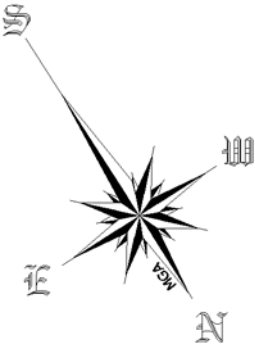
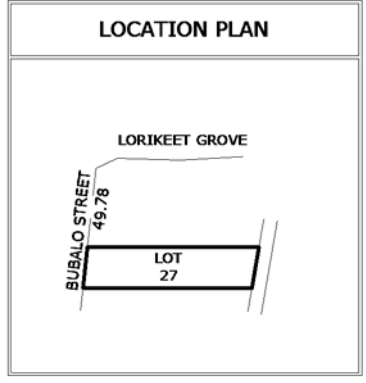
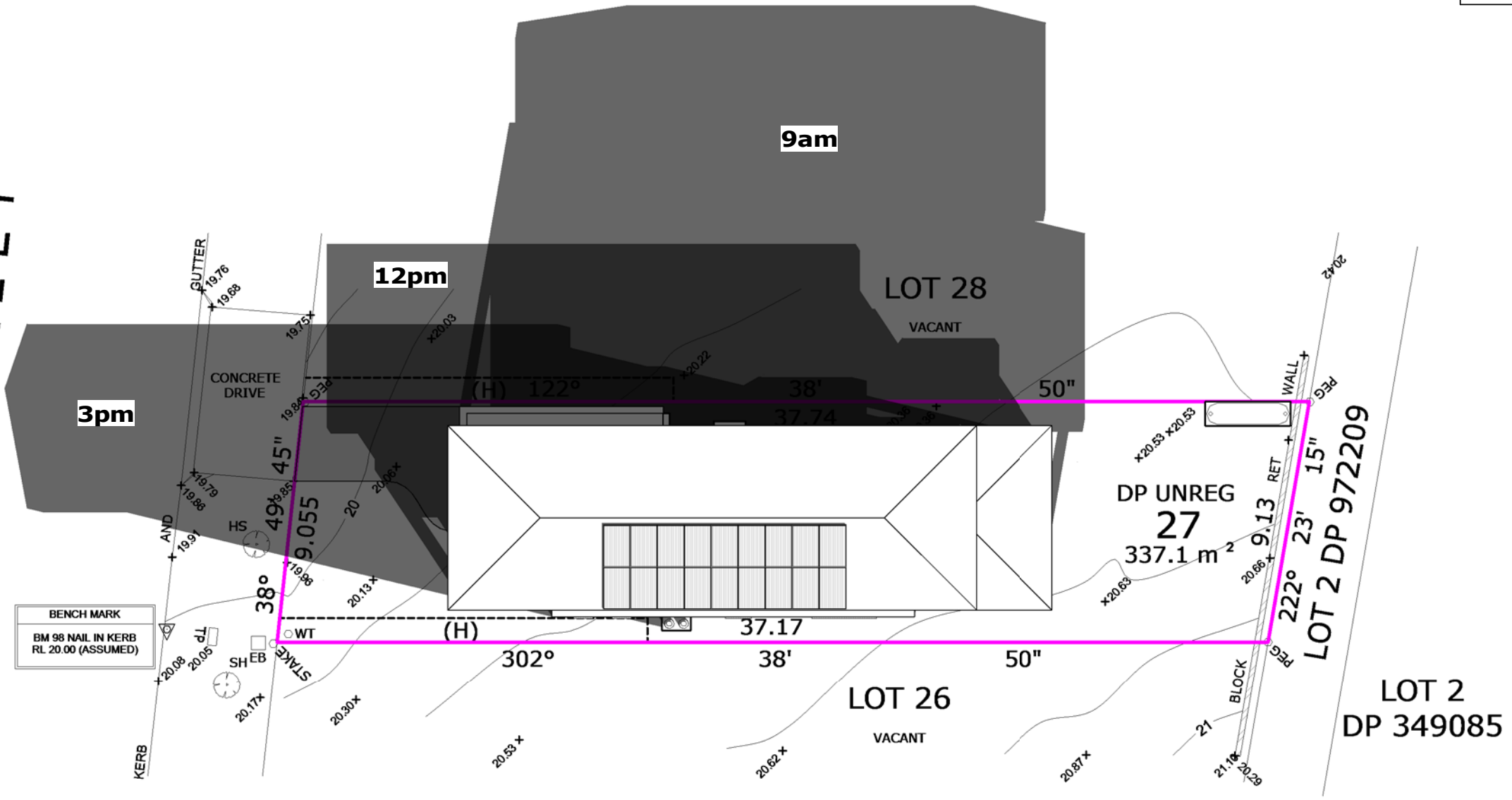


(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

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BUBALO STREET



LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
R	- HYDRANT RECYCLED
KO	- KERB OUTLET
LP	- LIGHT POLE
LH	- LAMP HOLE
MH	- MAN HOLE
MS	- MAINTENANCE SHAFT
PP	- POWER POLE
SH	- SHRUB
SMH	- SEWER MAN HOLE
SIO	- SEWER INSPECTION OPENING
SV	- STOP VALVE
SR	- STOP VALVE RECYCLED
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET

- WARNING -
UNREGISTERED PLAN

- 1) THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
- 2) ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
- 3) THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION
- 4) NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN

DISCLAIMER

DONOVAN ASSOCIATES CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN. COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE

NOTE

THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.

NOTES:
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS
* ALL DIMENSIONS ARE IN MILLIMETRES
* DO NOT SCALE - USE WRITTEN DIMENSIONS
* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES
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TELEPHONE 02 8765 5500
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CLIENT:
MR. M. GEORG & MRS. T. OSTERMAIER

SITE ADDRESS:
LOT 27, DP UNREG
BUBALO STREET
WARRIEWOOD

HOUSE TYPE
MODEL: ELLERSTON 26 MKII
FACADE: CLASSIC
TYPE: SINGLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
SHADOW DIAGRAM

DRAWN BY: MTT	DATE DRAWN: 19.11.19	CHECKED BY: MTT	APPROVED FOR CONSTRUCTION
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1 : 200	
JOB No: A009172	DRWG No: 12	ISSUE: B	

S:\17. DRAFTING\RAWSON HOMES\CONTRACTS AND JOB FILES\A009172 Ostermaier - Lot 27 Bubalo Street, Warriewood\A009172 Submission Plan.rvt