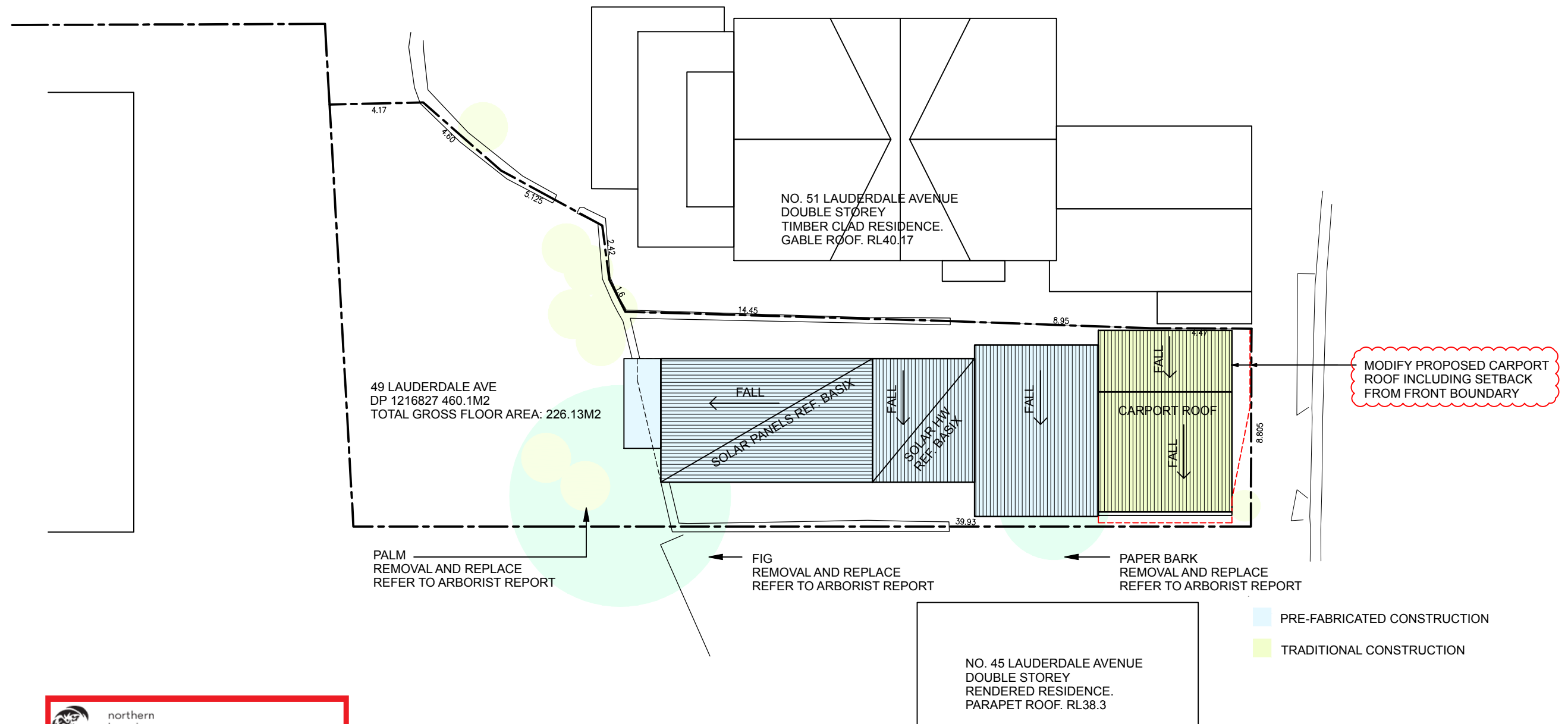


S4.55



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/1002

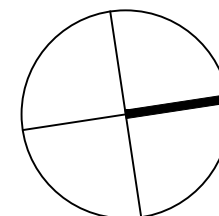
SITE PLAN
1:200@A3

"FIGURED DIMENSIONS TO BE TAKEN
IN PREFERENCE TO SCALED
READINGS."

"IF IN DOUBT, ASK!"

Issue	Amendment	Date
A	FOR PRE DA INFO	31.09.2017
B	PREP FOR DA COMMENTS ISSUE	31.10.2017
C	UPDATED WITH 51 LAUDERDALE AVE INFO, WINDOWS + ROOF	08.11.2017
D	DA SUBMISSION	18.05.2018
E	DA SUBMISSION - ADDITION OF LOUVRES	17.08.2018

Issue	Amendment	Date
F	LPP AMENDMENTS	19.10.2018
G	S4.55 AMENDMENTS	JULY 2019
H	S4.55 AMENDMENTS	DEC 2021



49 LAUDERDALE AVE, FAIRLIGHT

DATE: DEC 2021

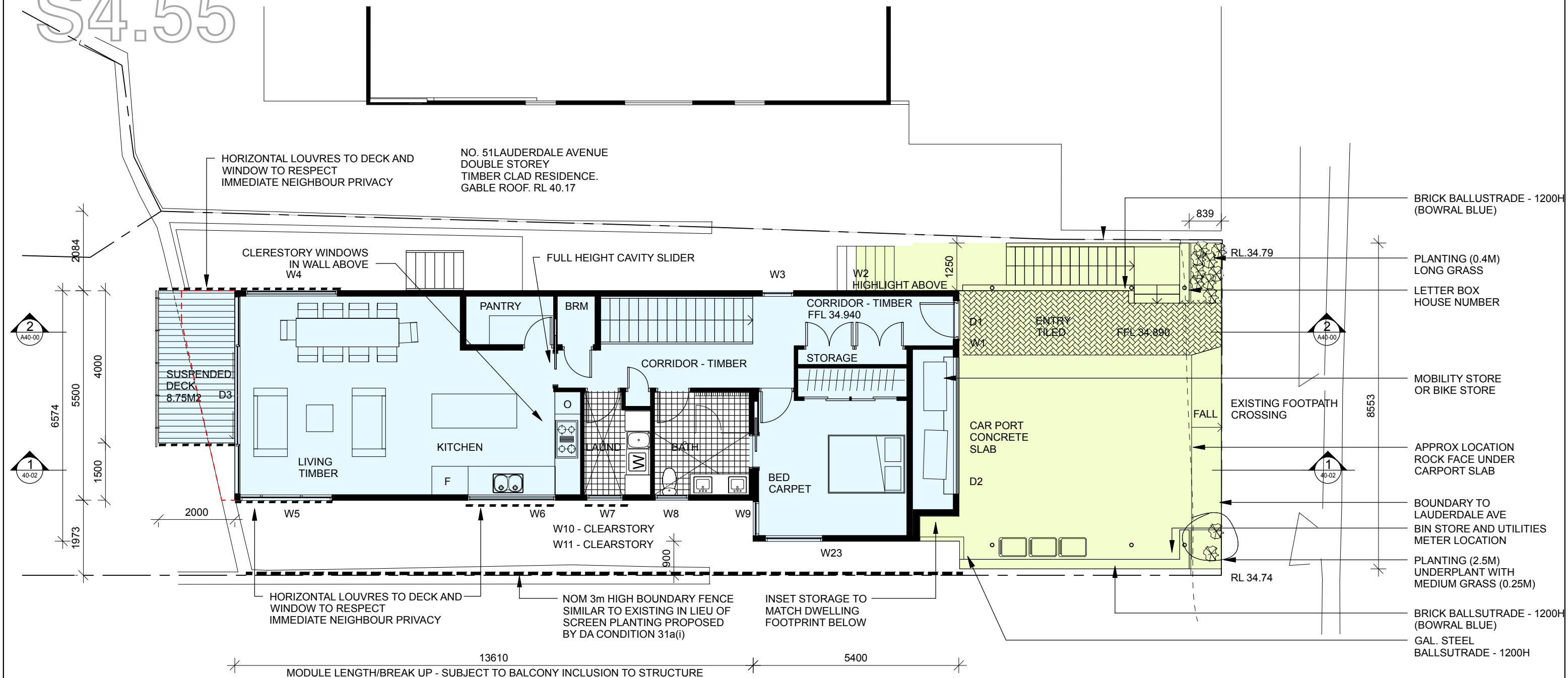
DRAWING TITLE: SITE PLAN

DRAWING NO: 2018-050-A01



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S4.55



LEVEL 1 PLAN
1:100@A3



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

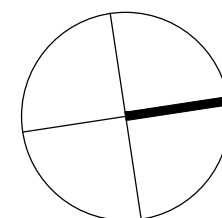
MOD2021/1002

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G	S4.55 AMENDMENTS	JULY 2019
H	S4.55 AMENDMENTS	DEC 2021



49 LAUDERDALE AVE, FAIRLIGHT

DATE: DEC 2021

DRAWING TITLE: **FIRST FLOOR PLAN**

DRAWING NO: **2018-050-A03**



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MIN 3m HIGH SCREEN PLANTING
REQUIRED BY PROPOSED DA
CONDITION 31a(i)

EXISTING SANDSTONE WALL
AND BALUSTRADE

2
A40-00

1
A40-02

REMOVE PRIVACY SCREENS REQUIRED
BY DA CONDITION 16 CONSIDERING THE
REQUIRED SCREENING (OR ALTERNATE
FENCE) BY DA CONDITION 31

RL 29.77
BTM OF DRIVE

EXISTING SANDSTONE WALL
AND BALLUSTRADE

NOM 3m HIGH BOUNDARY
FENCE SIMILAR TO EXISTING
IN LIEU OF SCREEN
PLANTING PROPOSED BY DA
CONDITION 31a(i)

CLOTHESLINE

11821

5400

DRIVEWAY TO REAR OF
45 LAUDERDALE AVE

NO. 45 LAUDERDALE AVENUE

MODIFY ENTRY AREA

RELOCATE D4

NEW FENCE

RL 29.77 UNDER DECK

FALL

RL 31.00

1467

1250

W13

W14

LIVING

TIMBER

FFL 31.800

STORE

D4

BED

CARPET

WC

WORKSHOP
STORAGE

RL 31.80

OFFICE

BATH

TILE

WET BAR

W15

W16

W17

W18

W19

W20

900

RL 29.77

RL 34.79
TOP OF DRIVE

APPROX LOCATION
ROCK FACE
BOUNDARY TO
LAUDERDALE AVE

MODIFY SECONDARY
DWELLING TO
WORKSHOP/STORAGE
AREAS - INCREASE
SETBACKS

GROSS FLOOR AREA BOUNDARY
PRE-FABRICATED CONSTRUCTION
TRADITIONAL CONSTRUCTION

GROUND FLOOR PLAN

1:100@A3



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT**

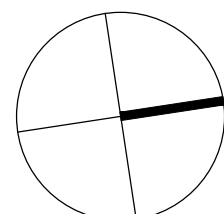
MOD2021/1002

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E	DA SUBMISSION - ADDITION OF LOUVRES	17.08.2018

Issue	Amendment	Date
F	LPP AMENDMENTS	19.10.2018
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H	S4.55 AMENDMENTS	DEC 2021



49 LAUDERDALE AVE, FAIRLIGHT

DATE: DEC 2021

DRAWING TITLE: GROUND FLOOR PLAN

DRAWING NO: 2018-050-A02



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S4.55

MODIFY PROPOSED CARPORT
ROOF - INCREASE SETBACK

RL 34.75 PATH

45 LAUDERDALE AVE
BEHIND

HORIZONTAL LOUVRE/SCREEN
TO PROTECT NEIGHBOUR PRIVACY
TO 1.8M HEIGHT

LEVEL 1 ▼ FFL 34.940

PROPOSED SCREENING PLANTS AS PER PROPOSED
DA CONDITION 31a(i) - REMOVE DA CONDITION 16
SCREEN TO W7 - SCREENING PROVIDED BY PLANTING

LEVEL G ▼ FFL 31.800

EXISTING SANDSTONE WALL

1B BOLINGBROKE PDE
BRICK APARTMENT
METAL ROOF

APPROX LOCATION
OF FIG TREE

LOWER GARDEN OF
49 LAUDERDALE AVE

ELEVATION WEST
1:200@A3



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MOD2021/1002

HARDIE PANEL
Scyon™ Axon™ cladding
PAINTED (TYP.)

51 LAUDERDALE AVE
BEHIND

COLOURBOND ROOF.
'DUNE' TYP. UNO.
ALL STORMWATER HARDWARE
+ FLASHINGS TO MATCH COLOUR

CAR PARK

8.5 M HEIGHT ENVELOPE
CONTROL

ENTRY AND CARPORT ROOF
KLIP LOCK COLOUR. 'BASALT'
ALL STORMWATER HARDWARE
+ FLASHINGS TO MATCH COLOUR

40.470 FL 51 EXISTING RIDGE

HORIZONTAL LOUVRE/SCREEN
TO PROTECT NEIGHBOUR PRIVACY
TO 1.8m HEIGHT

EXTEND FIRST
FLOOR DECK TO
2m DEPTH WITH
PRIVACY SCREENS
EITHER SIDE

NOM 3m HIGH BOUNDARY
FENCE SIMILAR TO
EXISTING IN LIEU OF
SCREEN PLANTING
PROPOSED BY DA
CONDITION 31a(i)

MODIFY PROPOSED CARPORT ROOF
INCLUDING SETBACK FROM FRONT
BOUNDARY

100 SHS. CARPORT ROOF STRUCTURE.
PAINT MATCH 'BASALT'

LEVEL 1 ▼ FFL 34.940

AMEND SECONDARY DWELLING TO
WORKSHOP/STORAGE - INCREASE SETBACKS

LEVEL G ▼ FFL 31.800

ELEVATION EAST
1:100@A3

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49 LAUDERDALE AVE, FAIRLIGHT

DATE: DEC 2021

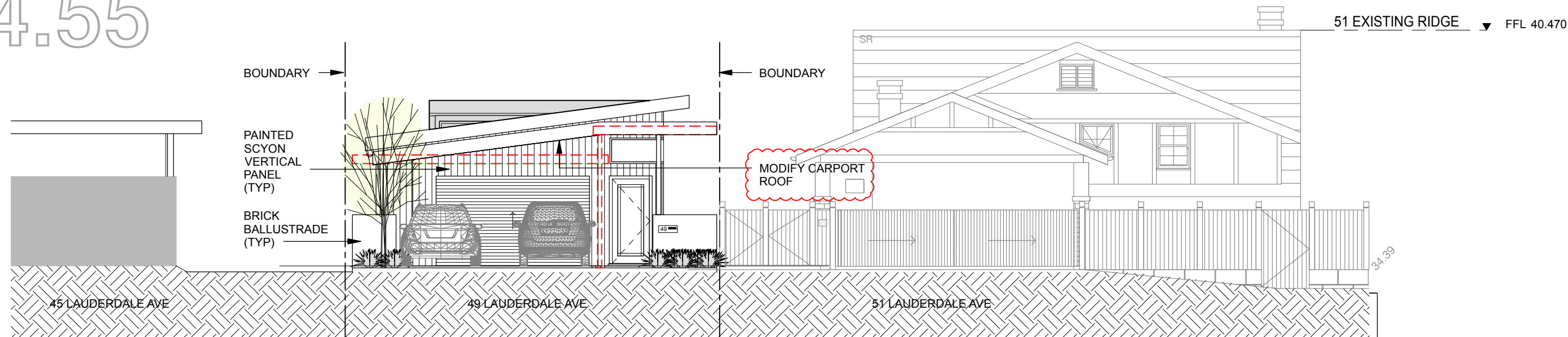
DRAWING TITLE: ELEVATIONS

DRAWING NO: 2018-050-A04

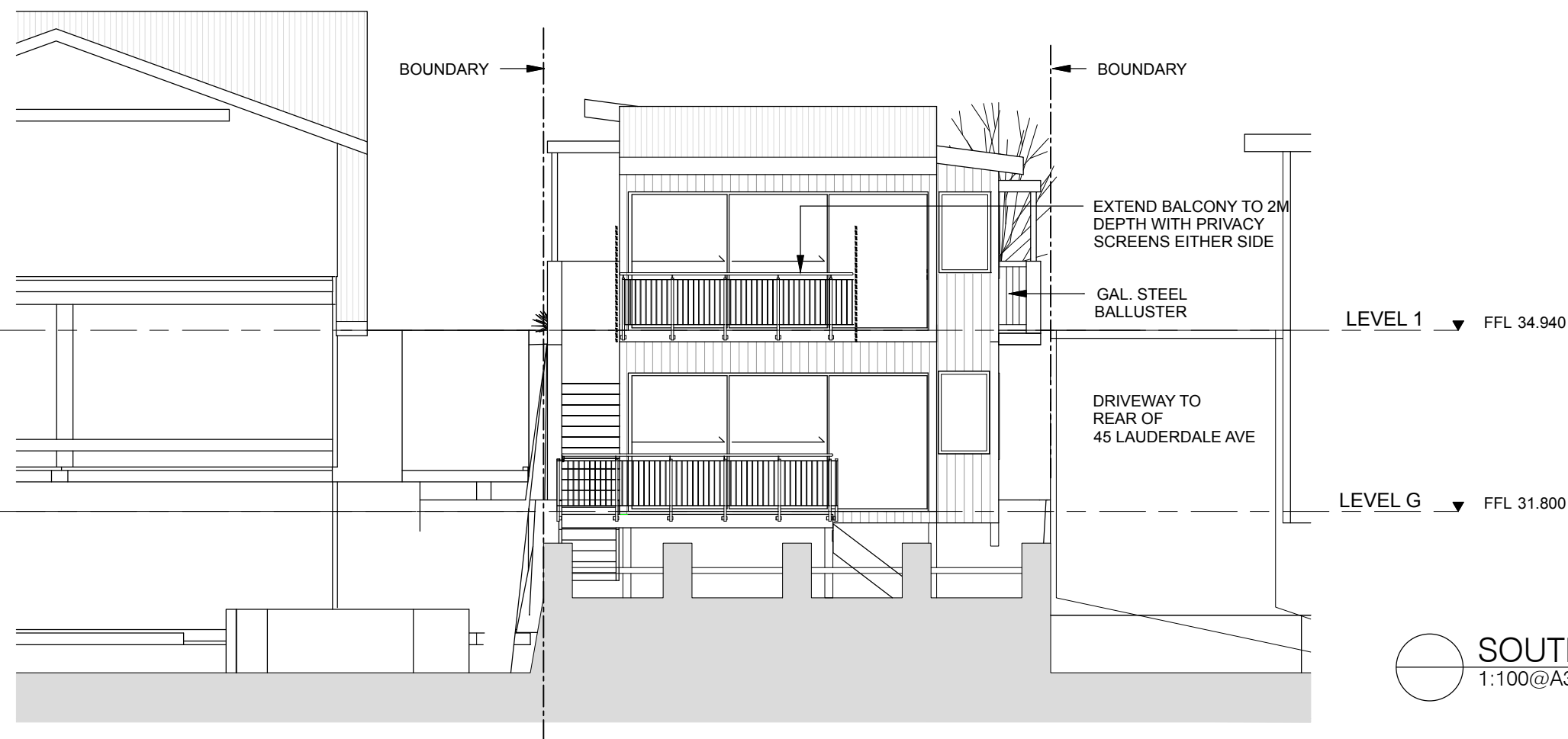


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LAUDERDALE AVE ELEVATION
1:100@A3



SOUTH ELEVATION
1:100@A3

 northern
beaches
council

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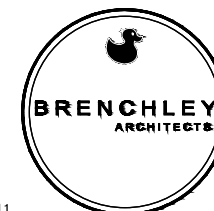
Issue	Amendment	Date
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49 LAUDERDALE AVE, FAIRLIGHT

DATE: DEC 2021

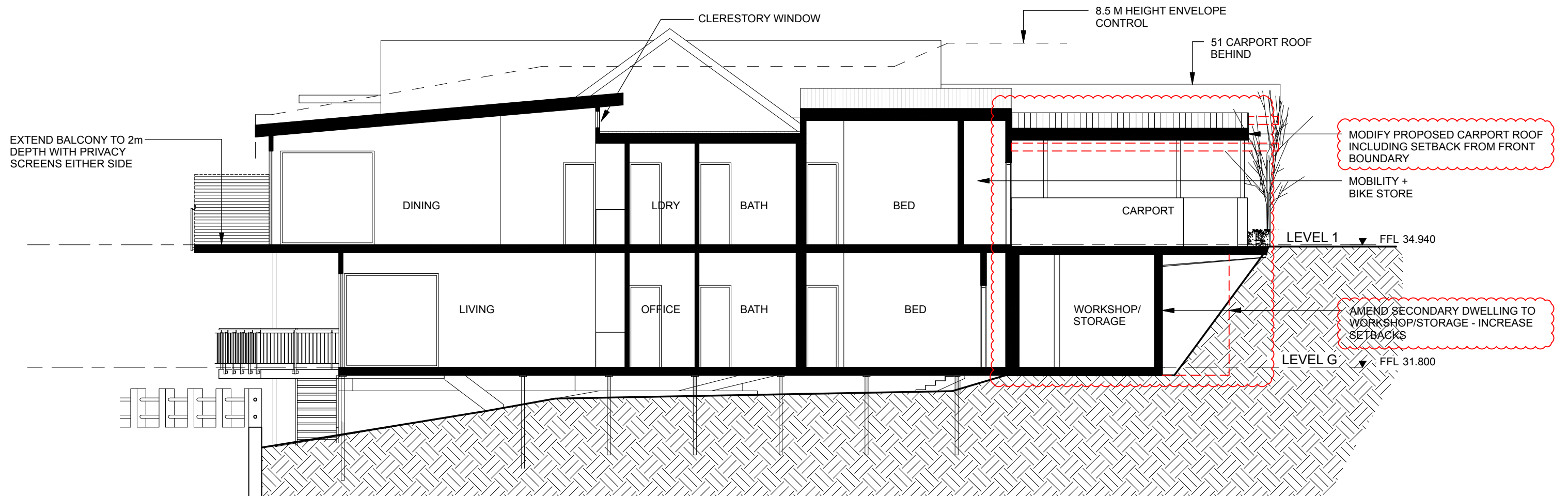
DRAWING TITLE: ELEVATIONS

DRAWING NO: 2018-050-A05



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SECTION 1-1
1:100@A3



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MOD2021/1002

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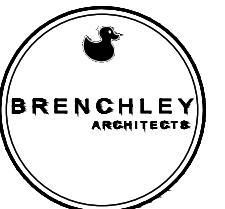
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49 LAUDERDALE AVE, FAIRLIGHT

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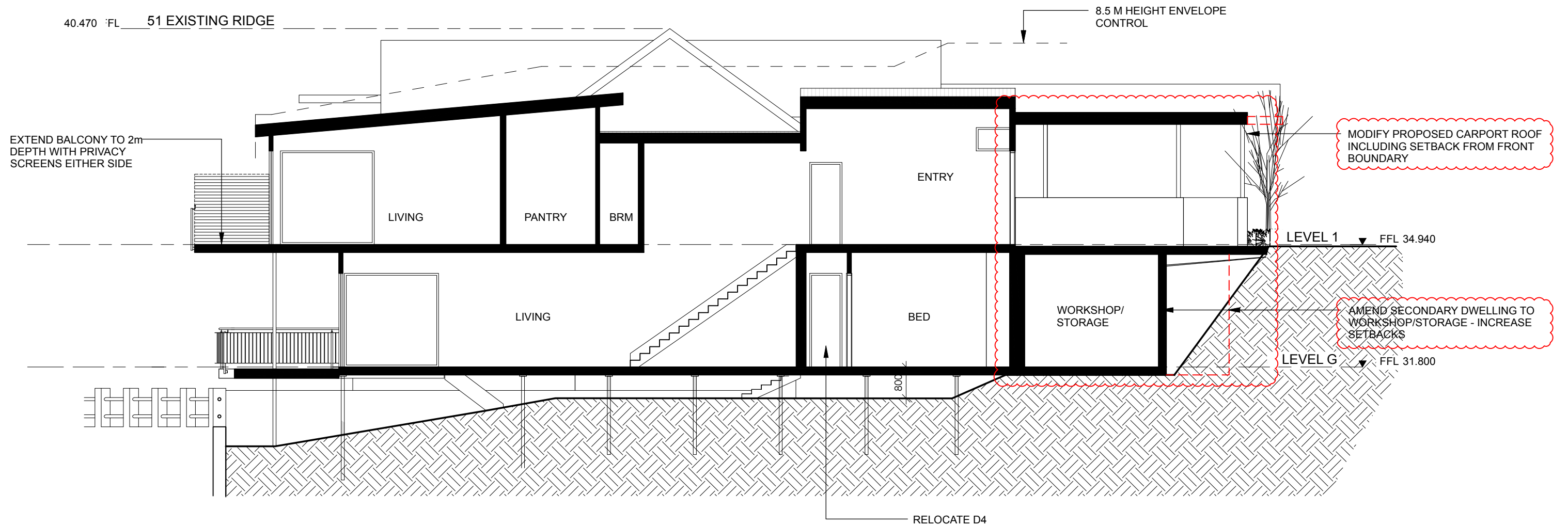
DRAWING TITLE: SECTION 1

DRAWING NO: 2018-050-A06



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SECTION 2-2
1:100@A3



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MOD2021/1002

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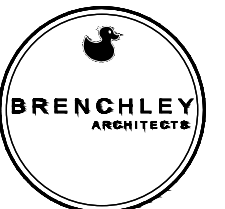
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49 LAUDERDALE AVE, FAIRLIGHT

DATE: DEC 2021

DRAWING TITLE: SECTION 2

DRAWING NO: 2018-050-A07



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