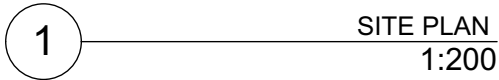


**THIS PLAN IS TO BE READ IN
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CONSENT**

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CLAUSE	REQUIRED	PROPOSED	COMPLIES
B1 WALL HEIGHT	- Walls not to exceed 7.2m from existing ground level to underside of the ceiling	-3.185m Max. Proposed Wall Height from NGL to U/S of Eaves	Y
B3 SIDE BOUNDARY ENVELOPE	- 0.9m Side Setback	2.915m Min. Side Setback Proposed	Y
B4 SITE COVERAGE	- 33.3% Total Building Footprint Allowed	- 60m ² (Internal) Proposed Secondary Dwelling Incl. Porch - 34.7m ² (Internal) Existing Extension To Be Slightly Altered - 89.24m ² Existing Primary Dwelling To Remain Unaltered TOTAL: 183.94m ² / 595.8m ² 30.87% Footprint Proposed	Y
B9 REAR BOUNDARY SETBACK	- On corner allotments for R2 Low Density Residential zoned lots where the minimum rear setback is 6 metres, the rear building setback does not apply.	- 0.9m	Y
D2 PRIVATE OPEN SPACE	- Attached dwellings with 2 bedrooms requires a total of 35m ² P.O.S with a minimum dimension of 3m	- 35m ² P.O.S with a minimum dimension of 5.8m	Y

LOT 59
D.P. 36192
595.8m²

No.1 BRICK COTTAGE
TILED ROOF
ROOF RIDGE 83.98

PROPOSED ALTERATIONS TO EXISTING EXTENSION

PROPOSED 60SQM (INTERNAL) SECONDARY DWELLING

PRIVATE OPEN SPACE
35.00 m²

LOT 60
D.P.36192

LOT 58
D.P.36192

LOT 57
BRICK COTTAGE
ROOF RIDGE 85.10

Legend:

- Denote Behind
- Denote Forward
- Denote

OCEANA

-  Denotes Landscape Area Behind Building Line
-  Denotes Landscape Area Forward of Building Line
-  Denotes Private Open Space

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1 LANDSCAPE CONCEPT PLAN 1:200

CLIENT

MR ALAN ZHONG & MRS HAI YAN ZHOU
LOT 59 DP 36192
1 REID AVENUE, NARRAWEENA NSW 2099

DRAWING TITLE

General Arrangements

LANDSCAPE CONCEPT PLAN

SHEET SIZE

A3

PROJECT

CONSTRUCTION COORDIN. - CLIENT REVIEW
PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM
(INTERNAL) ATTACHED SECONDARY DWELLING

MASTER GRANNY FLATS

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design@mastergrannyflats.com.au





REVISION	DESCRIPTION	DATE
S4.55 (1)	FOR CLIENT REVIEW	18.04.2019
S4.55 (2)	FOR SECTION 4.55	09.05.2019
S4.55 (3)	FOR SECTION 4.55	21.05.2019

1:200

RS

RS

21.05.2019

PROJECT No

2759

DRAWING No

DA 0401

REVISION

S4.55 (3)

SECTION 4.55 MODIFICATION SET



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