

The map shows a residential area with several streets. A red rectangle highlights a property located between Pittwater Rd and Whistler St, north of N Steyne. The property is situated on a lot that is part of a larger block bounded by these streets. The map also shows other streets like Pine St and N Steyne, and a large blue area representing the water body on the right side.

BASIX[®] Certificate
Building Sustainability Index www.basix.nsw.gov.au
Single Dwelling
Certificate number: 17371105

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 1/09/200200 published by the Department. This Document is available at www.basix.nsw.gov.au

Project type
dwelling house (detached)

Project score

No. of bedrooms	3	
Water	✓ 41	Target 40
Thermal Performance	✓ Pass	Target 70
Energy	✓ 93	Target 72
Materials	✓ 1	Target n/a

Secretary
Date of issue: Friday, 23 February 2004

To be valid, this certificate must be lodged within 3 months of the date of issue.



Certificate Prepared by	
Name / Company Name: BONNEFIN CONSULTING PTY LTD	
ABN (if applicable): 95164564210	

Thermal Performance and Materials commitments		Show on DA plans	Show on GC/BC plans & specs	Certified check
Glazing				
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.				
		☒	☒	☒
Frames		Maximum area - m2		
aluminum	32.9			
stainless	32.9			
uPVC	0			
steel	0			
composite	0			
Glazing		Maximum area - m2		
single	0			
double	65.5			
triple	0			

ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA, OTHER RELEVANT CODES AND WITH MANUFACTURERS INSTRUCTIONS.

DO NOT SCALE OFF DRAWING. VERIFY ALL DIMENSIONS
ON SITE PRIOR TO CONSTRUCTION.

TO BE READ IN CONJUNCTION WITH ALL OTHER
CONSULTANT'S DRAWINGS.

THE ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.

	EXISTING WALL / FLOOR / CEILING
	NEW WALL / FLOOR / CEILING
	TO BE DEMOLISHED
	DA AMENDMENTS
	REMOVED WALLS / FLOOR / CEILING

- INCREASE FRONT SETBACK OF FIRST AND SECOND FLOOR
- INCREASE BALCONY FRONT SETBACK ON FIRST FLOOR
- REDUCE HEIGHT AND PITCH OF ROOF OF FIRST AND SECOND FLOOR
- LOWER FLOOR LEVEL ON FIRST AND SECOND FLOOR
- REDUCE WIDTH OF DRIVEWAY TO KERB
- REDUCE TOTAL FLOOR AREA
- REDUCE SHADOWS CAST ONTO NO. 69 WHISTLER ST

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or completing development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on COC/DC plans or signs	Carriker check
Features			
The applicant must install overheads with a minimum rating of 4 star (≥ 8 bar <= 7.5 Litres plus spray free outer and coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓
The applicant must configure the rainwater tank so that rain runoff from at least 35% of square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private drain).		✓	✓
The applicant must connect the rainwater tank to: - all toilets in the development - at least one outdoor tap in the development (from NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Energy Commitments	Show on DA plans	Show on CC/DCD plans & specs	Compliance check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area, 1 phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1 phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5	✓	✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1 phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1 phase airconditioning - non ducted. Energy rating: EER 3.0 - 3.5	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, open to facade; Operator control manual switch on/off			
Kitchen: individual fan, open to facade; Operator control manual switch on/off			
Laundry: individual fan, open to facade; Operator control manual switch on/off			
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 3 bedrooms(s) in the development to natural lighting.	✓	✓	✓

Thermal Performance and Materials comments	Shout on DA plans	Show on C&COC plans & specs	Certifier check
Simulation Method Assessor details and thermal loads The applicant must attach the certificate referred to under "Assessor Details" on the front page of its BA5X1 certificate (the "Assessor Certificate") to the construction application and construction certificate application for the proposed development. If the applicant is applying for a complying development application for the proposed development, it that application). The Applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Control Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BA5X1 certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Constructors" and "Slabbing" tables below. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must also show the details of the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate the following requirements (if applicable), if the applicant is applying for a construction certificate on the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must also ensure the development is in accordance with all Thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Consider check
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the local utility's distribution system.		✓	✓
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 5.5 peak kilowatts of electricity, installed at an angle between 25 degrees and 35 degrees to the horizontal facing north.	✓	✓	✓
Other			
The applicant must install an induction cooking & electric oven in the kitchen of the dwelling.			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

Thermal Performance and Materials commitments		Show on DA plans	Show on CC/ECBC plans & specs	Certifier check
Construction				
Roof and walls must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.		✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.				✓
Construction	Area - m²	Insulation		
Roof - suspended floor above enclosed outdoor, concrete - suspended, frame: no frame.	67.33	Fibreglass batts or roll		
garage floor - concrete - suspended, frame: no frame.	17.6	Fibreglass batts or roll		
external wall - plasterboard, frame: timber - untreated softwood.	150.4	roll not specified- foil-lining		
external wall - framed (fibres cement sheet or board), frame: timber - untreated softwood.	51.5	Fibreglass batts or roll- foil-lining		
external garage wall - framed (fibres cement sheet or board), frame: timber - untreated softwood.	24.3	Fibreglass batts or roll- foil-lining		
internal wall - plasterboard, frame: timber - untreated softwood.	43.4	Fibreglass batts or roll		
internal wall - plasterboard, frame: timber - untreated softwood.	40.6	none		
ceiling and roof - flat ceiling / pitched roof, frame - metal roof - H2 treated softwood.	39.9	ceiling: fibreglass batts or roll; roof: foil-lining.		
ceiling and roof - metal roof: ceiling: gabled or skillion roof, framed - metal roof - H2 treated softwood.	65.8	ceiling: fibreglass batts or roll; roof: foil-lining.		

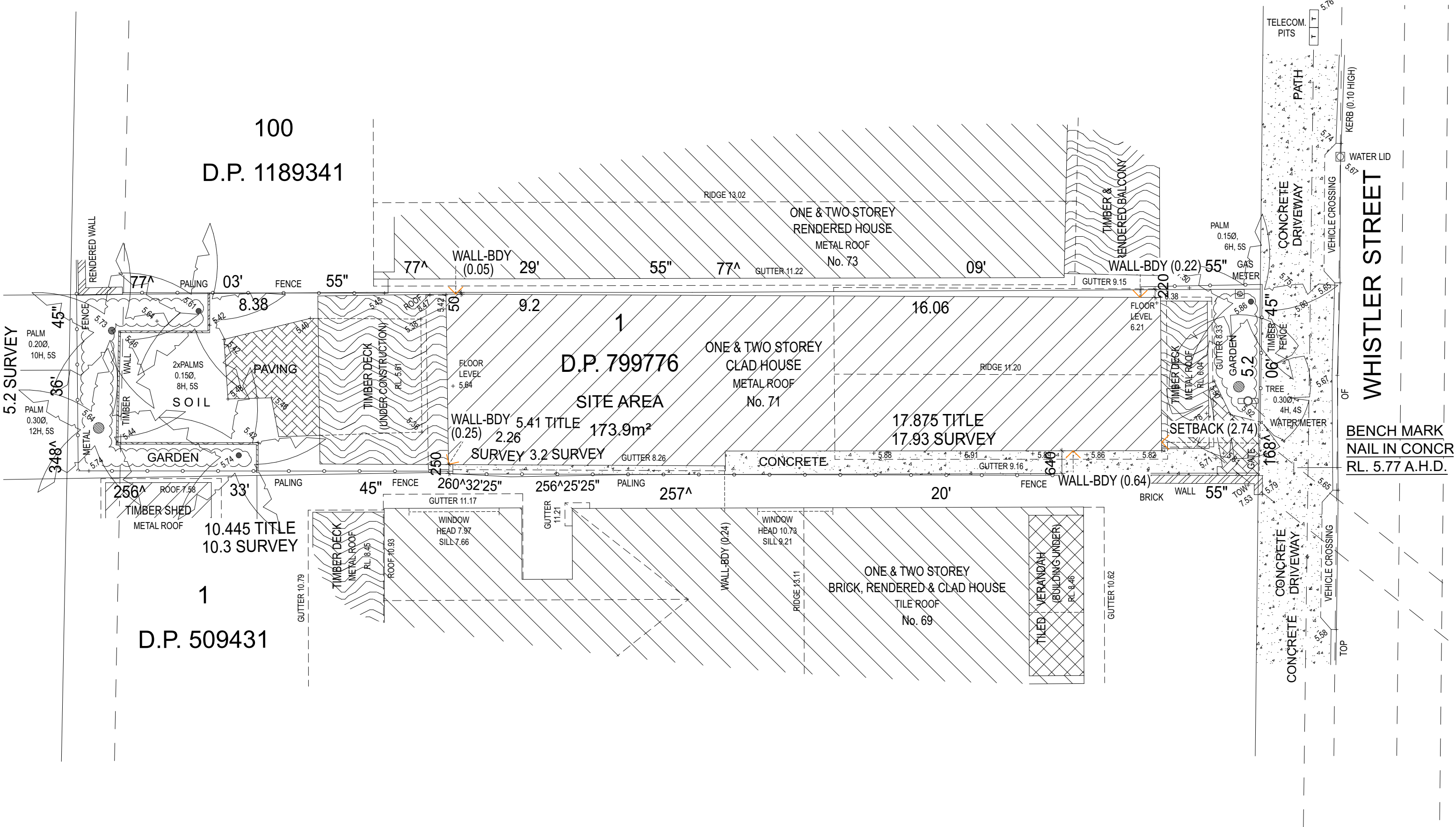
Nominated Architect Mark Korgul No. 6221 **Studio** 9977 1076 **Address** Level 1, 167 Pittwater Road Manly NSW 2095

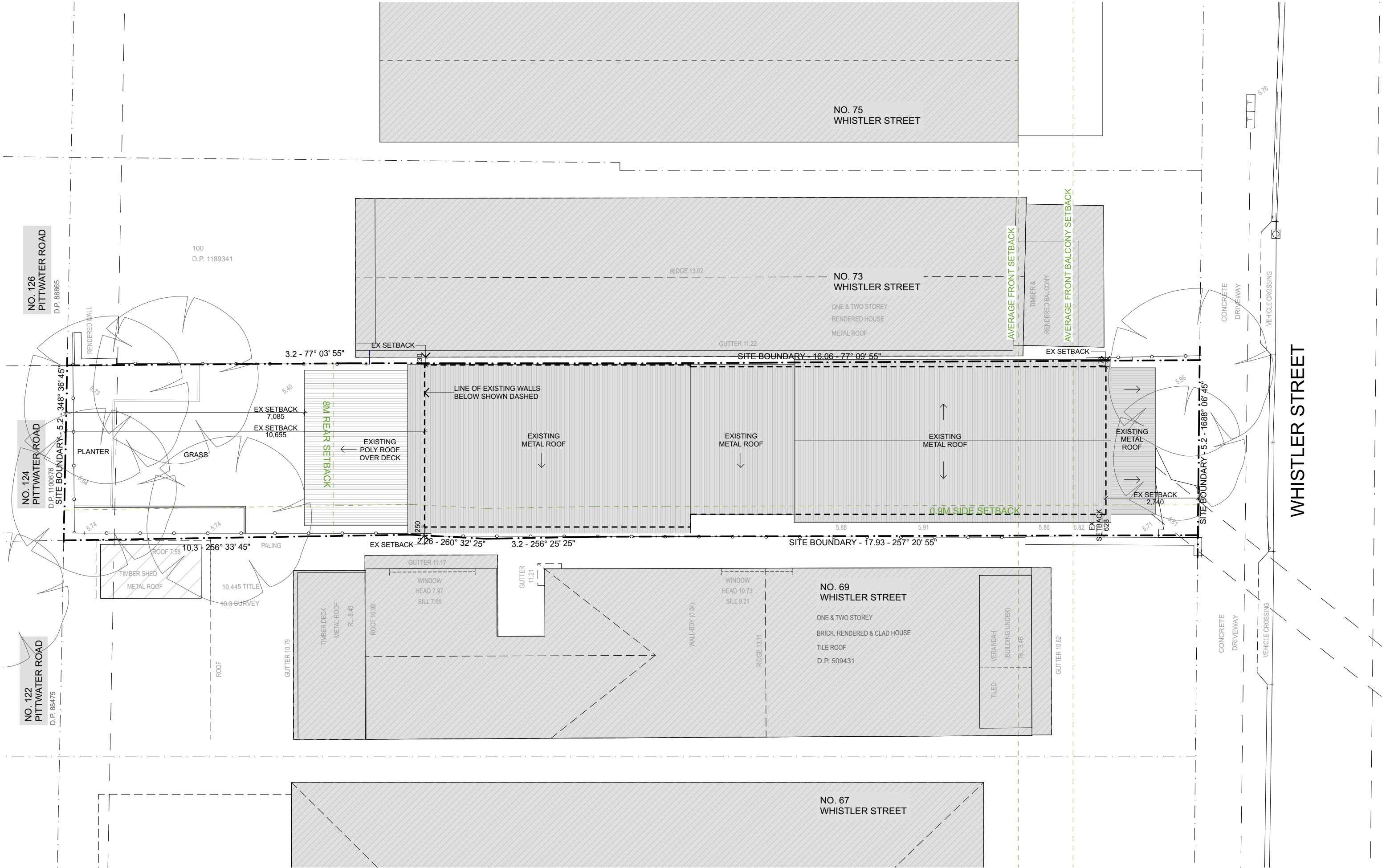
ISSUE	FOR	DATE
F	DEVELOPMENT APPLICATION - AMENDED	7/8/2024

JOB NO: 23002
ADDRESS: 71 Whistler street, Manly
CLIENT: Prue Hatcher & Chris Syme
SCALE: NA

FOR ALTERATIONS & ADDITIONS

ISSUE: F

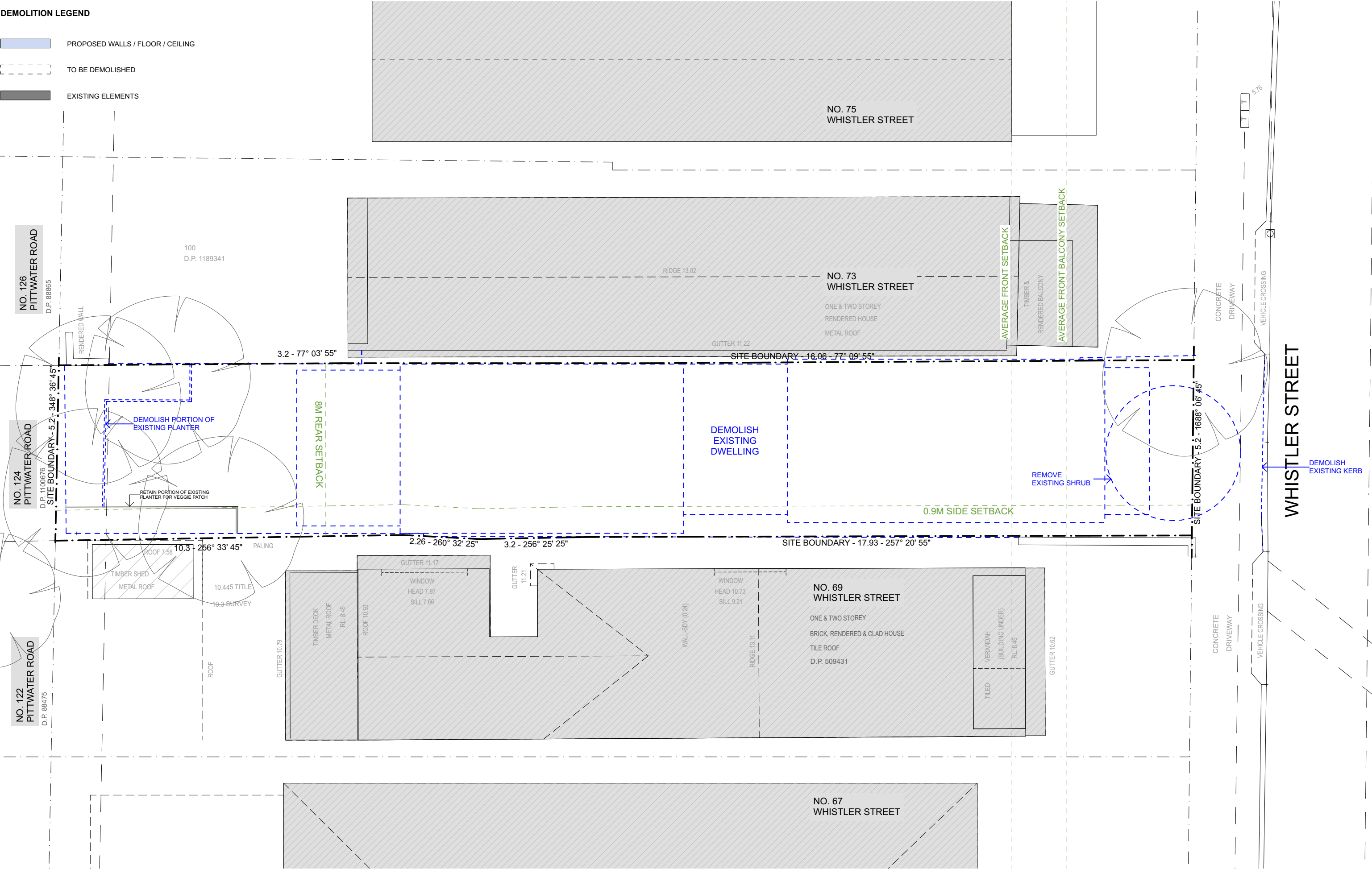






DEMOLITION LEGEND

- PROPOSED WALLS / FLOOR / CEILING
- TO BE DEMOLISHED
- EXISTING ELEMENTS

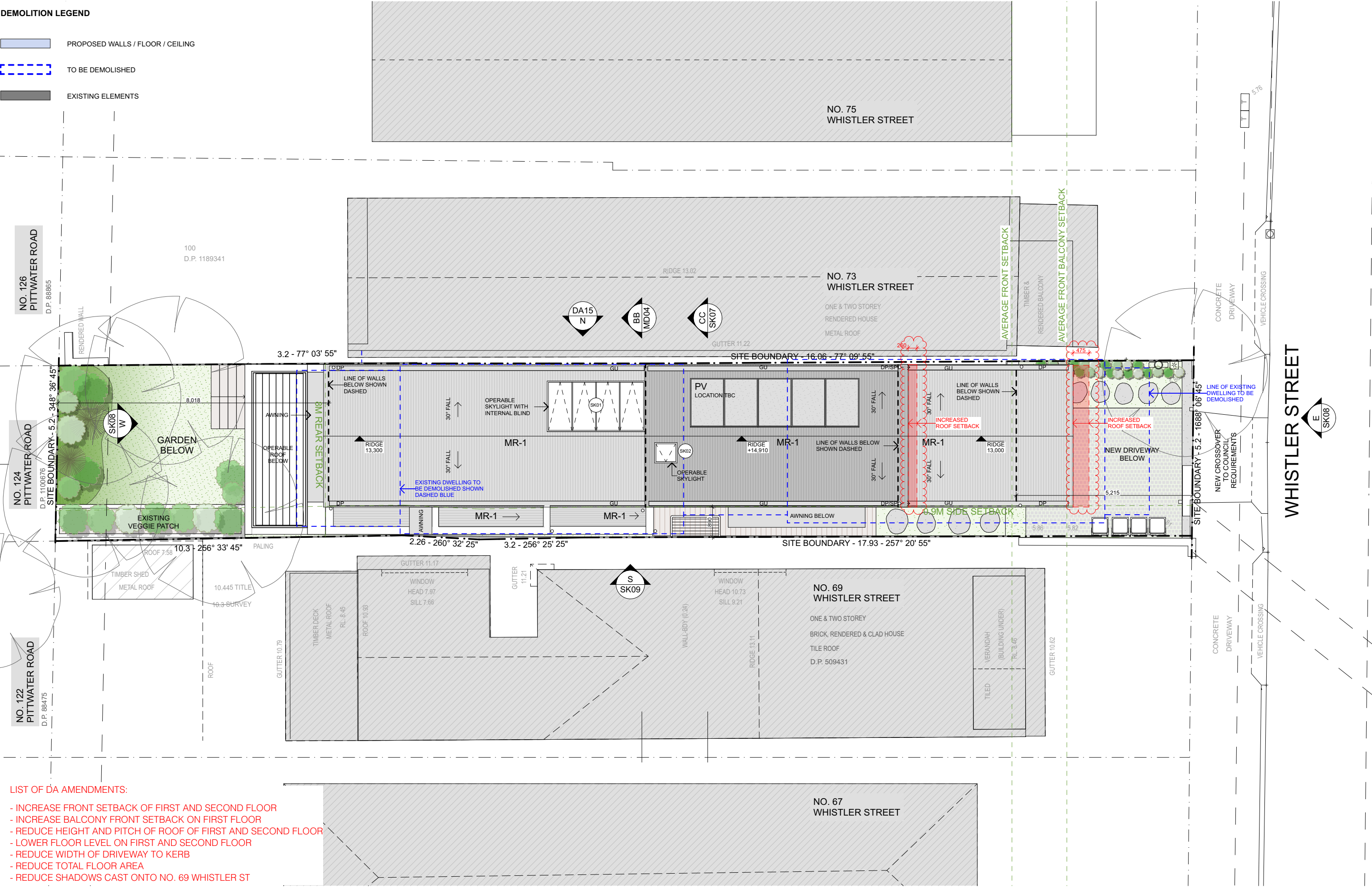


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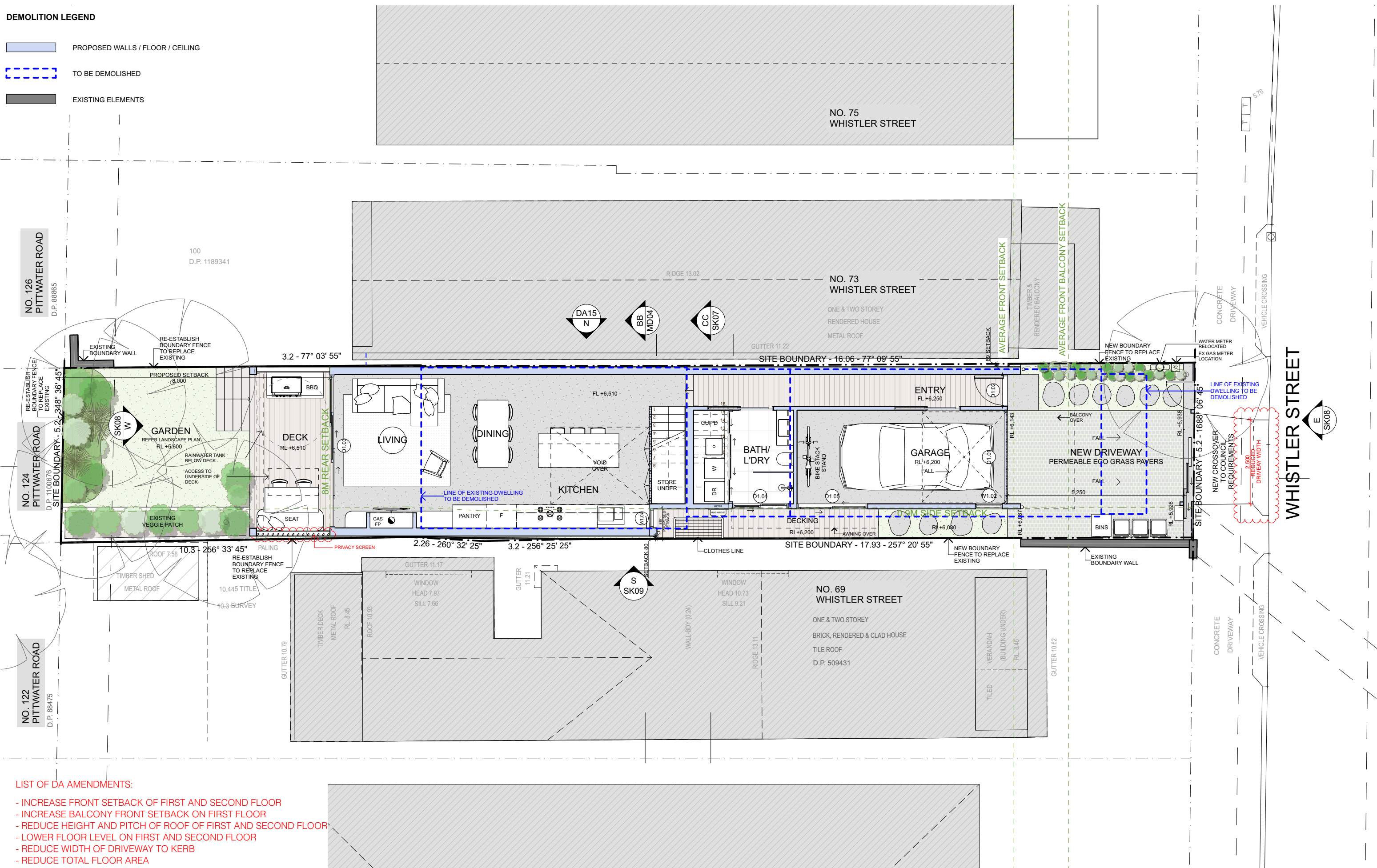
TO BE DEMOLISHED

EXISTING ELEMENTS



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 - REDUCE SHADOWS CAST ONTO NO. 69 WHISTLER ST

 PROPOSED WALLS / FLOOR / CEILING
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 EXISTING ELEMENTS



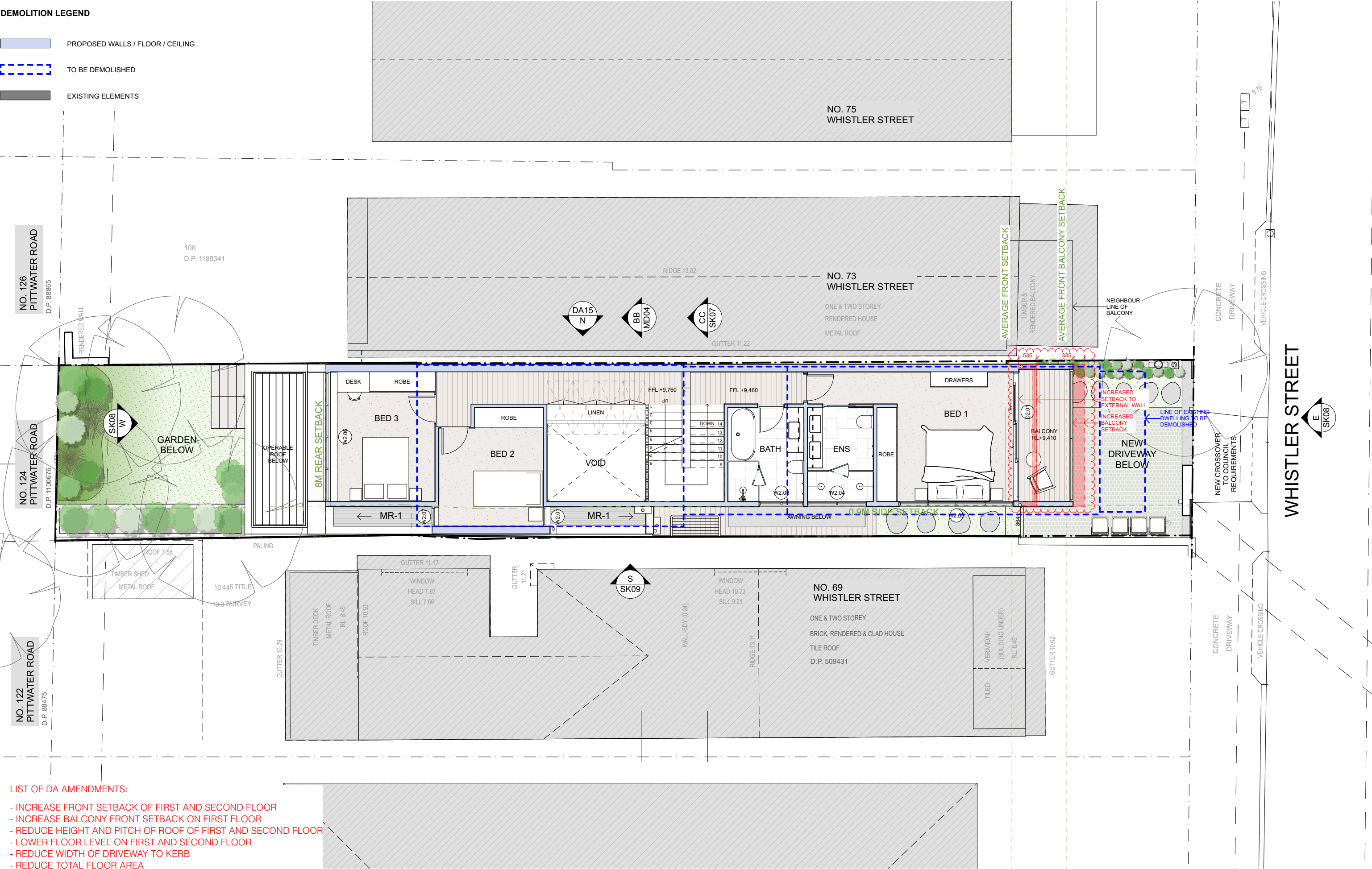
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- PRIVACY SCREEN TO SOUTHERN SIDE OF REAR DECK

DEMOLITION LEGEND

PROPOSED WALLS / FLOOR / CEILING

TO BE DEMOLISHED

EXISTING ELEMENTS



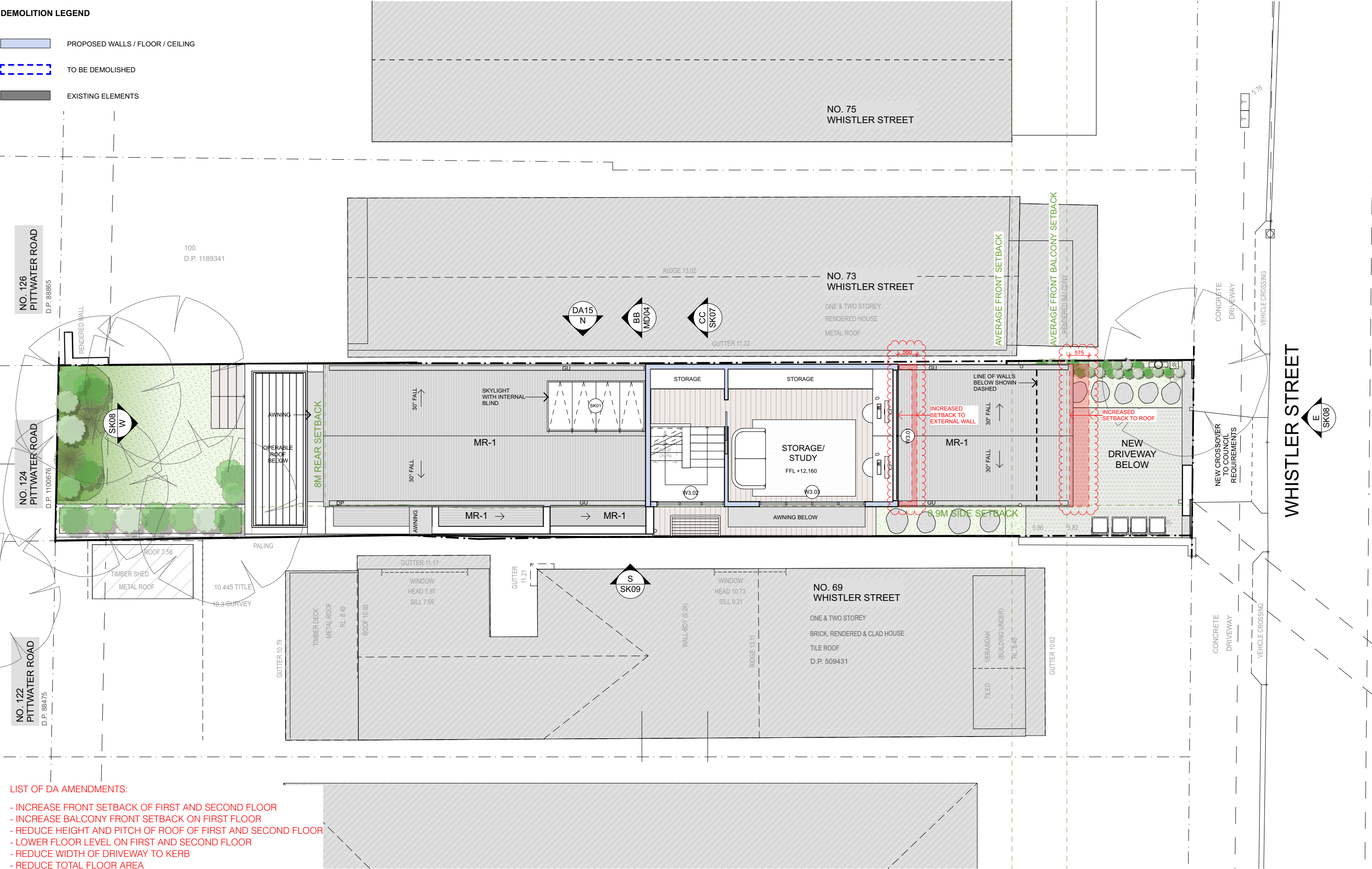
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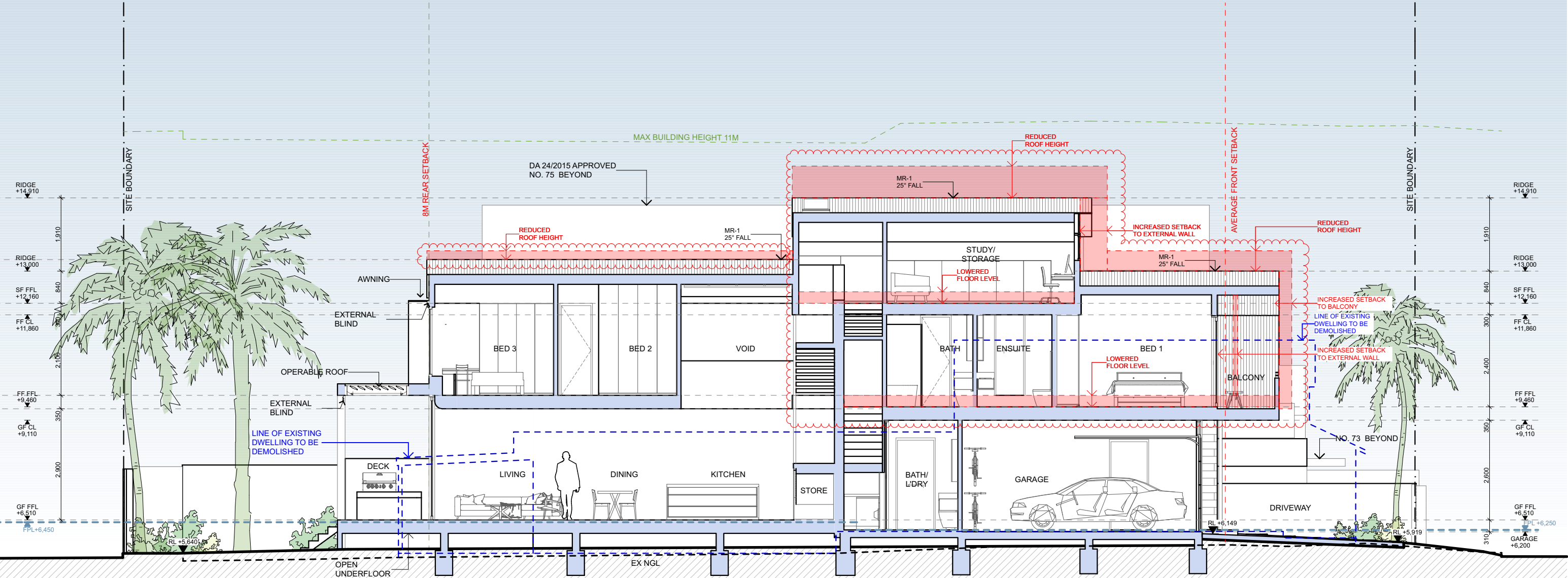


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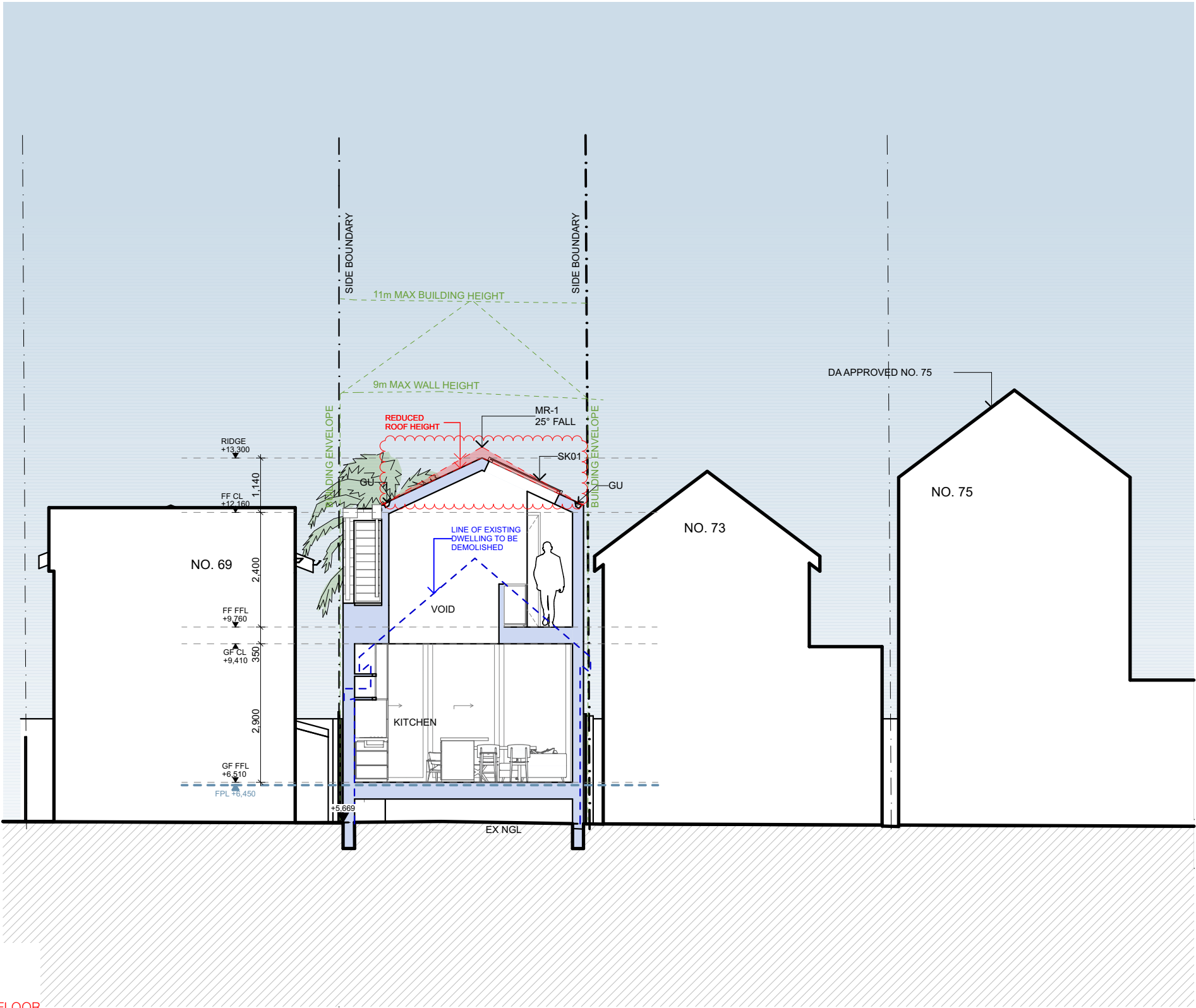
Watershed\Architects

Nominated Architect Mark Korgul No. 6221 Studio 9977 1076 Address Level 1, 167 Pittwater Road Manly NSW 2095

ISSUE FOR DATE
F DEVELOPMENT APPLICATION - AMENDED 7/8/2024

JOB NO: 23002
ADDRESS: 71 Whistler street, Manly
CLIENT: Prue Hatcher & Chris Syme
SCALE: 1:100 @ A3

SECTION AA
SHEET: DA09
ISSUE: F



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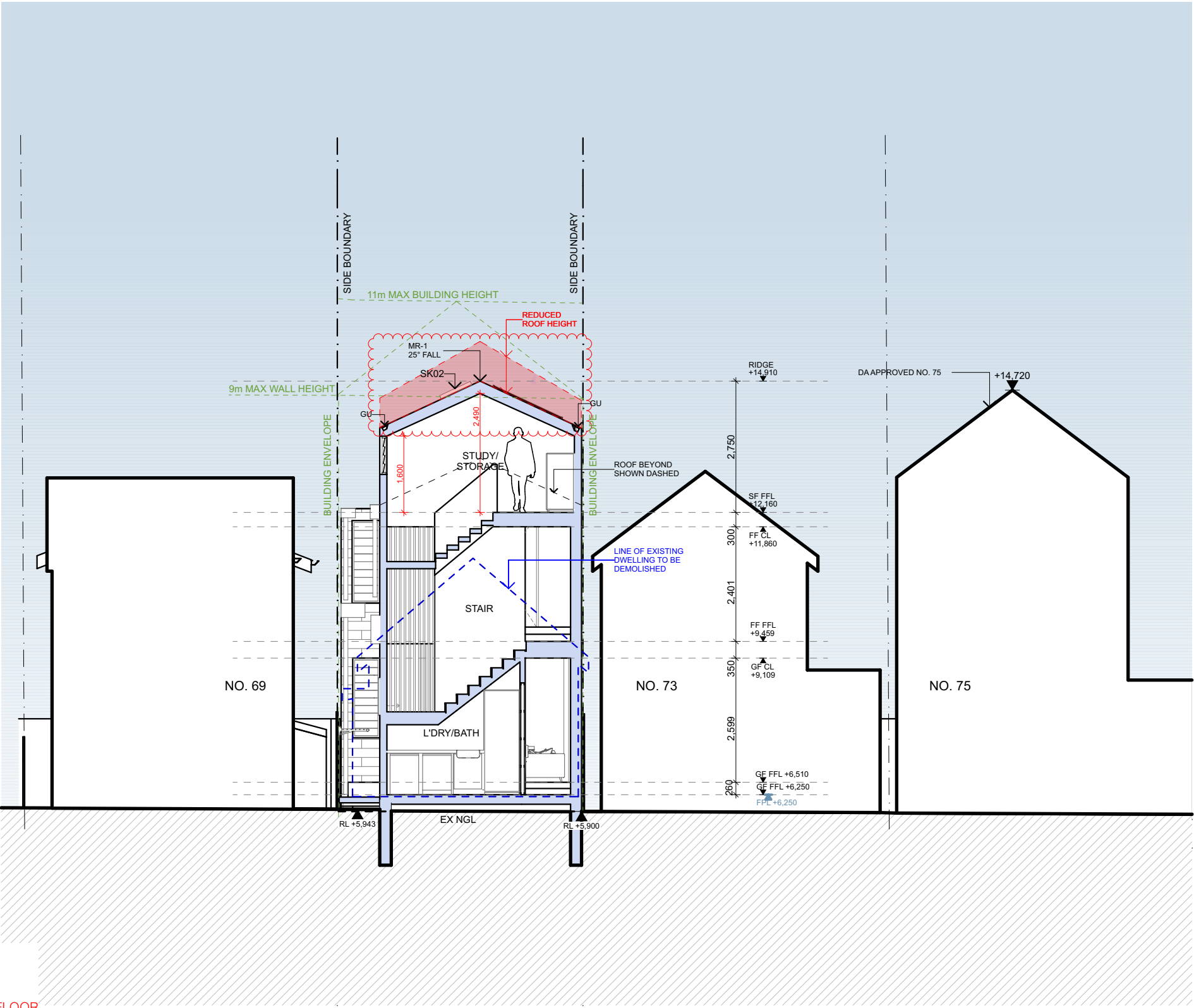
SECTION BB
SHEET: DA10
ISSUE: F

DEMOLITION LEGEND

PROPOSED WALLS / FLOOR / CEILING

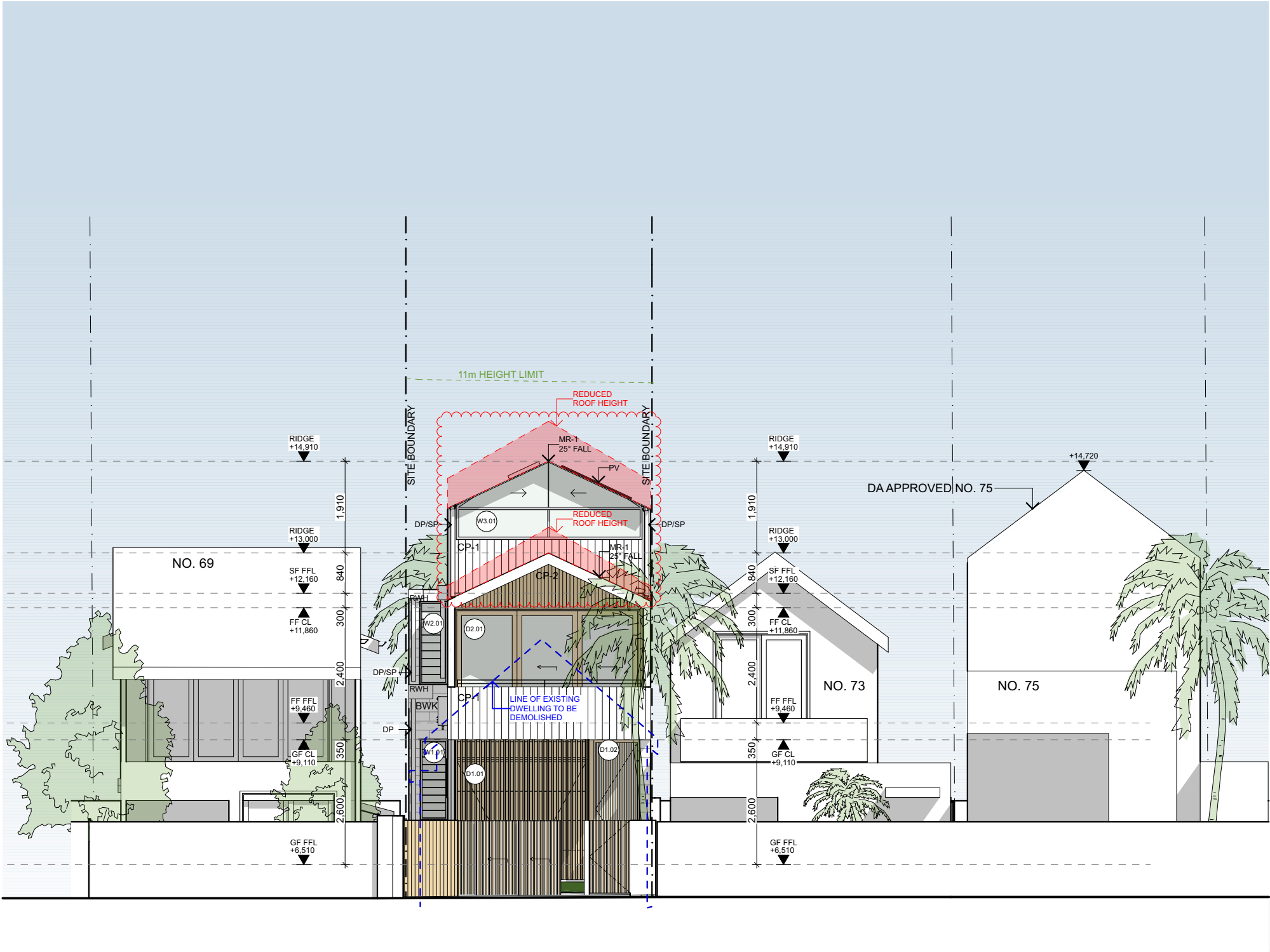
TO BE DEMOLISHED

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F	DEVELOPMENT APPLICATION - AMENDED	7/8/2024	ADDRESS:	71 Whistler street, Manly
			CLIENT:	Prue Hatcher & Chris Syme
			SCALE:	1:100 @ A3



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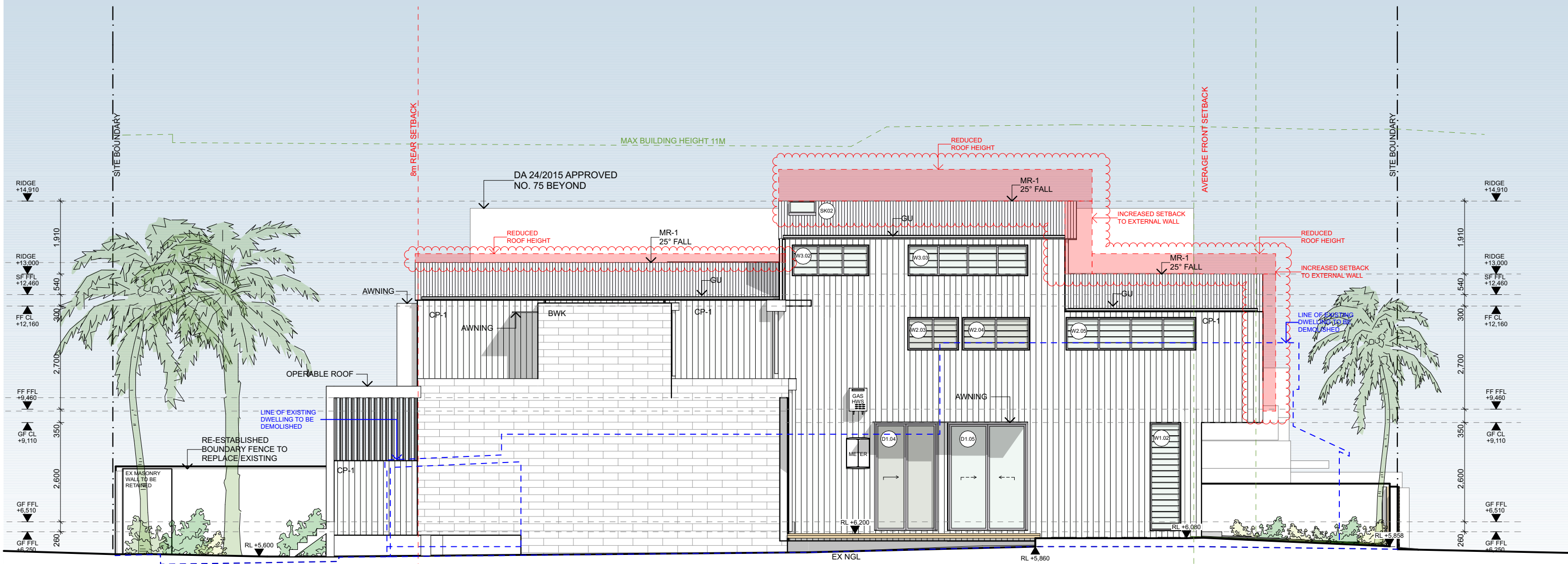
Nominated Architect Mark Korgul No. 6221 Studio 9977 1076 Address Level 1, 167 Pittwater Road Manly NSW 2095

ISSUE FOR
F DEVELOPMENT APPLICATION - AMENDED

DATE
7/8/2024

JOB NO: 23002
ADDRESS: 71 Whistler street, Manly
CLIENT: Prue Hatcher & Chris Syme
SCALE: 1:100 @ A3

ELEVATIONS - EAST
SHEET: DA12
ISSUE: F



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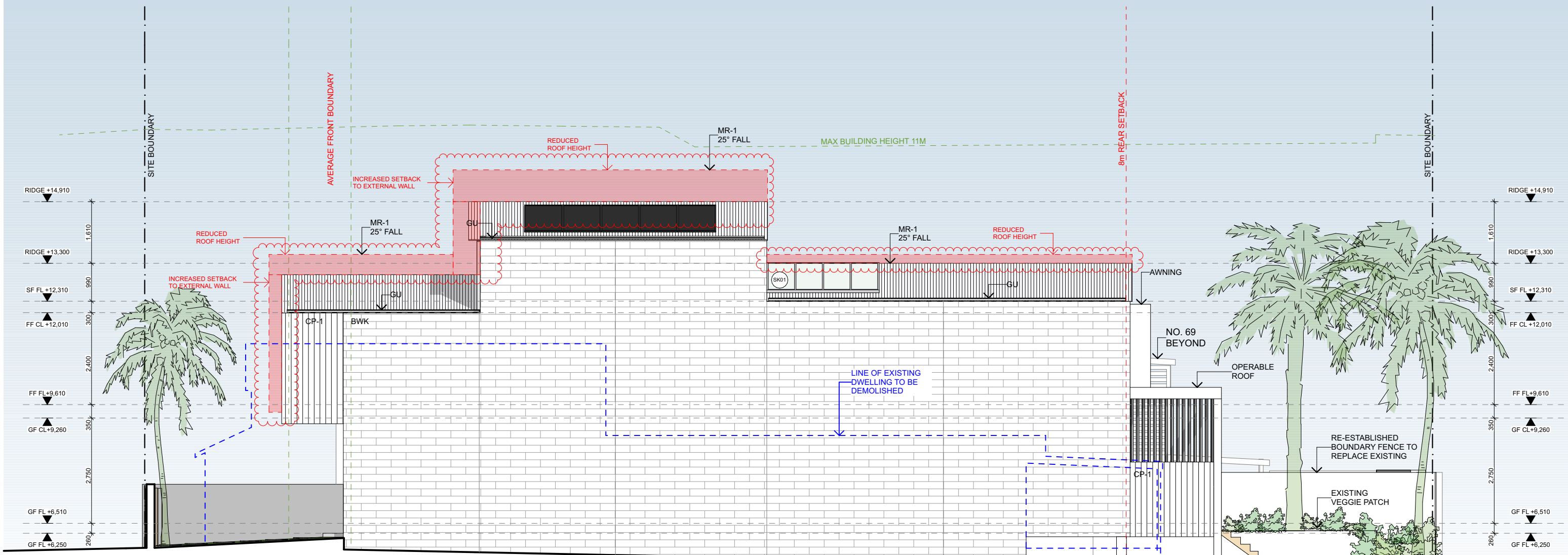
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ADDRESS: 71 Whistler street, Manly
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ELEVATION - SOUTH
SHEET: DA13
ISSUE: F



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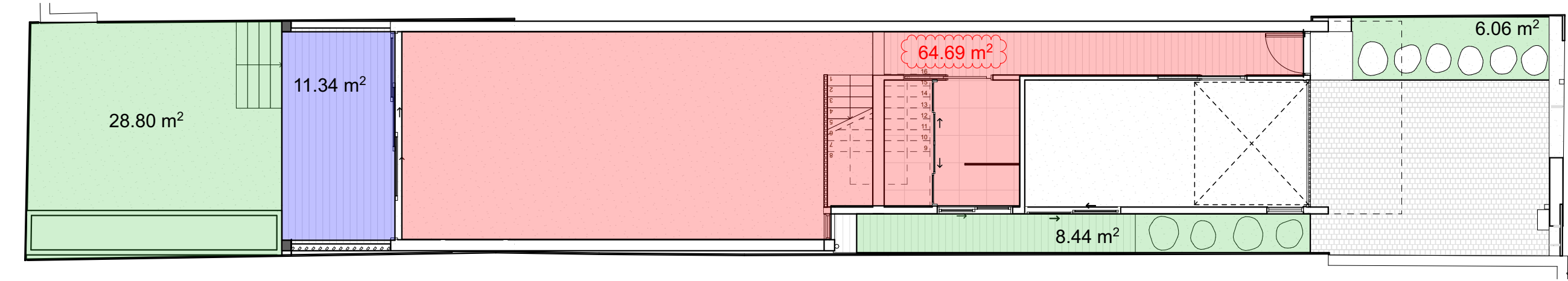
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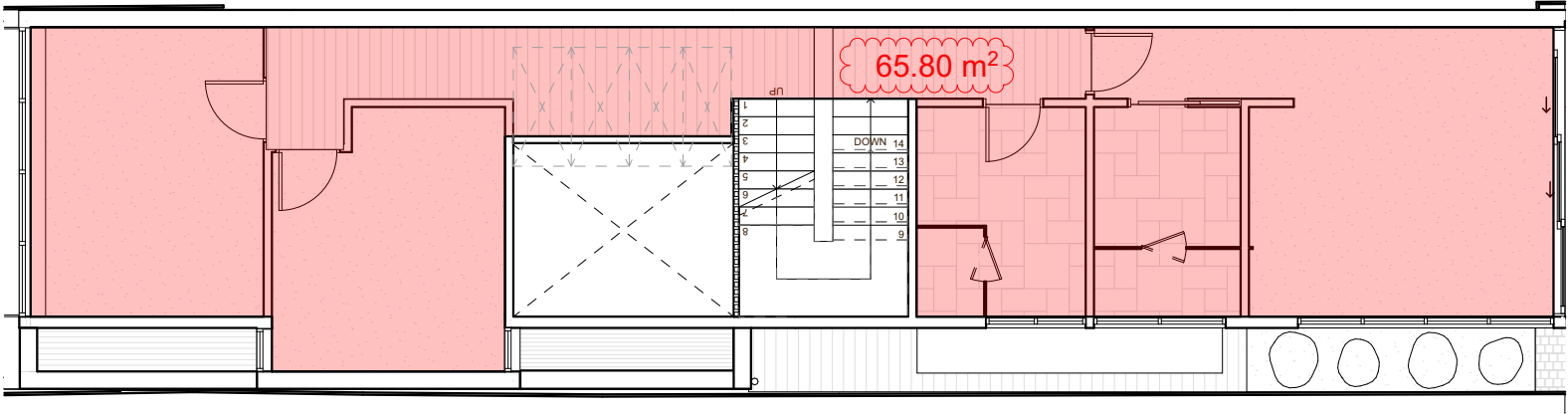
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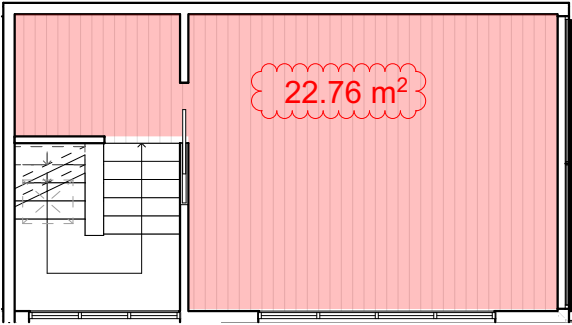
ELEVATION - NORTH
SHEET: DA15
ISSUE: F



AREA - GROUND FLOOR
Scale 1:100



AREA - FIRST FLOOR
Scale 1:100

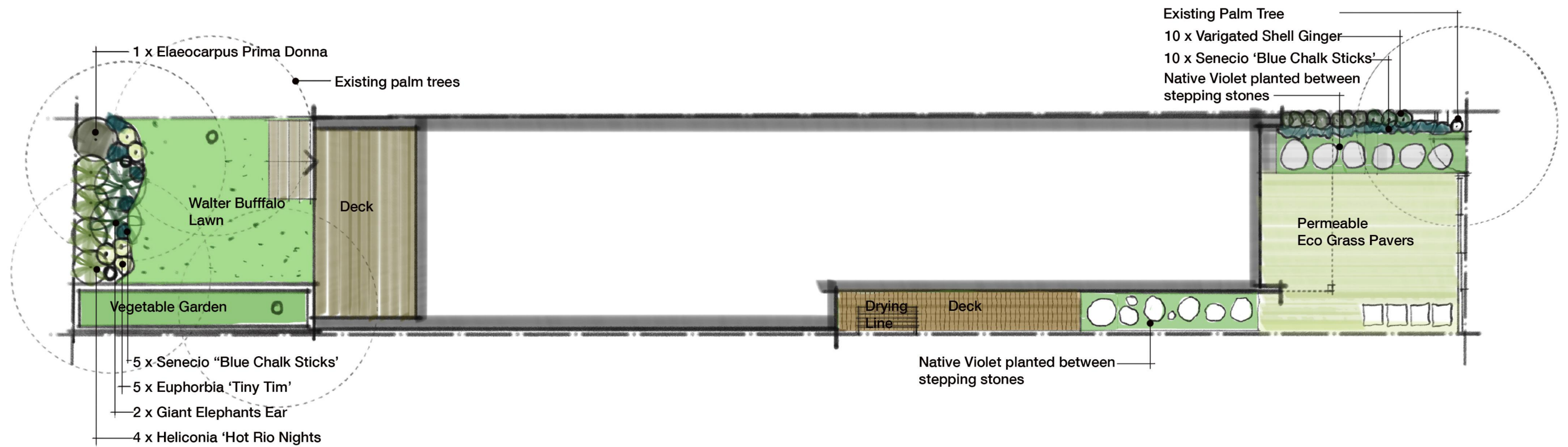


AREA- SECOND FLOOR
Scale 1:100

SITE AREA	173.9m²	FLOOR SPACE RATIO CALCULATIONS	
OPEN SPACE CALCULATIONS		ALLOWABLE FSR 0.75:1	
EXISTING OS	48.52m²	CALCULATED ON SITE AREA OF 250m² AS OUTLINED IN DCP FOR UNDERSIZED LOTS	
PROPOSED OS	40.15m²	187.5m²	
LANDSCAPED CALCULATIONS		CALCULATED ON ACTUAL SITE AREA OF 173.9m²	
EXISTING LANDSCAPE	34.37m²	130.42m²	
PROPOSED LANDSCAPE	43.3m²	EXISTING FSR	
		122.03m²	
		PROPOSED FSR	153m²

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Heliconia 'Hot Rio Nights'
3-4m



Alocasia Macrorrhizos
'Giant Elephants Ear' 2m



Elaeocarpus Prima Donna
'Blueberry Ash' 4-5m



Euphorbia x Martinii
'Tiny Tim' 0.4m



Senecio Mandraliscae
'Blue Chalk Sticks' 0.2m

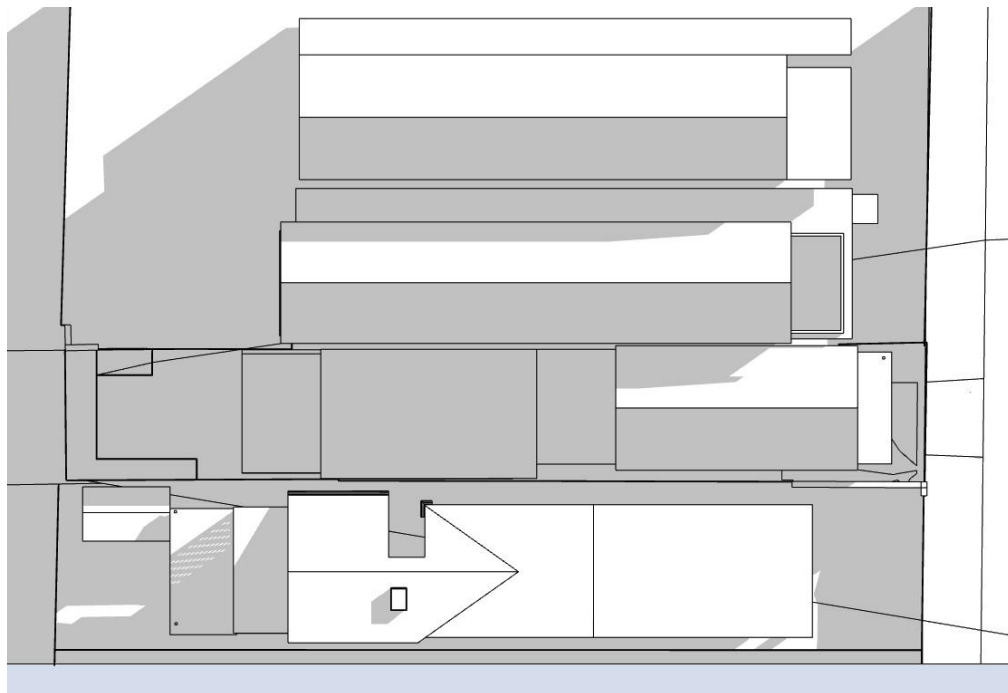


Viola Hederacea
'Native Violet' 0.1m

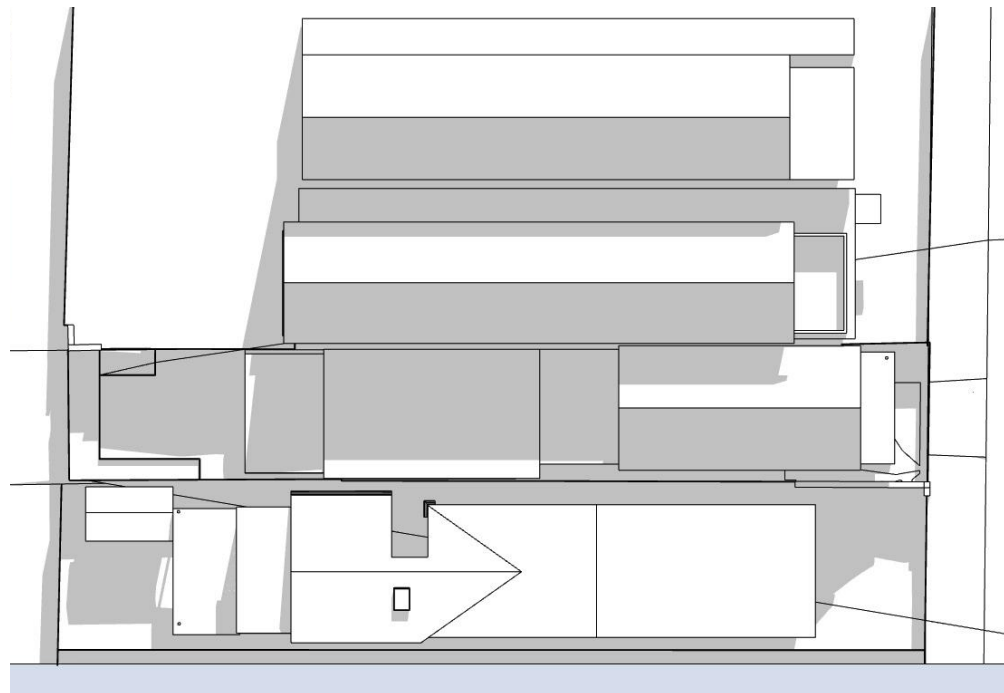


Alpinia Zerumbet Variegata
'Varigated Shell Ginger' 1.5m

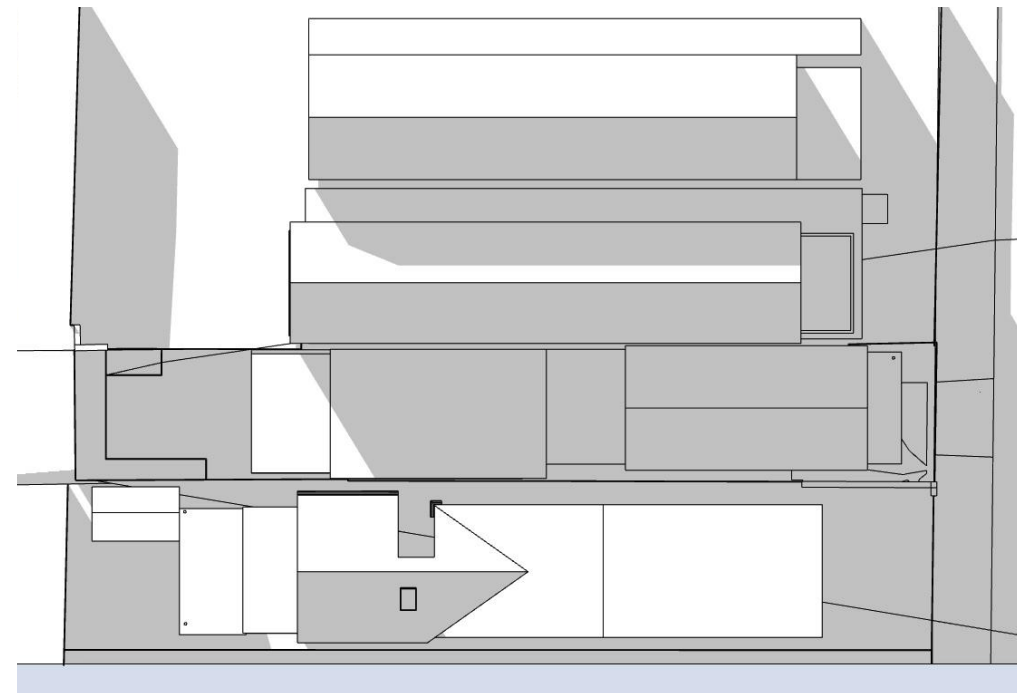




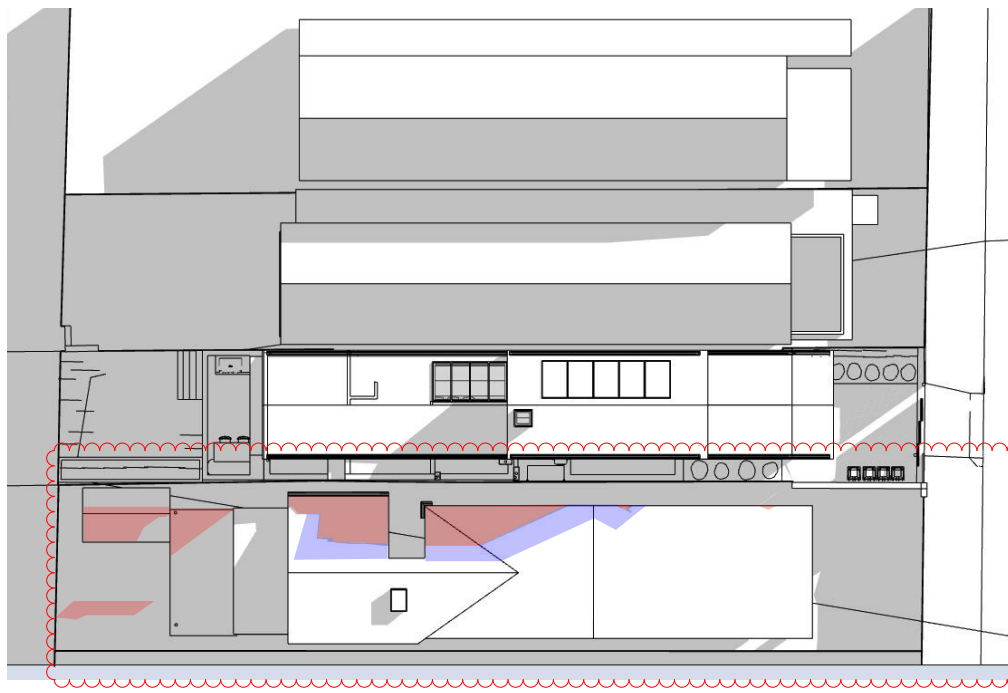
EXISTING SHADOWS - 9AM



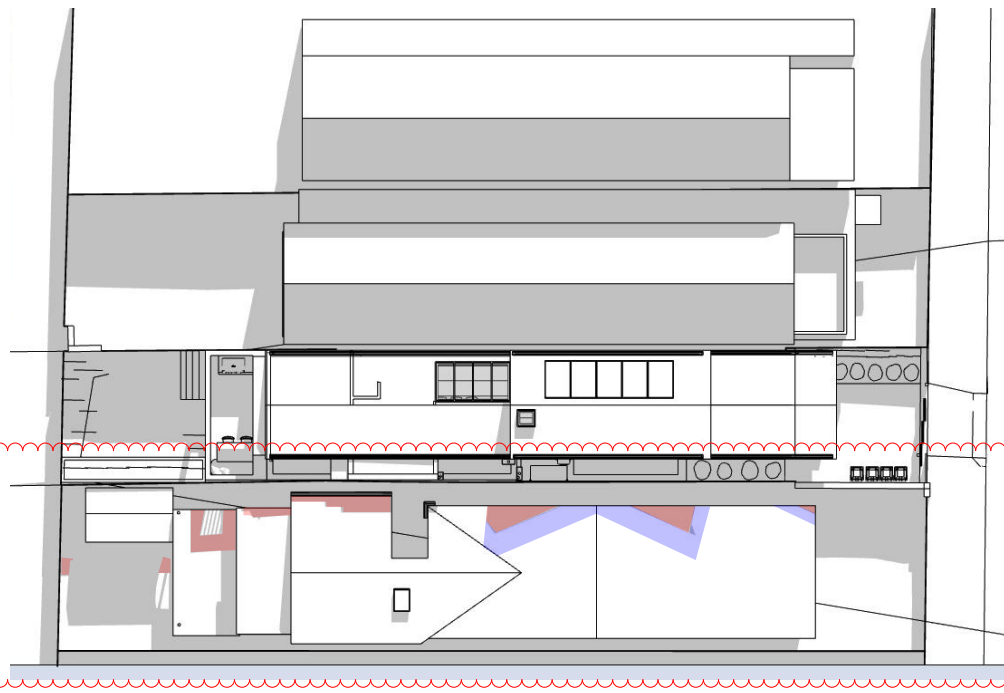
EXISTING SHADOWS - 12PM



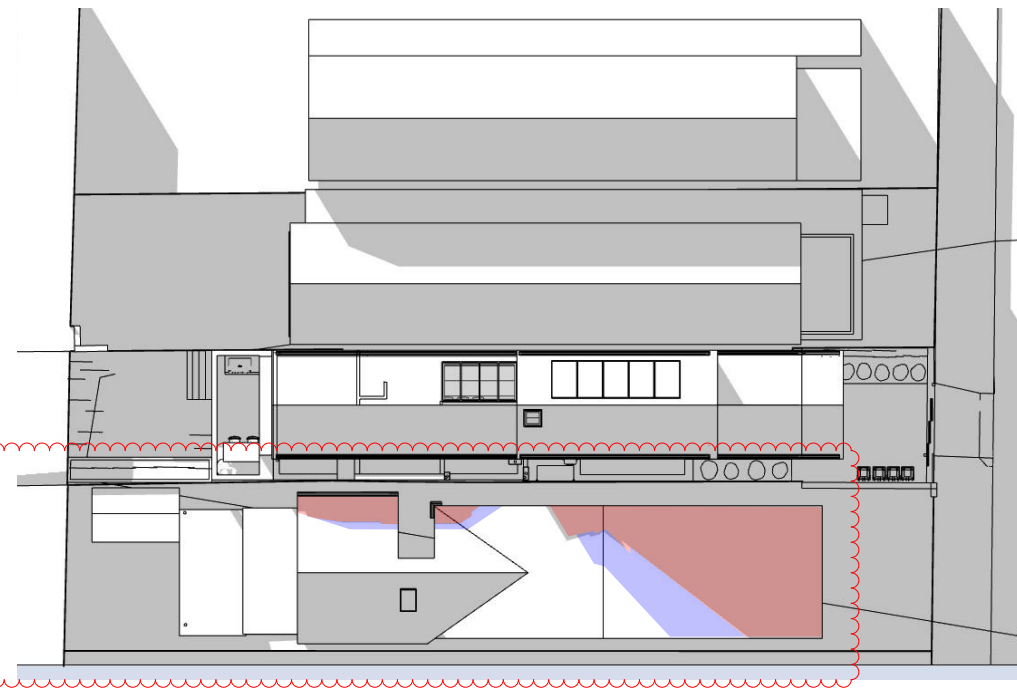
EXISTING SHADOWS - 3PM



PROPOSED SHADOWS - 9AM



PROPOSED SHADOWS - 12PM



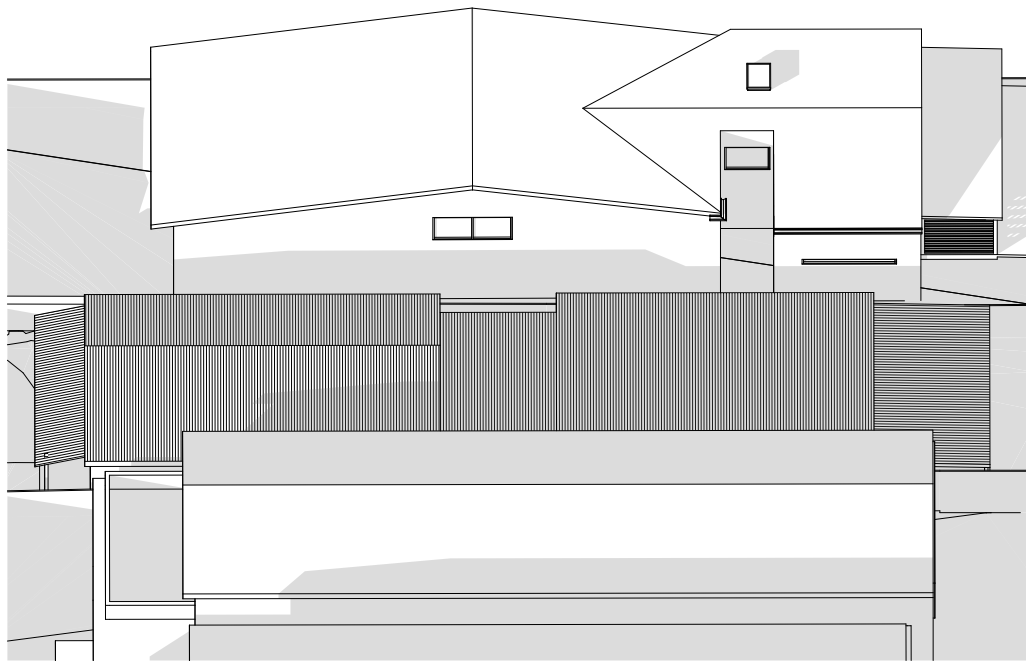
PROPOSED SHADOWS - 3PM

- AMENDED PROPOSED SHADOWS
- PREVIOUSLY PROPOSED SHADOWS

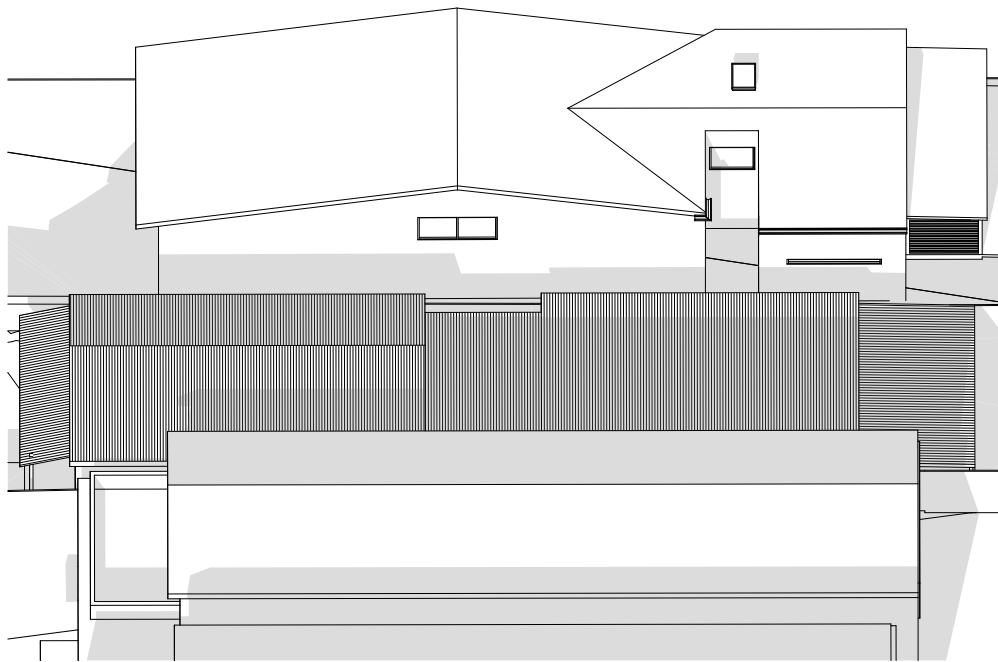
LIST OF DA AMENDMENTS:

- INCREASE FRONT SETBACK OF FIRST AND SECOND FLOOR
- INCREASE BALCONY FRONT SETBACK ON FIRST FLOOR
- REDUCE HEIGHT AND PITCH OF ROOF OF FIRST AND SECOND FLOOR
- LOWER FLOOR LEVEL ON FIRST AND SECOND FLOOR
- REDUCE WIDTH OF DRIVEWAY TO KERB
- REDUCE TOTAL FLOOR AREA
- REDUCE SHADOWS CAST ONTO NO. 69 WHISTLER ST

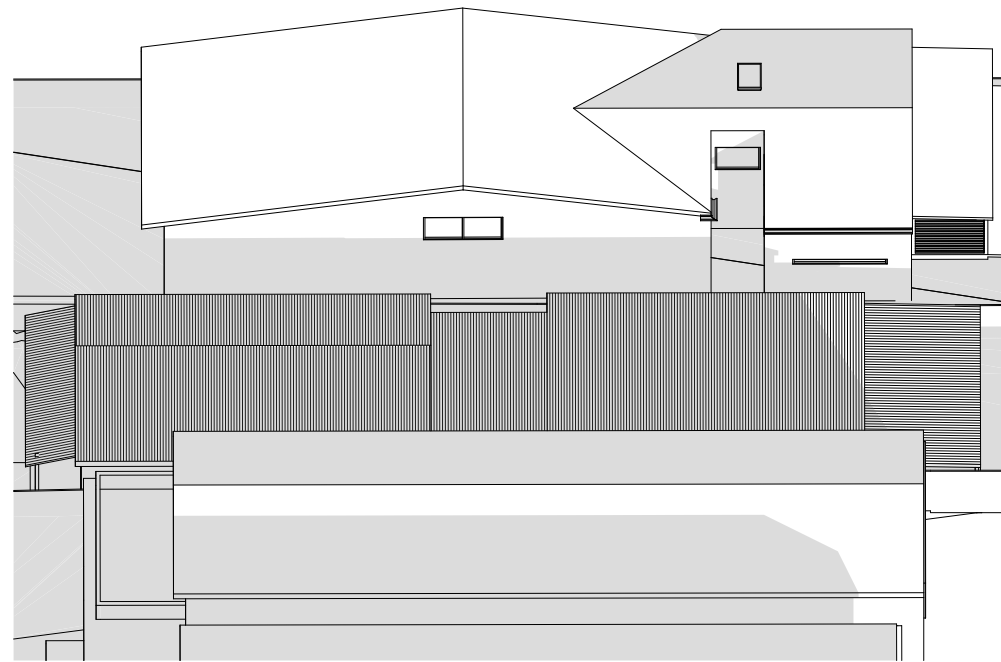




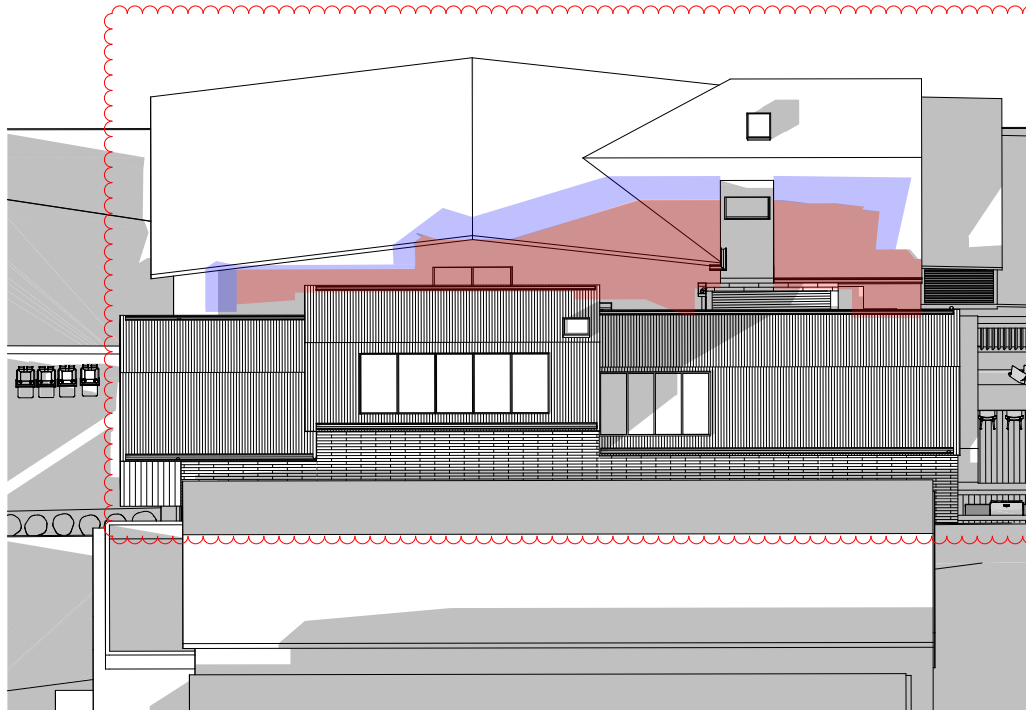
9AM Existing
Scale 1:200



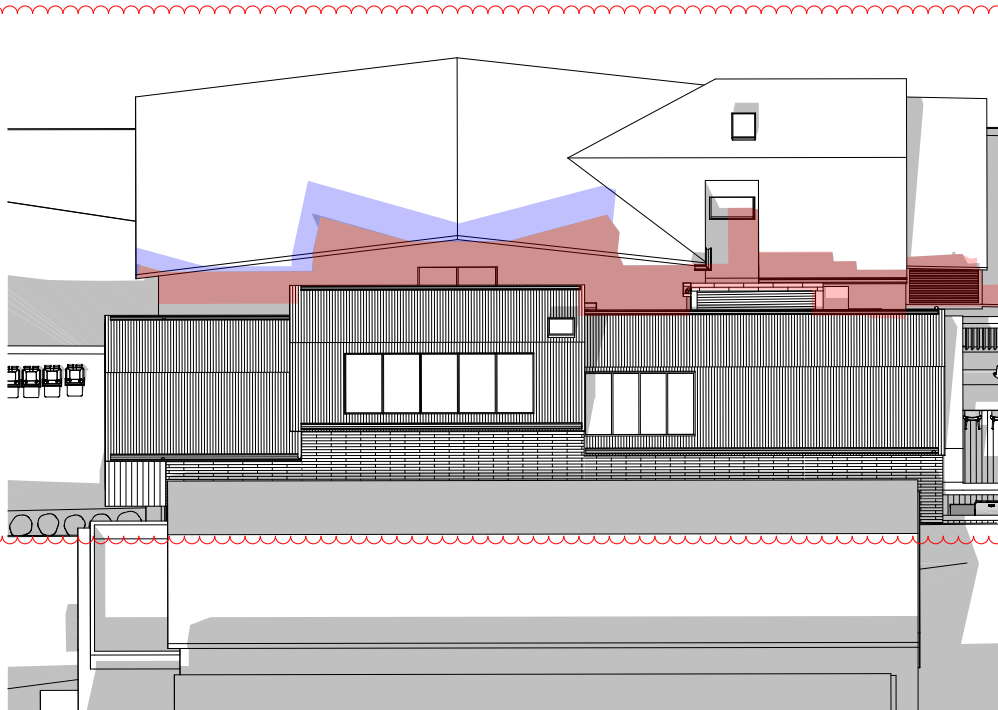
12PM Existing
Scale 1:200



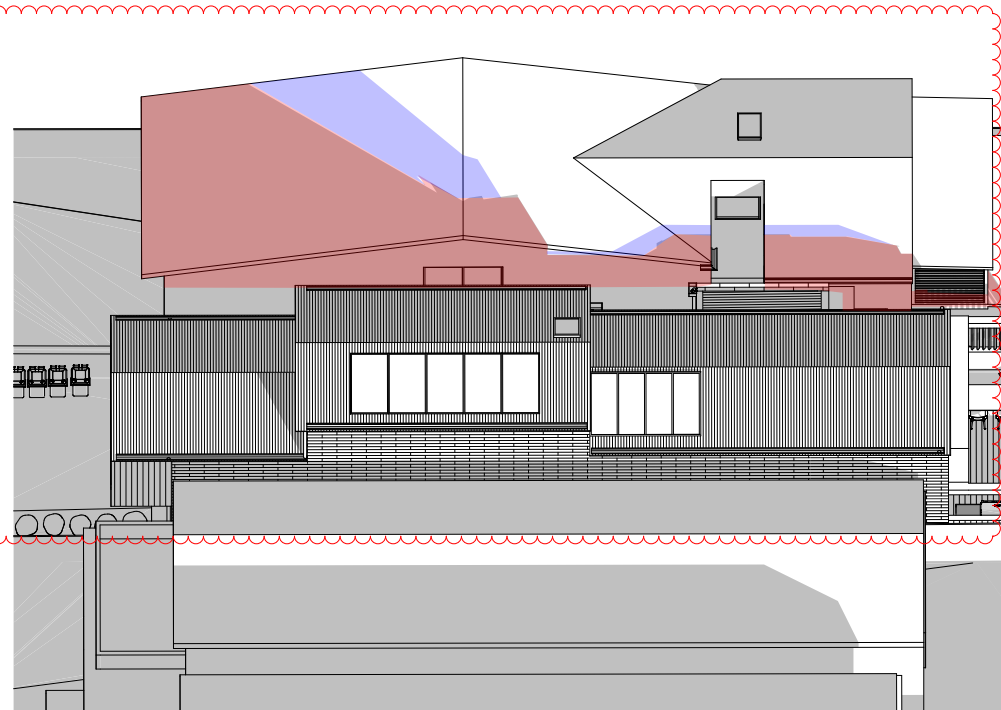
3PM Existing
Scale 1:200



9AM Proposed
Scale 1:200



12PM Proposed
Scale 1:200



3PM Proposed
Scale 1:200

- AMENDED PROPOSED SHADOWS
- PREVIOUSLY PROPOSED SHADOWS

- LIST OF DA AMENDMENTS:
- INCREASE FRONT SETBACK OF FIRST AND SECOND FLOOR
 - INCREASE BALCONY FRONT SETBACK ON FIRST FLOOR
 - REDUCE HEIGHT AND PITCH OF ROOF OF FIRST AND SECOND FLOOR
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 - REDUCE TOTAL FLOOR AREA
 - REDUCE SHADOWS CAST ONTO NO. 69 WHISTLER ST

