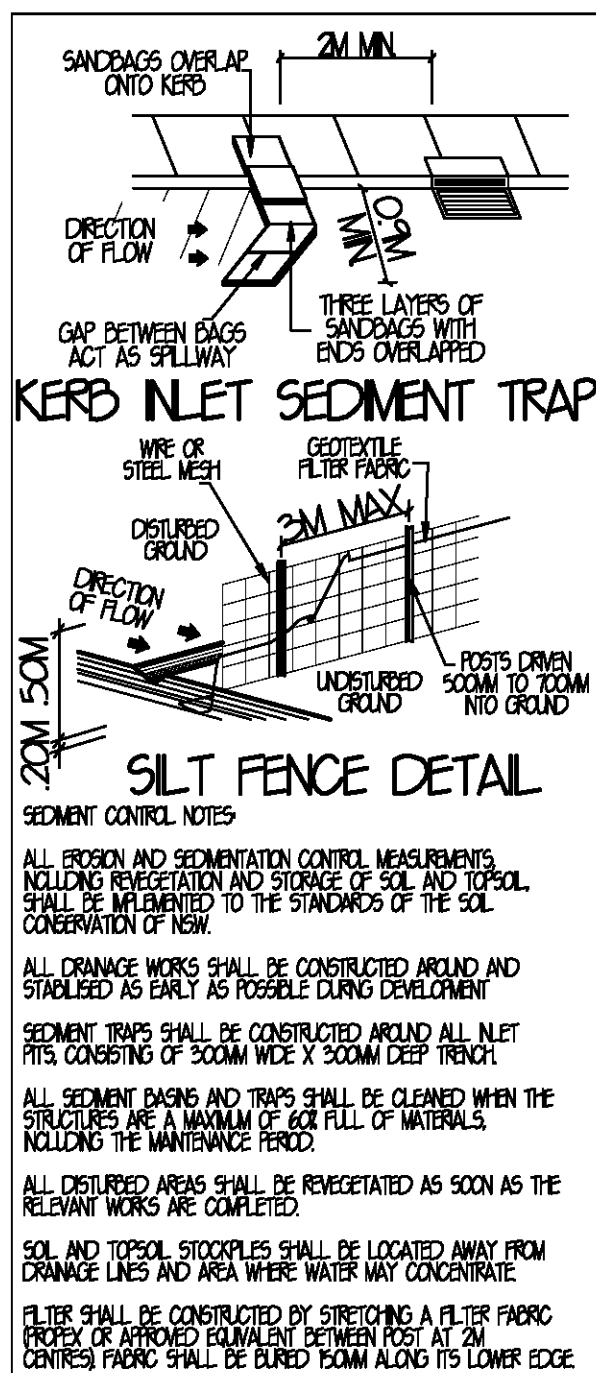




SITE DATA

SITE AREA = 848 M²

PRIVATE OPEN SPACE
PROVIDED = 287-7 M²

LANDSCAPED AREA
REQUIRED = 40% OR 339-2 M²
PROVIDED = 67-3% OR 570-9 M²

FLOOR AREAS

GROUND FLOOR AREA = 186-6 M²
(EXCLUDING GARAGE)

GARAGE FLOOR AREA = 41 M²

PORCH FLOOR AREA = 7-6 M²

ALFRESCO FLOOR AREA = 16-3 M²

FIRST FLOOR AREA = 201-4 M²

FRONT BALCONY AREA = 8-4 M²

REAR BALCONY AREA = 16-2 M²

TOTAL FLOOR AREA = 477-5 M² OR 51-4 SQS

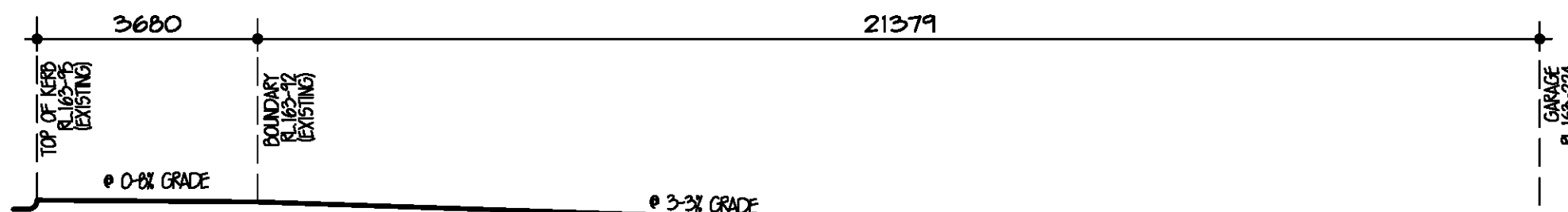
GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING
- SITE CLASSIFICATION M
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL163-0 GARAGE TO RL163-0 & ALFRESCO TO RL162-755
- HOUSE FLOOR LEVEL RL163-31, 310MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL163-224, 224MM ABOVE PLATFORM LEVEL
- TOTAL ROOF AREA = 248-6 M²

THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2016/ 1351

NORTHERN BEACHES COUNCIL



DRIVEWAY PROFILE 1:100

eden brae homes
"Where you want to live"

LEVEL 3,
22 BROOKHOLLOW AVENUE,
NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P 8860 9222
F 8860 9233

FOR **MR. A & MRS. E. BOYD**

LOT 7, N1 CLYWDON CLOSE,
AT BELROSE

TYPE **WALDORF GRANGE 50**
(PRESTIGE SERIES)

JOB NO. **0020155**

FACADE **LONG ISLAND**

HAND **LH**

MASTER **A24748**

DWG NO. **A24604**

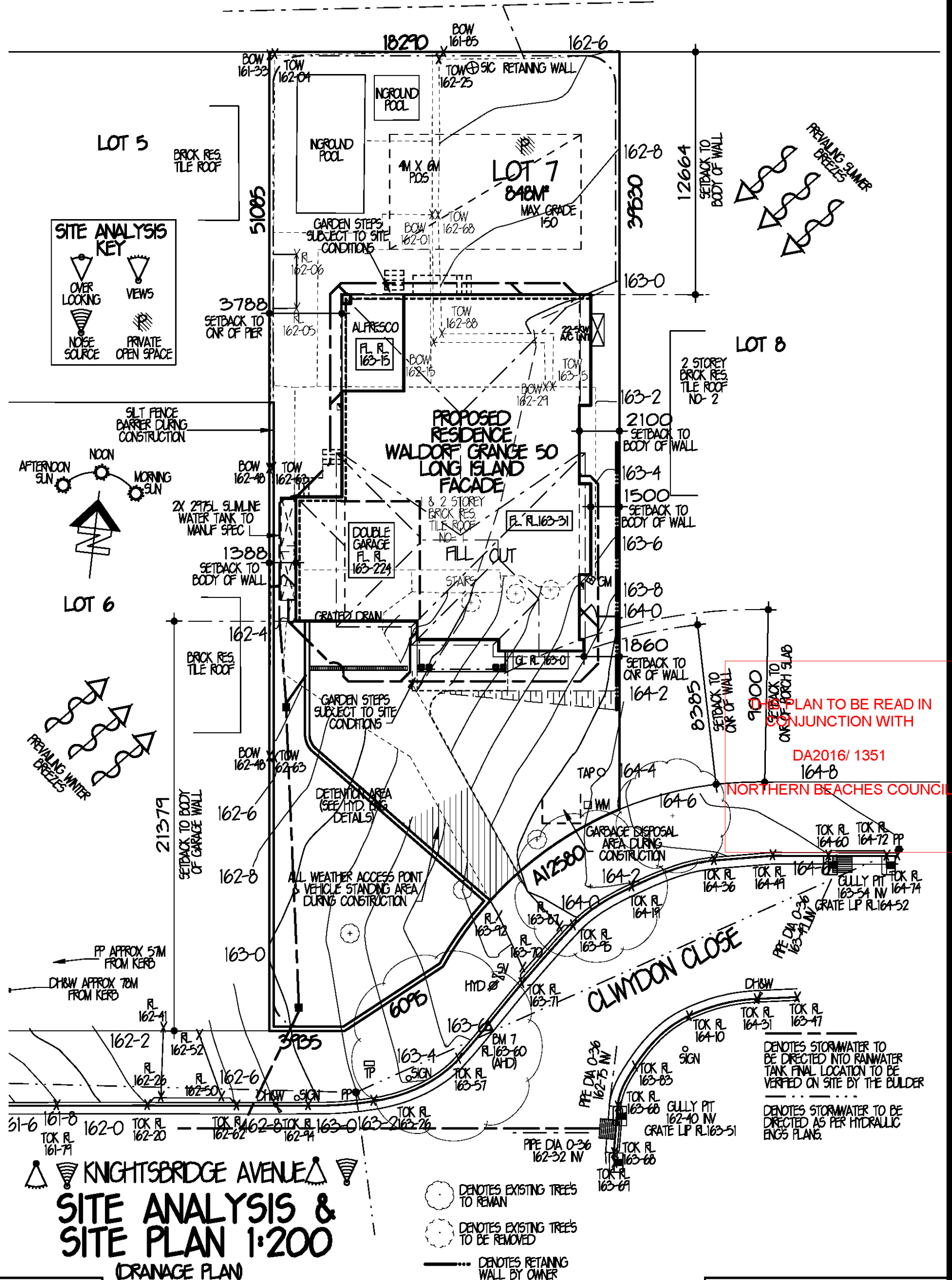
PAGE NO. **1 OF 11**

A&N SYDNEY

LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
BALLKHAM HILLS
PO BOX 6410 BALLKHAM HILLS
BUSINESS CENTRE NSW 2153
PHONE (02) 8824 3533
FAX (02) 8824 3544
WWW.AANDNSYDNEY.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	17-3-16	SITING	NM
B	18-4-16	CC PLANS	DR
C	10-6-16	AMENDMENTS/BASIX	TM
D	18-7-16	AMENDMENTS	SS
E	7-12-16	AMENDMENTS/BASIX	EM

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LEVEL 3, 22 BROOKHOLLOW AVENUE, NORTH WEST BUSINESS PARK, BULL DETAIL NOTING FINISHED GROUND LEVELS. SITE PLAN TO BE CROSSED REFERENCED WITH HYDRAULIC PLANS. ANY DISCREPANCIES ARE TO BE VARIED BEFORE PROCEEDING

eden brae homes
"To where you want to live"

FOR **MR. A & MRS. E. BOYD**

LOT 7, N1 CLYWDON CLOSE, BELROSE

TYPE **WALDORF GRANGE 50 (PRESTIGE SERIES)** JOB NO. **0020155**

FACADE **LONG ISLAND** HAND **LH**

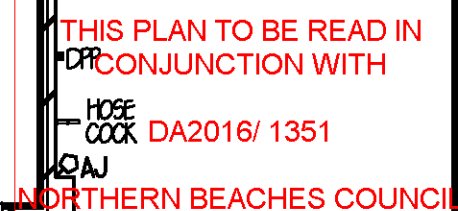
MASTER **A24748** DWG NO. **A24604** PAGE NO. **2 OF 11**

LEVEL 2 SUITE 216 MACARTHUR POINT NO. 25-27 SOLENT CROFT BULLHILL HILLS PD BOX 6410 BULLHILL HILLS BUSINESS CENTRE NSW 2153 PHONE (02) 8824 3535 FAX (02) 8824 3544 WWW.ADESIGNSTONEY.COM.AU

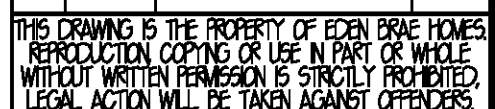
AGN SYDNEY

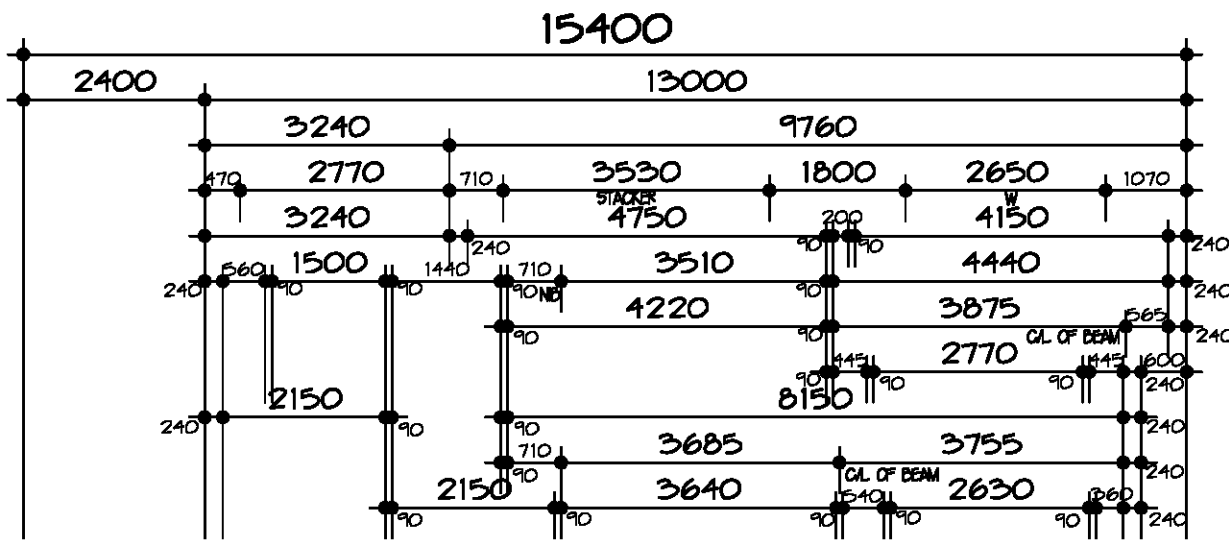
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C	10-6-16	AMENDMENTS/BASIX	TM
D	18-7-16	AMENDMENTS	SS
E	7-12-16	AMENDS/HYD/REBASIX	EM

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⑤ DENOTES LOCATION OF SMOKE ALARM



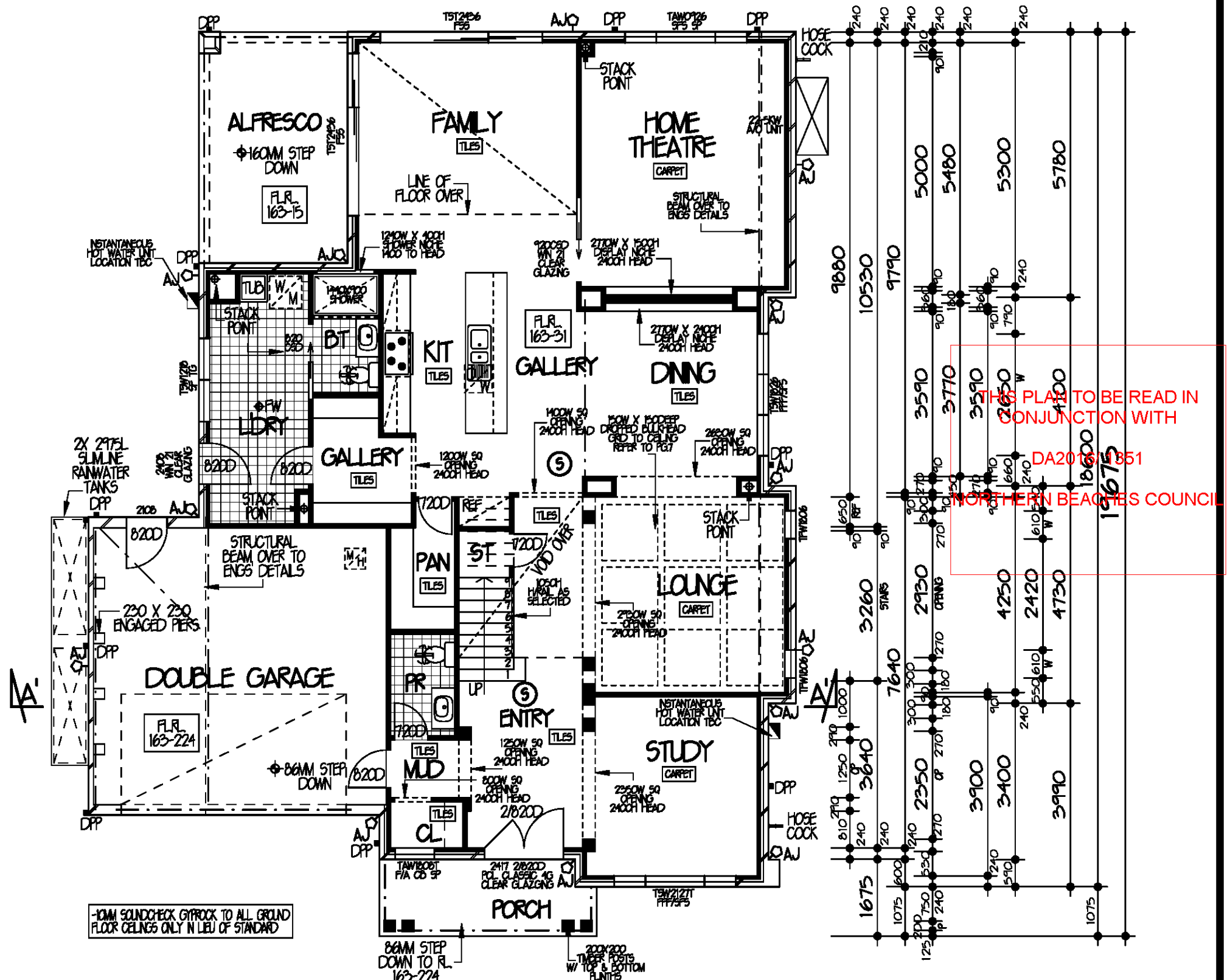


⊕ DENOTES ARTICULATION JOINT IN BRICK WORK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3-3-1-8 OF THE BCA

⊕ DENOTES EXHAUST FAN OVER CONNECTED TO LIGHT SWITCH AND DUCTED EXTERNALLY

ALL WET AREAS TO BE PROVIDED WITH FLOOR WASTE

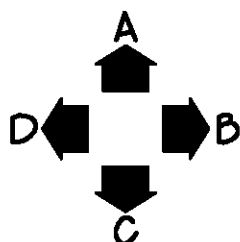
⑤ DENOTES LOCATION OF SMOKE ALARM



GROUND FLOOR PLAN 1:100

eden brae homes
LEVEL 3, 22 BROOKHOLLOW AVENUE, NORTHWEST BUSINESS PARK, BULLHAM HILLS NSW 2153
P 8860 9222 F 8860 9233

FOR **MR. A & MRS. E. BOYD**
AT **LOT 7, N1 CLYWDON CLOSE, BELROSE**
TYPE **WALDORF GRANGE 50 (PRESTIGE SERIES)** JOB NO. **0020155**
FACADE **LONG ISLAND** HAND **LH**
MASTER **A24748** DWG NO. **A24604** PAGE NO. **4 OF 11**

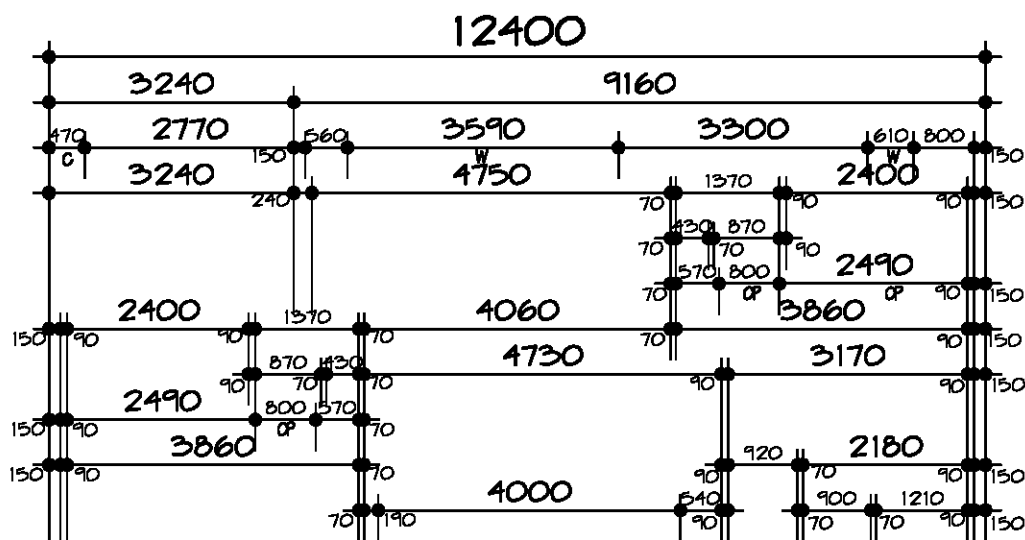
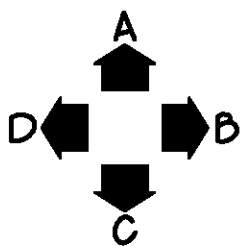


NOTE:
STEEL & H/W TIMBER POSTS TO ENDS DETAILS TO SUPPORT STEEL BEAMS OVER TO BE LOCATED WITHIN TIMBER STUD WALL FRAMES.
REFER TO STRUCTURAL ENGINEERS PLANS FOR POST TYPE & LOCATIONS.

AGN SYDNEY
LEVEL 2 SUITE 216 MACARTHUR POINT NO. 25-27 SOLENT CIRCUIT, BULLHAM HILLS
PO BOX 6410 BULLHAM HILLS BUSINESS CENTRE NSW 2153
PHONE (02) 8824 3533 FAX (02) 8824 3544
WWW.AGNDESIGNSYDNEY.COM.AU

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B	18-4-16	CC PLANS	DR
C	10-6-16	AMENDMENTS/BASIX	TM
D	18-7-16	AMENDMENTS	SS
E	7-12-16	AMENDMENTS/REBASIX	EM

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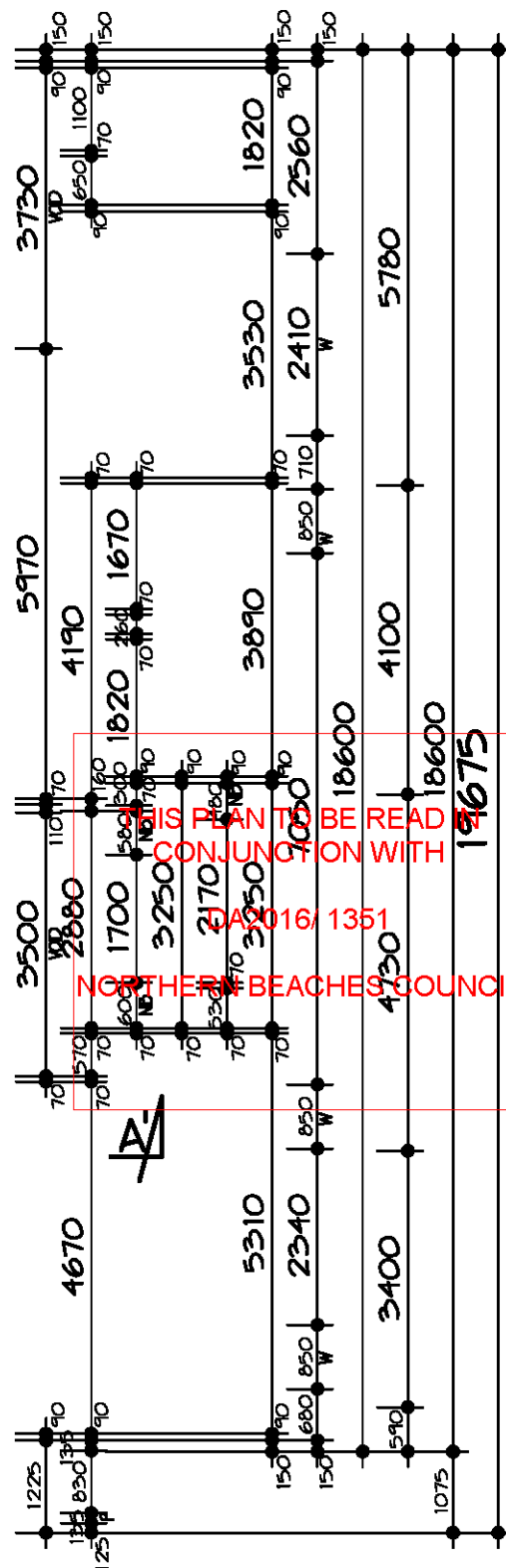
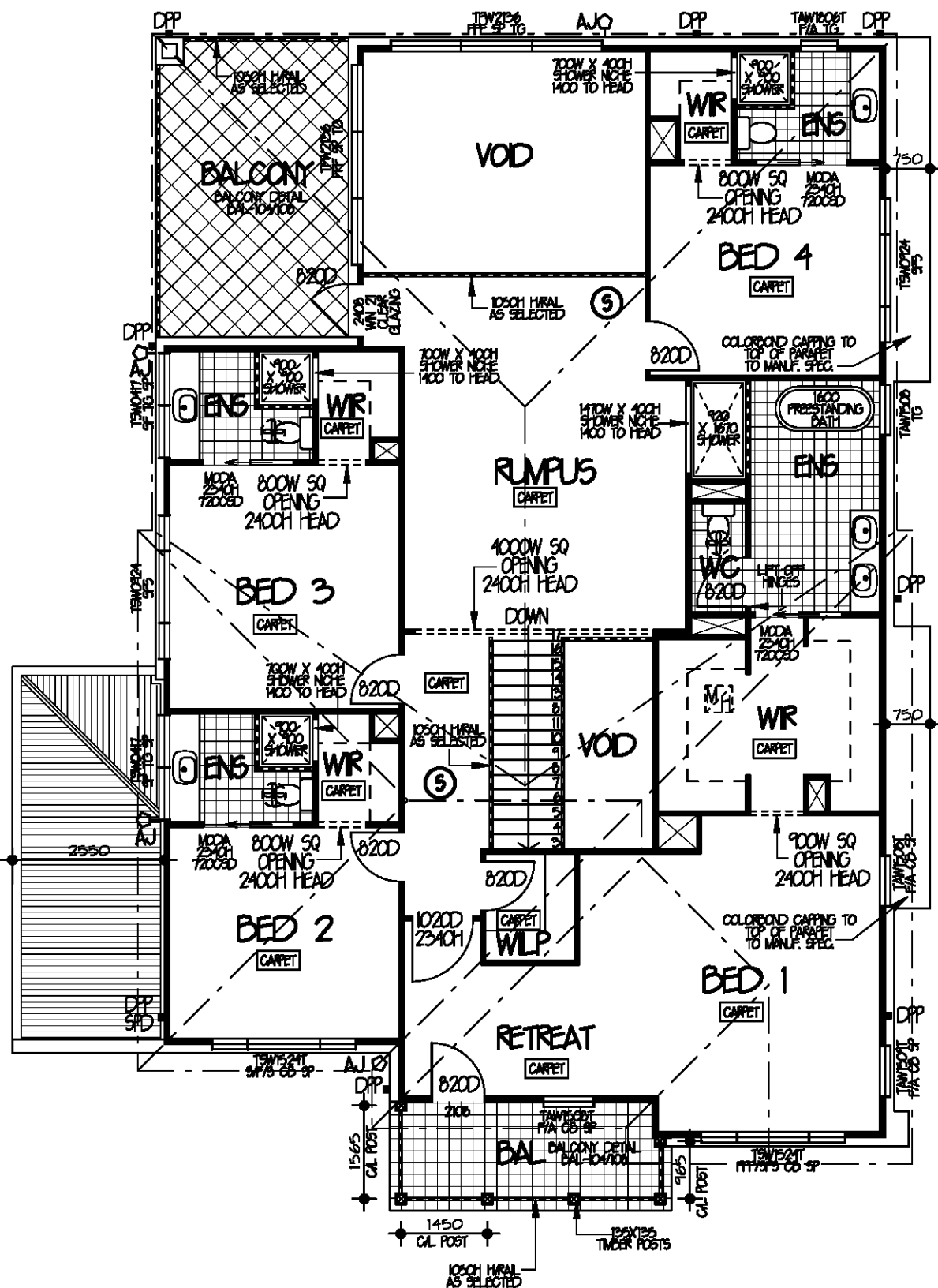
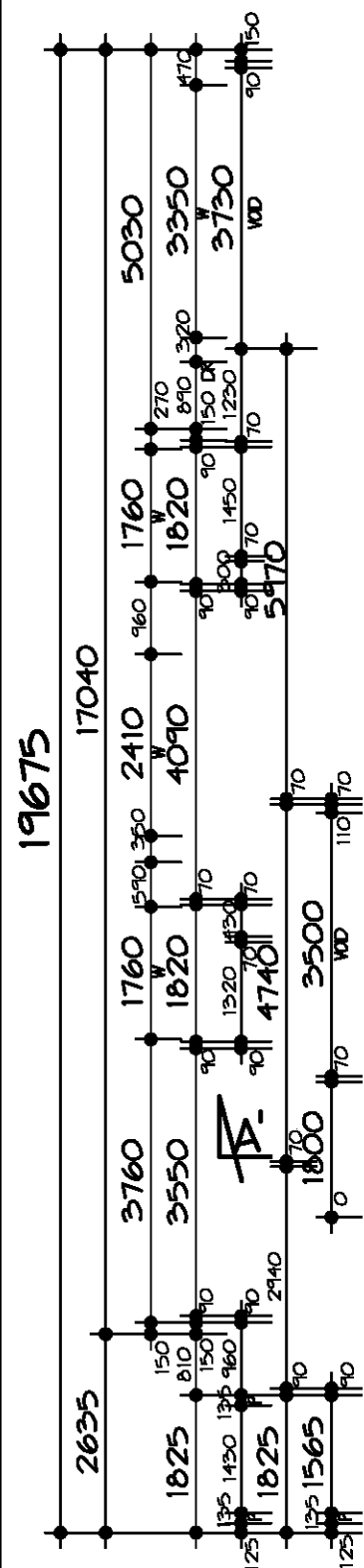
✕ DENOTES AIR CONDITIONER DUCT

AO DENOTES ARTICULATION JOINT IN BRICK WORK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3-3-10 OF THE BCA

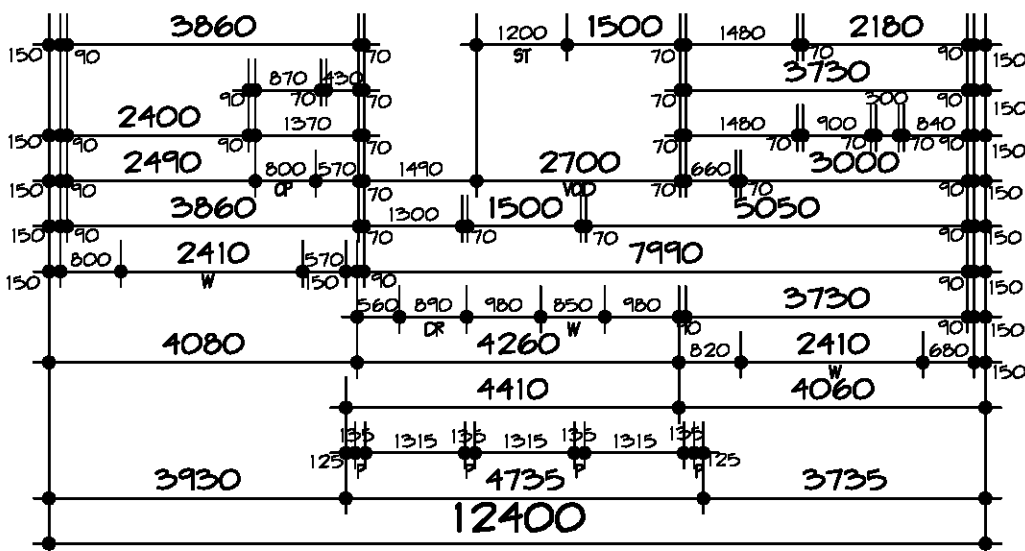
⊕ DENOTES EXHAUST FAN OVER CONNECTED TO LIGHT SWITCH AND DUCTED EXTERNALLY

ALL WET AREAS TO BE PROVIDED WITH FLOOR WASTE

⑤ DENOTES LOCATION OF SMOKE ALARM



NOTE:
ALL FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH PROTECTION AS PER BCA 3-4-25



FIRST FLOOR PLAN 1:100

eden brae homes
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NORWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P 8860 9222
F 8860 9233

FOR **MR. A & MRS. E. BOYD**
AT **LOT 7, N1 CLYWDON CLOSE, BELROSE**
TYPE **WALDORF GRANGE 50 (PRESTIGE SERIES)** JOB NO. **0020155**
FACADE **LONG ISLAND** HAND **LH**
MASTER **A24748** DWG NO. **A24604** PAGE NO. **5 OF 11**

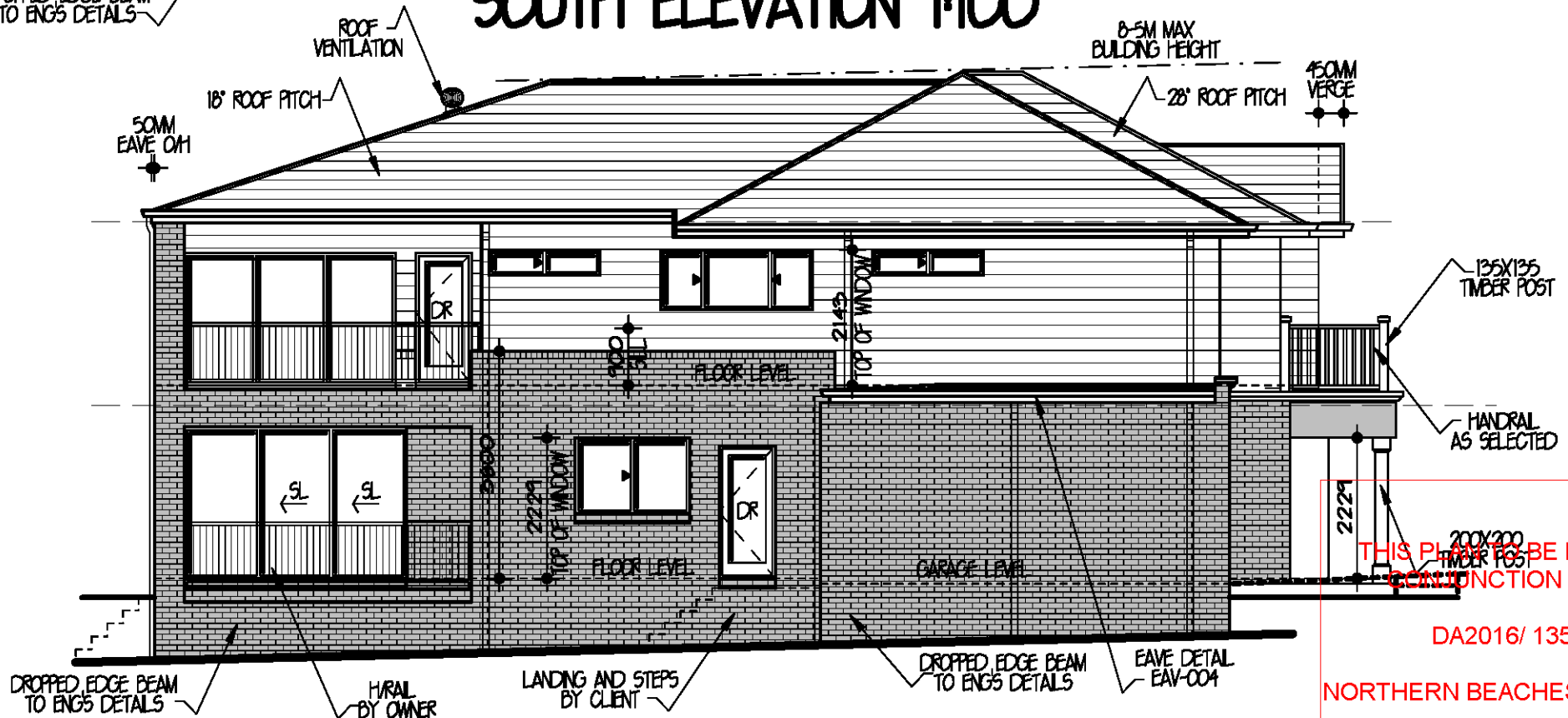
AGN SYDNEY
LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
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BUSINESS CENTRE NSW 2153
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D	18-7-16	AMENDMENTS	SS
E	7-12-16	AMENDMENTS/DREBASIX	EM

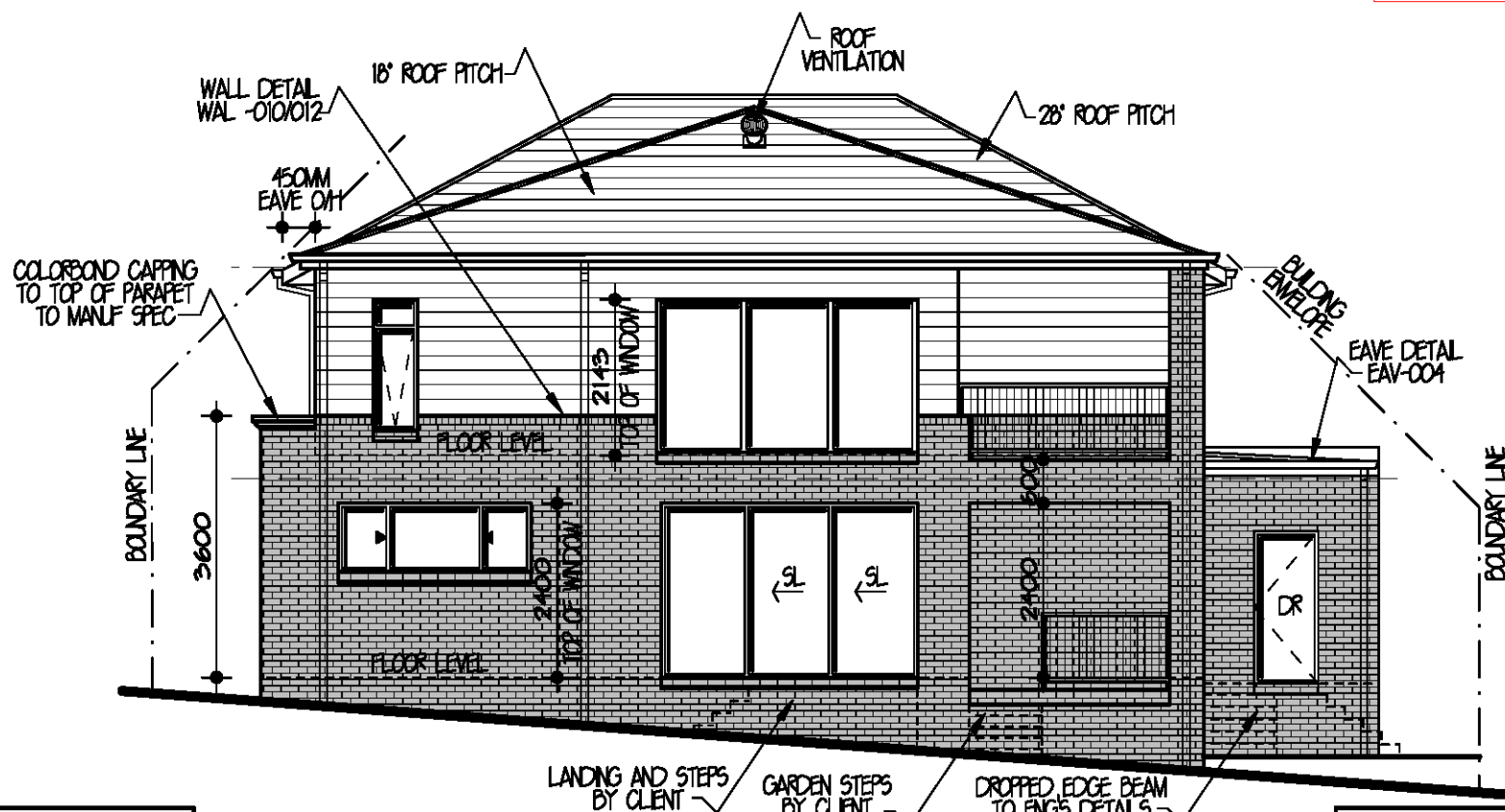
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SOUTH ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

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"It's where you want to live"

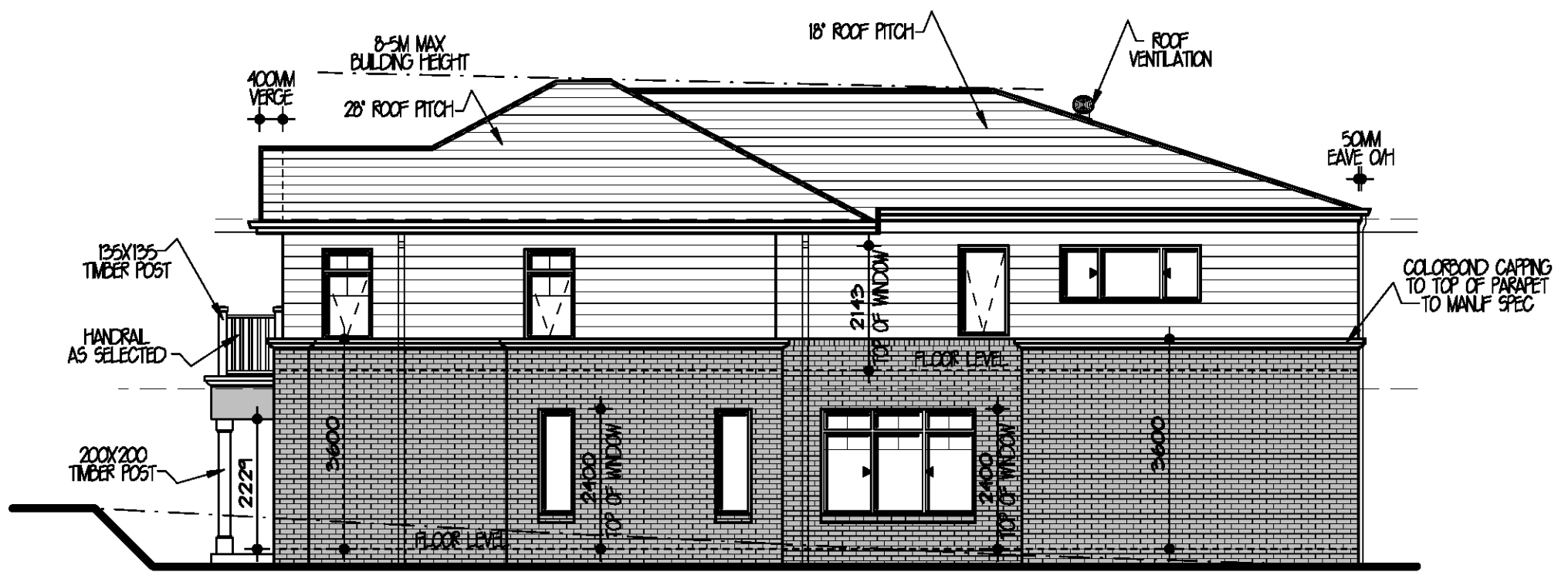
LEVEL 3,
22 BROOKHOLLOW AVENUE,
NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P 8860 9222
F 8860 9233

FOR **MR. A & MRS. E. BOYD**
AT **LOT 7, N1 CLYWDON CLOSE, BELROSE**
TYPE **WALDORF GRANGE 50 (PRESTIGE SERIES)** JOB NO. **0020155**
FACADE **LONG ISLAND** HAND **LH**
MASTER **A24748** DWG NO. **A24604** PAGE NO. **6 OF 11**

AGN SYDNEY
LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT
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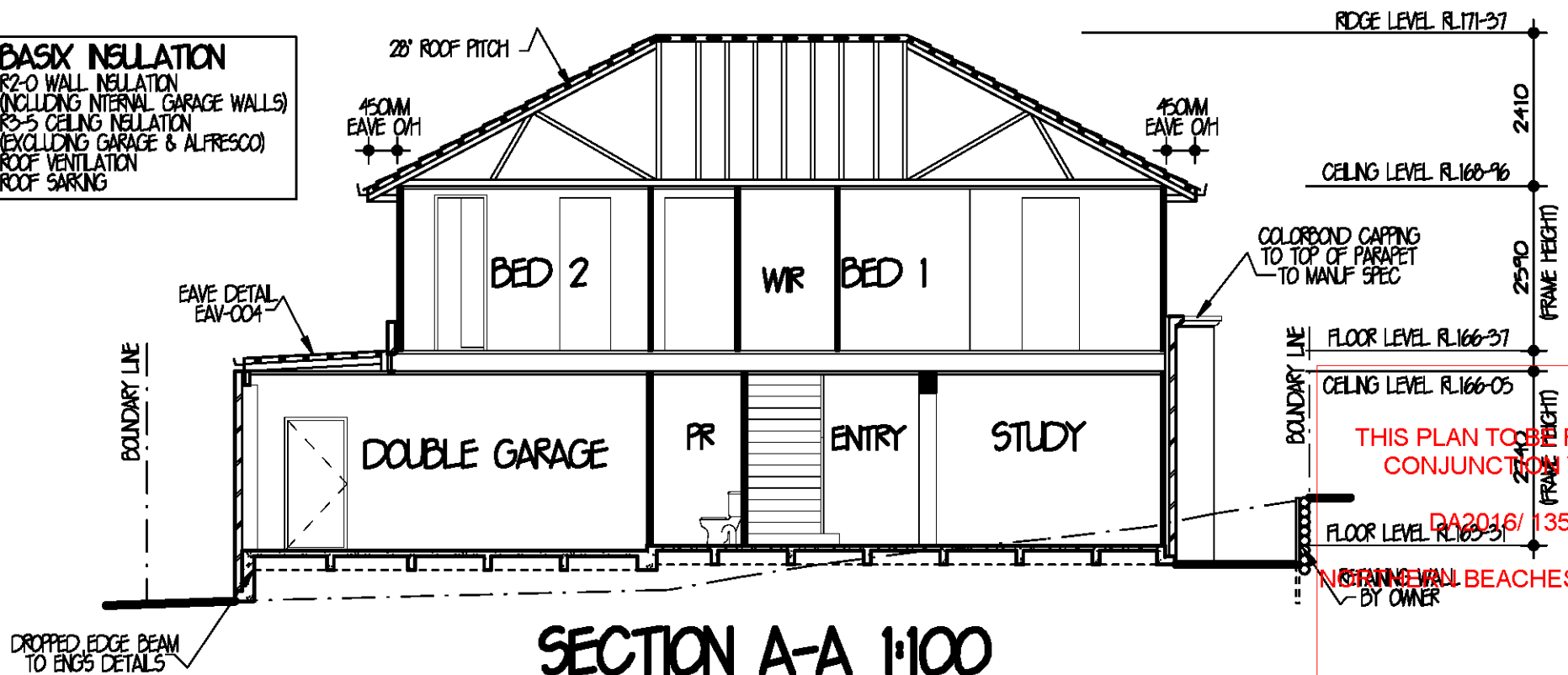
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EAST ELEVATION 1:100

BASIX INSULATION
 R2-0 WALL INSULATION
 (INCLUDING INTERNAL GARAGE WALLS)
 R3-5 CEILING INSULATION
 (EXCLUDING GARAGE & ALFRESCO)
 ROOF VENTILATION
 ROOF SARKING

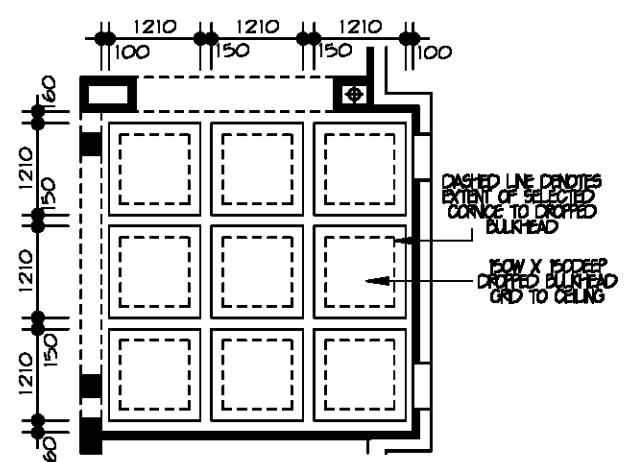


SECTION A-A 1:100

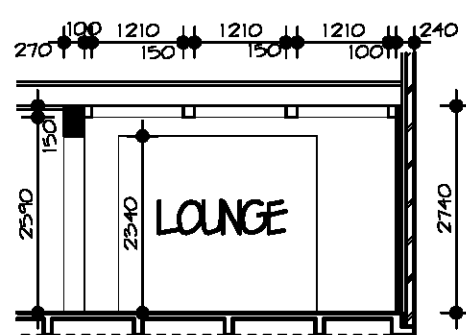
THIS PLAN TO BE READ IN
 CONJUNCTION WITH
 DA2016/ 1351
 NOT FINAL BEACHES COUNCIL
 BY OWNER

SUMMARY OF MATERIALS

- 28° ROOF PITCH TERRACOTTA ROOF TILES TO UPPER FRONT ROOF
- 18° ROOF PITCH TERRACOTTA ROOF TILES TO UPPER REAR ROOF
- 3° ROOF PITCH COLORBOND ROOF SHEETING TO GARAGE ROOF
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED FRAMES & ROOF TRUSSES TO MANUFACTURE SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPSOCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- RENDERED & PAINTED BRICKWORK
- LINEA BOARD CLADDING TO SELECTED AREAS
- RENDERED BLUEBOARD CLADDING FINISH
- TIMBER POSTS TO BE PAINT GRADE
- TIMBER WINDOWS TO FRONT FACADE
- DECORATIVE MOULDING AS SELECTED
- ALUMINIUM WINDOWS & DOORS TO REMAINDER
- FRONT ENTRY DOORS & FRAME TO BE PAINT GRADE
- PANEL-LIFT DOOR



**LOUNGE COFFERED
 CEILING PLAN 1:100**



**LOUNGE CEILING
 SECTION 1:100**

eden brae homes
 LEVEL 3,
 22 BROOKHOLLOW AVENUE,
 NORTHWEST BUSINESS PARK,
 BALLKHAM HILLS NSW 2153
 P 8860 9222
 F 8860 9233

FOR **MR. A & MRS. E. BOYD**
 LOT 7, N1 CLYWDON CLOSE,
 BELROSE
 TYPE **WALDORF GRANGE 50**
 (PRESTIGE SERIES)
 FACADE **LONG ISLAND**
 MASTER **A24748**
 JOB NO. **0020155**
 HAND **LH**
 DWG NO. **A24604**
 PAGE NO. **7 OF 11**

AGN SYDNEY
 LEVEL 2 SUITE 216 MACARTHUR POINT
 NO. 25-27 SOLENT CIRCUIT
 BALLKHAM HILLS
 PD BOX 6410 BALLKHAM HILLS
 BUSINESS CENTRE NSW. 2153
 PHONE (02) 8824 3533
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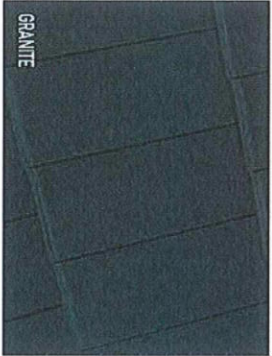
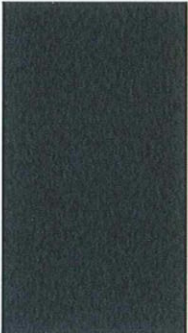
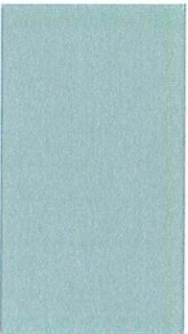
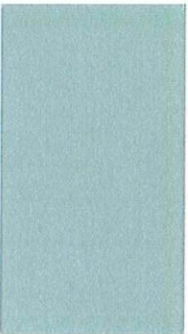
T: 8860 9333 www.homeoptiongallery.com.au

Client Name: 0020155- BOYD
Site Address: Lot 7, 1 Clywydon CI BELROSE

THIS PLAN TO BE READ IN
CONJUNCTION WITH
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NORTHERN BEACHES COUNCIL

This external colour schedule has been created by the Home Option Gallery.
Contact a Complete Home Consultant for all your colour and design needs.

EXTERNAL COLOUR SCHEDULE

MONIER TERRACOTTA ROOF TILE	GUTTER/ FASCIA	FRONT DOORS/MOULDINGS	TIMBER WINDOWS	GARAGE DOOR (TO MATCH CLADDING)
 GRANITE	 MONUMENT®	 TAUBMANS CRISP WHITE	 TAUBMANS CRISP WHITE	 VIKING STEELINE TAUBMANS POWDERCOAT
NULLABOR GRANITE	DOWNPIPES OVER CLADDING	RENDER AREA 1	DOWNPIPES OVER RENDER AREAS	
CLADDING				
 VIKING TAUBMANS	 VIKING TAUBMANS	 SHALE GREY™	 SHALE GREY™	

I/we acknowledge that this external colour schedule is final. No changes will be permitted unless required by the developer and or council. Changes outside of this will incur an administration fee.
Please note colour images are an indication only and may not be a true representation of the final product. This DOES NOT FORM PART OF YOUR HOME BUILDING AGREEMENT. Please refer to
the Complete Home Product Selection Document for details.

Signed _____ Dated _____