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01 DEVELOPMENT APPLICATION		
	A01	COVER PAGE
	A02	SURVEY
	A03	SITE PLAN/WASTE MANAGEMENT ...
	A04	SITE ANALYSIS & LOCATION MAP
	A05	EXISTING PLANS & ELEVATIONS
	A06	PERSPECTIVES
	A07	GROUND FLOOR
	A08	ROOF PLAN
	A09	ELEVATION E1 & E2
	A10	ELEVATION E3 & E4
	A11	SECTION A & C
	A12	SECTION B & D
	A13	POOL PLANS
	A14	POOL SECTION A
	A15	POOL SECTION B AND POOL VIEW
	A16	SHADOWS JUNE 21-9AM
	A17	SHADOWS JUNE 21-12NOON
	A18	SHADOWS JUNE 21-3PM
	A19	LANDSCAPE CALCS & PRIVATE OP...
	A20	BASIX 1
	A21	BASIX 2
	A22	FINISHES SCHEDULE

FLOOR SCHEDULE	
CODE ID	DESCRIPTION
F-D1	NEW floor structure with NEW timber decking. Timber and finish, as specified. Slab as per engineer's detail.
F-EC	EXISTING floor structure with EXISTING carpet.
F-ECON	EXISTING floor structure with EXISTING concrete finish.
F-ET	EXISTING floor structure with EXISTING floorboards.
F-ET1	EXISTING floor structure with NEW floorboards.
F-ETL	EXISTING floor structure with EXISTING tiles.
F-ETL2	EXISTING floor structure with NEW tiles 2. Waterproof as required.
F-T1	NEW structure with NEW floorboards. Timber and finish, as specified. Refer to engineer's detail.
F-TL1	NEW floor structure with NEW tiles. Waterproof as required. As per engineer's detail.

ROOF SCHEDULE	
CODE ID	DESCRIPTION
DP	NEW downpipe, as specified.
e-DP	EXISTING downpipe. Make good as required.
R-ET	EXISTING timber framed roof structure with EXISTING roof tiles. Keep and Protect.
R-M1	NEW timber framed roof structure with NEW flat pan (e.g klip-lock) metal roof sheeting, as specified. Roof framing as per engineer's detail.
R-T1	NEW timber framed roof structure with NEW roof tiles to match existing.

WALL SCHEDULE	
CODE ID	DESCRIPTION
P-T1	NEW timber post structure. Painted, as specified.
W-BR1	NEW face brick wall with NEW render and paint, as specified.
W-EBR1	EXISTING face brick wall with NEW render and paint, as specified.
W-EP1	EXISTING timber framed wall structure with EXISTING cladding. NEW Paint, as specified.
W-LWR1	NEW timber framed wall structure with NEW FC cladding. Rendered and painted, as specified.

WINDOW, DOOR & SKYLIGHT SCHEDULE	
CODE ID	DESCRIPTION
D01	(D01, D02...etc) NEW aluminium framed door. Powdercoated. Refer to BASIX requirements.
DE	EXISTING door to remain. Make good as required.
DN	NEW internal timber door, painted as specified.
S01	(S01, S02...etc) NEW skylight. Refer to BASIX requirements.
SK-E	EXISTING skylight to remain. Make good as required.
W01	(W01, W02...etc) NEW aluminium window. Powdercoated. Refer to BASIX requirements.
WE	EXISTING window to remain. Make good as required.

PETNEHAZI HOUSE

GENERAL CONSTRUCTION NOTES

ROOFS:

ROOF STRUCTURE: TIMBER FRAMED
ALL ROOFS TO BE SARKED AS SPECIFIED.
ALL ROOFS CONNECTED TO STORMWATER SYSTEM.
NEW GUTTERS AND DOWNPIPES IN LOCATIONS AS SPECIFIED.

HYDRAULIC:

REFER TO HYDRAULIC DRAWINGS FOR DETAILS.
REFER TO DA CONDITIONS.

STRUCTURAL:

REFER TO STRUCTURAL DRAWINGS FOR DETAILS.

INSULATION:

REFER TO SPECIFICATION FOR FLOOR, WALL, ROOF
ACOUSTIC AND THERMAL INSULATION.

BASIX:

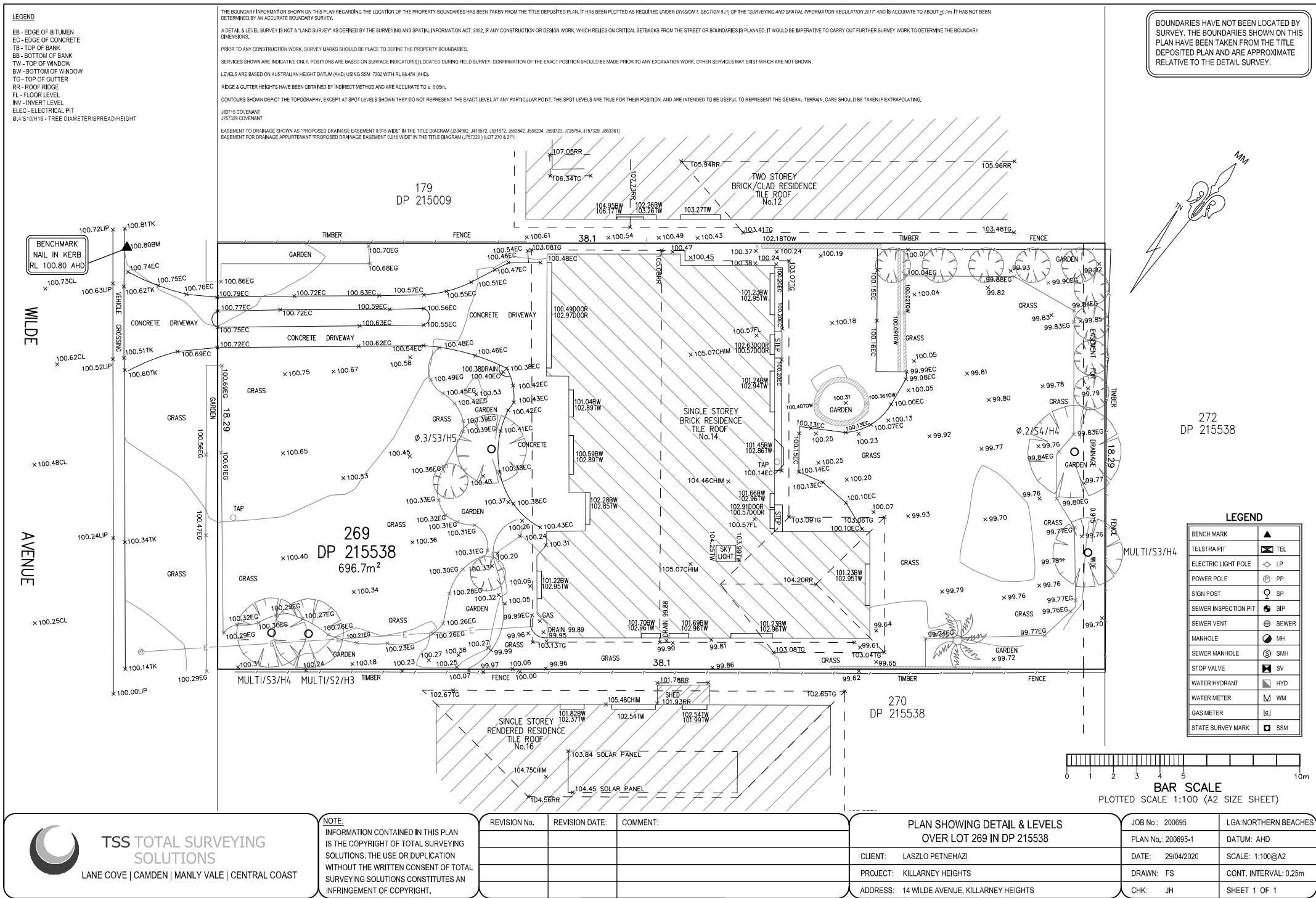
REFER TO BASIX FOR SUSTAINABILITY REQUIREMENTS.

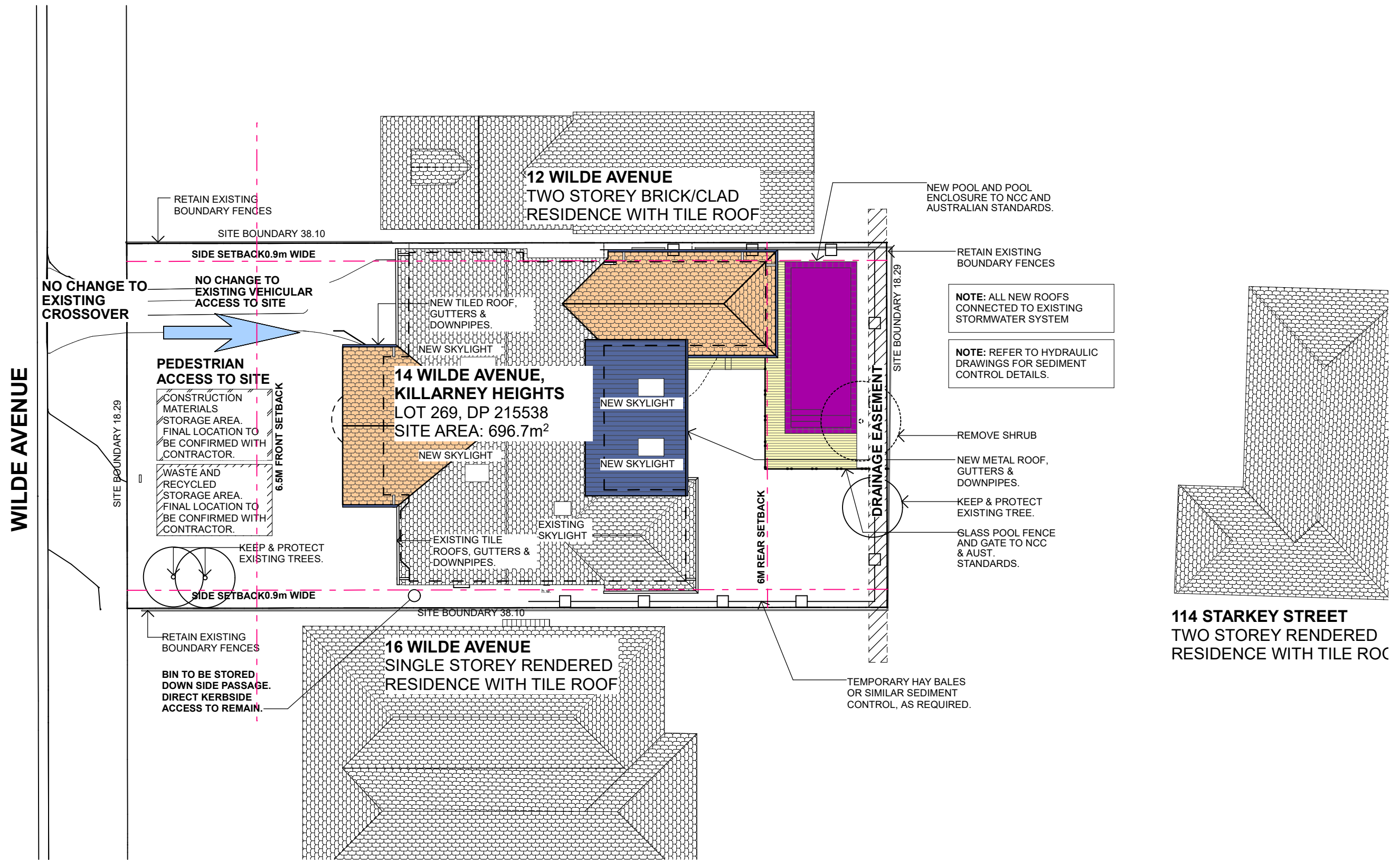


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DEVELOPMENT APPLICATION A

LASZLO PETNEHAZI
14 WILDE AVENUE KILLARNEY HEIGHTS NSW 2087





1 SITE PLAN/WASTE MANAGEMENT PLAN
Scale 1:200

ID	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	10/06/2020

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SITE PLAN/WASTE MANAGEMENT PLAN

DFA2006-A03

WILDE AVENUE

SITE BOUNDARY 18.29

EXISTING CROSSOVER & DRIVEWAY.

SITE BOUNDARY 38.10

PEDESTRIAN ACCESS TO SITE

DRIVEWAY

VEHICULAR ACCESS TO SITE

TREE (ABT 5H)
LAWN AND GARDEN

TREE (ABT 3H)

12 WILDE AVENUE
TWO STOREY BRICK/CLAD
RESIDENCE WITH TILE ROOF

WINDOW WINDOW

PAVING

TREE (ABT 4H)
LAWN AND GARDEN

TREE (ABT 4H)

14 WILDE AVENUE,
KILLARNEY HEIGHTS
LOT 269, DP 215538
SITE AREA: 696.7m²

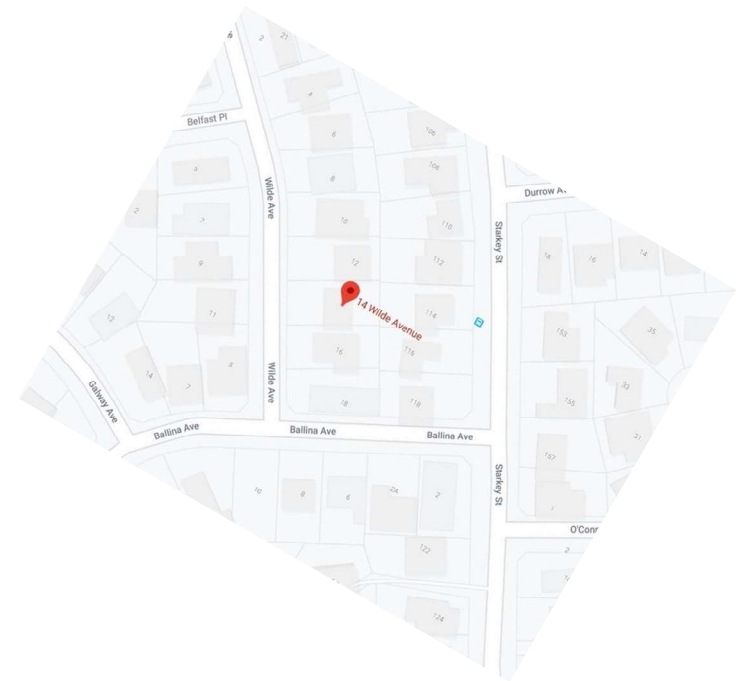
SITE BOUNDARY 38.10

WINDOW WINDOW WINDOW

16 WILDE AVENUE
SINGLE STOREY RENDERED
RESIDENCE WITH TILE ROOF

WINTER SOUTHERLY WINDS

N



114 STARKEY STREET
TWO STOREY RENDERED
RESIDENCE WITH TILE ROOF

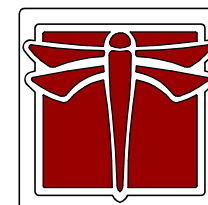
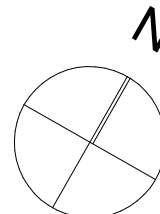
WINDOW

1 SITE ANALYSIS

Scale 1:200

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SITE ANALYSIS &
LOCATION MAP

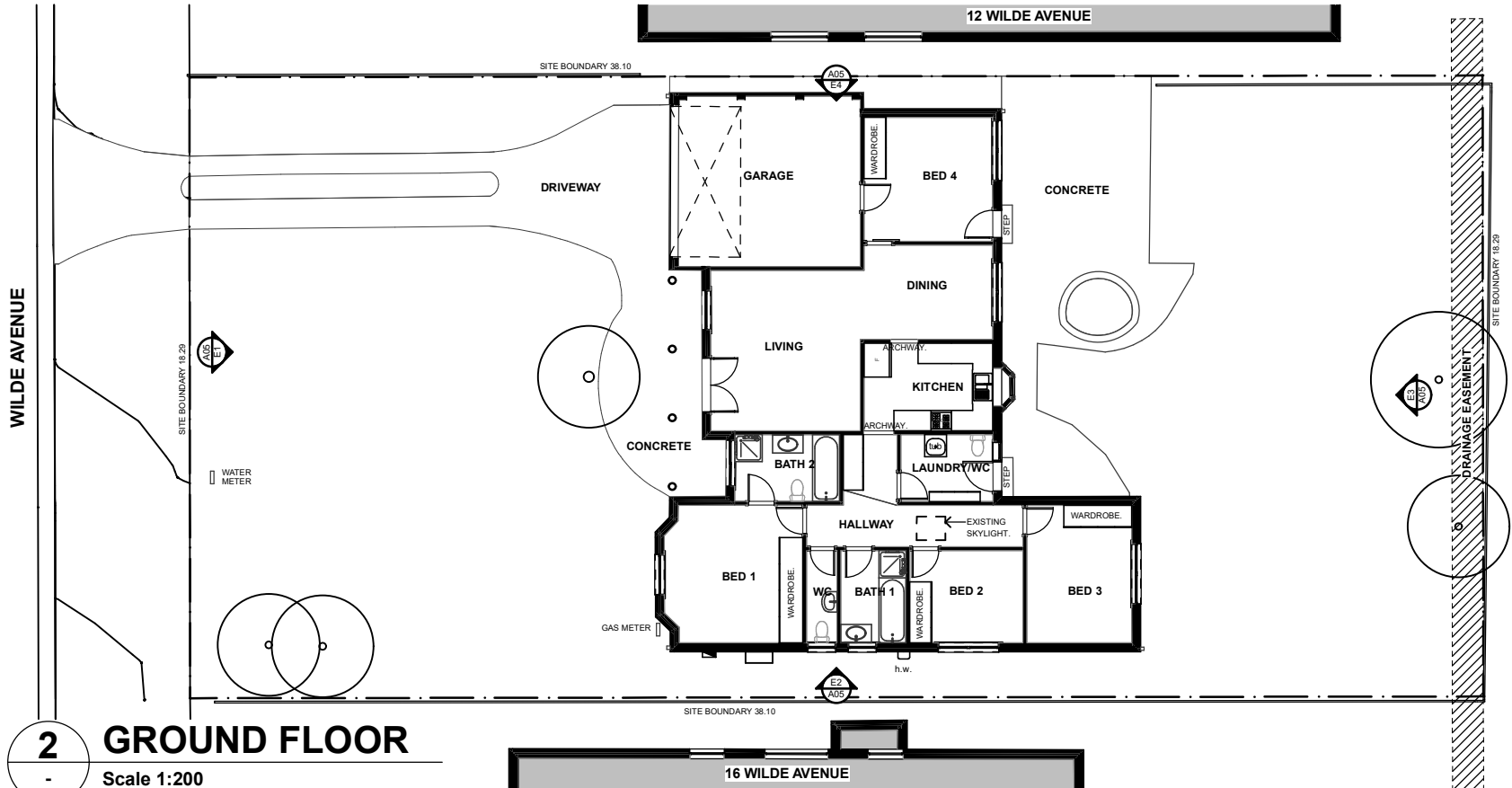
DFA2006-A04

A

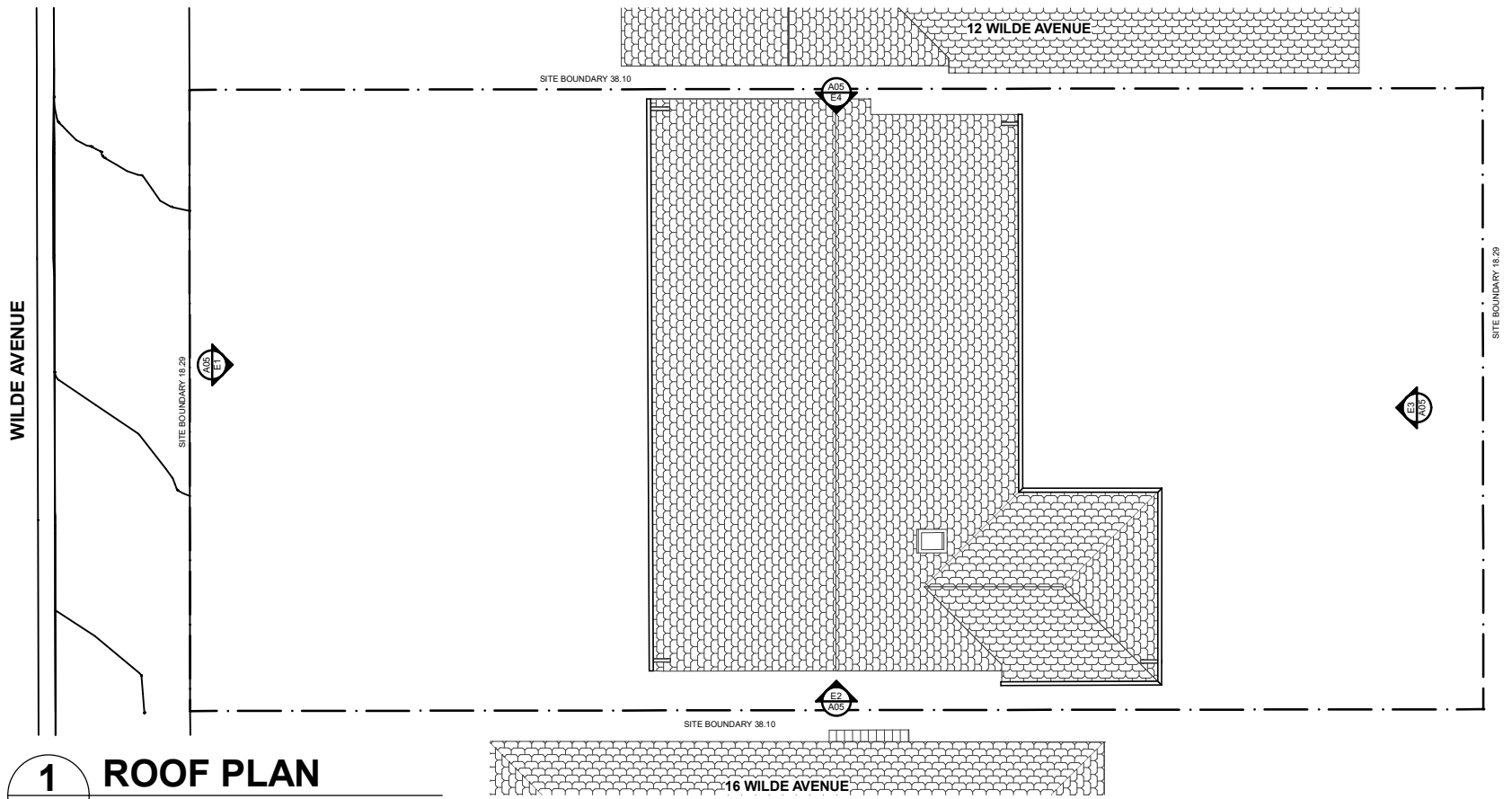
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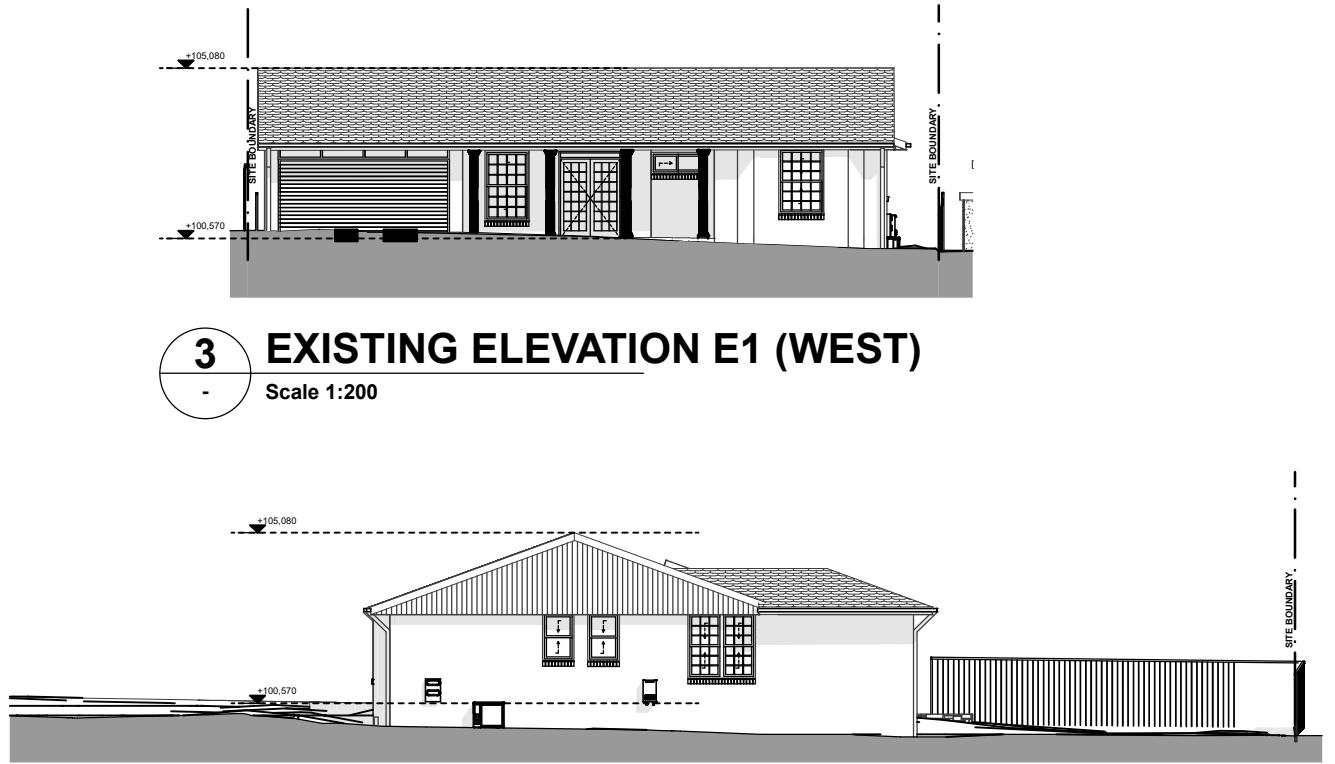
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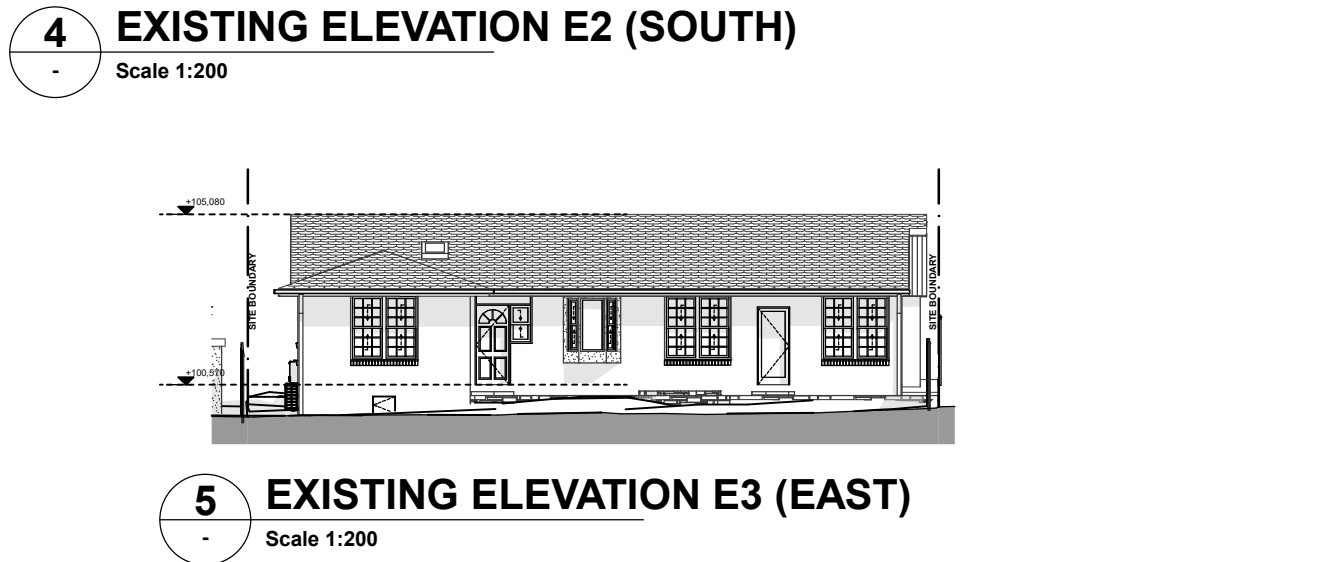
2 GROUND FLOOR
Scale 1:200



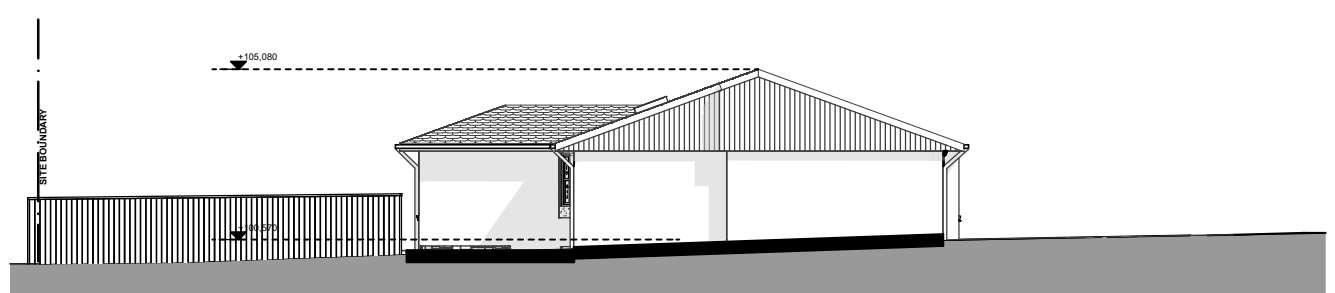
1 ROOF PLAN
Scale 1:200



3 EXISTING ELEVATION E1 (WEST)
Scale 1:200



4 EXISTING ELEVATION E2 (SOUTH)
Scale 1:200



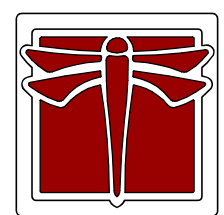
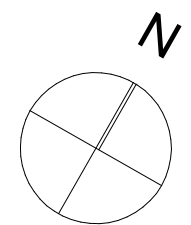
5 EXISTING ELEVATION E3 (EAST)
Scale 1:200



6 EXISTING ELEVATION E4 (NORTH)
Scale 1:200

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14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087
**EXISTING PLANS &
ELEVATIONS**
DFA2006-A05

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1 FRONT VIEW



2 REAR VIEW

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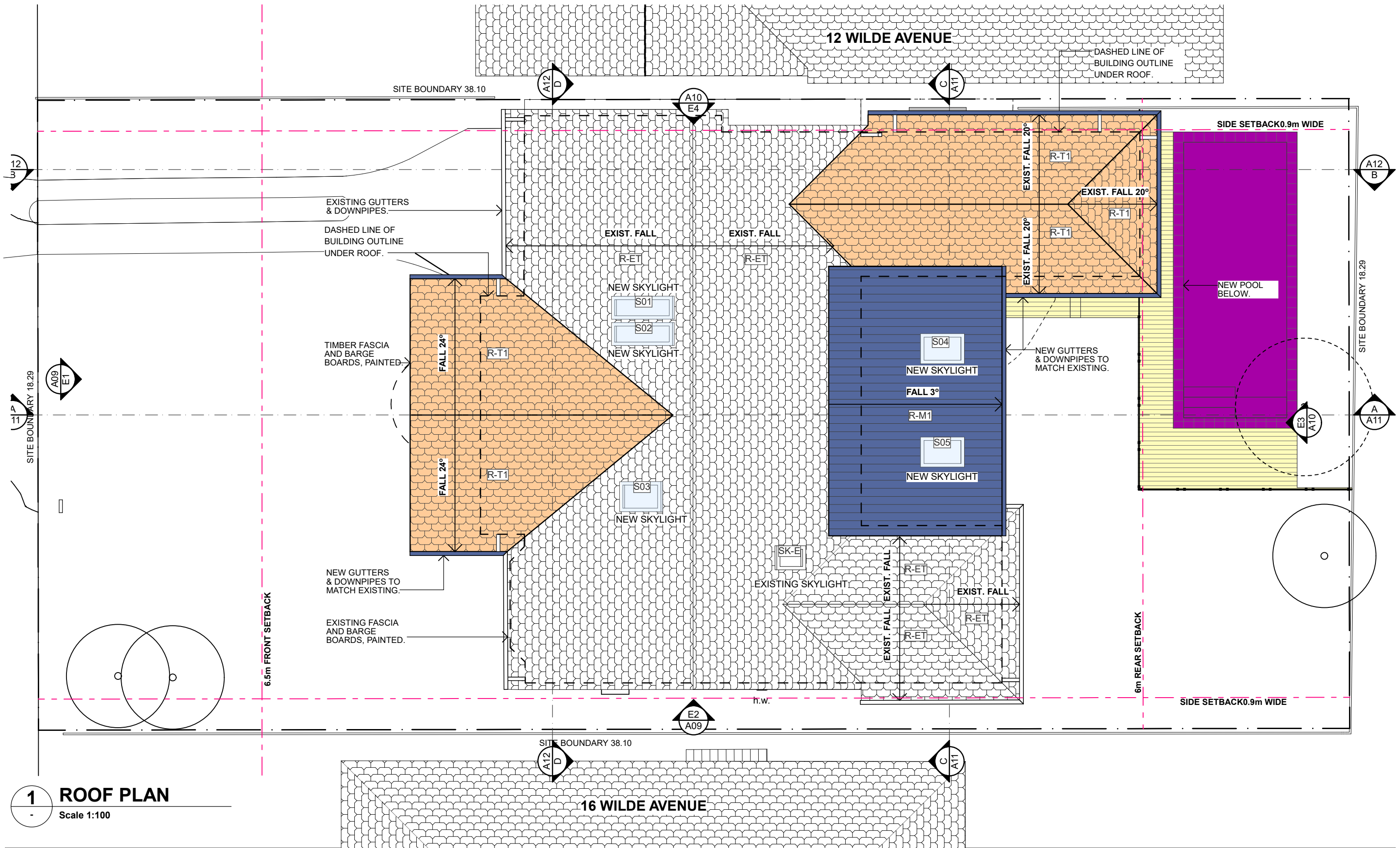
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HEIGHTS NSW 2087

PERSPECTIVES

DFA2006-A06

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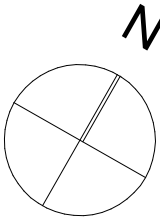
1 ROOF PLAN
Scale 1:100

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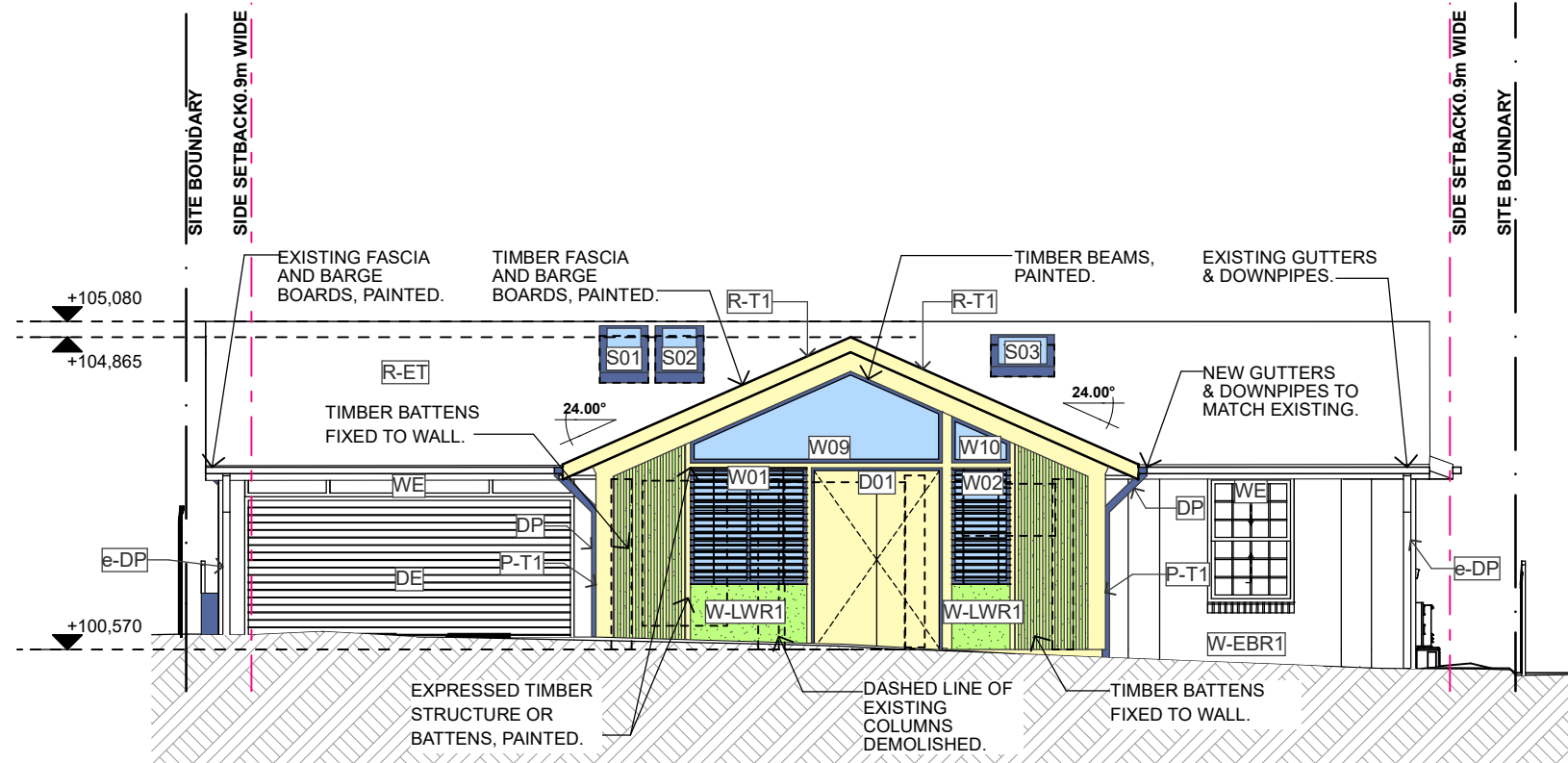
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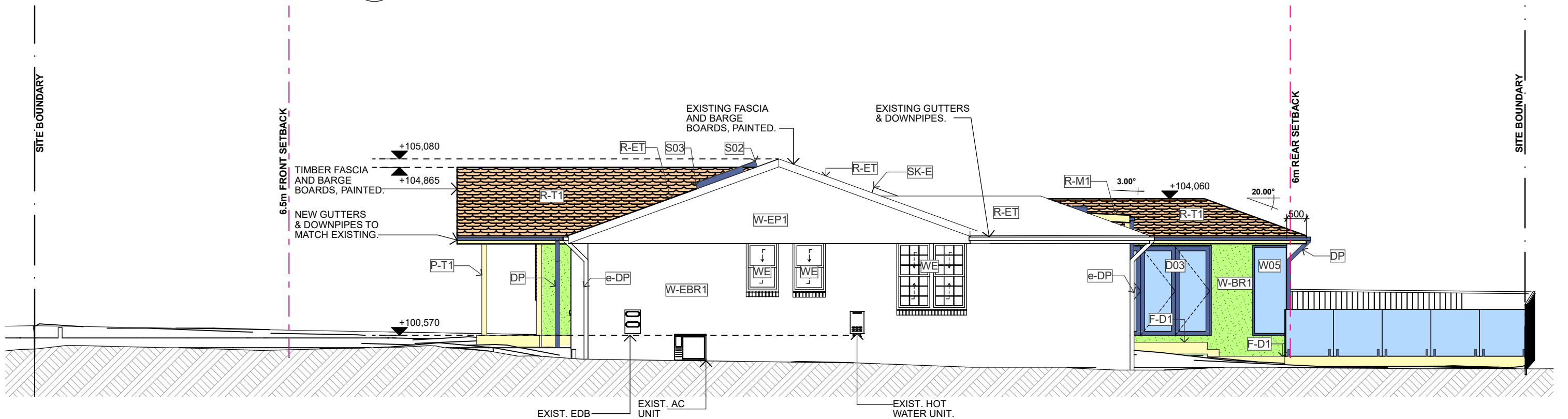
14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087

ROOF PLAN

DFA2006-A08



1 ELEVATION E1 (WEST)
Scale 1:100



2 ELEVATION E2 (SOUTH)
Scale 1:100

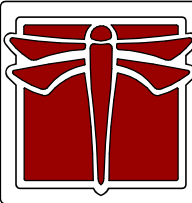
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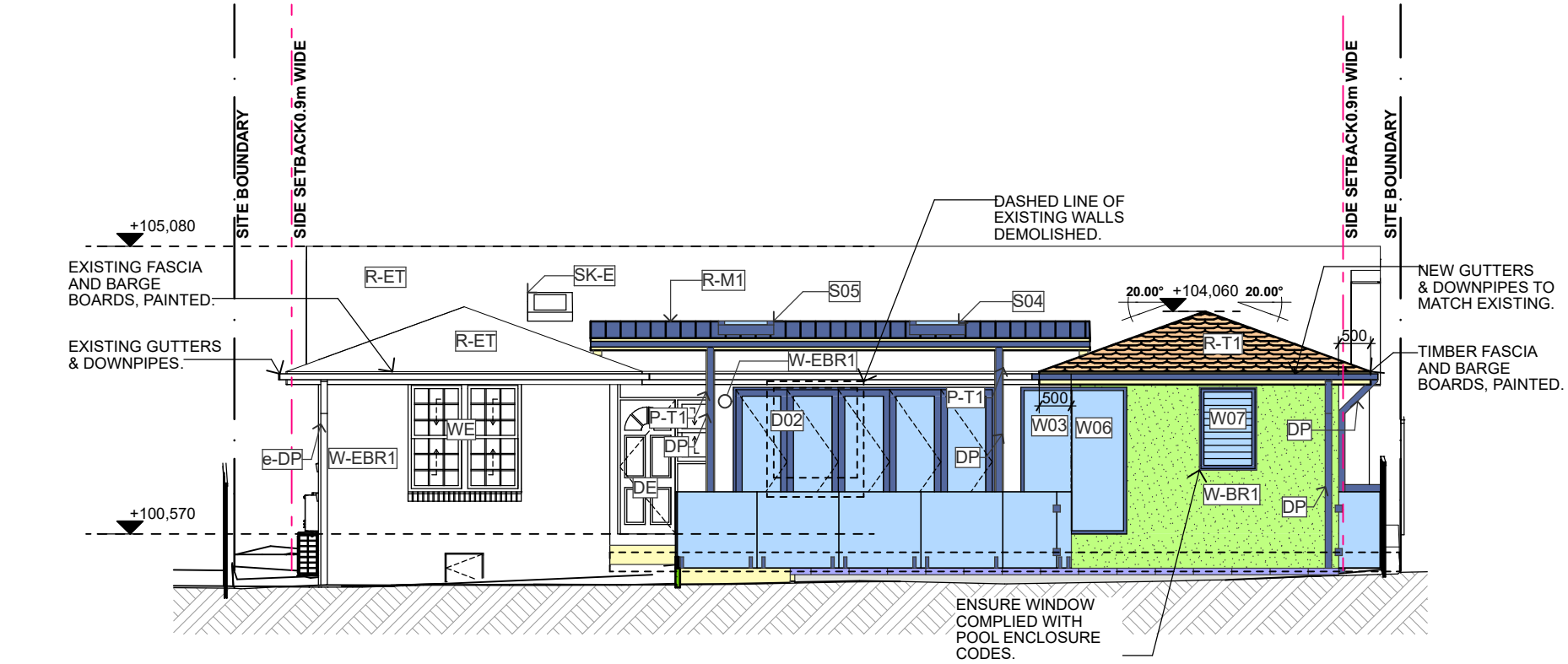
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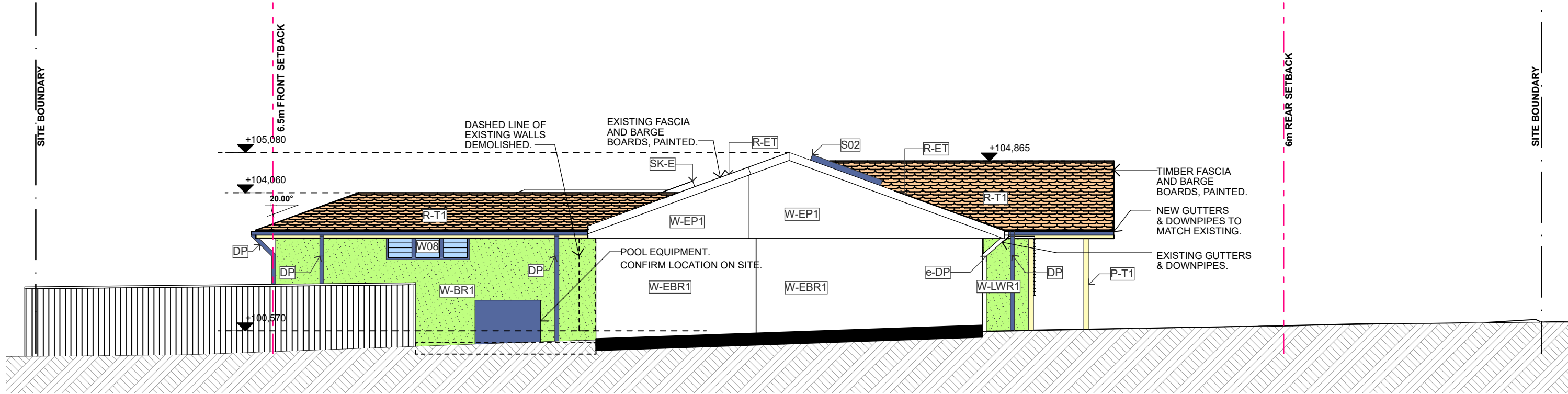
ELEVATION E1 & E2

DFA2006-A09

A



1 ELEVATION E3 (EAST)
- Scale 1:100



2 ELEVATION E4 (NORTH)
- Scale 1:100

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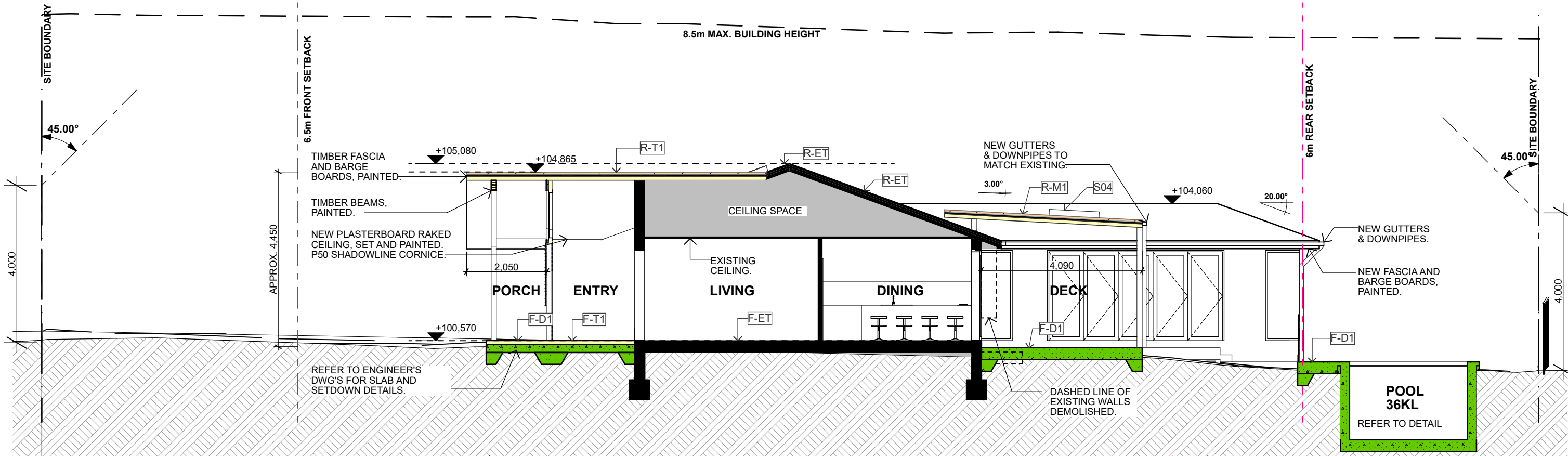
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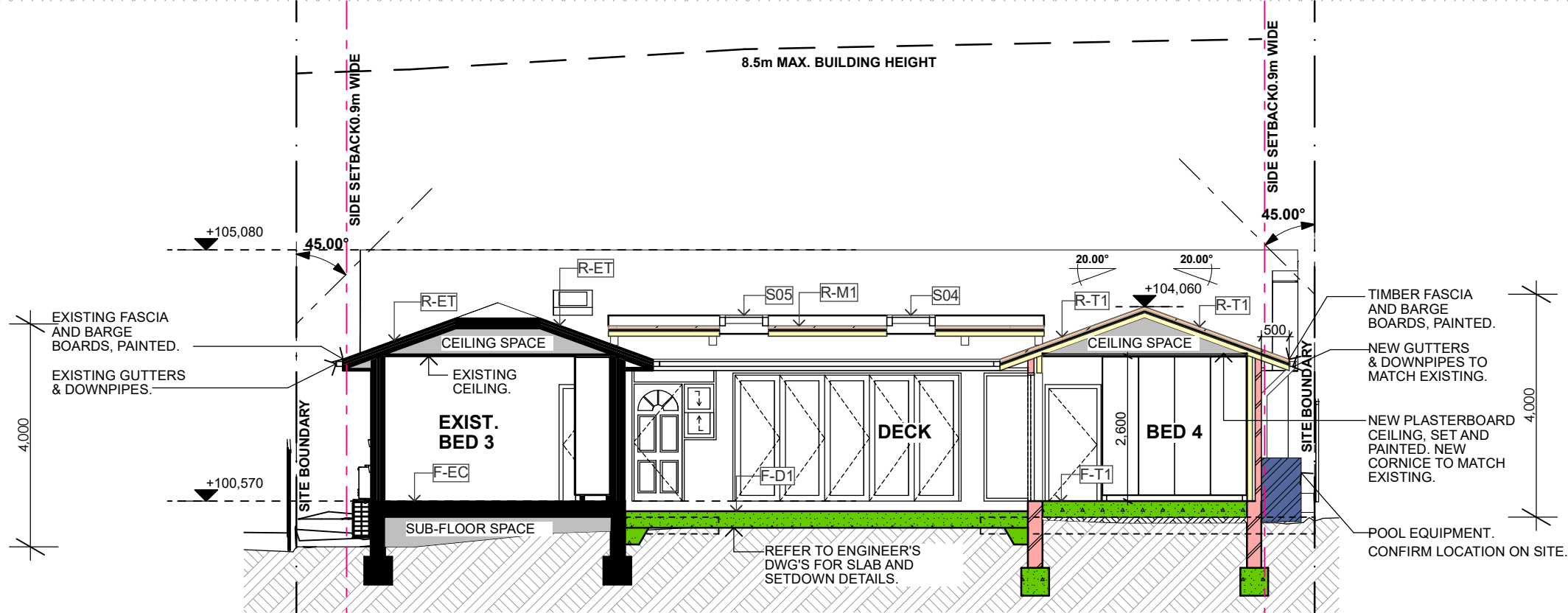
ELEVATION E3 & E4

DFA2006-A10

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1 SECTION A
Scale 1:100



2 SECTION C
Scale 1:100

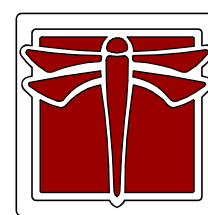
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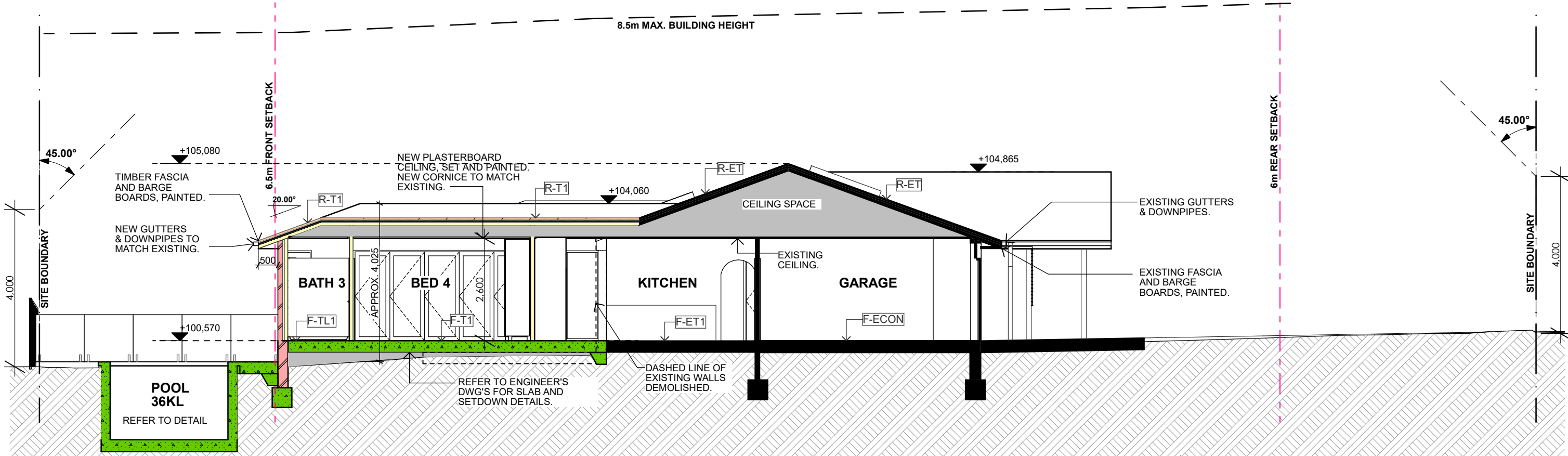
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HEIGHTS NSW 2087**

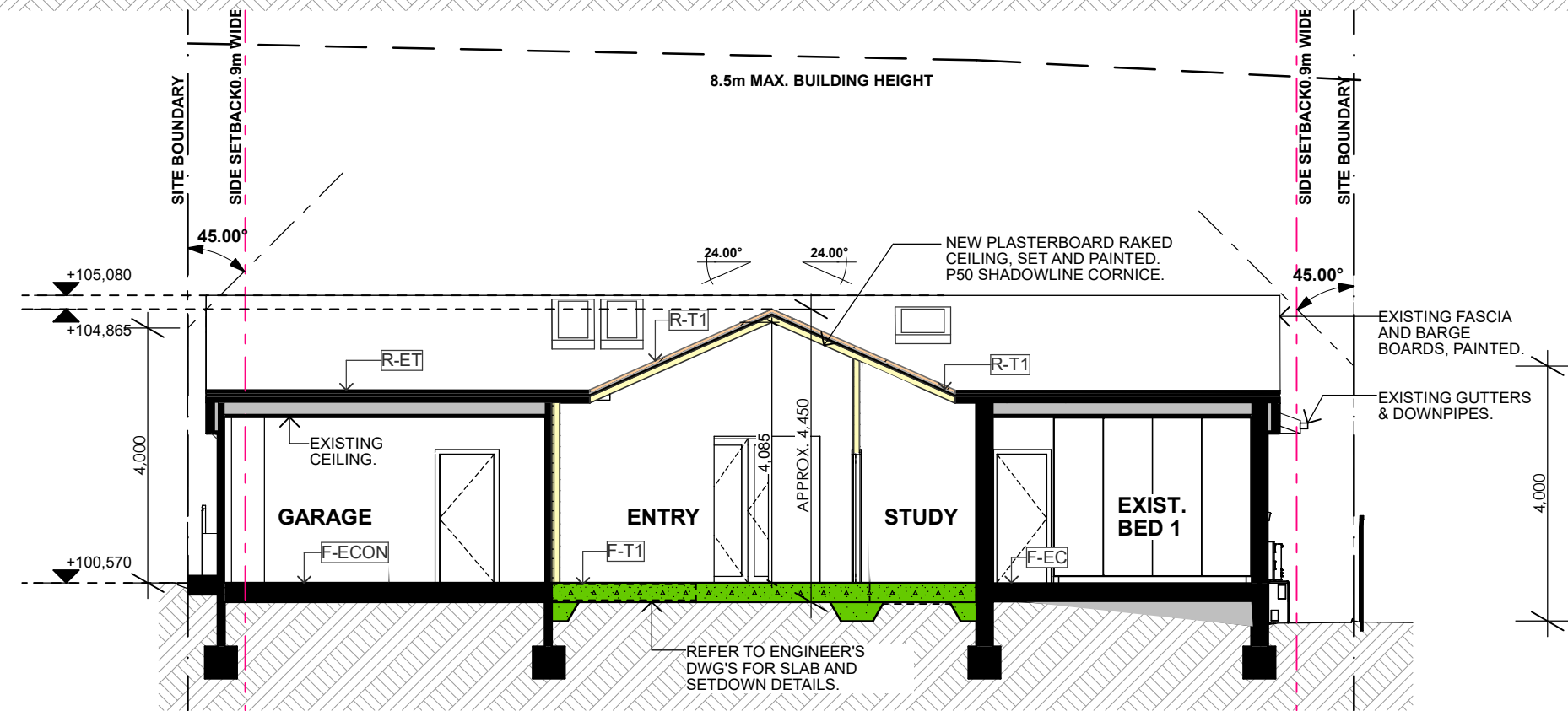
SECTION A & C

DFA2006-A11

A



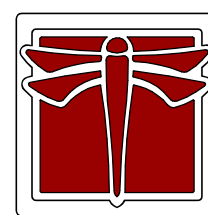
1 SECTION B
Scale 1:100



2 SECTION D
Scale 1:100

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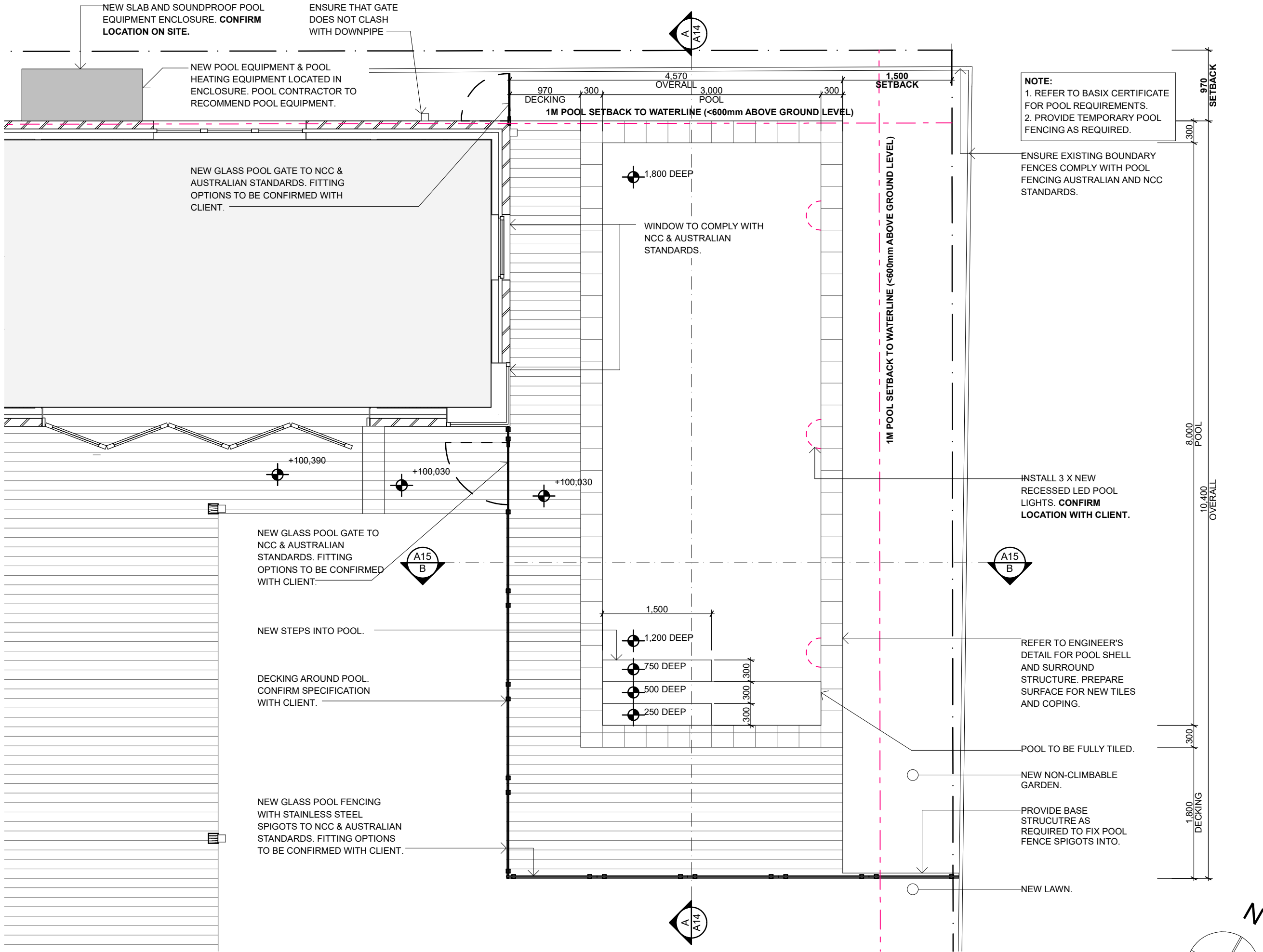
14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087
SECTION B & D
DFA2006-A12

A	DEVELOPMENT APPLICATION	10/06/2020
ID	DESCRIPTION	DATE

1

POOL PLAN

Scale 1:50



14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087

POOL PLANS

DFA2006-A13

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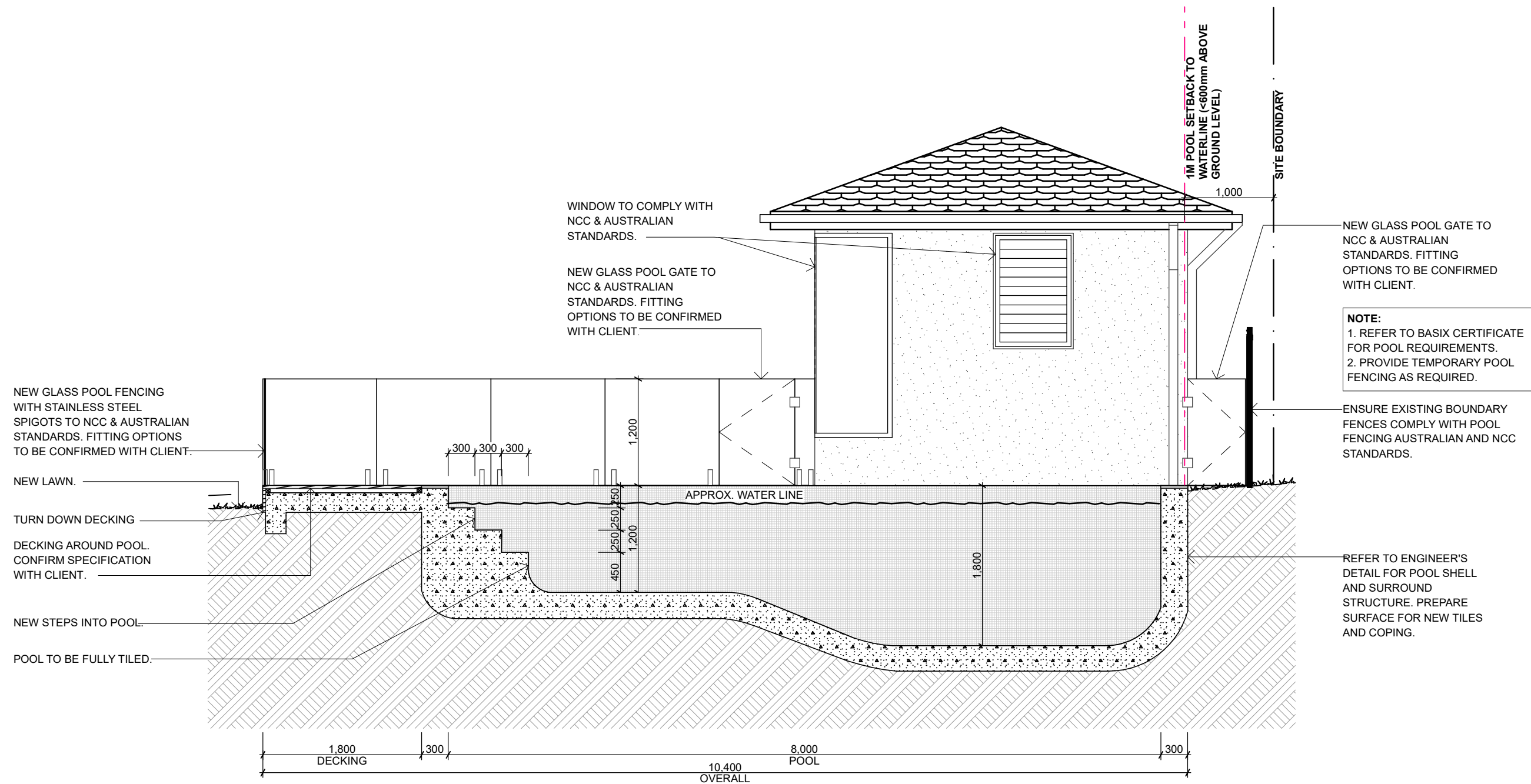
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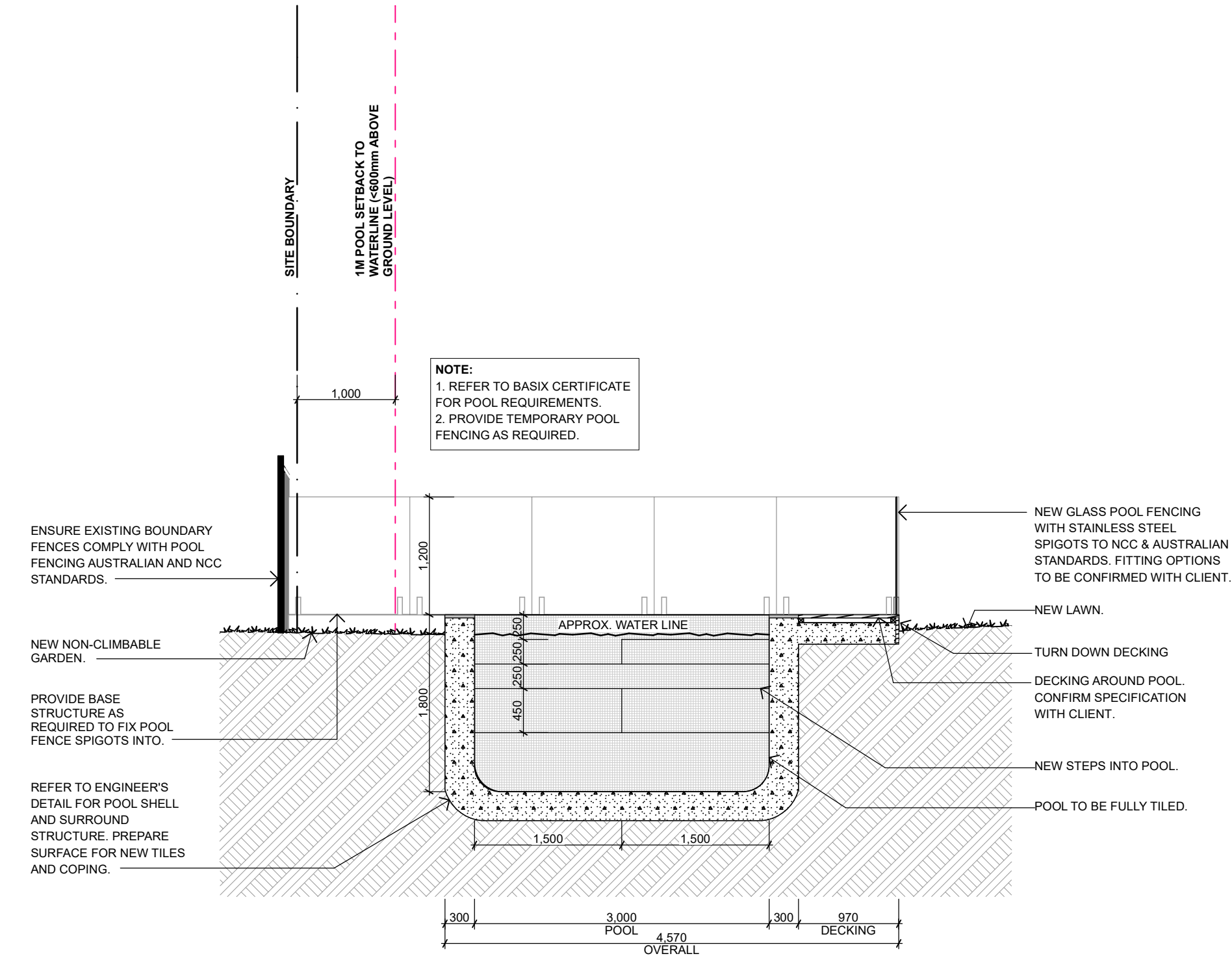
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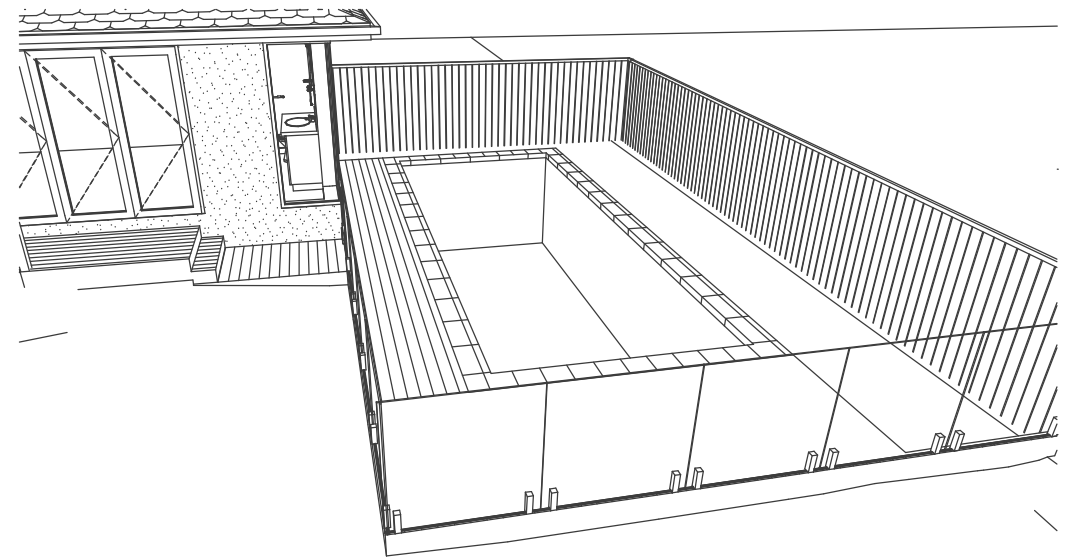
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1 POOL SECTION B
Scale 1:50



2 POOL VIEW

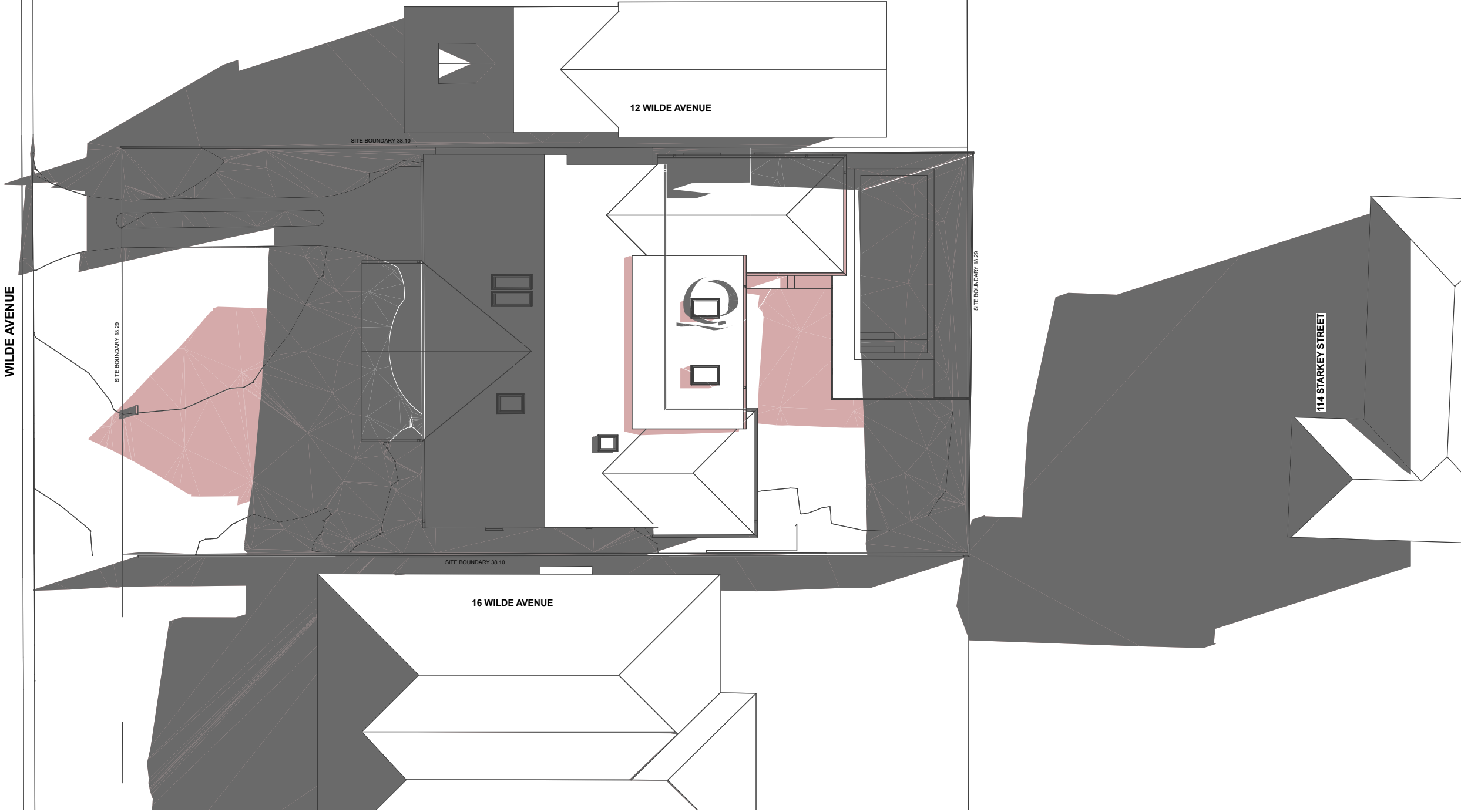
JUNE 21st 9:00 AM



PROPOSED SHADOWS

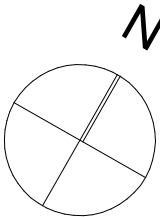


EXISTING SHADOWS



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HEIGHTS NSW 2087

SHADOWS JUNE 21-9AM

DFA2006-A16

A	DEVELOPMENT APPLICATION	10/06/2020
ID	DESCRIPTION	DATE

JUNE 21st 12:00 NOON



PROPOSED SHADOWS



EXISTING SHADOWS

WILDE AVENUE

SITE BOUNDARY 18.29

SITE BOUNDARY 38.10

12 WILDE AVENUE

SITE BOUNDARY 18.29

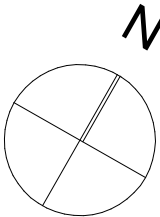
SITE BOUNDARY 38.10

16 WILDE AVENUE

114 STARKEY STREET

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14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087

SHADOWS JUNE 21-
12NOON

DFA2006-A17

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ID	DESCRIPTION	DATE

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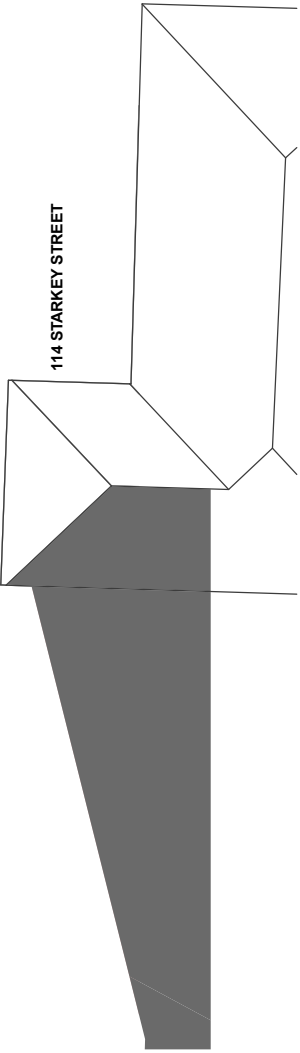
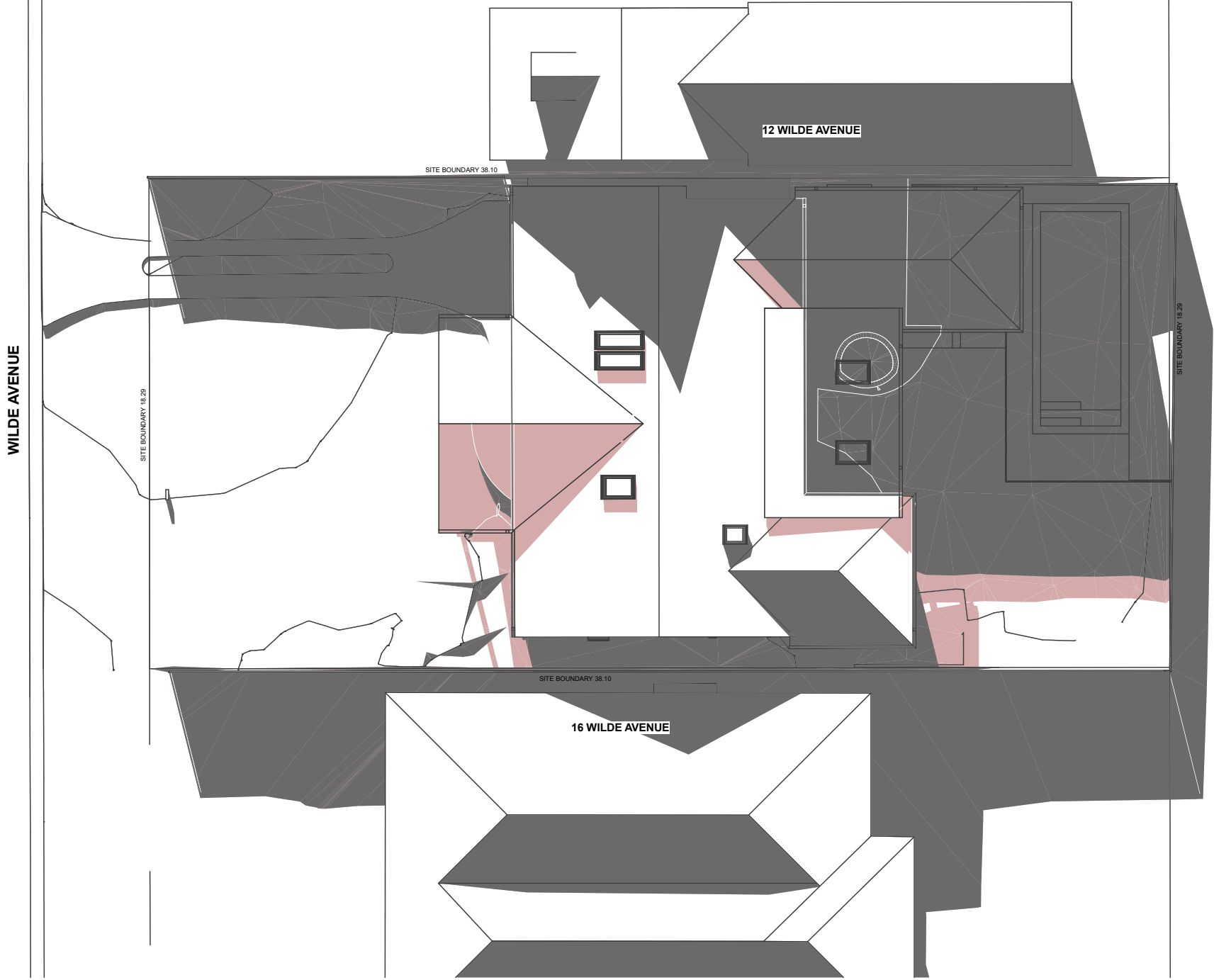
JUNE 21st 3:00 PM



PROPOSED SHADOWS

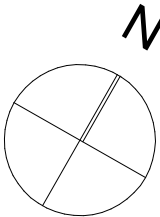


EXISTING SHADOWS



DEVELOPMENT APPLICATION

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SCALE : 1:200 @ A3
DATE PRINTED : 10/06/2020
DRAWN BY : ES, CS
CLIENT: LASZLO PETNEHAZI

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14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087

SHADOWS JUNE 21-3PM

DFA2006-A18

A	DEVELOPMENT APPLICATION	10/06/2020
ID	DESCRIPTION	DATE



LANDSCAPE EXISTING	
NAME	AREA
L1	180.48
L2	22.71
L3	189.42
	392.61 m ²
COMPLIES	

1 LANDSCAPE AREAS EXISTING
- Scale 1:200



LANDSCAPE CALCULATIONS
NORTHERN BEACHES COUNCIL DCP - PART D1
NOTE: SOFT LANDSCAPE AREAS WITH MIN. DIMENSION GREATER THAN 2,000mm

TOTAL SITE IS 696.7m²

MIN LANDSCAPE REQUIRED IS 40%
MIN. LANDSCAPE (0.40 X 696.7m²)= 278.68m²

MIN. REQUIRED SOFT LANDSCAPE = 523.56m²

PRIVATE OPEN SPACE
NORTHERN BEACHES COUNCIL DCP - PART D2

MIN. REQUIRED PRIVATE OPEN SPACE = 60m²

COMPLIES

LANDSCAPE PROPOSED	
NAME	AREA
L1	171.71
L2	22.71
L3	89.87
POOL	24.00
	308.29 m ²
COMPLIES	

2 LANDSCAPE AREAS PROPOSED
- Scale 1:200

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A377869

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 10, June 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Petnehazi House
Street address	14 Wilde Avenue Killarney Heights 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 215538
Lot number	269
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Dragonfly Architects Pty Ltd
ABN (if applicable): 78158837962

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or high-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 36 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)		Other specifications
concrete slab on ground floor.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

DEVELOPMENT APPLICATION

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14 WILDE AVENUE KILLARNEY
HEIGHTS NSW 2087

BASIX 1

DFA2006-A20

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W01	W	2.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W02	W	1.28	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S01	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S02	1.2	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S03	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W03	E	2.42	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W04	S	1.82	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W05	S	2	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W06	E	2	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W07	E	1.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W08	N	1.26	3.5	1.4	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W09	W	3.02	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W10	W	0.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D01	W	4.5	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D02	E	9.43	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D03	S	10.35	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
Skylights								
The applicant must install the skylights in accordance with the specifications listed in the table below.						✓	✓	✓

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

A	DEVELOPMENT APPLICATION	10/06/2020
ID	DESCRIPTION	DATE

DEVELOPMENT APPLICATION

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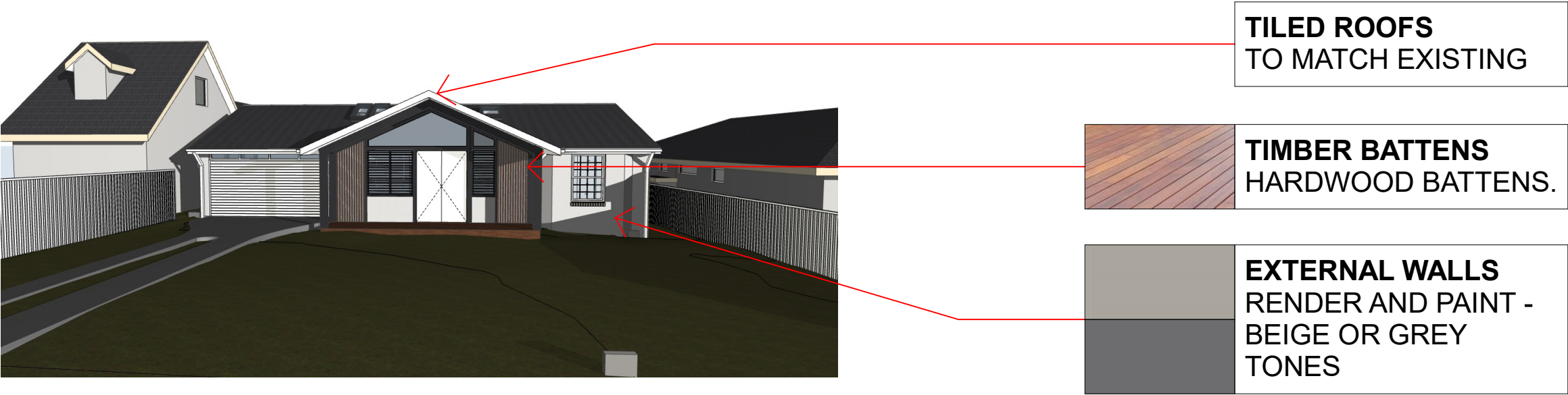
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BASIX 2

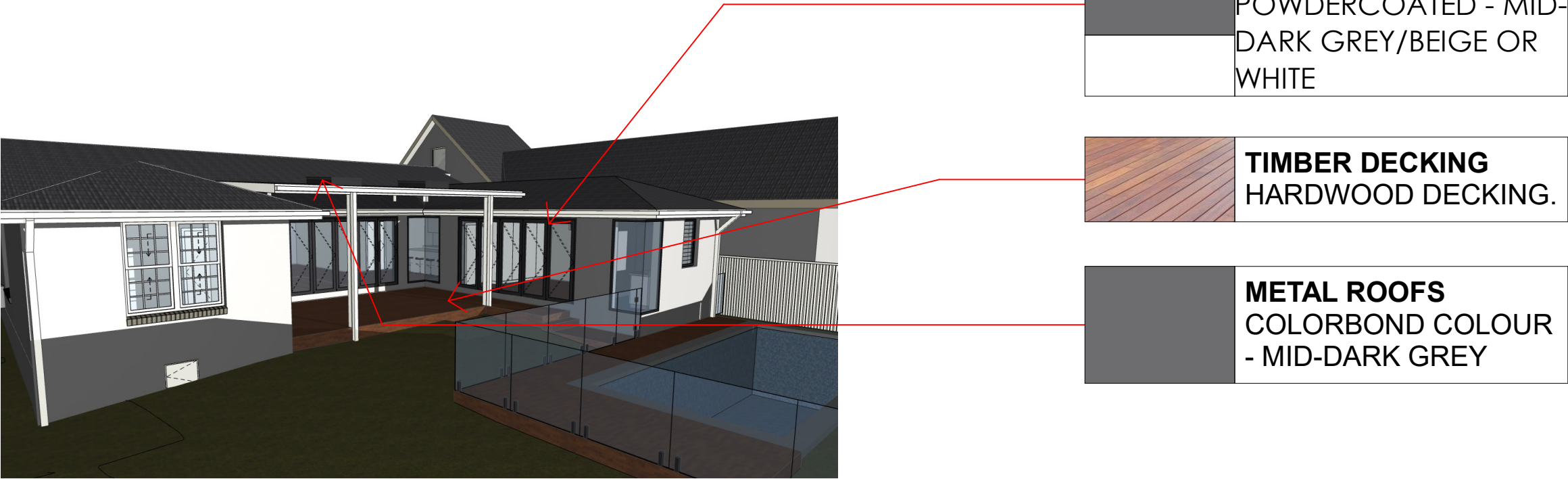
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1 FRONT VIEW



2 REAR VIEW