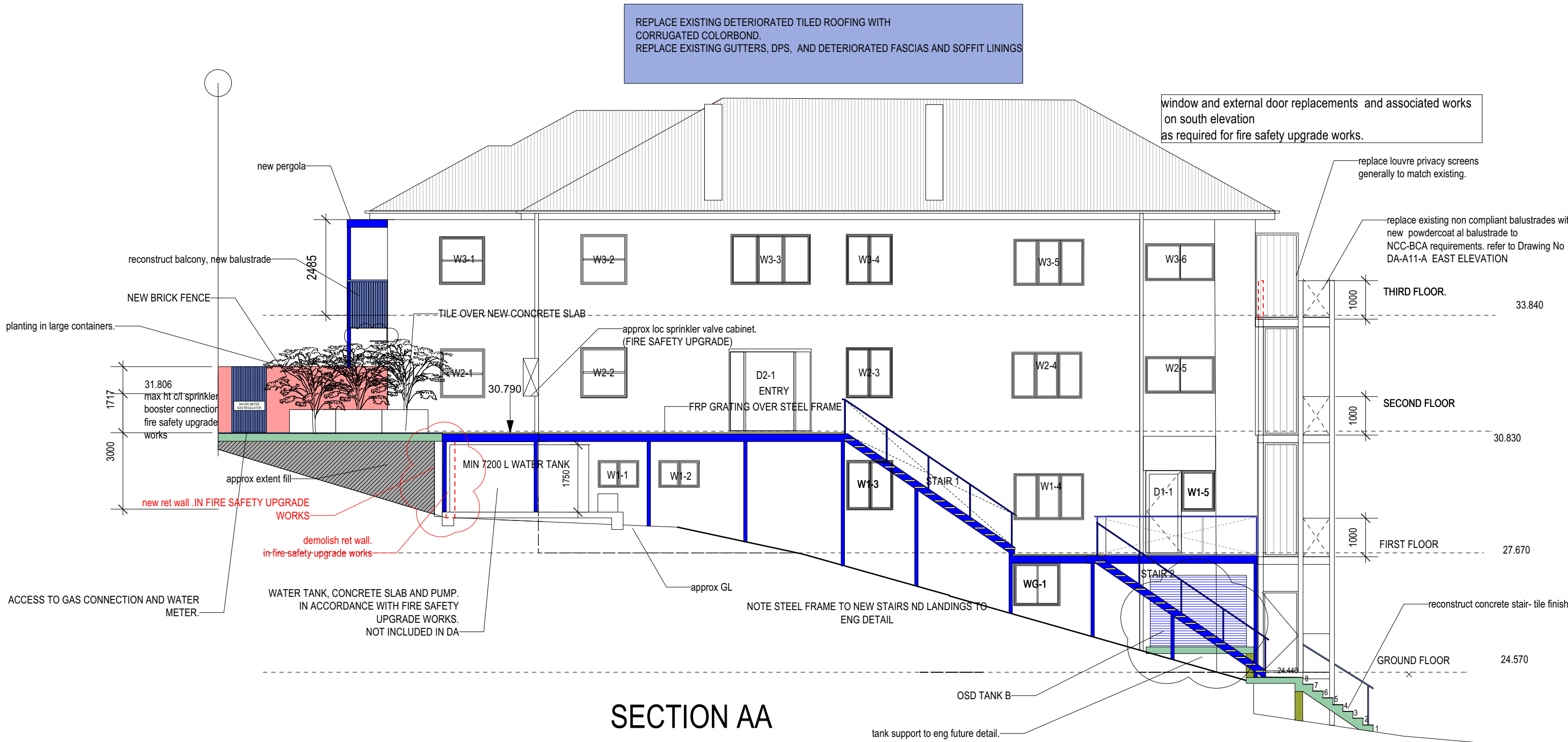
Drawn
jk



issue
DA

DRWG No DA-A07-A

ROOF PLAN



SECTION AA

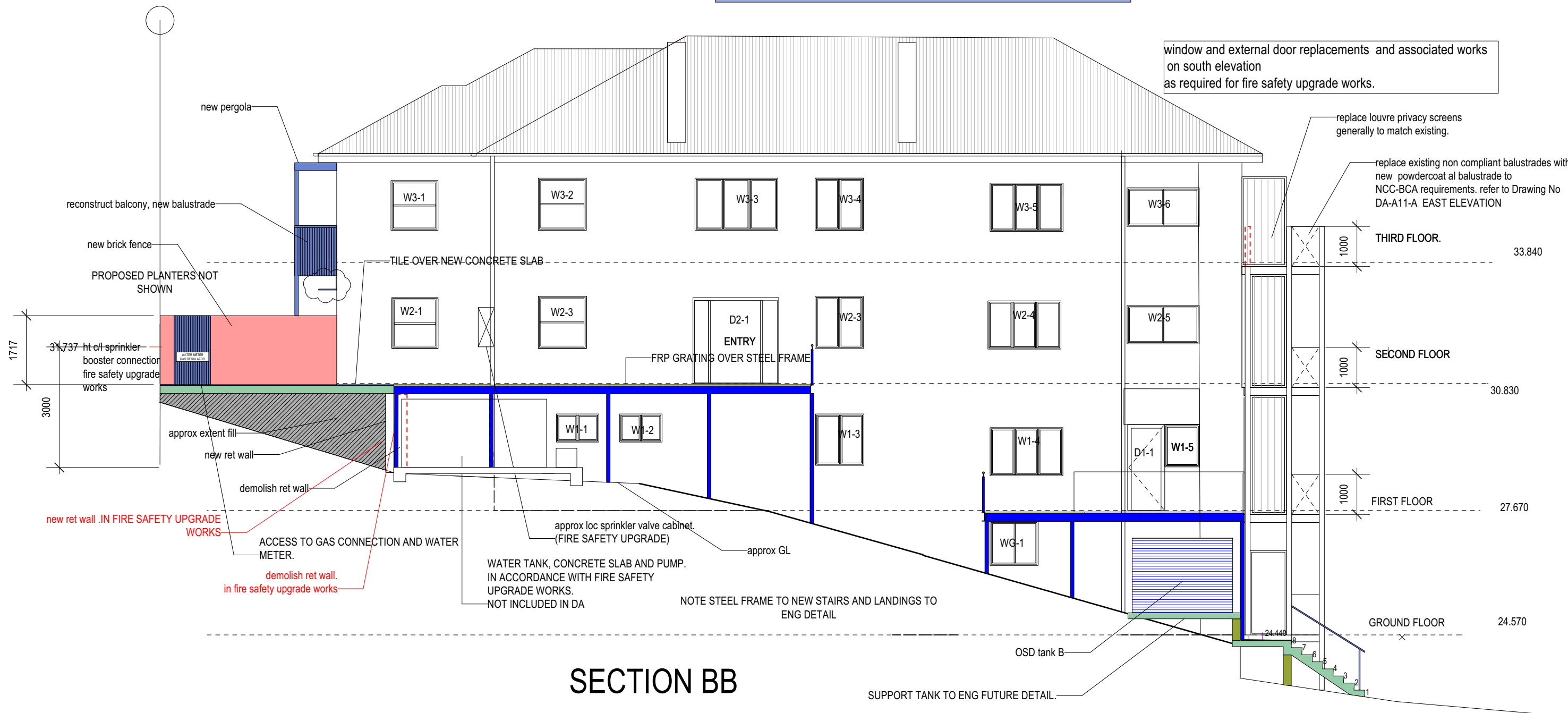
**WORKS REQUIRED TO ENABLE SPRINKLER
INSTALLATION AND COMMISSIONING.
(Fire safety upgrade works)**
**DEMOLISH ALL OR PART OF FRONT FENCE AND SIDE RETURN
REMOVE T3 AND T4**
**DEMOISH EXISTING CONCRETE PATH AND RET WALL UNDER
CONSTRUCT NEW RETAINING WALL
ADDED TO FIRE SAFETY UPGRADE WORKS.**

FOR OSD AND STORMWATER CONCEPT REFER TO ABEL AND BROWN DRAWINGS HO1.D,H02.D, H03.D, HO4.D,H05.D
FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

E	30.10.2023	awning required to comply with BASIX added
D	12.9.2023	new retaining wall , demolition of existing added to fire safety upgrade works- deleted from DA
C	7.8.2023	OSD tank location shown
B	25.7.2023	reference to currently approved DA 2020/0875 deleted.new landing and stairs shown.this DA . front fence ht reduced.

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY AND UNIT 4 BALCONY AND ASSOCIATED WORKS AT 8 OCEAN ROAD MANLY 2095 SP 14402	FOR THE OWNERS SP 14402	KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592 LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047 PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU				issue DA	DRWG No DA-A08- E SECTION A-A
		Scale	Date April 14 2023	Drawn jk			

REPLACE EXISTING DETERIORATED TILED ROOFING WITH CORRUGATED COLORBOND.
REPLACE EXISTING GUTTERS, DPS, AND DETERIORATED FASCIAS AND SOFFIT LININGS



SECTION BB

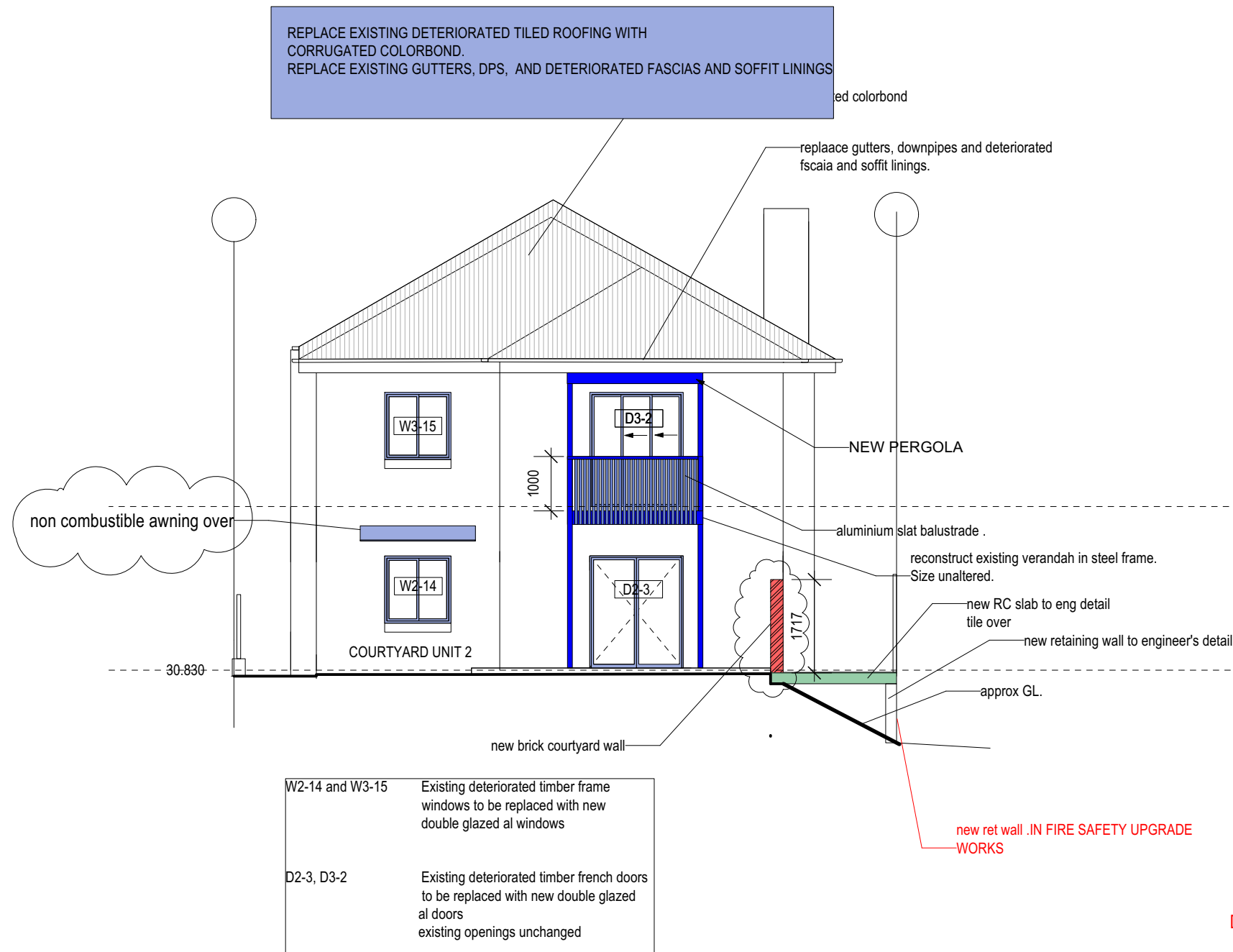
**WORKS REQUIRED TO ENABLE SPRINKLER
INSTALLATION AND COMMISSIONING.**
(Fire safety upgrade works)
DEMOLISH ALL OR PART FRONT FENCE AND SIDE RETURN
REMOVE T3 AND T4
DEMOISH EXISTING CONCRETE PATH AND RET WALL UNDER
CONSTRUCT NEW RETAINING WALL
ADDED TO FIRE SAFETY UPGRADE WORKS.

FOR OSD AND STORMWATER CONCEPT REFER TO ABEL AND BROWN DRAWINGS HO1.D,H02.D, H03.D, HO4.D,H05.D

FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

E	30.10.2023	awning required to comply with BASIX added
D	12.9.2023	new retaining wall , demolition of existing added to fire safety upgrde works- deleted from DA
C	7.8.2023	OSD tank location shown
B	25.7.2023	reference to currently approved DA 2020/0875 deleted.new landing and stairs shown this DA . front fence height reduced.

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY AND UNIT 4 BALCONY AT 8 OCEAN ROAD MANLY 2095 SP 14402	FOR THE OWNERS SP 14402	KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592 LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047 PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU			 DRWG No DA-A09-E SECTION B-B
		Scale 1:100@A3	Date April 14 2023	Drawn jk	



W2-14 and W3-15	Existing deteriorated timber frame windows to be replaced with new double glazed al windows
D2-3, D3-2	Existing deteriorated timber french doors to be replaced with new double glazed al doors existing openings unchanged

CERTIFICATE A1373676

WINDOW/DOOR NUMBER	ORIENTATION	AREA OF GLASS INCLUDING FRAME	OVERSHADOWING HEIGHT	OVERSHADOWING DISTANCE	SHADOWING DEVICE	FRAME AND GLASS TYPE
D2-3	W	3.5	0	0	Projection height above sill ratio >=0.36	Standard al single clear (or U-value 7.63, SHGC 0.75)
W2-14	W	1.5	1.15	4.73	Projection height above sill ratio >=0.36	Standard al single clear (or U-value 7.63, SHGC 0.75)

CERTIFICATE A1373677

WINDOW/DOOR NUMBER	ORIENTATION	AREA OF GLASS INCLUDING FRAME	OVERSHADOWING HEIGHT	OVERSHADOWING DISTANCE	SHADOWING DEVICE	FRAME AND GLASS TYPE
D3-2	W	3.61	0	0	Eave verandah/pergola/balcony>=450 mm	Improved aluminium, tinted/airgap/ Clear, (U-value 4.09, SHGC 0.47)
W2-6	W	1.5	0	0	Eave verandah/pergola/balcony>=450 mm	Standard al single pyrolytic low-e, (U-value 5.7, SHGC 0.47)

WORKS REQUIRED TO ENABLE SPRINKLER INSTALLATION AND COMMISSIONING.
(Fire safety upgrade)
DEMOLISH ALL OR PART OF FRONT FENCE AND SIDE RETURN REMOVE T3 AND T4
DEMOISH EXISTING CONCRETE PATH AND RET WALL UNDER CONSTRUCT NEW RETAINING WALL
ADDED TO FIRE SAFETY UPGRADE WORKS.

FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

D	30.10.2023	BASIX commitments added, including awning over W2-14
C	5.9.2023	new retaining wall , demolition of existing added to fire safety upgrade works- deleted from DA
B	25.7.2023	Front fence height reduced.

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY
AND UNIT 4 BALCONY AND ASSOCIATED WORKS
AT 8 OCEAN ROAD
MANLY 2095
SP 14402

FOR
THE OWNERS
SP 14402

KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592
LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047
PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU

Scale
1:100@A3

Date
April 14 2023

Drawn
jk

issue
DA

DRWG No DA-A10- D

SECTION C-C

window and external door replacements on south elevation as required for fire safety upgrade works.



FOR OSD AND STORMWATER CONCEPT REFER TO ABEL AND BROWN DRAWINGS HO1.D, H02.D, H03.D, HO4.D, H05.D
FIRE SAFETY UPGRADE WORKS SHOWN ARE NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION.
(REFER TO EPA 2020/0053-28/5/2020)

C	7.8.2023	OSD tank location shown
B	14.7.2023	reference to currently approved DA 2020/0875 deleted. new landing and stairs shown this DA Screen on S bounday extended. Ht of existing fence on S BDY corrected. front fence ht reduced.

FOR
THE OWNERS
SP 14402

Scale
1:100@A3

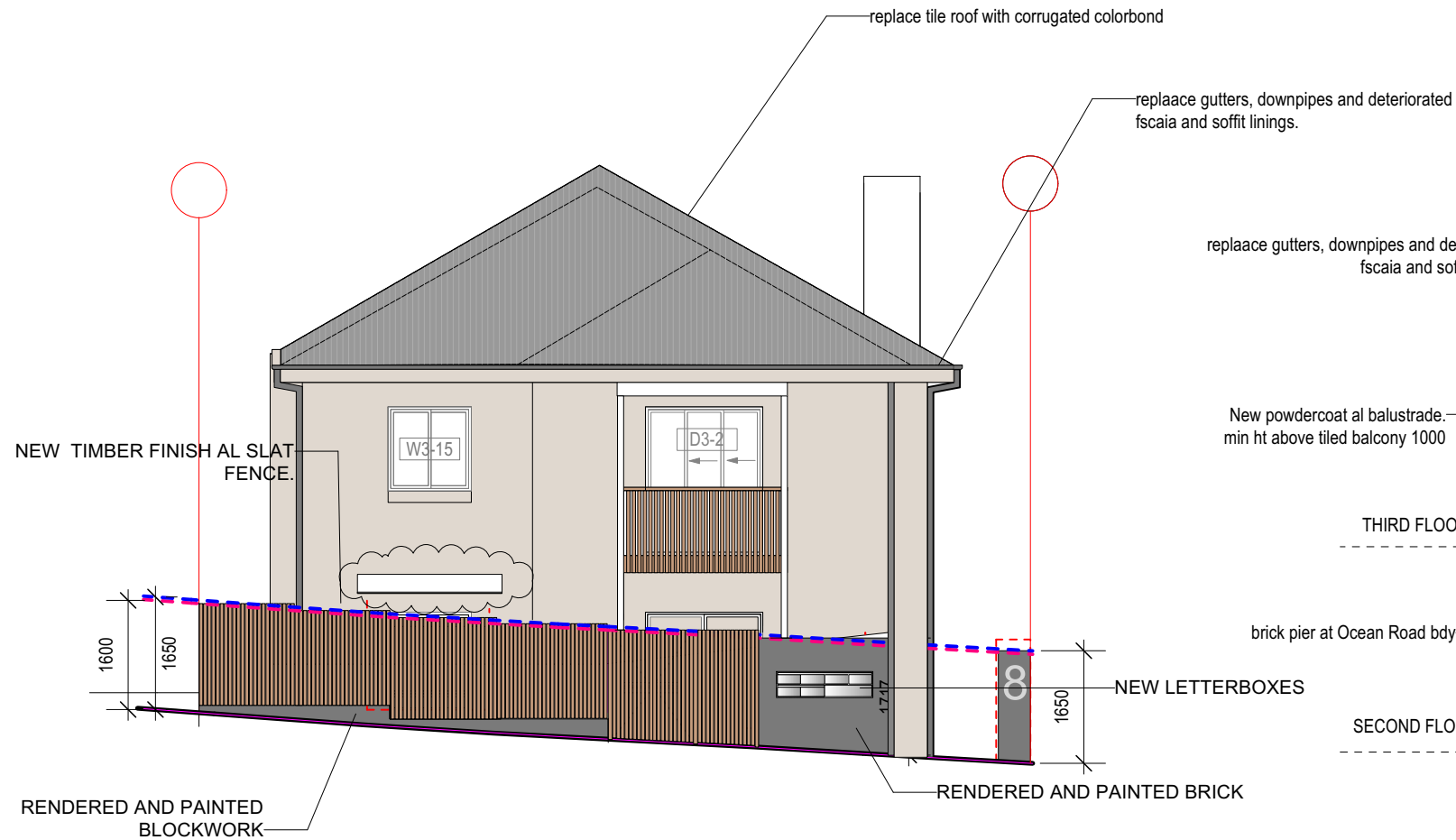
Date
April 14 2023

Drawn
jk



DRWG No DA-A12-E

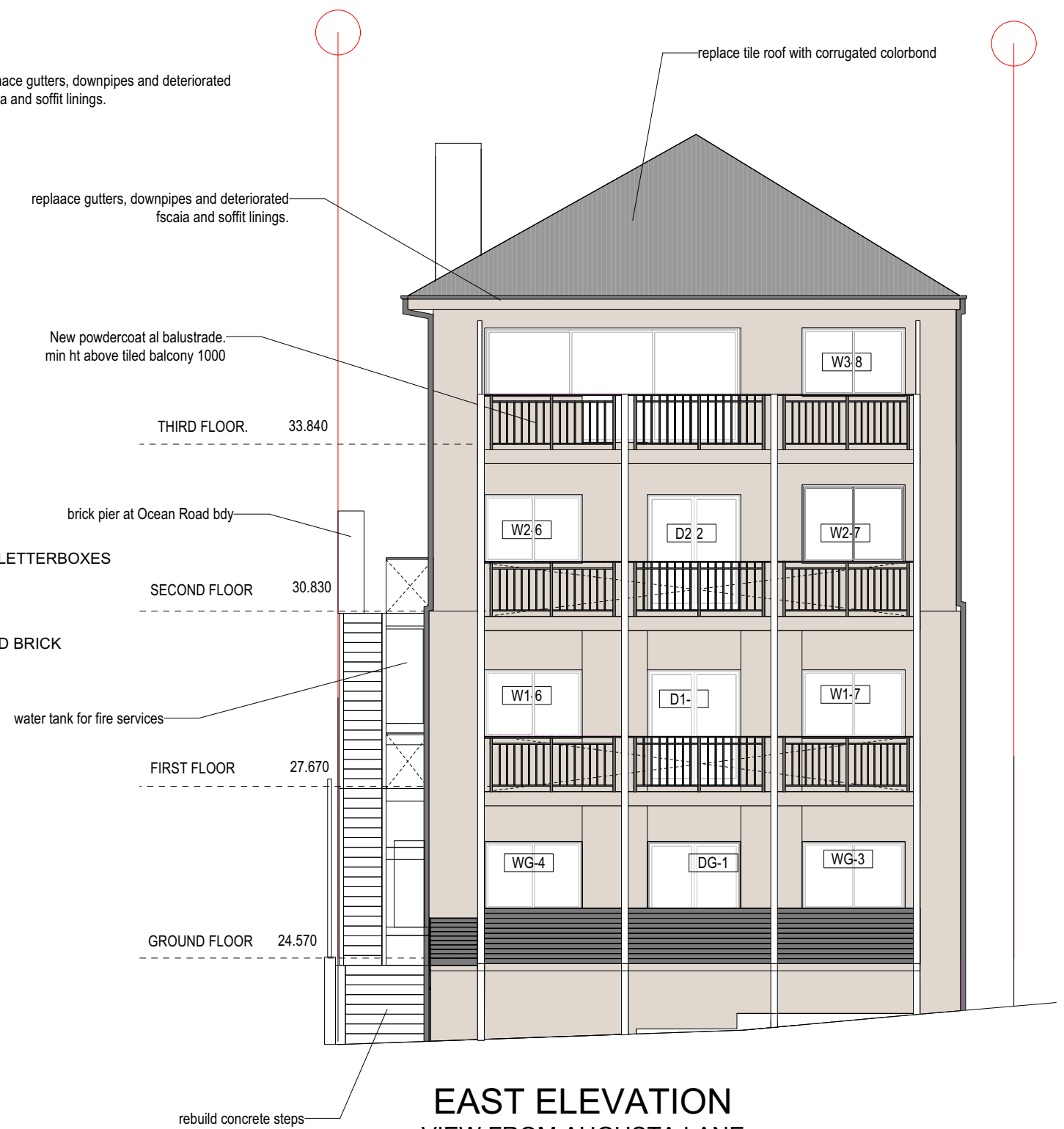
SOUTH ELEVATION



WEST ELEVATION
VIEW FROM OCEAN ROAD

ROOF:
DOWNPIPES AND GUTTERS
WINDOWS,DOORS, LOUVRES,
PERGOLA AND VERANDAH POSTS
EAST BALCONY METAL BALUSTRADE
EAST GFL BALCONY TIMBER BALUSTRADE
WEST ELEVATION BALCONY BALUSTRADE
FASCIA
RENDERED AND PAINTED WALLS
(Existing N wall to be painted").
FRONT FENCE AND GATES
RENDERED AND PAINTED FRONT AND SIDE FENCE

CORRUGATED COLORBOND ULTRA- "WINDSPRAY"
COLORBOND "BASALT"
POWDERCOAT DULUX DURATEC "ZEUS WHITE GLOSS"
PAINT "LEXICON" QUARTER STRENGTH
POWDERCOAT "BASALT" SATIN FINISH'
PAINT"COLORBOND BASALT"
KNOTWOOD BATTEN "FRENCH WALNUT"
PAINT "BALTIC MIST"
PAINT "BALTIC MIST"
KNOTWOOD BATTEN "FRENCH WALNUT"
PAINT "COLORBOND BASALT"



EAST ELEVATION
VIEW FROM AUGUSTA LANE

E	30.10.2023	awning required to comply with BASIX added
D	12.9.2023	OSD tank location amended
C	7.8.2023	OSD tank location shown
B	25.7.2023	Front fence height reduced

PROPOSED ALTERATIONS TO FRONT FENCE AND ENTRY
AND UNIT 4 BALCONY AND ASSOCIATED WORKS
AT 8 OCEAN ROAD
MANLY 2095
SP 14402

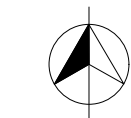
FOR
THE OWNERS
SP 14402

KUBANYI ARCHITECTS NSW REG 4087 DEP 0000592
LEVEL 1, 122 VICTORIA ROAD DRUMMOYNE 2047
PH 0412 500 240 JUDITHKUBANYI@IINET.NET.AU

Scale
1:100 @A3

Date
April 14 2023

Drawn
jk



issue
DA

DRWG No DA-A13-E
EXTERNAL FINISHES
EAST & WEST ELEVATION