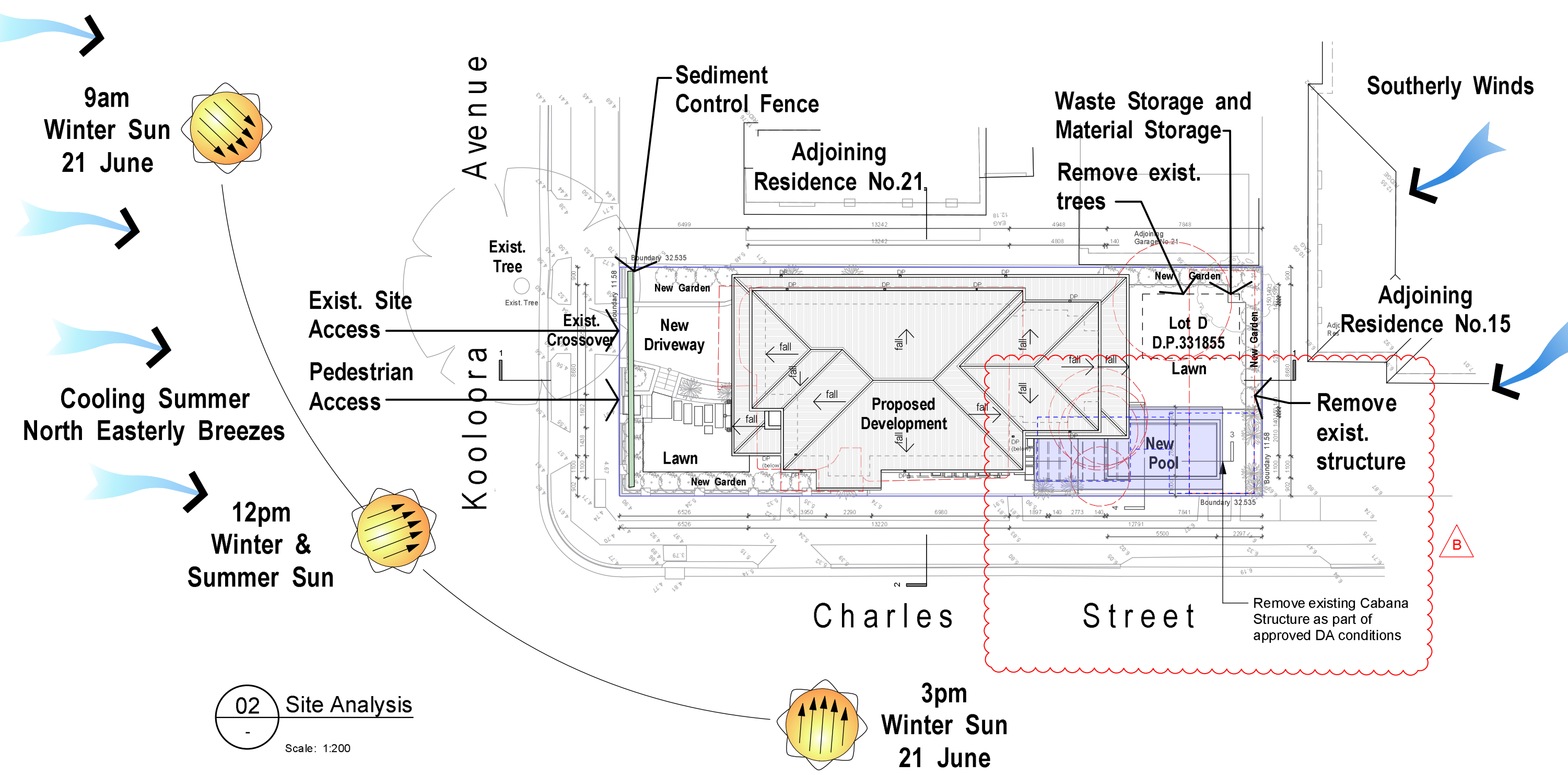




- Drawing List
- DA A100-B

Cover Sheet, Site Analysis, Basix Commitments & Site Photos
- DA A100-B

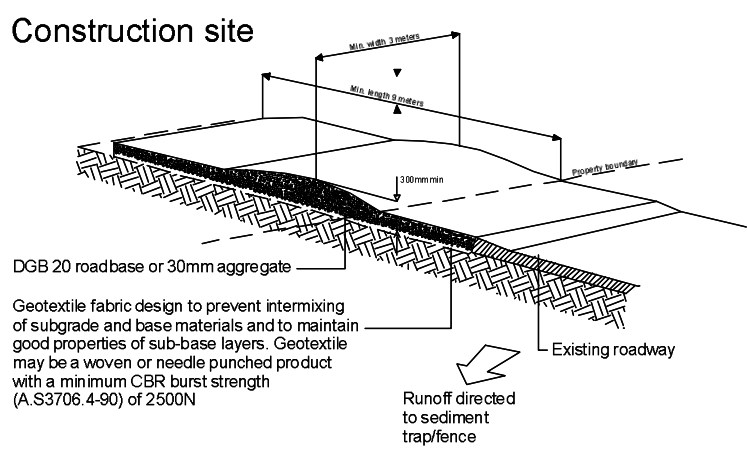
Lower Ground, Ground & First Floor Plans
- DA A200-B

Elevations and Sections
- DA A300-A

Shadow Diagrams

SITE ANALYSIS CALCS.

SITE AREA	376.8 m ²
SOFT LANDSCAPE	
PERMISSIBLE MIN.	(40% Site Area) 150.72 m ²
PROPOSED	(40.5%) 152.75 m ²



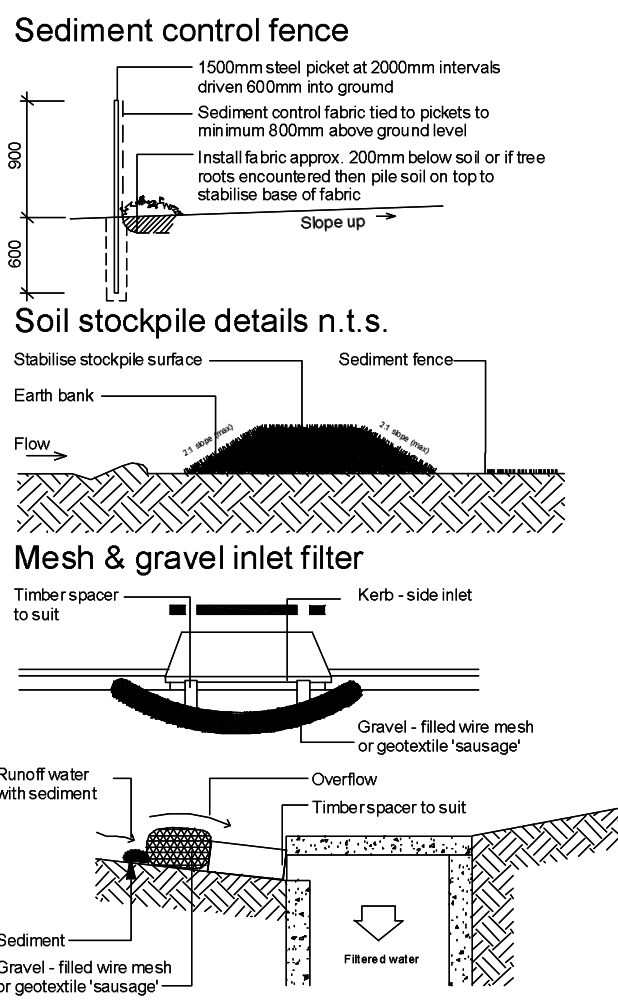
- Construction Notes:
1. Strip topsoil level site

2. Compact subgrade

3. Cover area with needle-punched geotextile

4. Construct 200mm thick pad over geotextile using roadbase or 30mm aggregate. Minimum length 15m or to building alignment. Minimum width 3m

5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap



04

Sediment Control Diagrams

NTS



Section 4.55 application

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2019/0619

Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 25 square metres of the site.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
Swimming pool
The swimming pool must not have a volume greater than 17.5 kilolitres.
The swimming pool must be outdoors.
Thermal Comfort Commitments
General features
The dwelling must not have more than 2 storeys.
The conditioned floor area of the dwelling must not exceed 300 square metres.
The dwelling must not contain open mezzanine area exceeding 25 square metres.
The dwelling must not contain third level habitable attic room.
Floor, walls and ceiling/roof
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.
Construction
Additional insulation required (R-Value)
Other specifications
floor - above habitable rooms or mezzanine, framed
nil
floor - suspended floor above garage, framed
nil
external wall - framed (weatherboard, fibre cement, metal clad)
3.00 (or 3.40 including construction)
internal wall shared with garage - cavity brick wall
nil
ceiling and roof - flat ceiling / pitched roof
ceiling: 3.5 (up), roof: foil/sarking
unventilated: medium (solar absorptance 0.475-0.70)

- Windows, glazed doors and skylights
- The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.
- The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.
- The following requirements must also be satisfied in relation to each window and glazed door:
- For the following glass and frame types, the certifier check can be performed by visual inspection.

- Aluminium single clear

- Aluminium double (air) clear

- Timber/UPVC/fibreglass single clear

- Timber/UPVC/fibreglass double (air) clear

For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.

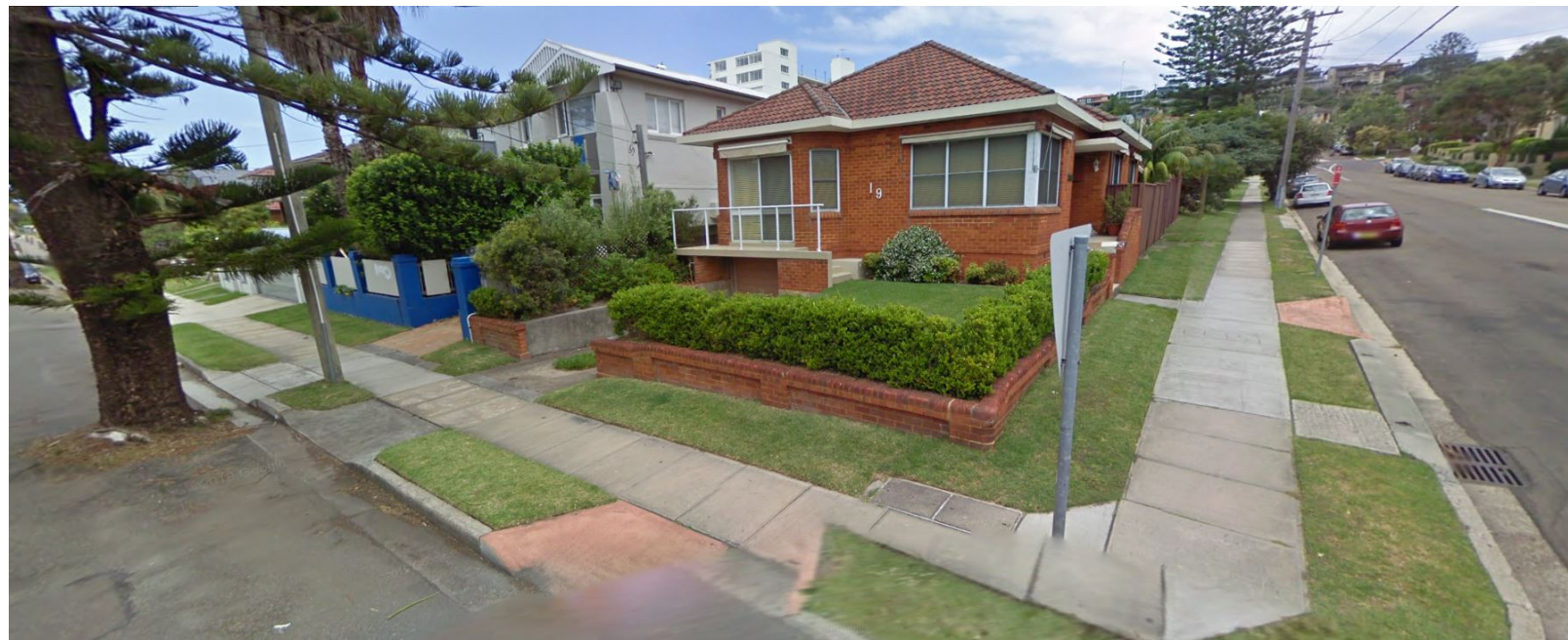
Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
W01	1790	3000	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W02	2700	1540	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2850 mm, 0 mm above head of window or glazed door	not overshadowed
W03	3520	600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2400 mm, 2100 mm above head of window or glazed door	not overshadowed
W04	1200	2800	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 850 mm, 150 mm above head of window or glazed door	not overshadowed
W05	2140	900	timber/UPVC/fibreglass, single, clear	eave 850 mm, 125 mm above head of window or glazed door	not overshadowed
W06	1750	860	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2400 mm, 450 mm above head of window or glazed door	not overshadowed
W07	800	460	timber/UPVC/fibreglass, single, clear	eave 1800 mm, 400 mm above head of window or glazed door	not overshadowed
South-East facing					
W08	680	1800	timber/UPVC/fibreglass, single, clear	eave 500 mm, 1150 mm above head of window or glazed door	>4 m high, 2-5 m away
W09	680	1500	timber/UPVC/fibreglass, single, clear	eave 500 mm, 1150 mm above head of window or glazed door	>4 m high, 2-5 m away
W10	1540	900	timber/UPVC/fibreglass, single, clear	eave 500 mm, 300 mm above head of window or glazed door	>4 m high, 2-5 m away
W11	1540	900	timber/UPVC/fibreglass, single, clear	eave 500 mm, 300 mm above head of window or glazed door	>4 m high, 2-5 m away
W12	1200	2000	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 550 mm, 100 mm above head of window or glazed door	not overshadowed
W13	1200	1600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
W14	1200	1600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
W15	1200	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed

W16	1200	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 100 mm above head of window or glazed door	Sediment Control Fence
South-West facing					
W17	3520	600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 3000 mm, 2100 mm above head of window or glazed door	not overshadowed
W18	1600	800	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2000 mm, 600 mm above head of window or glazed door	not overshadowed
W19	2700	4800	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 6000 mm, 0 mm above head of window or glazed door	not overshadowed
W20	1750	860	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2000 mm, 400 mm above head of window or glazed door	not overshadowed
W21	800	460	timber/UPVC/fibreglass, single, clear	eave 1300 mm, 200 mm above head of window or glazed door	not overshadowed
W22	2100	3320	U-value: 2.3, SHGC: 0.171 - 0.209 (timber/UPVC/fibreglass, double (air), Lo-Tsol Low-e/clear)	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
North-West facing					
W23	500	2130	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W24	400	2710	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W25	2700	360	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 1450 mm, 0 mm above head of window or glazed door	not overshadowed
W26	1300	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 3150 mm above head of window or glazed door	not overshadowed
W27	1600	800	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W28	1600	800	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W29	1750	1810	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	external louvre/vertical blind (adjustable)	not overshadowed
W30	1200	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
W31	800	4400	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W32	1200	2000	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Natural lighting
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.



View to Existing Residence (subject site)

No. 19 from Cnr Kooloora Ave and Charles St (courtesy Google Street View)



View to Existing Residence (subject site)

No. 19 from Charles St (courtesy Google Street View)

B	19/11/19	Section 4.55 Application for Pool and Pergola repositioned	KvB
A	19/7/19	DA Issue	KvB
rev	date	revision notes	by
Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings			
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project	project#		19-774

Golledge McLean Residence

19 Kooloora Avenue,

Freshwater, NSW 2099

Lot 16 Section 2 DP.7022

client

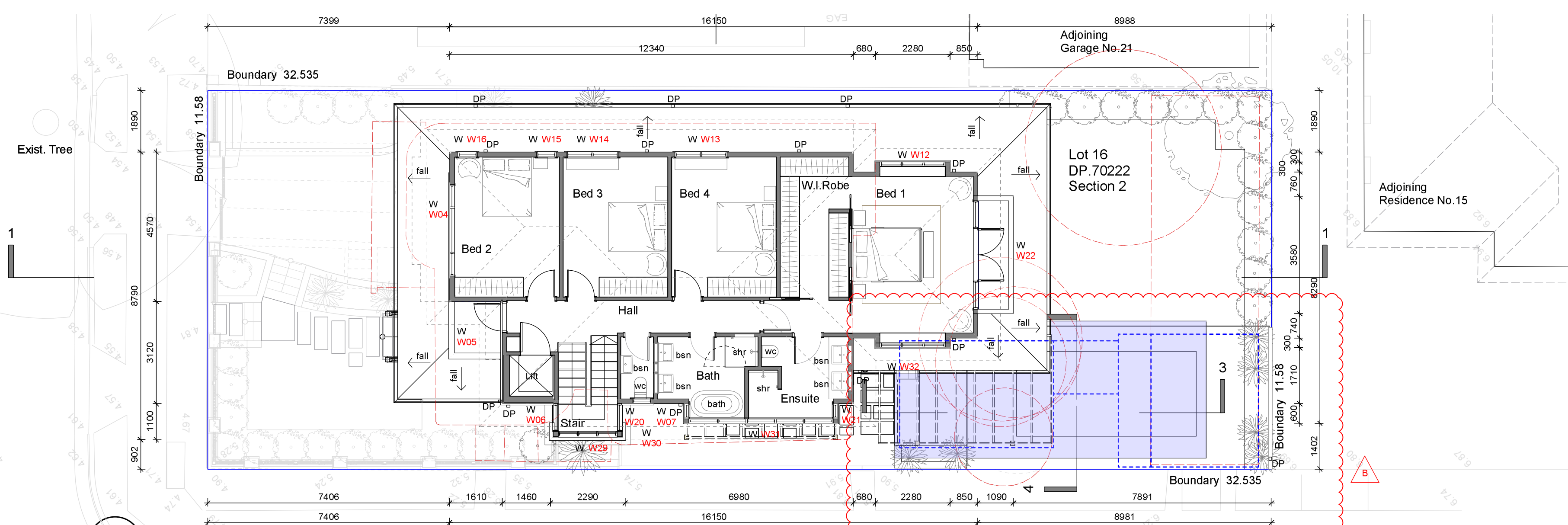
Mr W. Golledge and Mrs L. McLean

dwg

Location Plan, Site Analysis & Basix Commitments

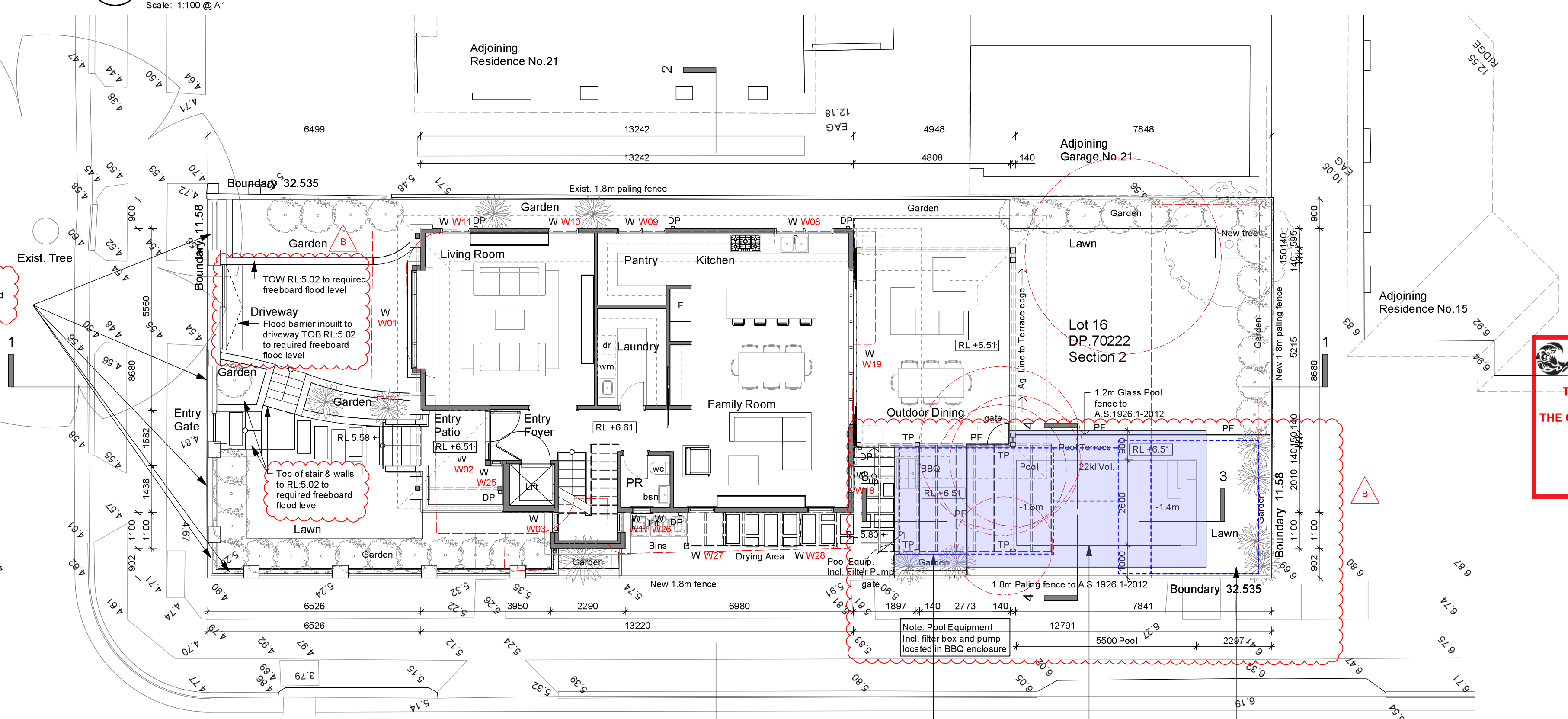
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20/11/19	KvB	JH	1:200

KOOLOORA AVENUE



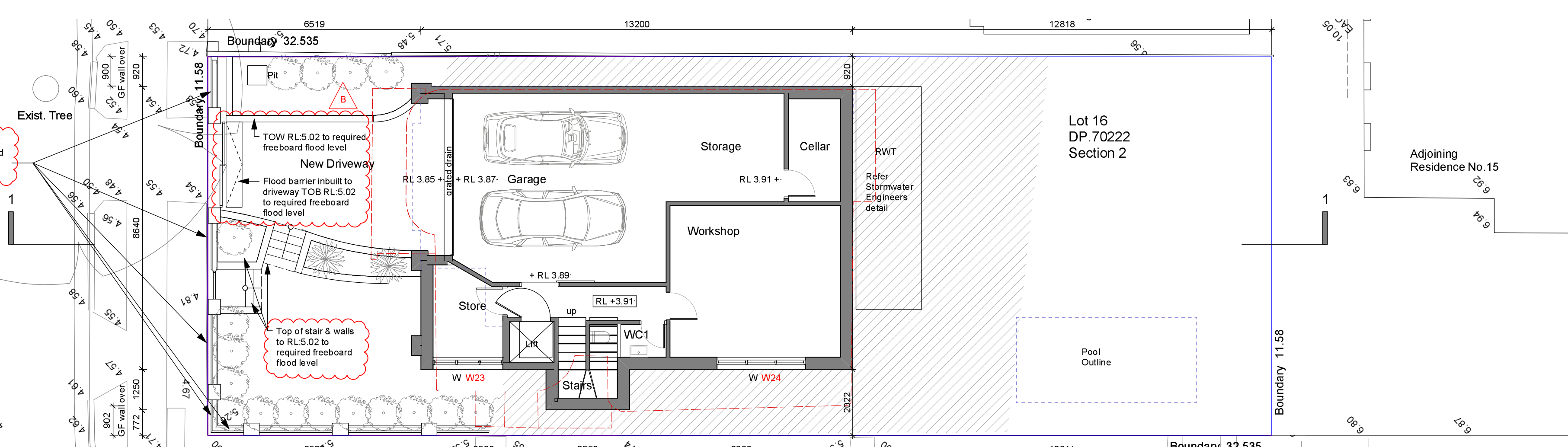
3 First Floor Plan

Scale: 1:100 @ A1



2 Ground Floor Plan

Scale: 1:100 @ A1



1 Basement Garage Plan

Scale: 1:100 @ A1

GENERAL LEGEND	
COS	Check On Site
DAR	Dressed All Round
E/...	Existing (Where E. shown at start of abbreviation it is existing)
FFL	Finished Floor Level
FCL	Finished Ceiling Level
G.L	Ground Level
MI	Minor Image
SFL	Structural Floor Level
SOS	Soffit Of Slab
TBC	To Be Confirmed
TBA	To Be Advised
WINDOWS AND DOORS	
AW	Awning Window
CD	Concertina Door
CSD	Cavity Sliding Door
CW	Casement Window
D	Door
DH	Double Hung Window
FD	Front Door
FG	Fixed Glass
FP	Fixed Panel
GA	Glazed Assembly
MI	Minor Image
SD	Swing Door
SDH	Sashless Double Hung
SL	Sliding Door
SW	Sliding Window
W	Window
FINISHES LEGEND	
AL	Aluminium
AR	Architrave
BQ	Barbecue
BL	Balustrade
BWK	Brickwork
C	Cornice
CBF	Concrete Broom Finish
CBG	Colour Back Glass
CR	Concrete Paver
CPT	Carpet and Underlay
CR	Cement Render
FC	Cement Rendered Foamboard
CS	Concrete Slab
CST	Concrete Steel Trowelled
CT	Ceramic Tile
DP	Downpipe
DPS	Downpipe Spreader
DS	Door Stop
EF	Eaves Fascia
EG	Eaves Gutter
EGF	Eaves Gable Fascia
ES	Eaves Soffit
F	Fence
FC	Fibre Cement
FCL	Finished Ceiling Level
FFL	Finished Floor Level
FOR	Floor Grate
FL	Flue
FP	Fixed Panel
FPL	Fire Place
FT	Floor Tiles
GC	Gas Cock
GD	Garage Door
GRD	Grated Drain
GG	Gutter Guard
GMT	Glass Mosaic Tiles
GR	Glazed Roof
HC	Hose cock
HR	Handrail
HVU	Hot Water Unit
INS	Insulation
M	Metal
MC	Metal Cladding
MFC	Metal Fascia Capping
MR	Membrane Roof
MRC	Metal Roofing Colorbond
MS	Mild Steel
OF	Overflow Splitter
P	Paint Finish
PB	Plasterboard Painted
PBM	Plasterboard Moisture
PCRS	Polycarbonate Roof Sheetting
PFN	Pool Finish
PR	Picture Rail
RB	Roller Blind
RD	Roller Door
RWH	Rain Water Head
S	Steel
SC	Steel Column
SCE	Steel Column External
SF	Steel Frame
SK	Skirting
SL	Skylight
SP	Set Plaster
SPR	Spreader
SS	Stainless Steel
SSL	Structural Slab Level
ST	Stone
STP	Stone Paving
STS	Stone Slab
T	Timber
TB	Timber Battens
TC	Timber Cladding
TD	Timber Decking
TF	Timber Floor
TFA	Timber Fascia
TP	Timber Post
TPL	Timber Pergola
TS	Timber Screen
TSH	Timber Shingles
TSL	Timber SLEEPER Wall
TSS	Timber Screen Sliding
TT	Timber Tread
TV	Television
VB	Villa board
WB	Western Red Cedar
WT	Wall Tile

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2019/0619

RL +37.40	New Site Level	W3 - Basis Window Number
FFL +37.40	Finished Floor Level	Refer Basis Commitments
---	Structure or Wall To Be Demolished	
○	Tree Removal	
---	Proposed New Walls	
---	Section 4.55 application	

B	20/11/19	Section 4.55 Application for Pool and Pergola repositioned. Flood barrier and freeboard height notes added to front fence and gate	KvB
A	19/7/19	DA Issue	KvB
rev	date	revision notes	by
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project	project#	revision	19-774

Golledge McLean Residence
19 Kooloora Avenue,
Freshwater, NSW 2099
Lot 16 Section 2 DP.7022
client
Mr W. Golledge and Mrs L. McLean
dwg
Ground & First Floor Plan
printed
20/11/19
drawn
KvB
checked
JH
scale@A1
1:200

SECTION 4.55 APPLICATION

S4.55 A100 B

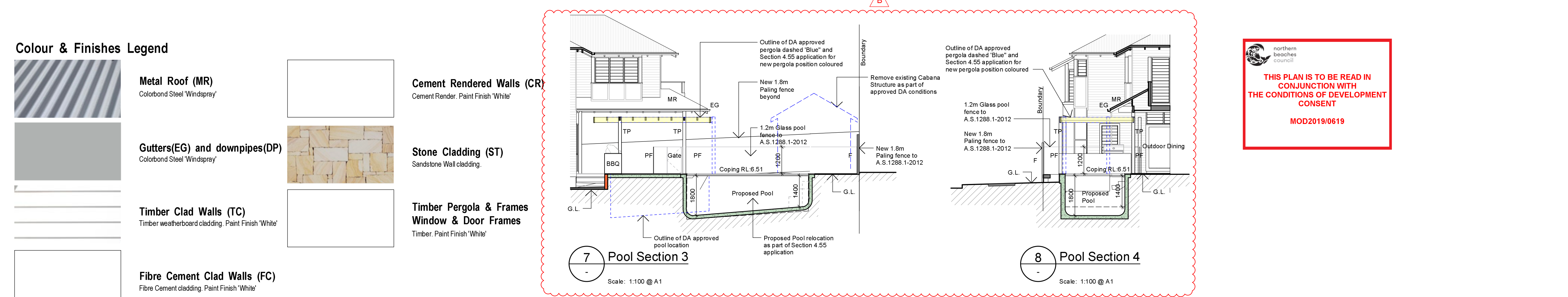
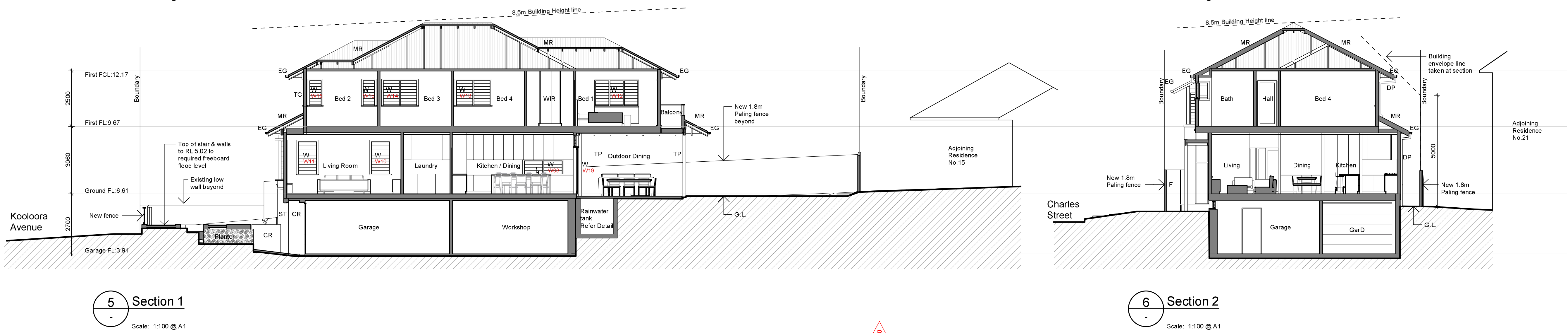
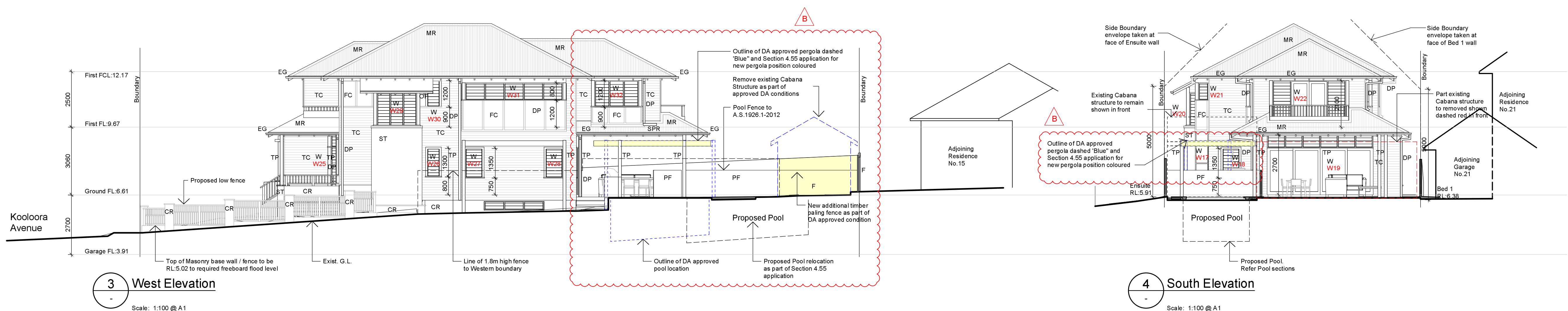
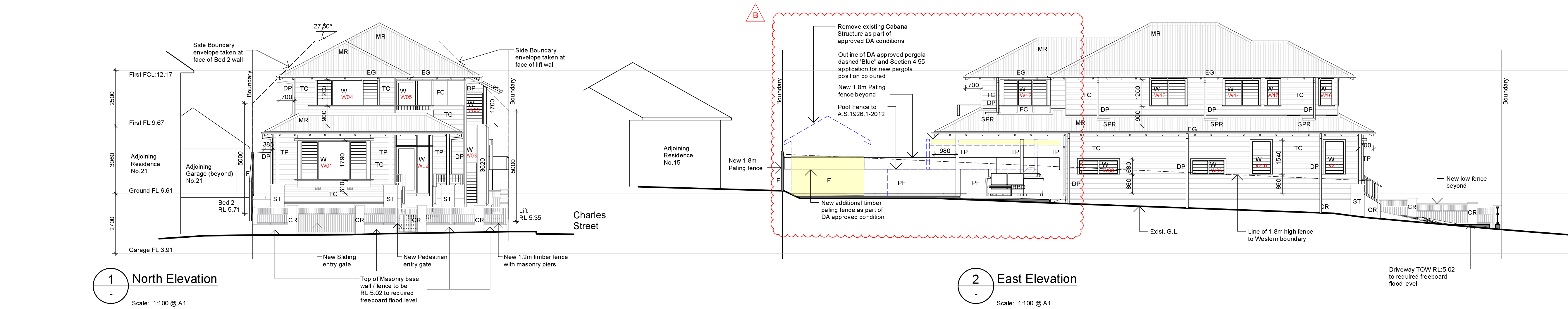
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A R C H I T E C T S

John J Playoust & Co Pty Limited ACN 008 503 188 & Brett Churcher Architects Pty Ltd
A C N 003 751 611 Trading as Playoust Churcher Architects



GENERAL LEGEND	
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RLC	Rendered Lightweight Cladding
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TS	Timber Screen Sliding
TT	Timber Tread
TV	Television
VB	Villa Board
WB	Weather Board
WRC	Western Red Cedar
WT	Wall Tile
W3	Basic Window Number
Refer	Refer Basic Commitments

B	20/11/19	Section 4.55 Application for Pool and Pergola repositioned. Flood barrier and freeboard height notes added to front fence and gate.	KvB
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Lot 16 Section 2 DP.7022
client

Mr W. Golledge and Mrs L. McLean

dwg

Elevations

printed	drawn	cid	scale@A1
20/11/19	KvB	JH	1:100

SECTION 4.55 APPLICATION		
stage	drawing #	revision
S4.55	A200	B
11 marian street killara nsw 2071 T 02 9458 8811 F 02 9458 4870		
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info@playoustchurcher.com.au www.playoustchurcher.com.au		A R C H I T E C T S
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