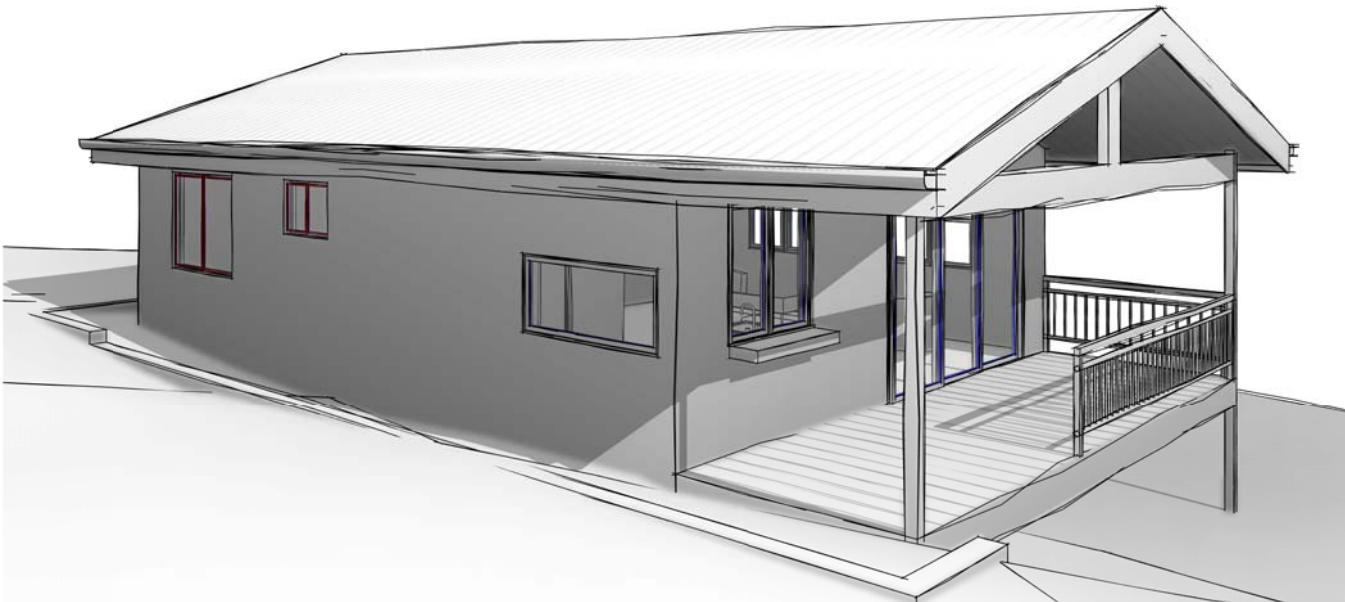
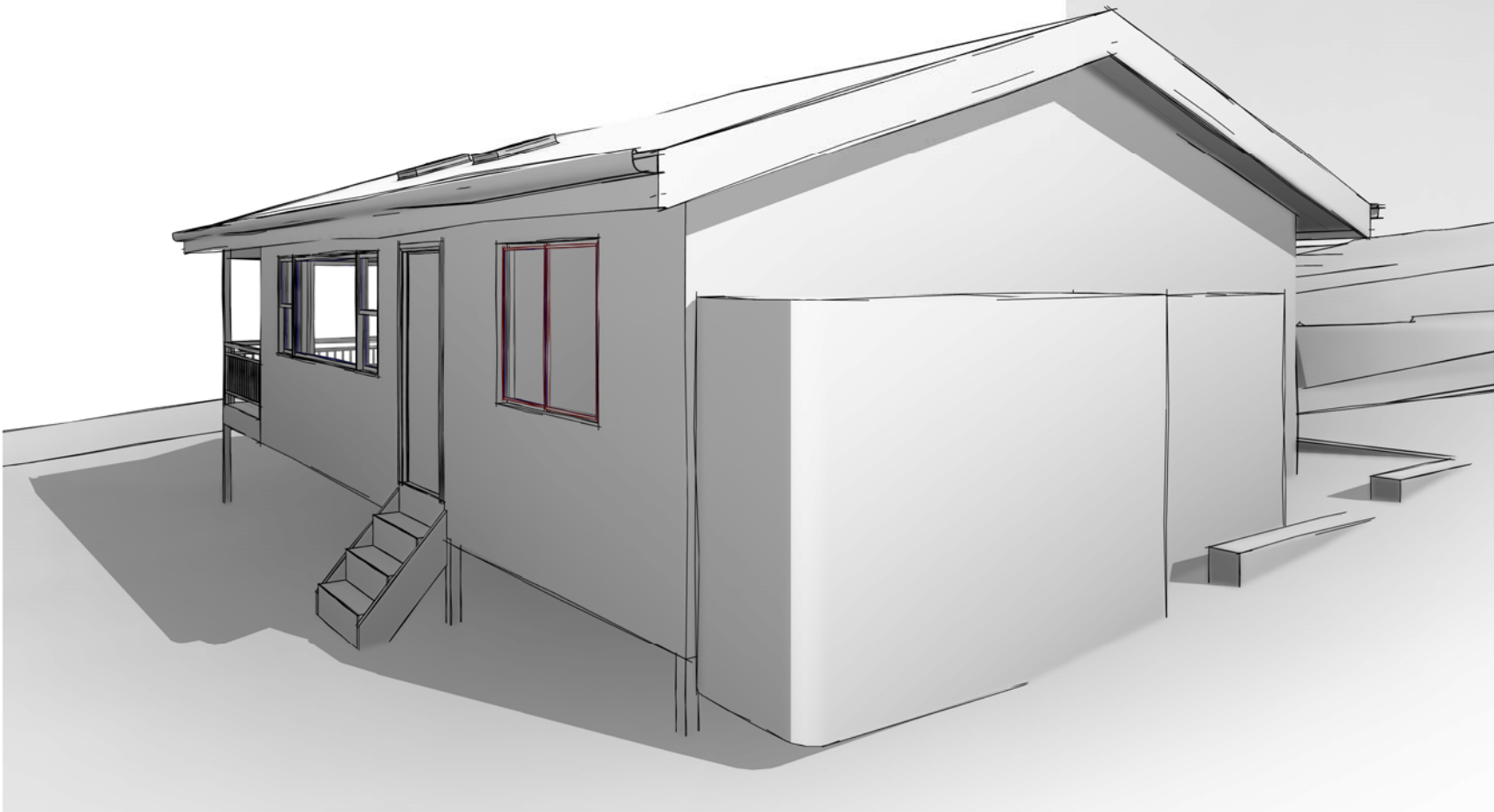




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drawn	date	issue	amendment
EU	25/08/21	A	ISSUE FOR DA

project
**PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 38
TURIMETTA STREET, MONA VALE 2103 LOT 1 DP
531767.**

client
JANE AND SIMON TOD

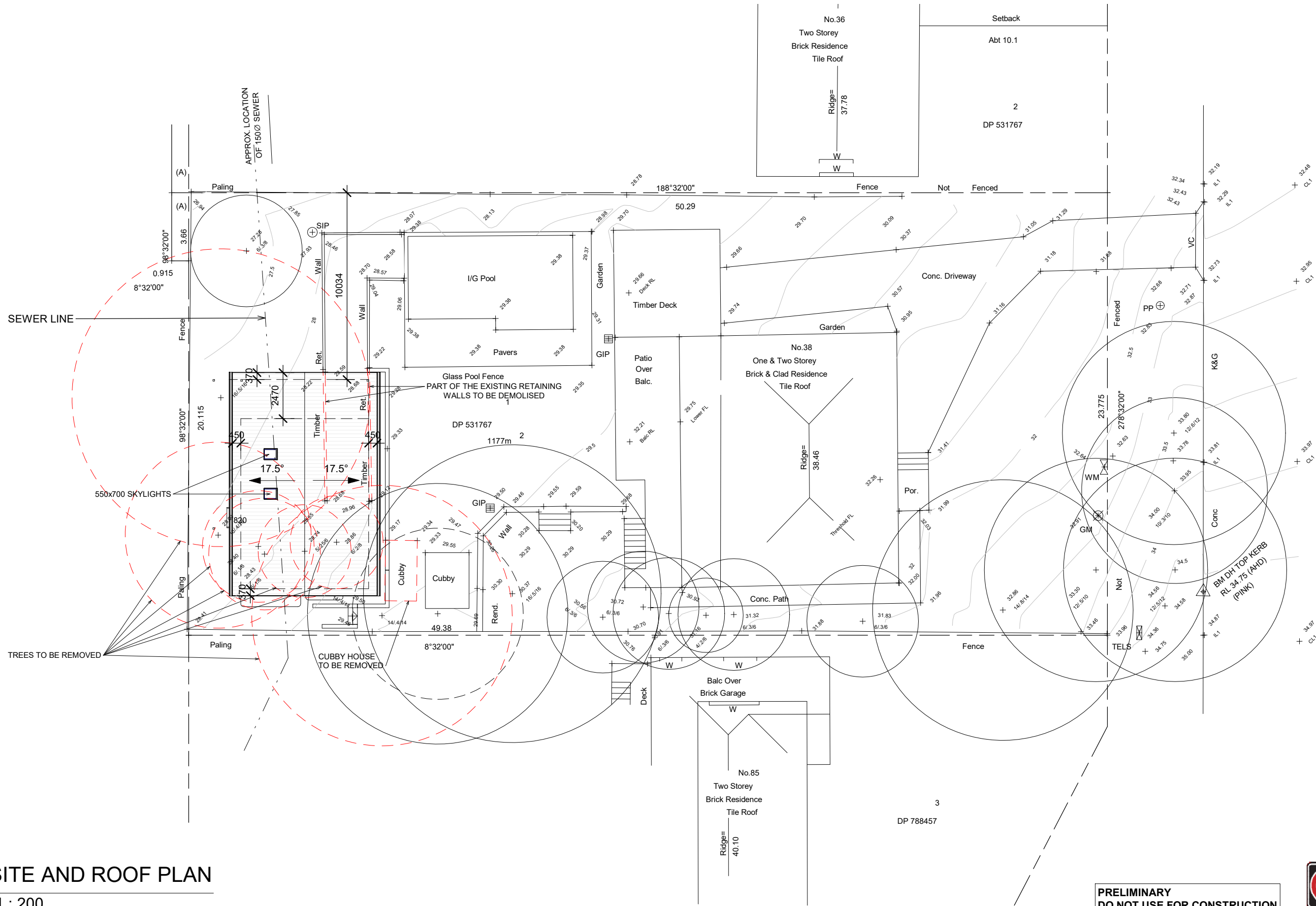
 **Bungalow Homes**

drawing 3D VIEWS	date 25/08/21	sheet no. 0	scale @ A3 issue A	drawn RK
project no 21-92				


**ACCREDITED
BUILDING DESIGNER**

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1

SITE AND ROOF PLAN

1 : 200

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531767.

client
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drawing
SITE AND ROOF PLAN

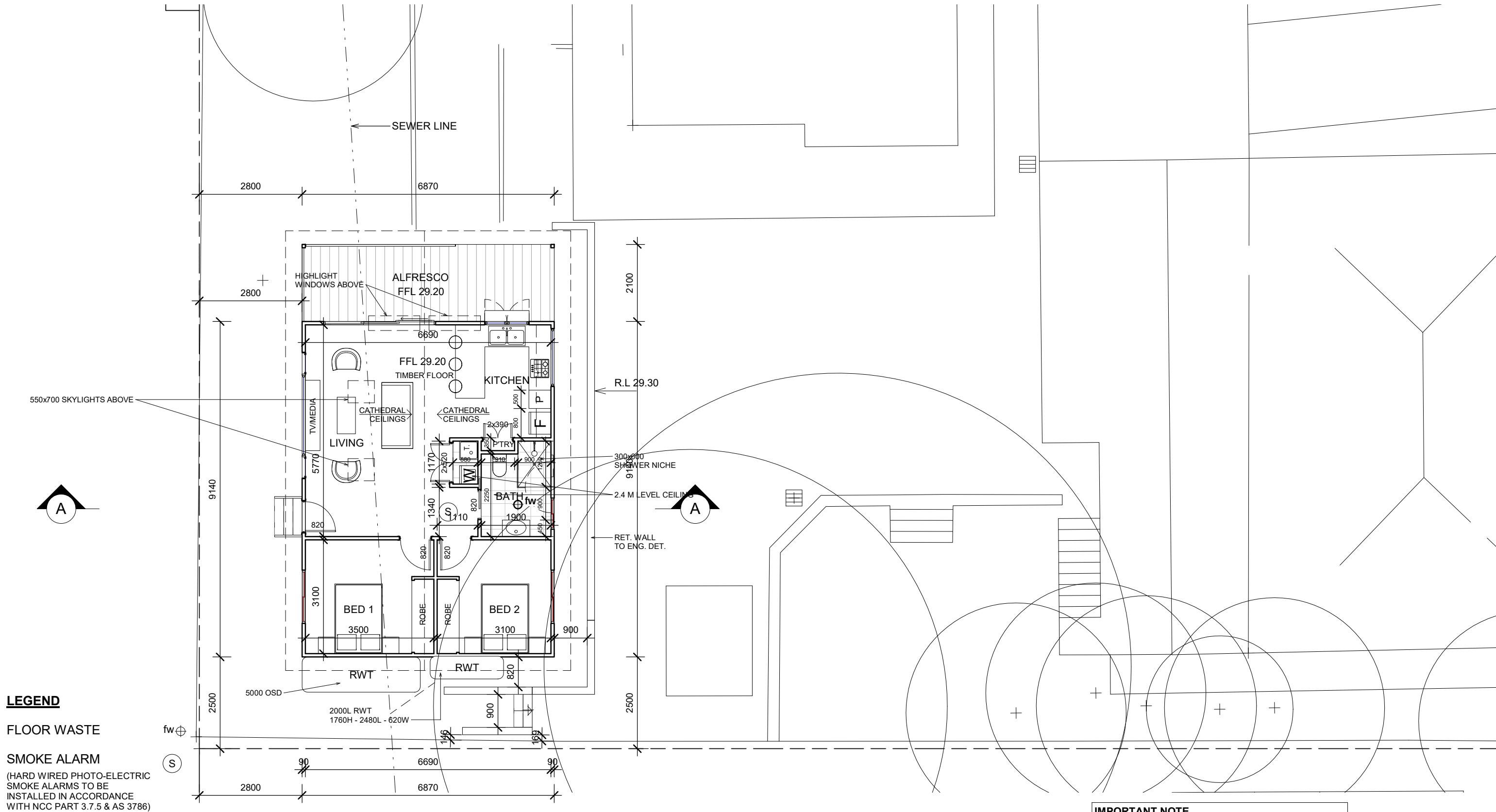
project no	date	sheet no.	scale @ A3	issue	drawn
21-92	25/08/21	1	1 : 200	A	RK



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LEGEND

FLOOR WASTE

SMOKE ALARM
(HARD WIRED PHOTO-ELECTRIC
SMOKE ALARMS TO BE
INSTALLED IN ACCORDANCE
WITH NCC PART 3.7.5 & AS 3786)

1 GROUND FLOOR PLAN
1 : 100

PRELIMINARY
DO NOT USE FOR CONSTRUCTION

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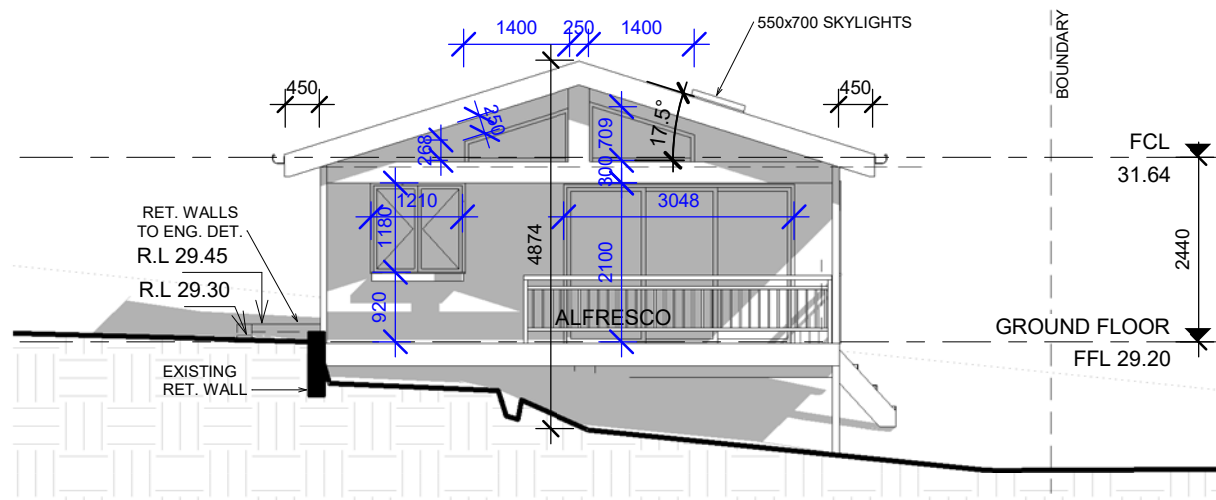
drawing
GROUND FLOOR PLAN

project no	date	sheet no.	scale @ A3	issue	drawn
21-92	25/08/21	2	1 : 100	A	RK

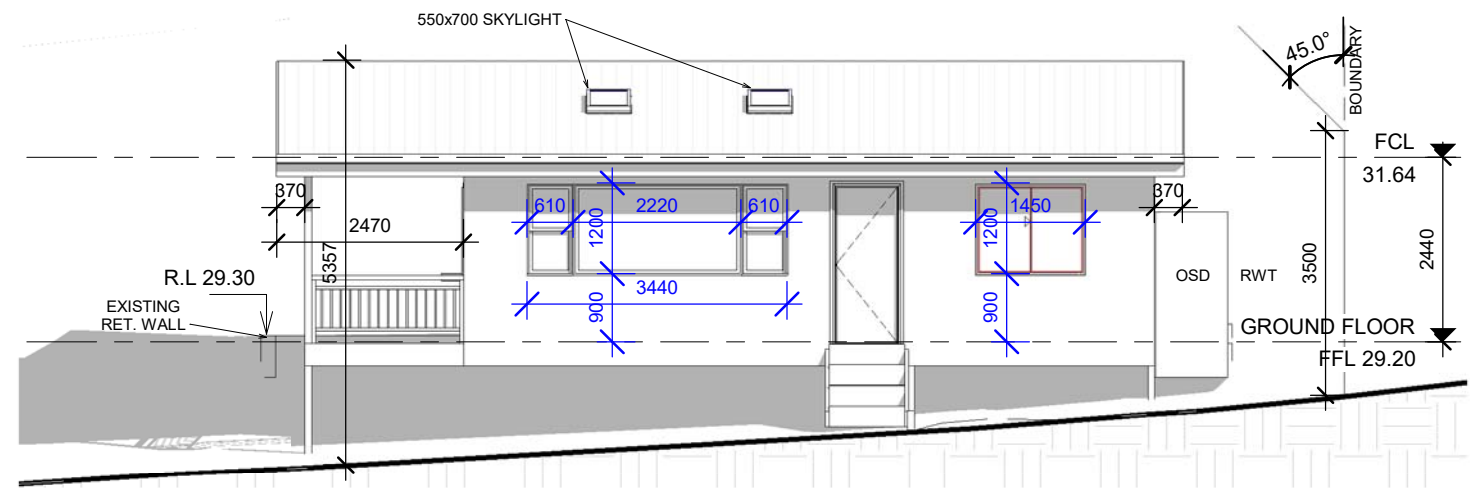


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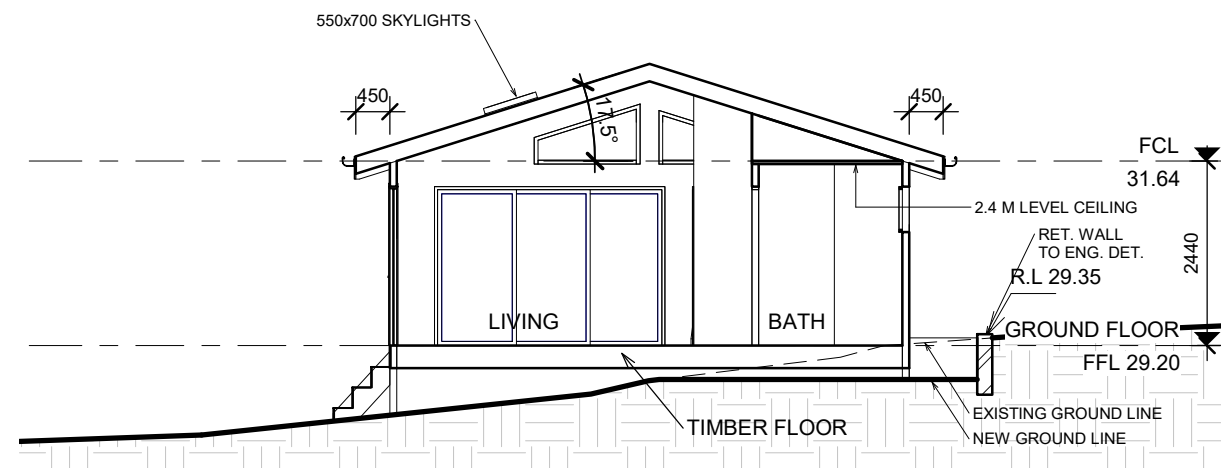




1 EAST ELEVATION
1 : 100

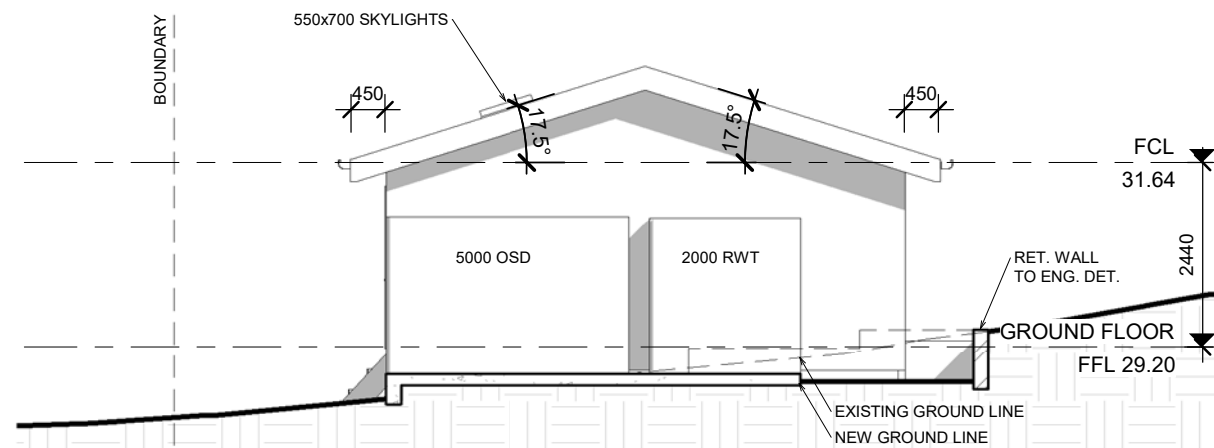


2 NORTH ELEVATION
1 : 100

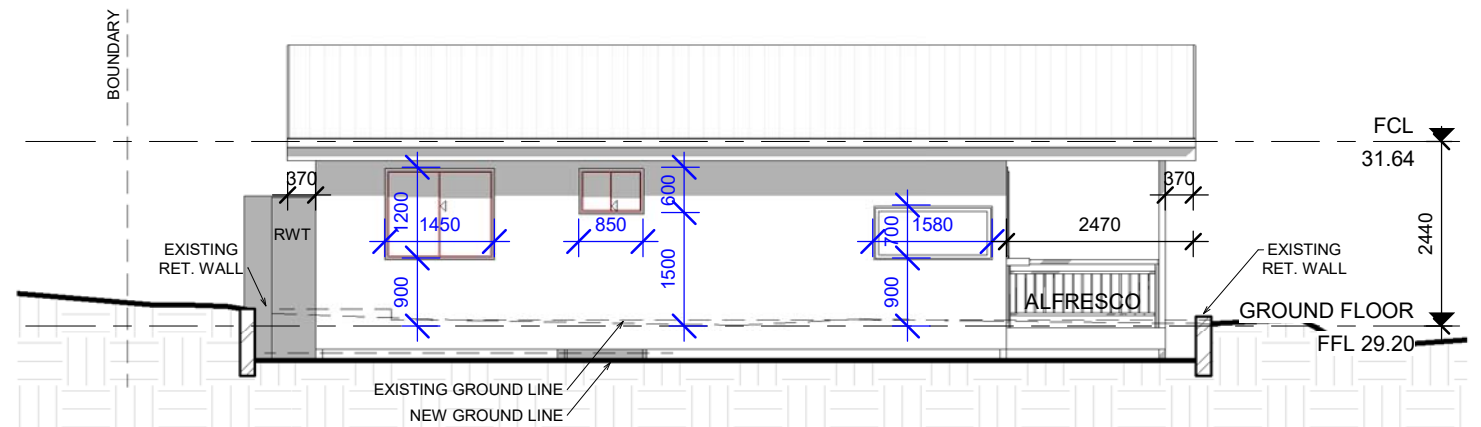


5 SECTION A - A
1 : 100

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3 WEST ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100

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531767.

client
JANE AND SIMON TOD



true north

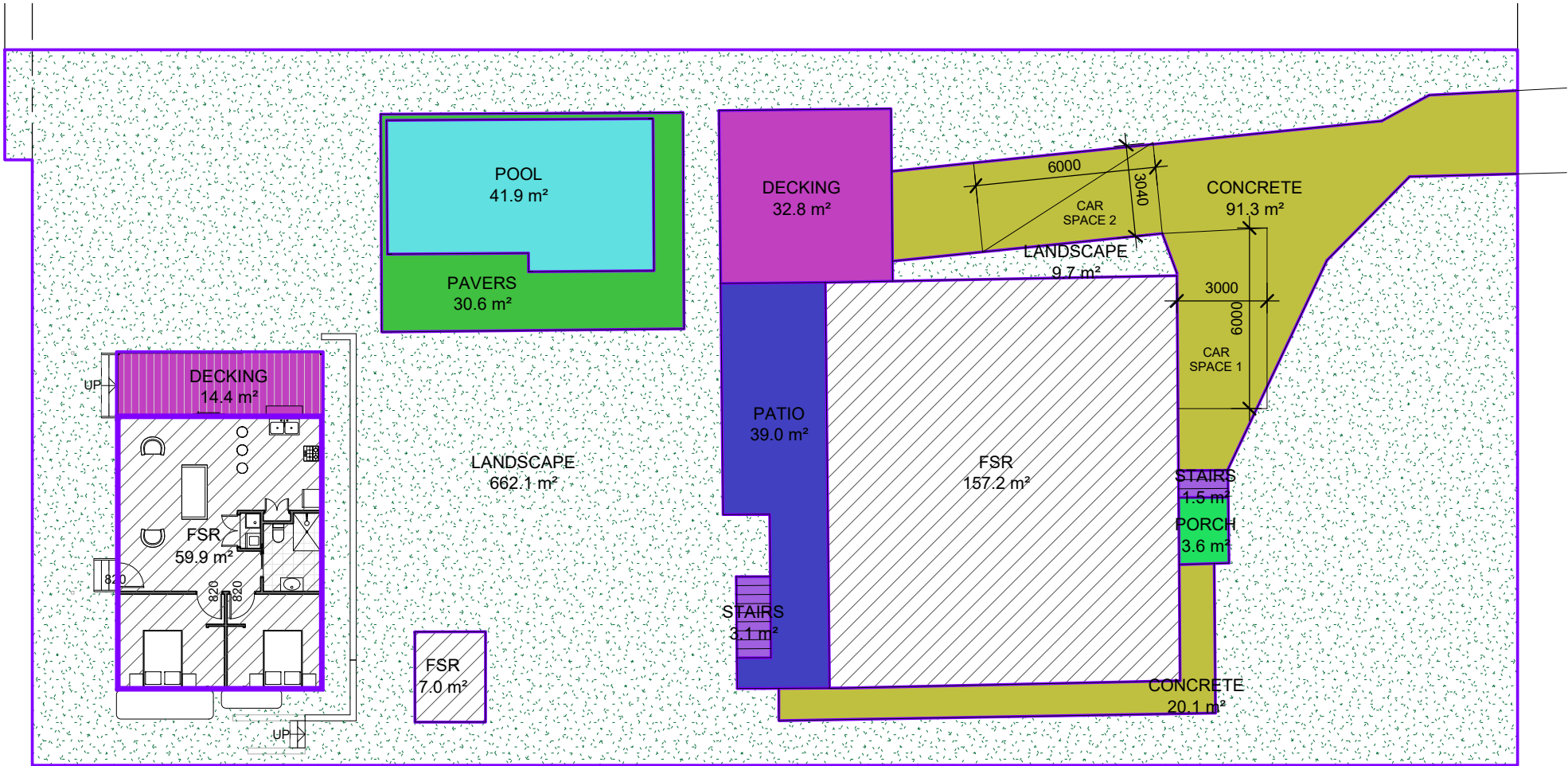
drawing
ELEVATIONS AND SECTIONS

project no	date	sheet no.	scale @ A3	issue	drawn
21-92	25/08/21	3	1 : 100	A	RK



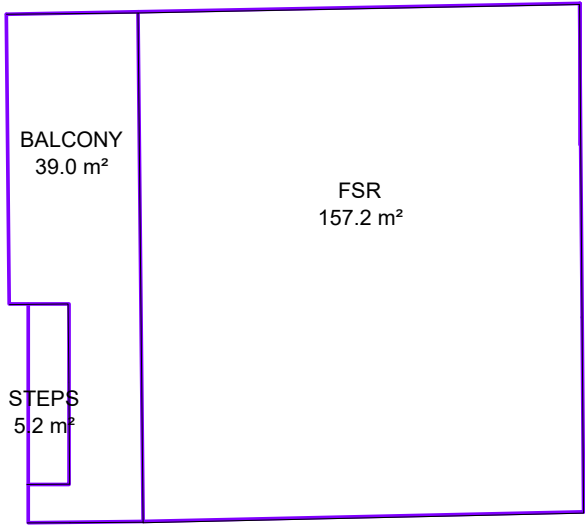
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GROUND FLOOR

1 : 200



FIRST FLOOR

1 : 200

SITE AREA = 1177 SQM
REQUIRED LANDSCAPING = 50% OF SITE AREA = 588.5 SQM
PROPOSED LANDSCAPED AREA = 662.1 SQM
PROPOSED LANDSCAPED AREA AS % OF SITE AREA = 56%.

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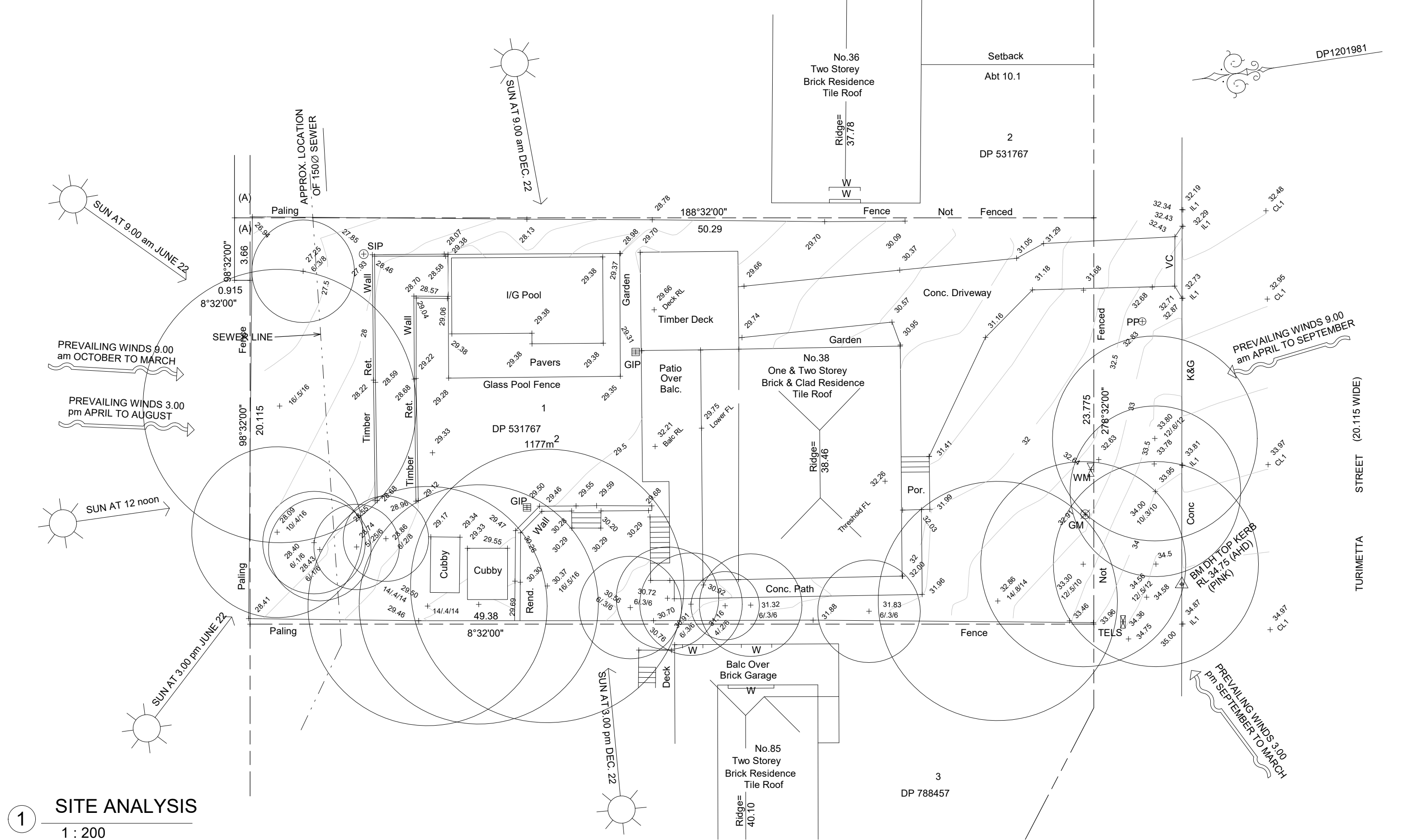
drawing
AREA CALCULATIONS

project no	date	sheet no.	scale @ A3	issue	drawn
21-92	25/08/21	4	1 : 200	A	RK



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1 SITE ANALYSIS

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project	PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 38 TURIMETTA STREET, MONA VALE 2103 LOT 1 DP 531767.
client	JANE AND SIMON TOD
drawn	SITE ANALYSIS
project no	21-92
date	25/08/21
sheet no.	.1 of 1
scale @ A3	1 : 200
issue	A
drawn	RK



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28-02-22
ref : xxxxx

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
CONSTRUCTION OF A GRANNY FLAT AT 38 TURIMETTA STREET, MONA VALE**

EXTERNAL WALLS

Finish	Paint Finish	
Manufacturer	Dulux	
Colour	Eighth Tapa (Vivid White Base)	

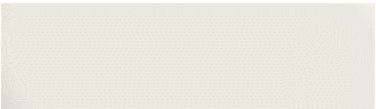
ROOF

Type	Gable Roof	
Manufacturer	Colorbond	
Colour	Windspray	
Finish	Metal Finish	

GUTTERS, DOWNPIPES AND FASCIA

Colour	Windspray	
Finish	Paint Finish	

WINDOW TRIMS

Finish	Paint Finish	
Paint manufacturer	Dulux	
Colour	Whisper White	