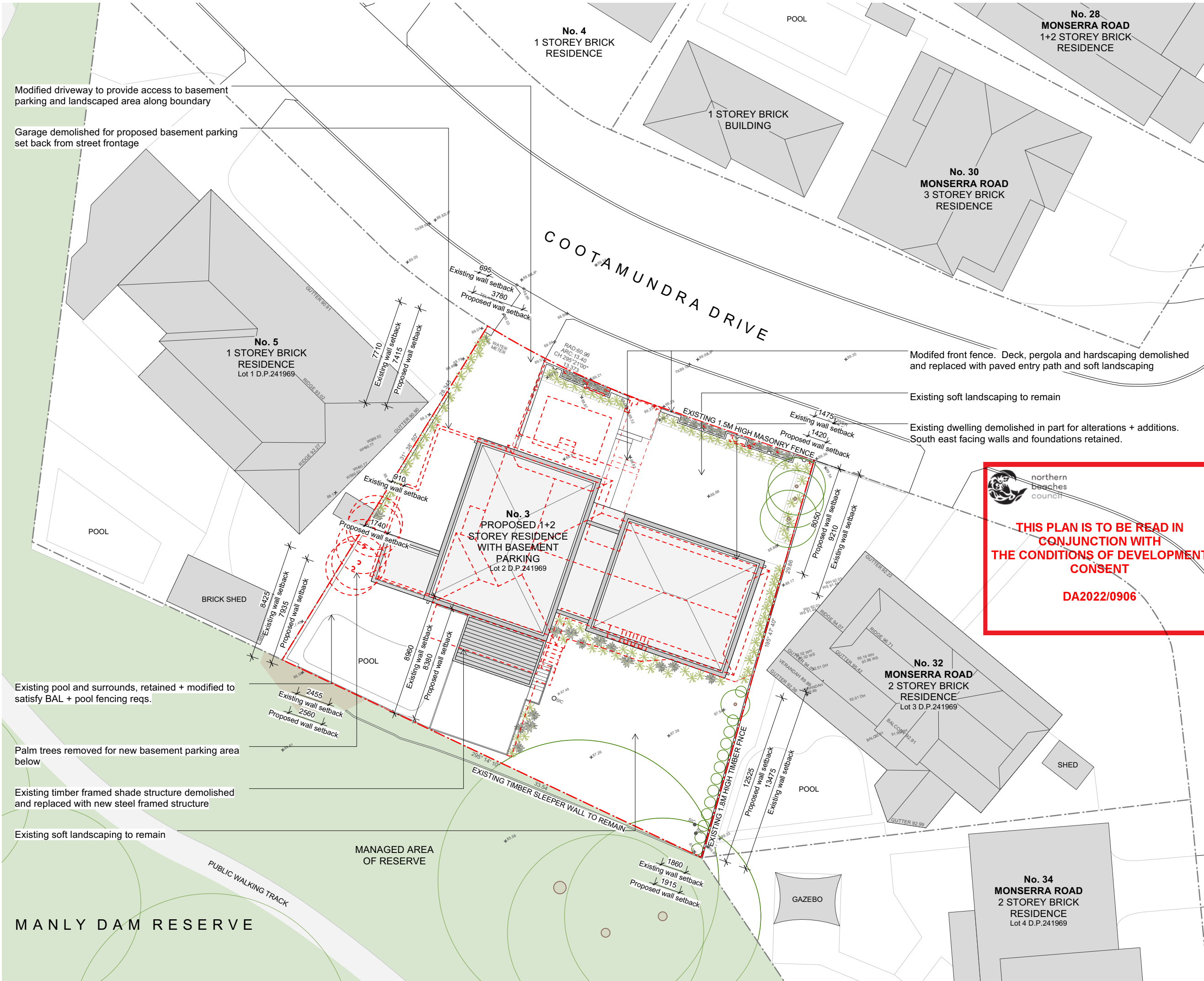




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LEGEND

a	awning window	rw	rendered walls
br	brick	sl	sliding door/window
con	concrete	st	steel
d	door	sp	stone paving
dp	downpipe	tf	tile floor
ex	existing	tb	timber floor boards
fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

Site boundary

Neighbouring boundary

Existing tree

Line of structure over / under

To be demolished

Existing structure

New structure

Existing building element to be retained

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2022/0906

northern beaches council

F	20 MAY 22	FOR DEVELOPMENT APPLICATION
E	MAY 22	PRELIMINARY
D	APR 22	PRELIMINARY
C	MAR 22	PRELIMINARY
B	FEB 22	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

JQDM

JOSEPH QUARELLO DESIGN AND MANAGEMENT
joe@jqdm.com.au | www.jqdm.com.au

CLIENT

Amy + Steve Firth

PROJECT

Proposed alterations + additions to existing dwelling

LOCATION

3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE

SITE PLAN

SCALE	DATE	DRAWN	CHECKED
1:250@A3	MAY21	CH	JQ

JOB No.	DRAWING No.	ISSUE
2102	DA-03	F



northern
beaches
council

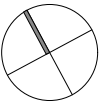
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DA2022/0906



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LEGEND			
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d	door	sp	stone paving
dp	downpipe	tf	tile floor
ex	existing	tb	timber floor boards
fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

- Site boundary
- Neighbouring boundary
- Existing tree
- Line of structure over / under
- To be demolished
- Existing structure
- New structure
- Existing building element to be retained

J	20 MAY 22	FOR DEVELOPMENT APPLICATION
I	MAY 22	PRELIMINARY
H	MAY 22	PRELIMINARY
G	APR 22	PRELIMINARY
F	MAR 22	PRELIMINARY
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C	JULY 21	PRELIMINARY
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A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

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CLIENT
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PROJECT
Proposed alterations + additions to existing dwelling

LOCATION
3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE
BASEMENT PLAN

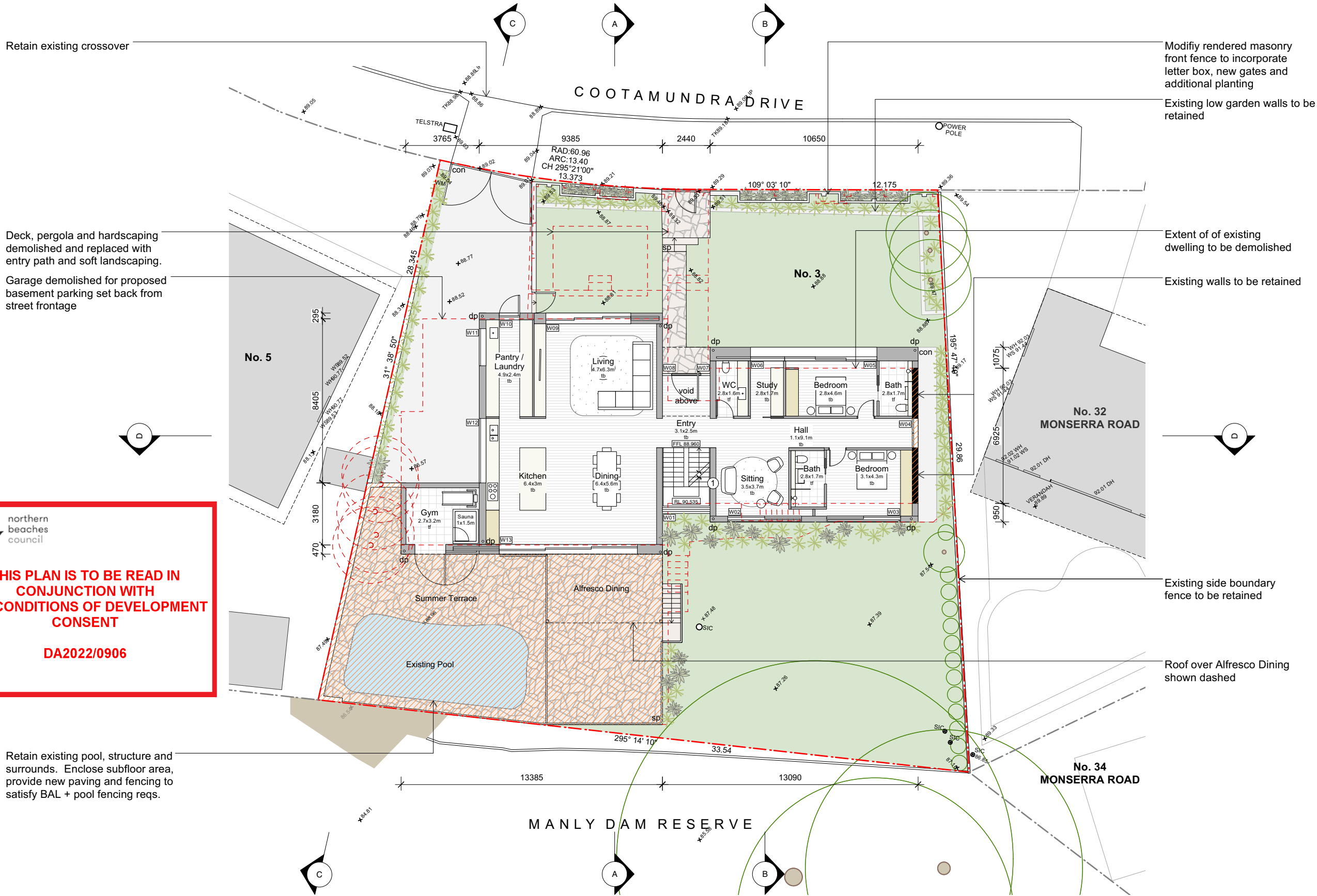
SCALE	DATE	DRAWN	CHECKED
1:200@A3	JUNE21	CH	JQ
JOB No.	DRAWING No.	ISSUE	
2102	DA-04	J	

BASIX COMMITMENTS: CERTIFICATE NUMBER: 1287525S

Landscape:	282m2 lawn + gardens, with 50m2 low water species throughout site		
Fixtures:	Shower 4 star Kitchen taps 5 star	Toilet flushing 5 star Bathroom taps 5 star	
Alternative Water:	min 5200L water tank to collect run-off from at least 150sqm of roof area, with connections for use in gardens + pool		
Swimming Pool:	55kL with pool cover, solar heating only, timers to pumps		
Hot Water Service:	Gas instantaneous, min 5 star		
Cooling:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas Ceiling fans to all bedrooms and upper Study		
Heating:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas		

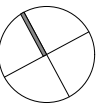
Ventilation:	Ducted and sealed exhaust fans with manual on/off switch to Laundry, Kitchen, WC and Bathroom areas
Artificial Lighting:	Compact fluorescent or LED with dedicated fittings throughout.
Alternative Energy:	Photovoltaic, 1.0kW peak
Cooking:	Induction cook-top, electric oven
Clothes Line:	Private outdoor + indoor
Fridge:	Well ventilated
Roof:	Concrete, 'light' colour, R2.0 insulation to topside of roof
Ceilings:	R2.5 insulation to all ceilings with roof above, rated with sealed exhaust ventilation, not rated with downlights.

External Walls:	Cavity brick: 'medium' colour, R1.0 insulation to lower levels walls (ex. garage) Cavity brick(timber clad): 'dark' colour, R1.0 insulation to first floor walls
Internal Walls:	Plasterboard on stud to first floor internal walls Brick (or cavity brick) to lower level internal walls
Glazing:	NFRC: Uw = 3.0, SHGC = 0.26 to all glazing e.g. thermally improved, aluminium framed, double glazed 'Low-e' glass
Floors:	Concrete floors to all levels R1.5 insulation to all floors with garage level or subfloor below R1.0 insulation to all heated slab floors Timber and tile coverings to floors as per plans.
Additional Ventilation:	Sealed ceiling ventilation to upper hall + upper study Sealed wall ventilation to lower hall



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LEGEND

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dp	downpipe	tf	tile floor
ex	existing	tb	timber floor boards
fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

--- Site boundary

--- Neighbouring boundary

⊕ Existing tree

--- Line of structure over / under

--- To be demolished

Existing structure

New structure

Existing building element to be retained

① Brick internal walls throughout

I	20 MAY 22	FOR DEVELOPMENT APPLICATION
H	MAY 22	PRELIMINARY
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B	JULY 21	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

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CLIENT

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PROJECT

Proposed alterations + additions to existing dwelling

LOCATION

3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE

GROUND FLOOR PLAN

SCALE	DATE	DRAWN	CHECKED
1:200@A3	JUNE21	CH	JQ
JOB No.	DRAWING No.	ISSUE	
2102	DA-05	I	

BASIX COMMITMENTS: CERTIFICATE NUMBER: 1287525S

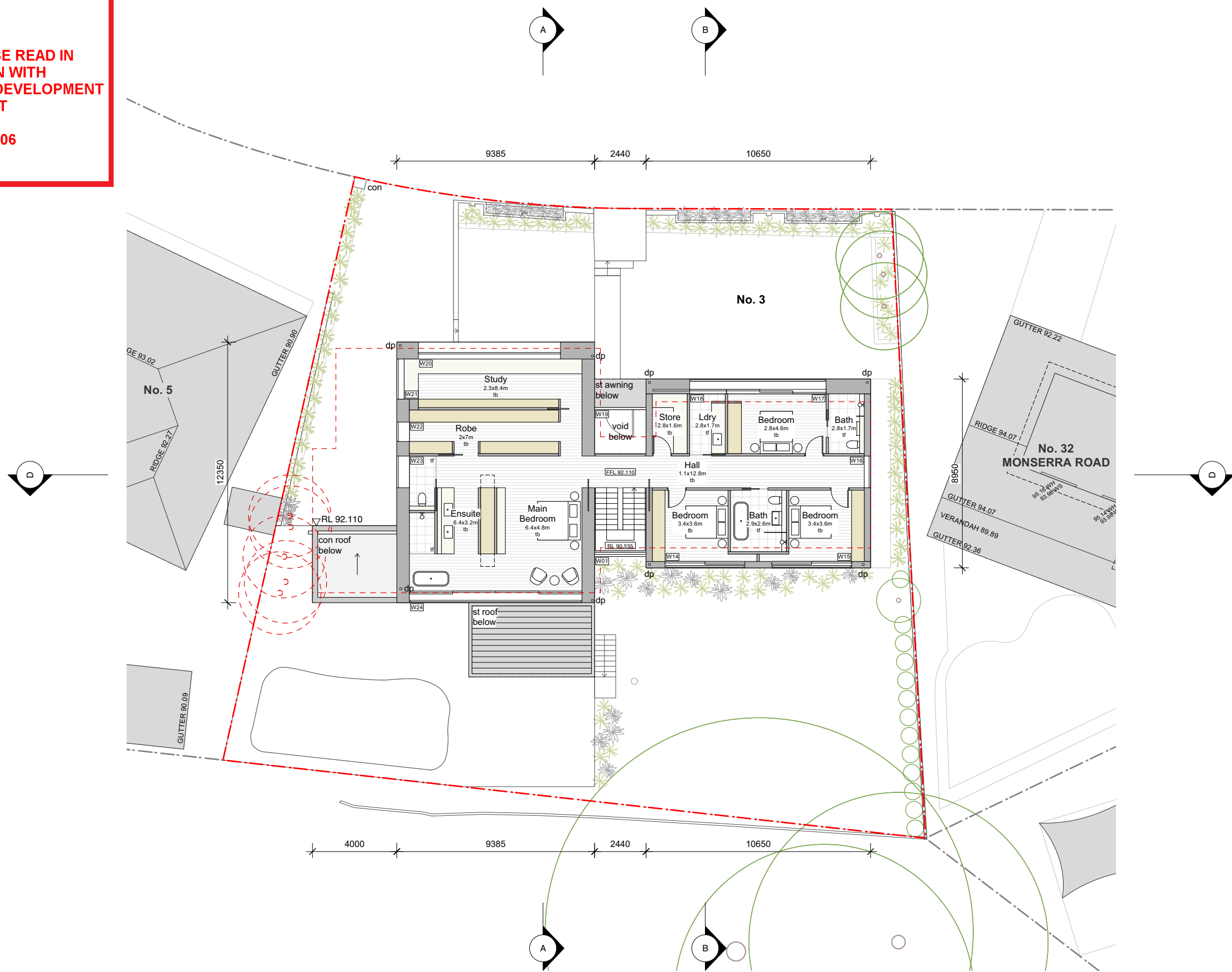
Landscape:	282m2 lawn + gardens, with 50m2 low water species throughout site		
Fixtures:	Shower 4 star Kitchen taps 5 star	Toilet flushing 5 star Bathroom taps 5 star	
Alternative Water:	min 5200L water tank to collect run-off from at least 150sqm of roof area, with connections for use in gardens + pool		
Swimming Pool:	55kL with pool cover, solar heating only, timers to pumps		
Hot Water Service:	Gas instantaneous, min 5 star		
Cooling:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas Ceiling fans to all bedrooms and upper Study		
Heating:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas		

Ventilation:	Ducted and sealed exhaust fans with manual on/off switch to Laundry, Kitchen, WC and Bathroom areas
Artificial Lighting:	Compact fluorescent or LED with dedicated fittings throughout.
Alternative Energy:	Photovoltaic, 1.0kW peak
Cooking:	Induction cook-top, electric oven
Clothes Line:	Private outdoor + indoor
Fridge:	Well ventilated
Roof:	Concrete, 'light' colour, R2.0 insulation to topside of roof
Ceilings:	R2.5 insulation to all ceilings with roof above, rated with sealed exhaust ventilation, not rated with downlights.

External Walls:	Cavity brick: 'medium' colour, R1.0 insulation to lower levels walls (ex. garage) Cavity brick(timber clad): 'dark' colour, R1.0 insulation to first floor walls
Internal Walls:	Plasterboard on stud to first floor internal walls Brick (or cavity brick) to lower level internal walls
Glazing:	NFRC: Uw = 3.0, SHGC = 0.26 to all glazing e.g. thermally improved, aluminium framed, double glazed 'Low-e' glass
Floors:	Concrete floors to all levels R1.5 insulation to all floors with garage level or subfloor below R1.0 insulation to all heated slab floors Timber and tile coverings to floors as per plans.
Additional Ventilation:	Sealed ceiling ventilation to upper hall + upper study Sealed wall ventilation to lower hall

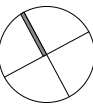
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CONSENT

DA2022/0906



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LEGEND

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ex	existing	tb	timber floor boards
fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

- Site boundary
- Neighbouring boundary
- Existing tree
- Line of structure over / under
- To be demolished
- Existing structure
- New structure
- Existing building element to be retained

J	20 MAY 22	FOR DEVELOPMENT APPLICATION
I	MAY 22	PRELIMINARY
H	MAY 22	PRELIMINARY
G	APR 22	PRELIMINARY
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B	JULY 21	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

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joe@jqdm.com.au | www.jqdm.com.au

CLIENT
Amy + Steve Firth

PROJECT
Proposed alterations + additions to
existing dwelling

LOCATION
3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE
FIRST FLOOR PLAN

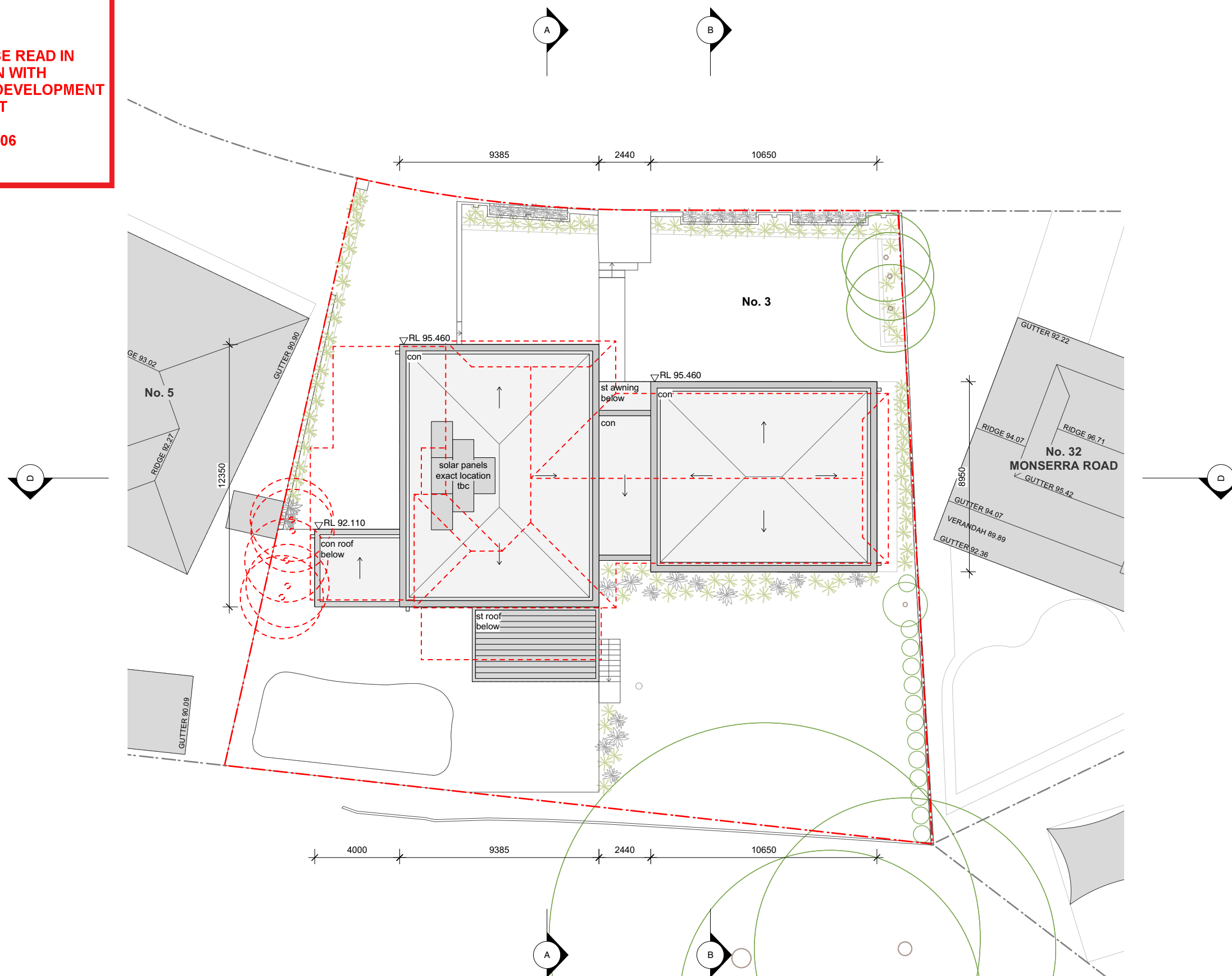
BASIX COMMITMENTS: CERTIFICATE NUMBER: 1287525S

Landscape:	282m2 lawn + gardens, with 50m2 low water species throughout site
Fixtures:	Shower 4 star Kitchen taps 5 star Toilet flushing 5 star Bathroom taps 5 star
Alternative Water:	min 5200L water tank to collect run-off from at least 150sqm of roof area, with connections for use in gardens + pool
Swimming Pool:	55kL with pool cover, solar heating only, timers to pumps
Hot Water Service:	Gas instantaneous, min 5 star
Cooling:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas Ceiling fans to all bedrooms and upper Study
Heating:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas

Ventilation:	Ducted and sealed exhaust fans with manual on/off switch to Laundry, Kitchen, WC and Bathroom areas
Artificial Lighting:	Compact fluorescent or LED with dedicated fittings throughout.
Alternative Energy:	Photovoltaic, 1.0kW peak
Cooking:	Induction cook-top, electric oven
Clothes Line:	Private outdoor + indoor
Fridge:	Well ventilated
Roof:	Concrete, 'light' colour, R2.0 insulation to topside of roof
Ceilings:	R2.5 insulation to all ceilings with roof above, rated with sealed exhaust ventilation, not rated with downlights.

External Walls:	Cavity brick: 'medium' colour, R1.0 insulation to lower levels walls (ex. garage) Cavity brick(timber clad): 'dark' colour, R1.0 insulation to first floor walls
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Glazing:	NFRC: Uw = 3.0, SHGC = 0.26 to all glazing e.g. thermally improved, aluminium framed, double glazed 'Low-e' glass
Floors:	Concrete floors to all levels R1.5 insulation to all floors with garage level or subfloor below R1.0 insulation to all heated slab floors Timber and tile coverings to floors as per plans.
Additional Ventilation:	Sealed ceiling ventilation to upper hall + upper study Sealed wall ventilation to lower hall

SCALE	DATE	DRAWN	CHECKED
1:200@A3	JUNE21	CH	JQ
JOB No.	DRAWING No.	ISSUE	
2102	DA-06	J	



BASIX COMMITMENTS: CERTIFICATE NUMBER: 1287525S

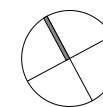
Landscaped:	282m2 lawn + gardens, with 50m2 low water species throughout site	
Fixtures:	Shower 4 star Kitchen taps 5 star	Toilet flushing 5 star Bathroom taps 5 star
Alternative Water:	min 5200L water tank to collect run-off from at least 150sqm of roof area, with connections for use in gardens + pool	
Swimming Pool:	55kL with pool cover, solar heating only, timers to pumps	
Hot Water Service:	Gas instantaneous, min 5 star	
Cooling:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas Ceiling fans to all bedrooms and upper Study	
Heating:	Air conditioning, 1-phase, 3.5 star to Living and Bedroom areas	

Ventilation:	Ducted and sealed exhaust fans with manual on/off switch to Laundry, Kitchen, WC and Bathroom areas
Artificial Lighting:	Compact fluorescent or LED with dedicated fittings throughout.
Alternative Energy:	Photovoltaic, 1.0kW peak
Cooking:	Induction cook-top, electric oven
Clothes Line:	Private outdoor + indoor
Fridge:	Well ventilated
Roof:	Concrete, 'light' colour, R2.0 insulation to topside of roof
Ceilings:	R2.5 insulation to all ceilings with roof above, rated with sealed exhaust ventilation, not rated with downlights.

External Walls:	Cavity brick: 'medium' colour, R1.0 insulation to lower levels walls (ex. garage) Cavity brick(timber clad): 'dark' colour, R1.0 insulation to first floor walls
Internal Walls:	Plasterboard on stud to first floor internal walls Brick (or cavity brick) to lower level internal walls
Glazing:	NFRC: $U_w = 3.0$, SHGC = 0.26 to all glazing e.g. thermally improved, aluminium framed, double glazed 'Low-e' glass
Floors:	Concrete floors to all levels R1.5 insulation to all floors with garage level or subfloor below R1.0 insulation to all heated slab floors Timber and tile coverings to floors as per plans.
Additional Ventilation:	Sealed ceiling ventilation to upper hall + upper study Sealed wall ventilation to lower hall

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LEGEND

a	awning window	rw	rendered walls
br	brick	sl	sliding door/window
con	concrete	st	steel
d	door	sp	stone paving
dp	downpipe	tf	tile floor
ex	existing	tb	timber floor boards
fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

-  Site boundary
-  Neighbouring boundary
-  Existing tree
-  Line of structure over / under
-  To be demolished
-  Existing structure
-  New structure
-  Existing building element to be retained

H	20 MAY 22	FOR DEVELOPMENT APPLICATION
G	MAY 22	PRELIMINARY
F	MAY 22	PRELIMINARY
E	APR 22	PRELIMINARY
D	MAR 22	PRELIMINARY
C	FEB 22	PRELIMINARY
B	FEB 22	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

JQDM

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joe@jqdm.com.au | www.jqdm.com.au

CLIENT
Amy + Steve Firth

PROJECT

Proposed alterations + additions to existing dwelling

LOCATION

3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE

ROOF PLAN

SCALE 1:200@A3	DATE MAY21	DRAWN CH	CHECKED JQ
JOB No. 2102	DRAWING No. DA-07		ISSUE H

IMPORTANT NOTES:

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LEGEND			
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dp	downpipe	tf	tile floor
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fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

- Site boundary
- Neighbouring boundary
- Existing tree
- Line of structure over / under
- To be demolished
- Existing structure
- New structure
- Existing building element to be retained

I	31 AUG 22	REV FOR DEVELOPMENT APPLICATION
H	20 MAY 22	FOR DEVELOPMENT APPLICATION
G	MAY 22	PRELIMINARY
F	MAY 22	PRELIMINARY
E	MAR 22	PRELIMINARY
D	MAR 22	PRELIMINARY
C	FEB 22	PRELIMINARY
B	FEB 22	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

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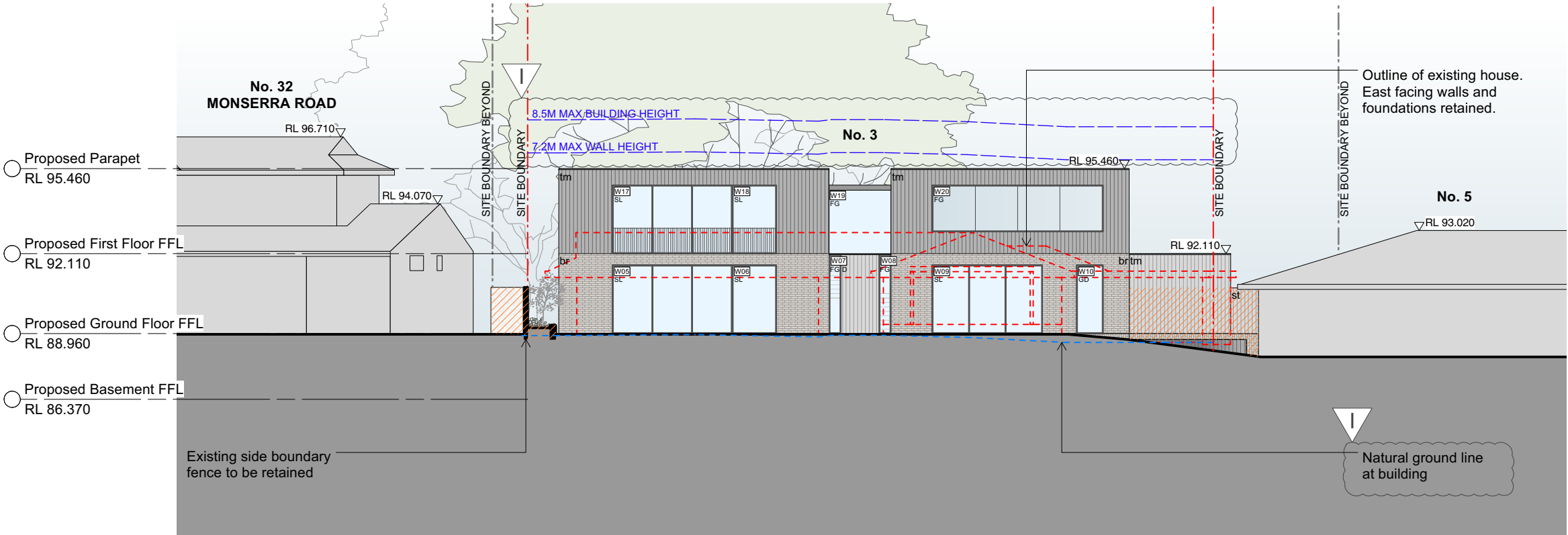
CLIENT
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PROJECT
Proposed alterations + additions to existing dwelling

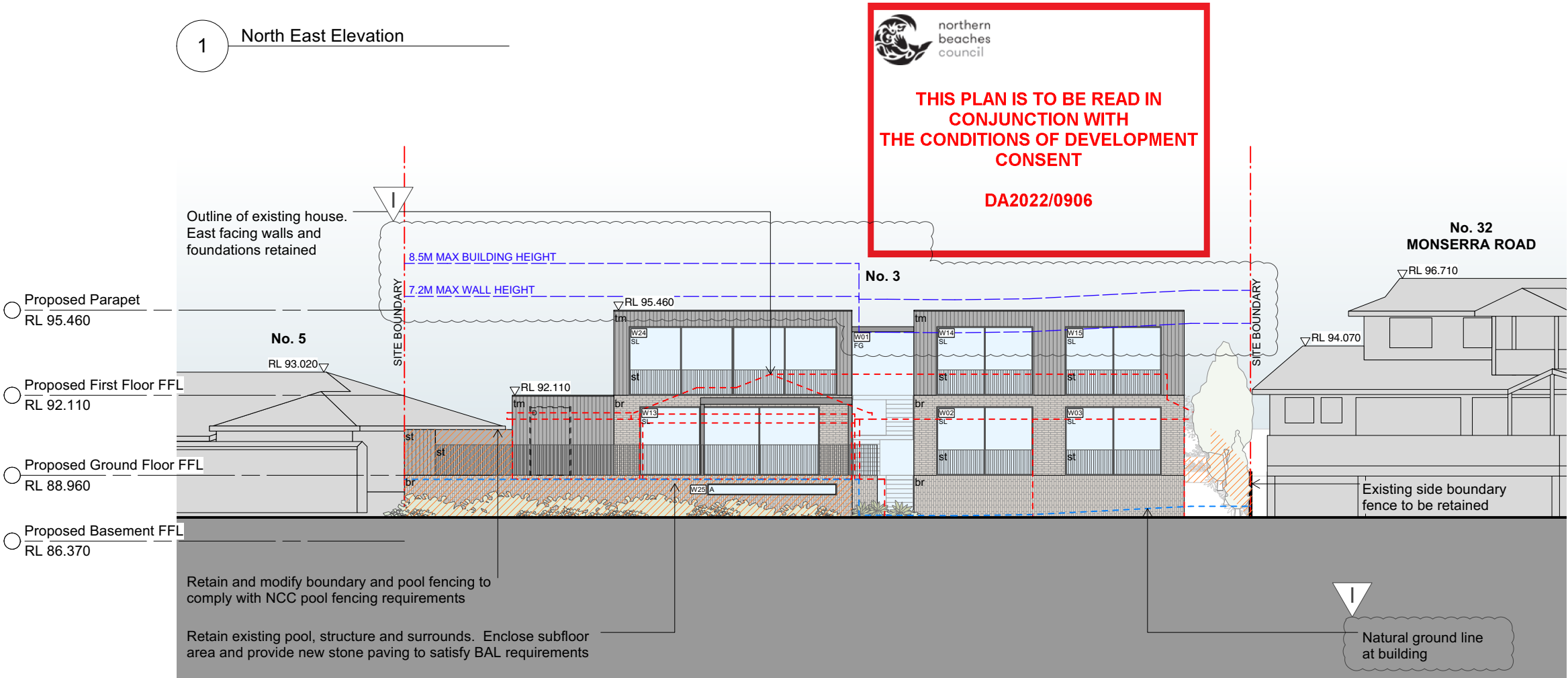
LOCATION
3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE
ELEVATIONS

SCALE 1:200@A3	DATE MAY21	DRAWN CH	CHECKED JQ
JOB No. 2102	DRAWING No. DA-09	ISSUE I	



1 North East Elevation



2 South West Elevation

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br	brick	sl	sliding door/window
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dp	downpipe	tl	tile floor
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fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

-  Site boundary
-  Neighbouring boundary
-  Existing tree
-  Line of structure over / under
-  To be demolished
-  Existing structure
-  New structure
-  Existing building element to be retained

I	31 AUG 22	REV FOR DEVELOPMENT APPLICATION
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C	FEB 22	PRELIMINARY
B	FEB 22	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

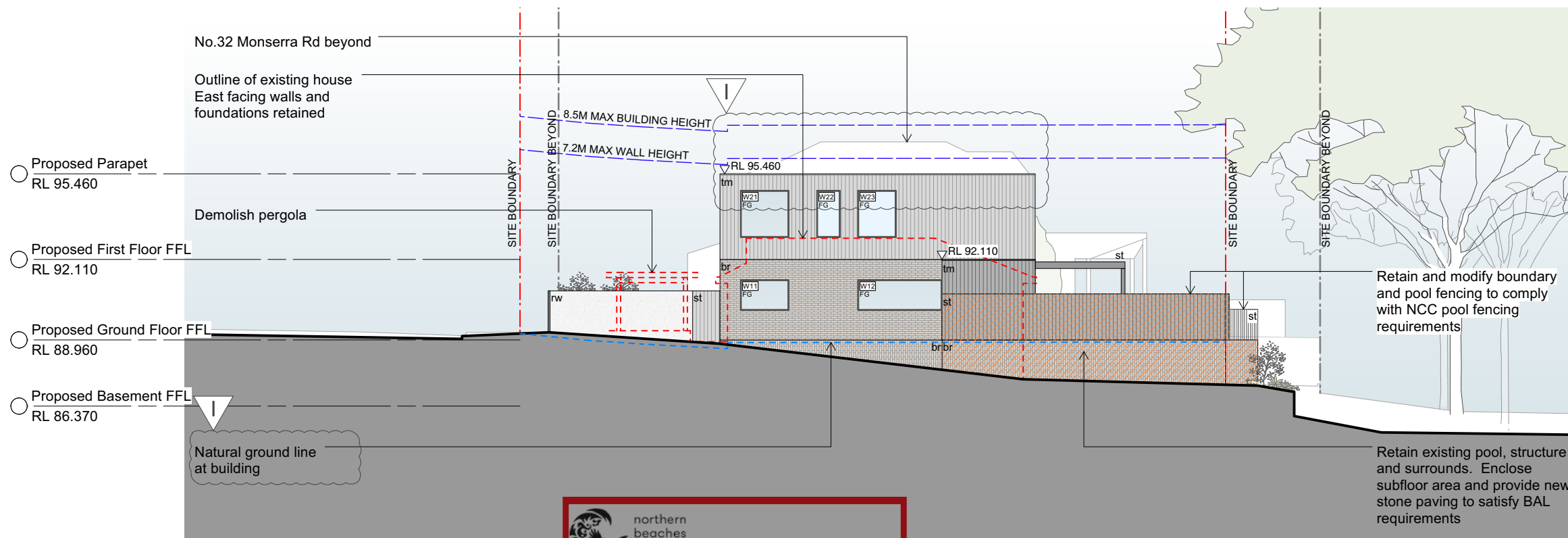
CLIENT
Amy + Steve Firth

LOCATION
3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

DRAWING TITLE

ELEVATIONS

SCALE 1:200@A3	DATE MAY21	DRAWN CH	CHECKED JQ
JOB No. 2102	DRAWING No. DA-10		ISSUE I



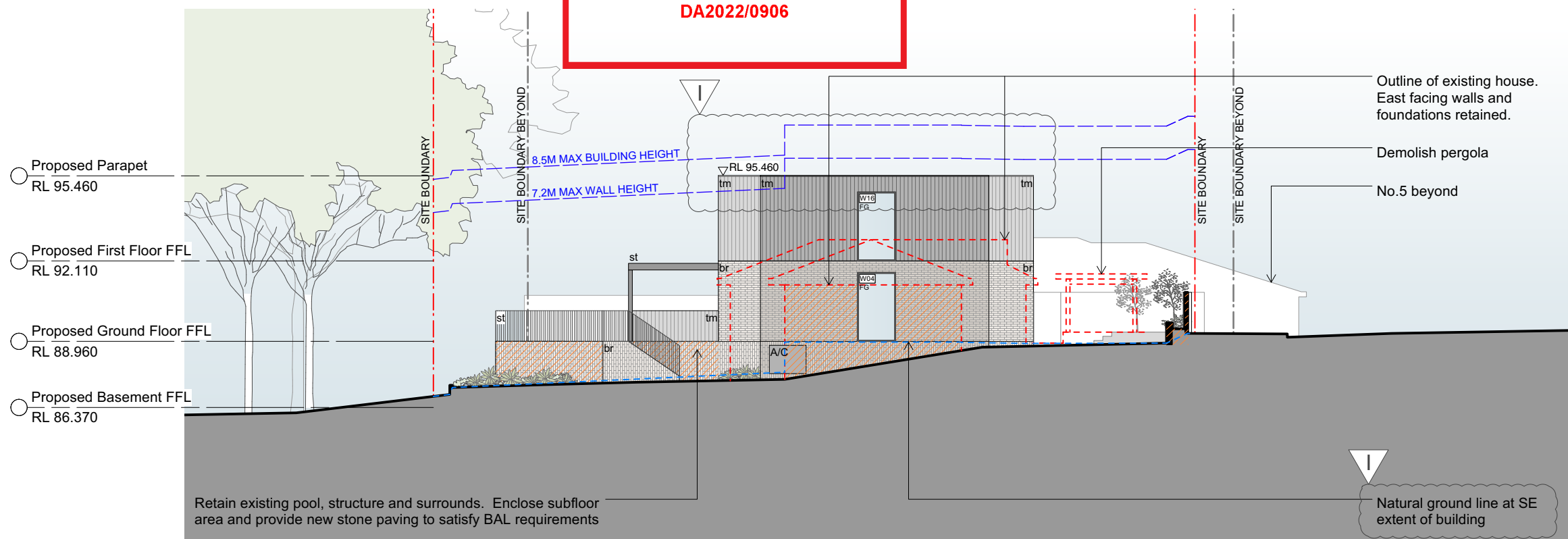
1 North West Elevation



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT**

DA2022/0906



2 South East Elevation

IMPORTANT NOTES:

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LEGEND			
a	awning window	rw	rendered walls
br	brick	sl	sliding door/window
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dp	downpipe	tf	tile floor
ex	existing	tb	timber floor boards
fc	fibre cement	tm	timber
fg	fixed glass	w	window
gd	glazed door		

- Site boundary
- Neighbouring boundary
- Existing tree
- Line of structure over / under
- To be demolished
- Existing structure
- New structure
- Existing building element to be retained
- Excavation extent
- ① Concrete roof with R2.0 insulation topside
- ② Concrete structure
- ③ Cavity brick external walls Ground Floor
- ④ Timber-clad cavity brick external walls First Floor

I	31 AUG 22	REV FOR DEVELOPMENT APPLICATION
H	20 MAY 22	FOR DEVELOPMENT APPLICATION
G	MAY 22	PRELIMINARY
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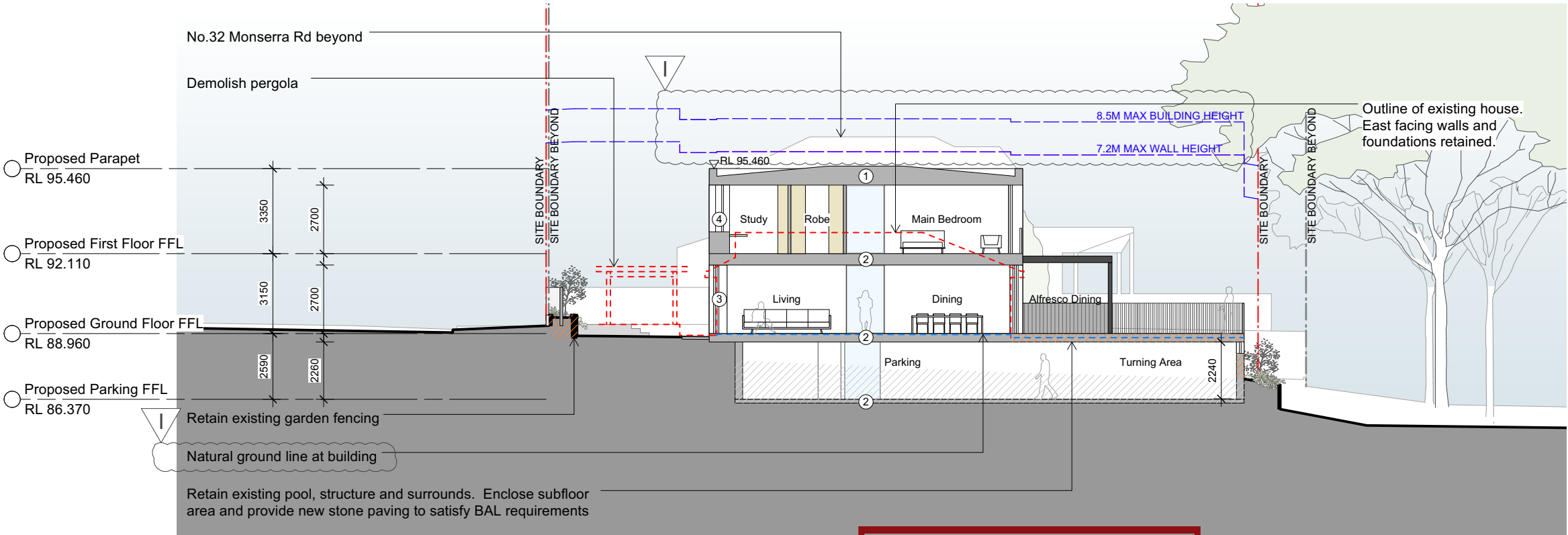
CLIENT
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PROJECT
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LOCATION
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Lot 2 D.P.241969

DRAWING TITLE
SECTIONS

SCALE 1:200@A3	DATE MAY21	DRAWN CH	CHECKED JQ
JOB No. 2102	DRAWING No. DA-11	ISSUE I	

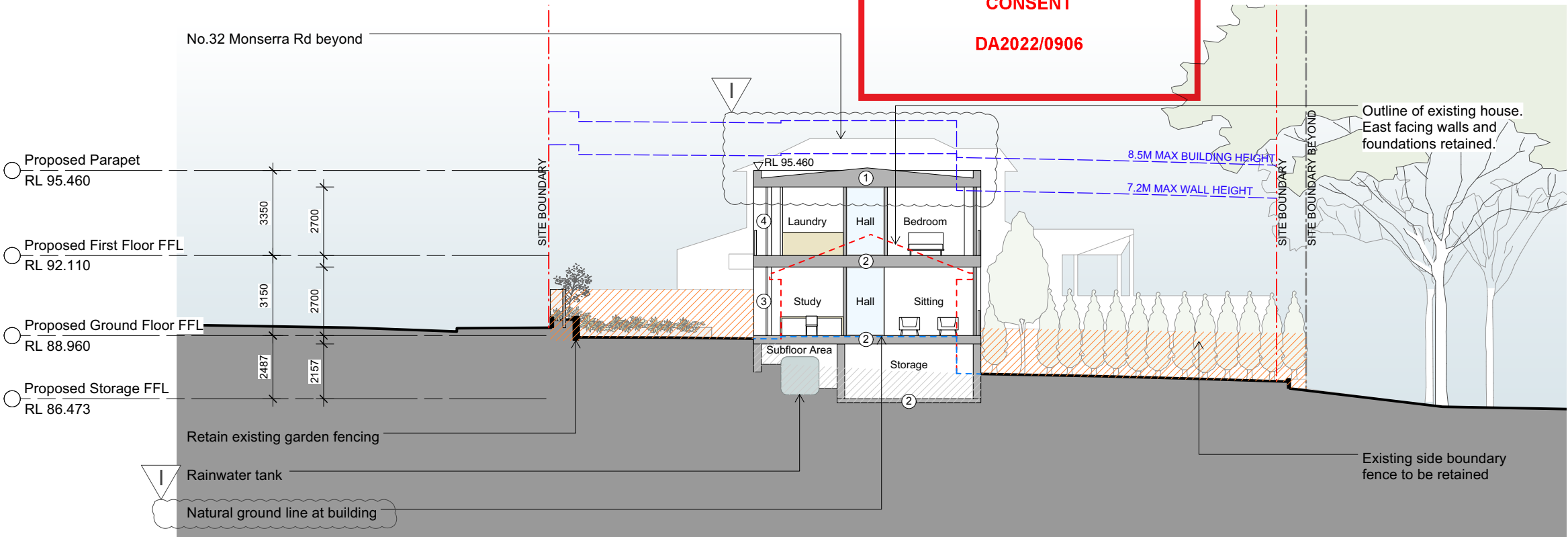


1 Section A

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0906



2 Section B

THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/0906

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LEGEND

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br	brick	sl	sliding door/window
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- Site boundary
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- Existing tree
- Line of structure over / under
- To be demolished
- Existing structure
- New structure
- Existing building element to be retained
- Excavation extent
- Concrete roof with R2.0 insulation topside
- Concrete structure
- Cavity brick external walls Ground Floor
- Timber-clad cavity brick external walls First Floor

I	31 AUG 22	REV FOR DEVELOPMENT APPLICATION
H	20 MAY 22	FOR DEVELOPMENT APPLICATION
G	MAY 22	PRELIMINARY
F	MAY 22	PRELIMINARY
E	MAR 22	PRELIMINARY
D	MAR 22	PRELIMINARY
C	FEB 22	PRELIMINARY
B	FEB 22	PRELIMINARY
A	MAY 21	PRELIMINARY
ISSUE	DATE	AMENDMENT

JOSEPH QUARELLO DESIGN AND MANAGEMENT
joe@jqdm.com.au | www.jqdm.com.au

CLIENT
Amy + Steve Firth

PROJECT
Proposed alterations + additions to
existing dwelling

LOCATION
3 Cootamundra Drive
Allambie Heights
Lot 2 D.P.241969

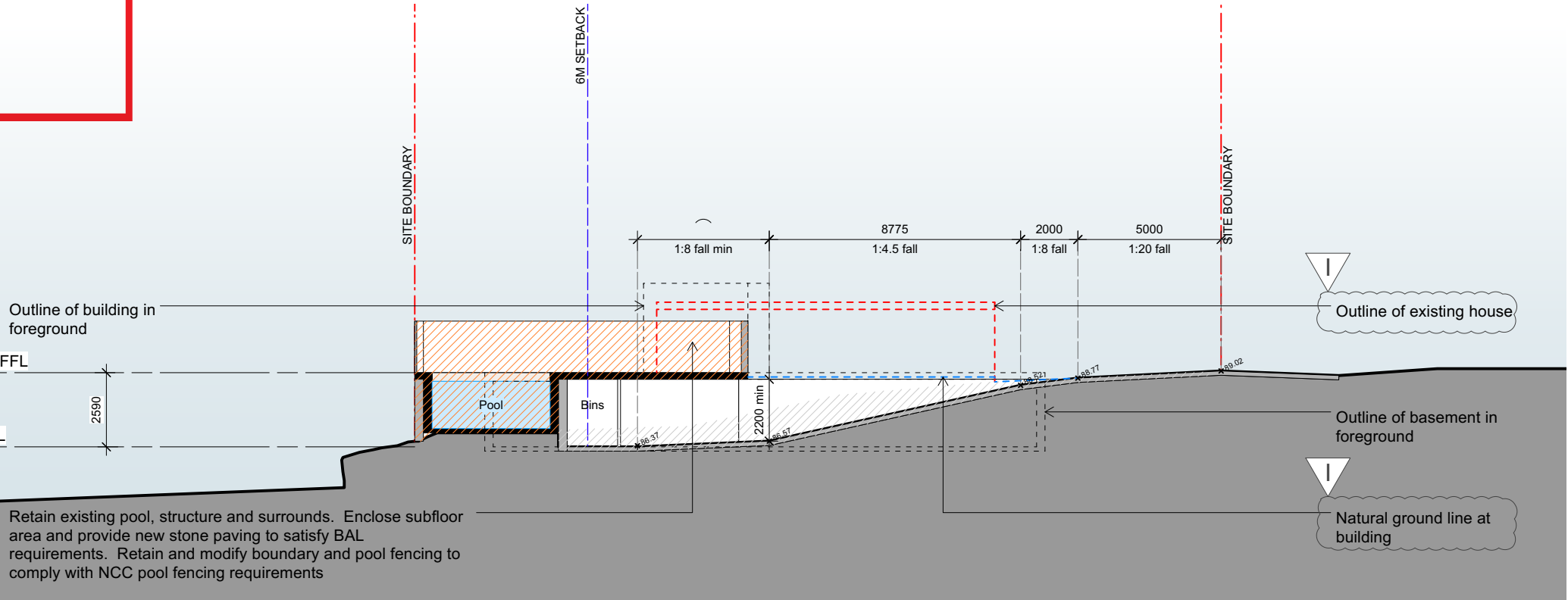
DRAWING TITLE
SECTIONS

SCALE 1:200@A3	DATE MAY21	DRAWN CH	CHECKED JQ
JOB No. 2102	DRAWING No. DA-12	ISSUE I	

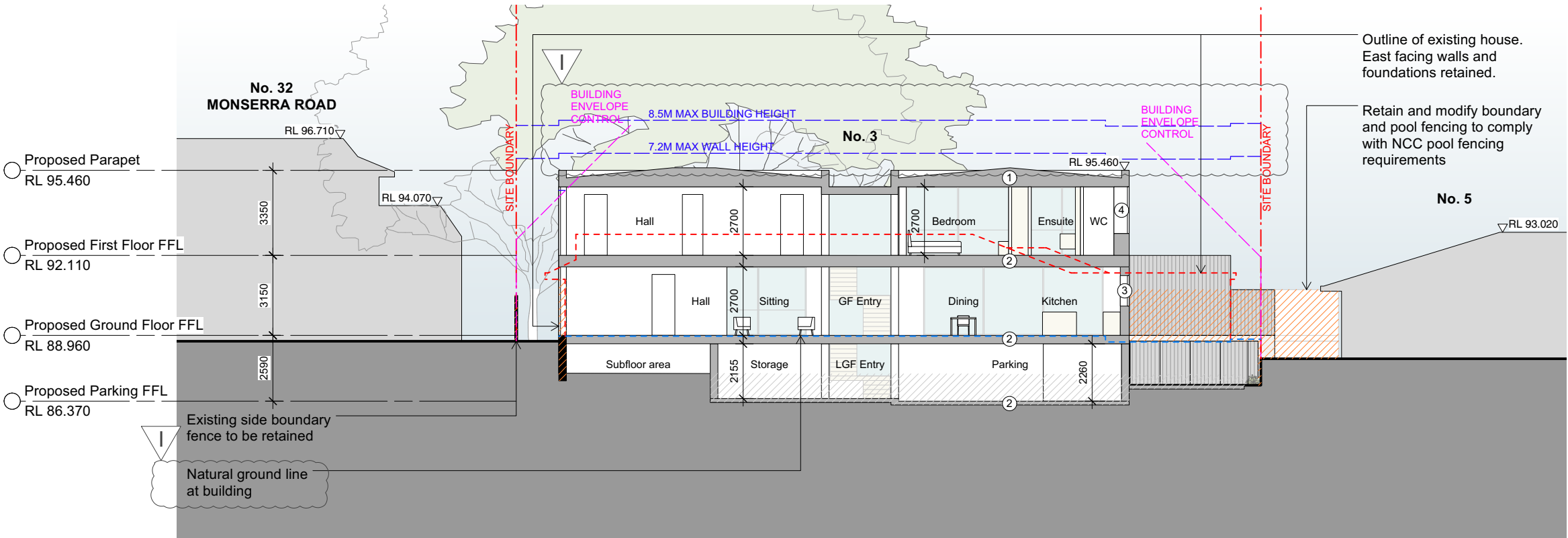
Outline of building in
foreground

Proposed Ground Floor FFL
RL 88.960

Proposed Basement FFL
RL 86.370



1 Section C



2 Section D