

True North 	Scale	Job Number	
	1:200 @ A3	11-1115	
Date	Drawing Number	Rev.	
23 MAR. 2017	S2	B	

2

Raise floor in Main Bed and —
Ensuite to match existing
internal floor level. Finish to be
polished timber T & G strip
flooring as selected by owners.



Garage Roof
RL 105.00

RL 103.60

lawn level RL103.64

Upper Verandah

LAWN

All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with NCC requirements, for child safety.

Wet areas shall be adequately flashed to ensure no water penetration to adjoining construction. Shower recess shall be waterproofed with an appropriate flexible epoxy coating covering the whole of the shower floor area. All wall junctions in the shower area shall be flashed to a height of at least 1800mm.

PROPOSED UPPER FLOOR AREA = 232.58m²
(measured to outside face of external walls)

			 	47 Towradgi Street, Narraweena, NSW, 2099 ABN 17 751 732 195 Sally mobile : 0414 731 685 Robert mobile : 0413 572 250 e-mail: robert@designanddraft.com.au http:// www.designanddraft.com.au	Clients Brian & Kathleen FAIRWEATHER	Project	PROPOSED ALTERATIONS AND ADDITIONS 29 FINIAN AVENUE, KILLARNEY HEIGHTS			Scale	1:100 @ A3	Job Number 11-1115	
B	26/6/20	Windows W2 & W4 deleted from Main Bed				Drawing Title	PROPOSED UPPER FLOOR PLAN			Date	23 MAR. 2017	Drawing Number A1	Rev. B
A	13/3/18	Garage roof Terrace deleted											
	Date	Amendments											

Existing Upper Floor Level RL 107.15

Proposed Garage Roof Level RL 105.00

Proposed Garage Floor Level RL 102.35

RL 103.60

RL 103.60

RL 102.80

RL 103.81

Natural Ground Line

Existing Roof retained

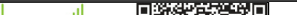
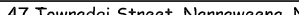
Boundary

Boundary

SOUTH WEST ELEVATION

Architectural elevation drawing of the South West Elevation of a building. The drawing shows a two-story structure with a gabled roof on the left and a flat roof on the right. The left side features a balcony with a wooden railing and a staircase leading down to the ground floor. The ground floor has large windows and a small square window. The right side has a brick wall and a small square window. The drawing includes level markers: Existing Roof Ridge Level RL 111.96, Existing Upper Floor Level RL 107.15, Proposed Garage Roof Level RL 105.00, Existing Ground Floor Level RL 104.35, and Proposed Garage Floor Level RL 102.35. The text "Existing Roof retained" is written twice. The drawing is bounded by a "Boundary" line on the left and right.

NORTH EAST ELEVATION

C	26/6/20	Amendment to cladding & balustrade	 	47 Towradgi Street, Narraweena, NSW, 2099 ABN 17 751 732 195 Sally mobile : 0414 731 685 Robert mobile : 0413 572 250 e-mail: robert@designanddraft.com.au http:// www.designanddraft.com.au	Clients Brian & Kathleen FAIRWEATHER	Project	PROPOSED ALTERATIONS AND ADDITIONS 29 FINIAN AVENUE, KILLARNEY HEIGHTS	True North Scale: 1:100 @ A3 Date: 23 MAR. 2017	Job Number 11-1115			
B	13/3/18	Garage roof Terrace deleted				Drawing Title	ELEVATIONS - SHEET 1 of 2		Drawing Number	A4	Rev.	C
A	22/5/17	Window added to North Elevation										
	Date	Amendments										

Existing Roof Ridge Level RL 111.96

Existing Upper Floor Level RL 107.15

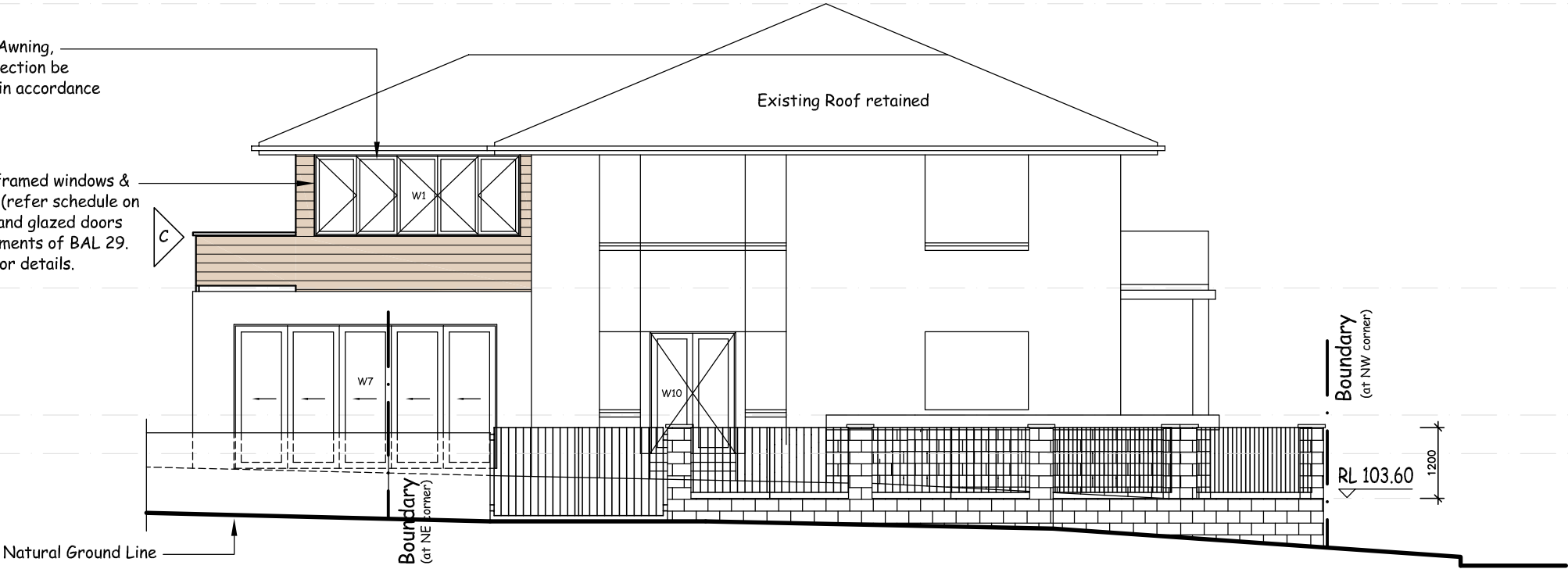
Proposed Garage Roof Level RL 105.00

Existing Ground Floor Level RL 104.35

Proposed Garage Floor Level RL 102.35

W1 requires an Adjustable Awning, minimum 900mm shade projection be provided above the window in accordance with Basix requirements.

Powder coated Aluminium framed windows & doors to owners selection, (refer schedule on Drg. N2). All new windows and glazed doors to comply with the requirements of BAL 29. Refer consultants report for details.



NORTH WEST ELEVATION

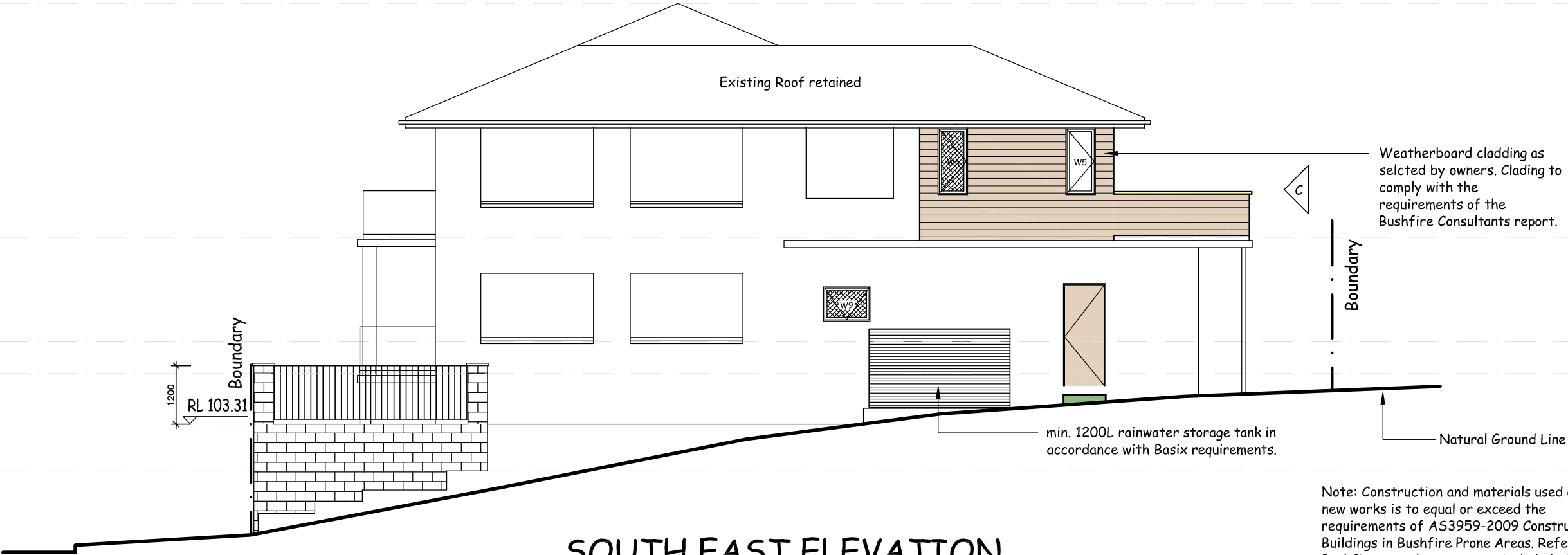
Existing Roof Ridge Level RL 111.96

Existing Upper Floor Level RL 107.15

Proposed Garage Roof Level RL 105.00

Existing Ground Floor Level RL 104.35

Proposed Garage Floor Level RL 102.35



SOUTH EAST ELEVATION

Note: Construction and materials used on the new works is to equal or exceed the requirements of AS3959-2009 Construction of Buildings in Bushfire Prone Areas. Refer Bushfire consultants report included with this proposal for details.

C	26/6/20	Amendment to cladding & balustrade
B	13/3/18	Garage roof Terrace deleted
A	24/5/17	Rainwater tank capacity altered
	Date	Amendments

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL

bda
BUILDING DESIGNERS AUSTRALIA

47 Towradgi Street, Narrabeena, NSW, 2099
ABN 17 751 732 195
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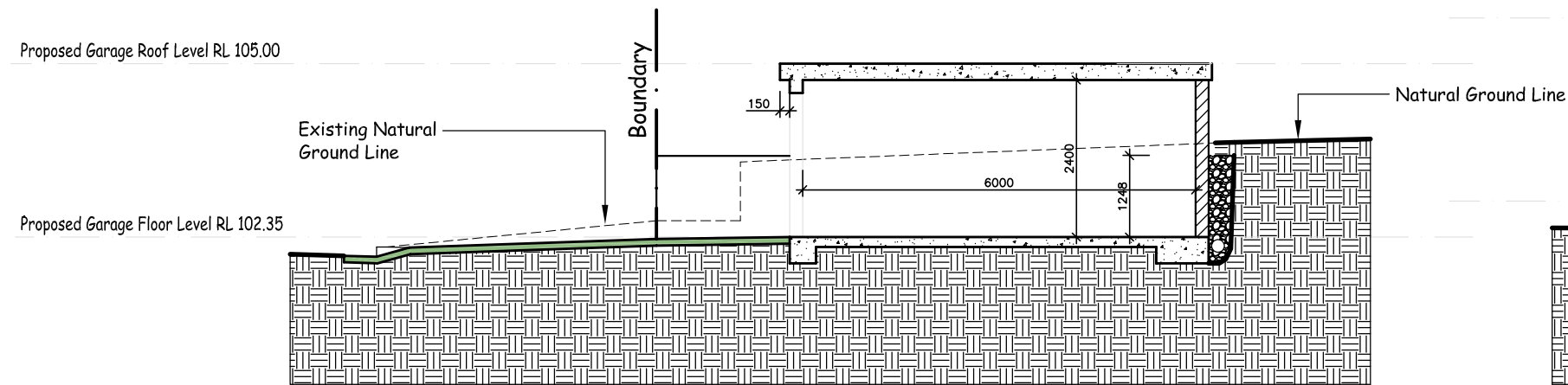
Clients
Brian & Kathleen FAIRWEATHER

Project
**PROPOSED ALTERATIONS AND ADDITIONS
29 FINIAN AVENUE, KILLARNEY HEIGHTS**

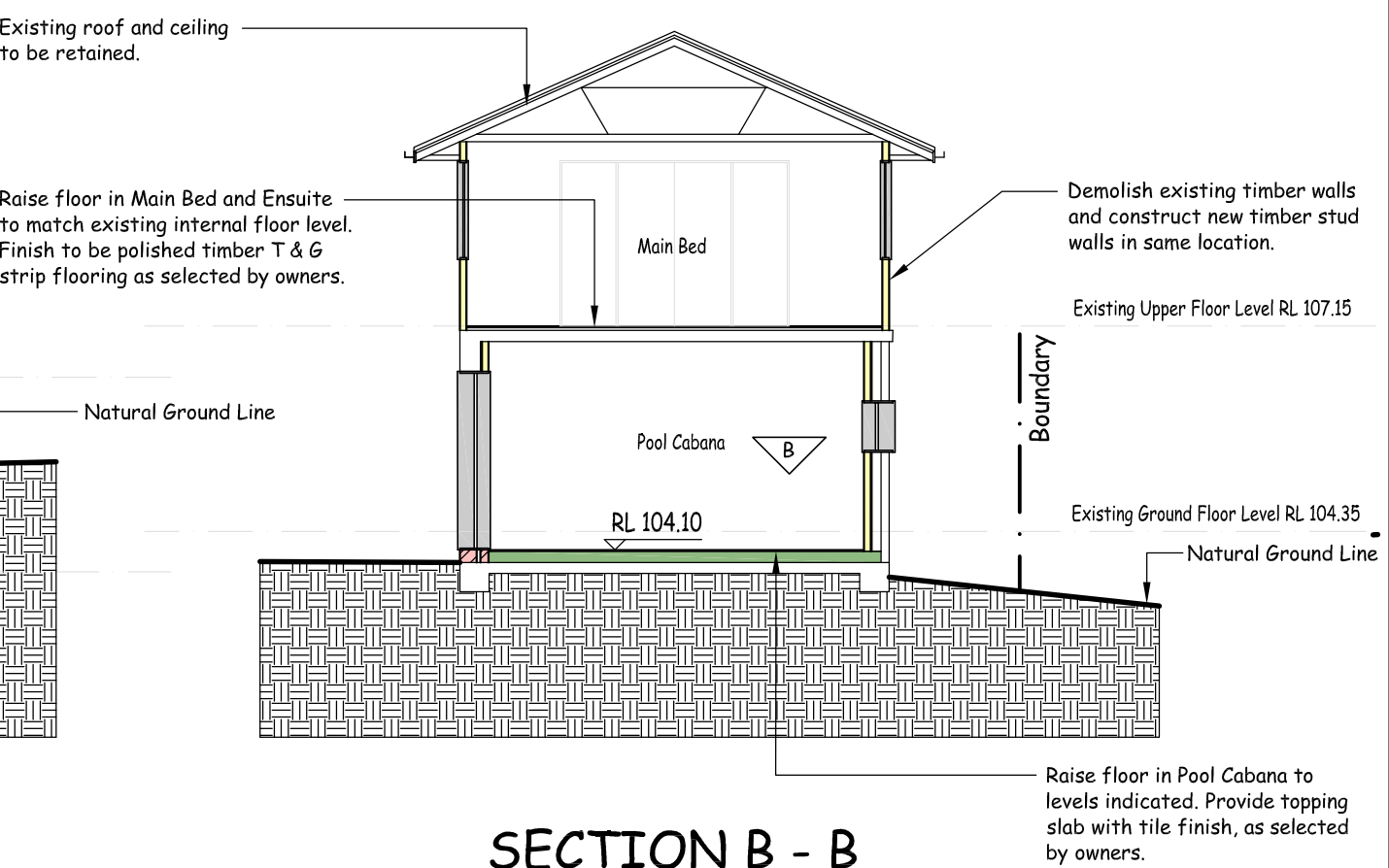
Drawing Title
ELEVATIONS - SHEET 2 of 2

True	North	Scale 1:100 @ A3	Job Number 11-1115
	Date 23 MAR. 2017	Drawing Number A5	Rev. C

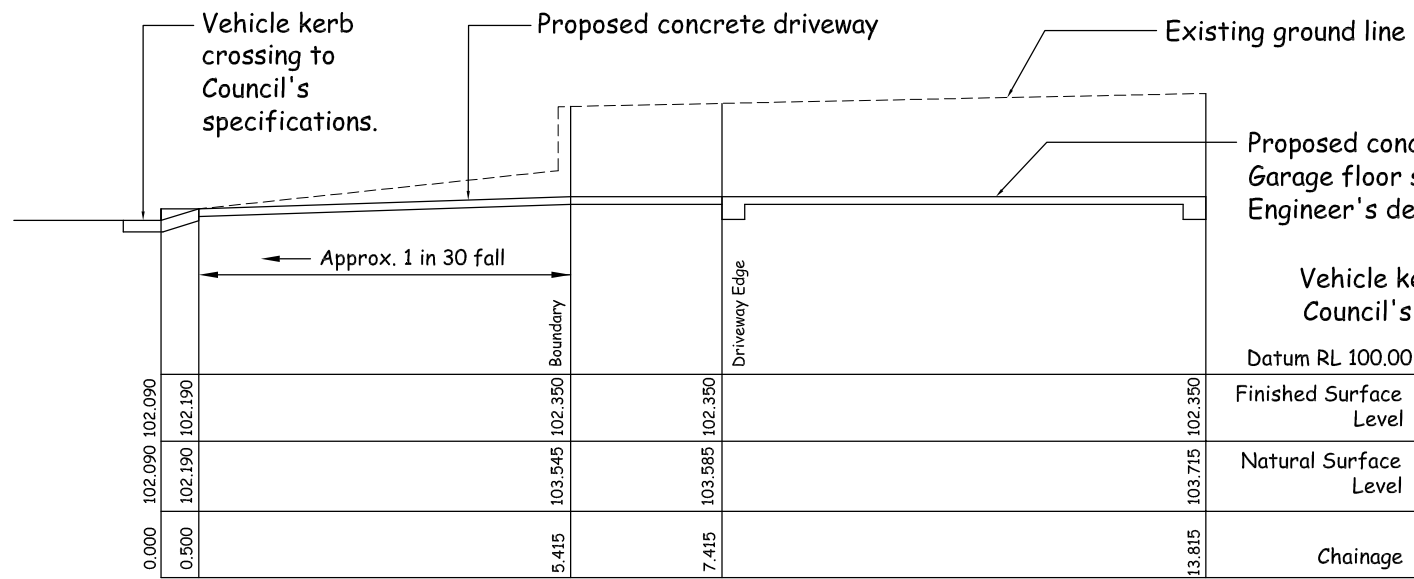
PAINTING
All paints or other coatings shall be of the best quality materials & of approved manufacture. All priming materials shall be of an approved brand and compatible to the finishing coats to be applied over them. External joinery intended to be painted, shall be primed on all faces at the place of assembly. Colours to be chosen by Owners. Where new or altered works adjoin existing painted surfaces, allow for repainting existing surfaces to provide uniform appearances. Only ZERO-VOC or LOW-VOC paints and primers are to be used.



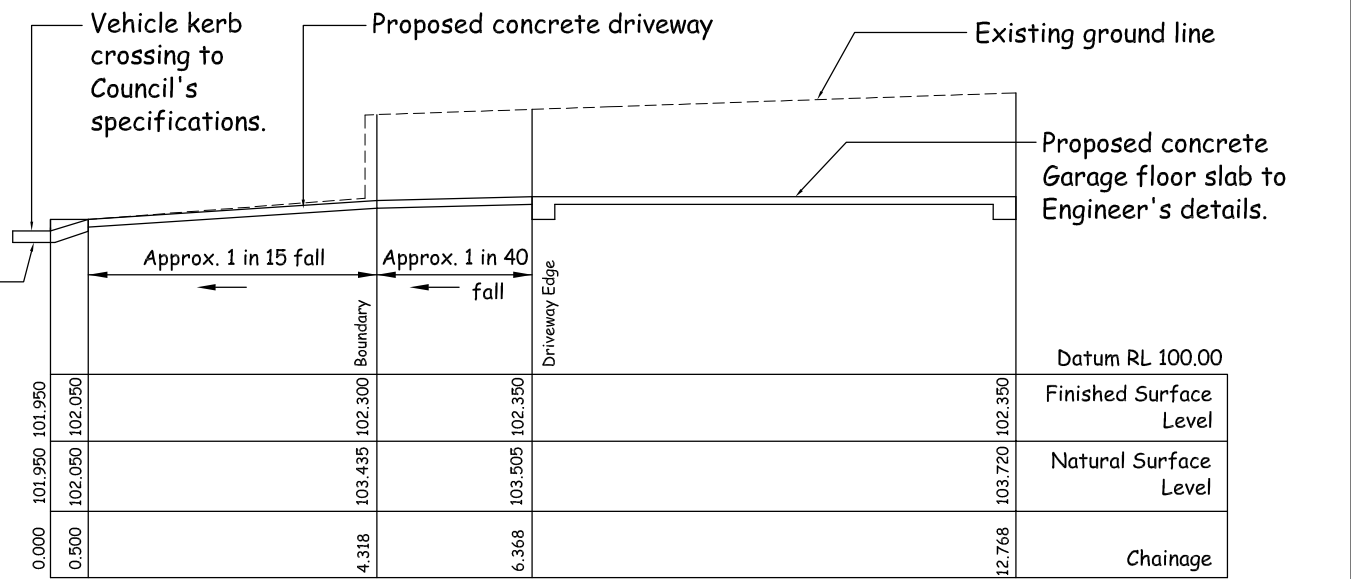
SECTION A - A



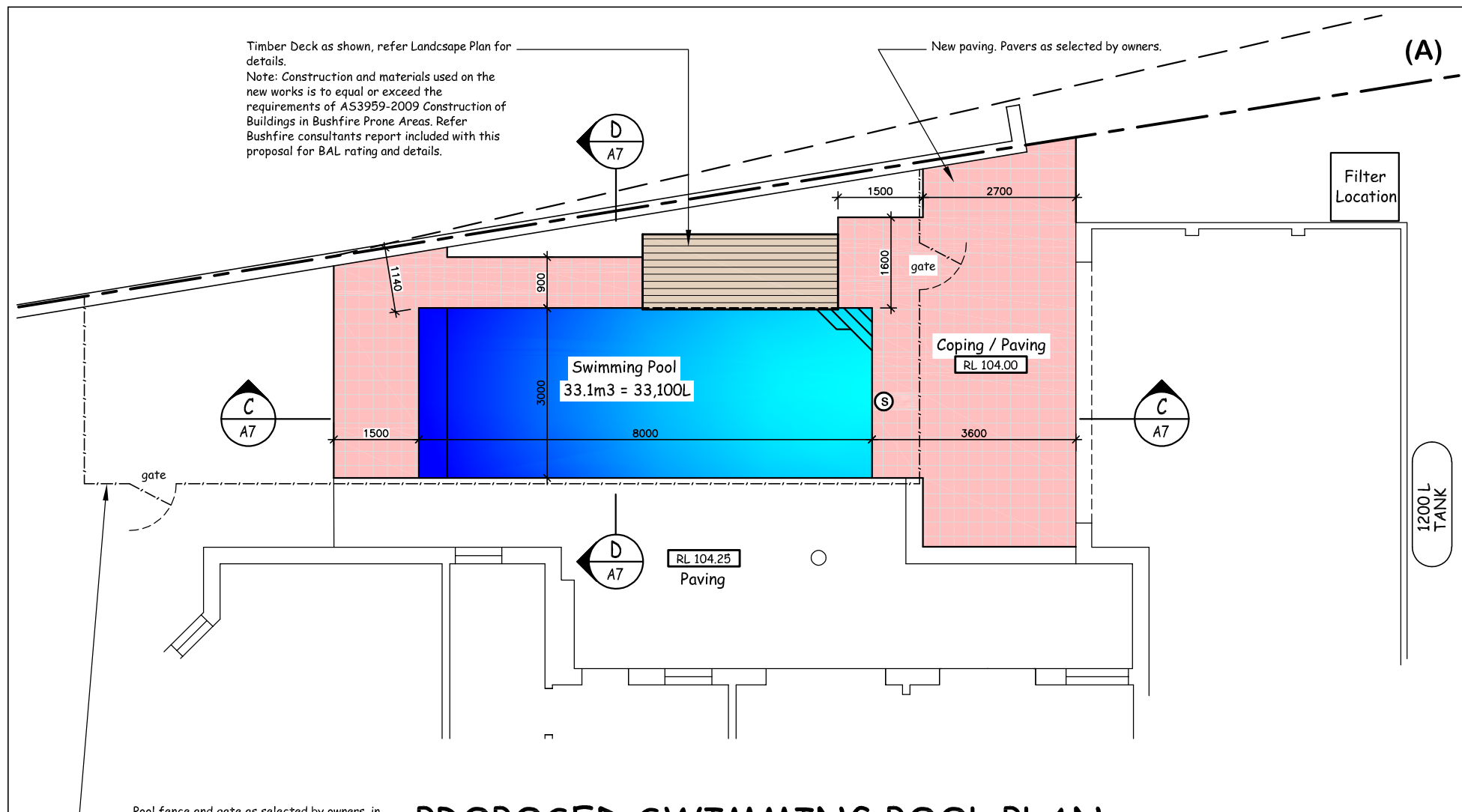
SECTION B - B



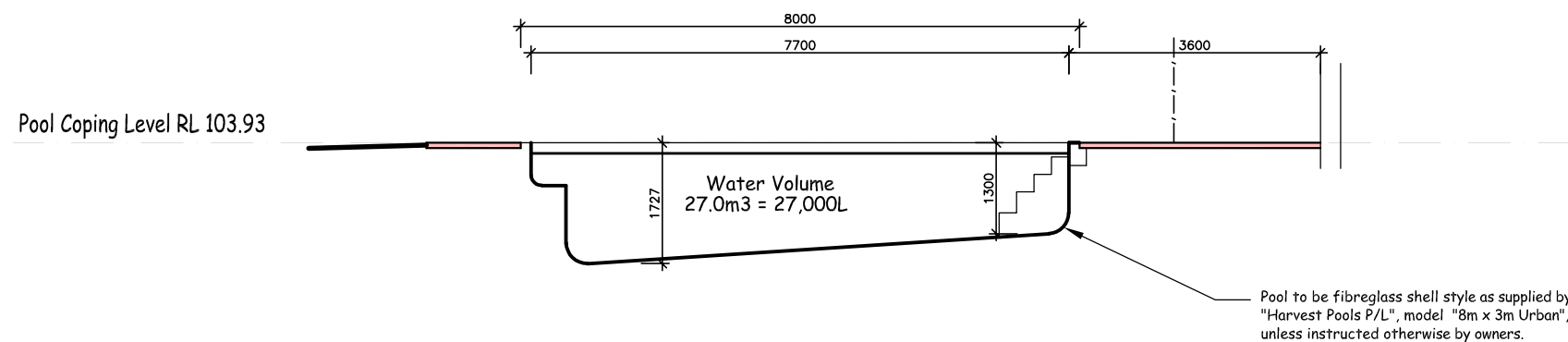
GARAGE / DRIVEWAY LEFT HAND (LH) EDGE PROFILE



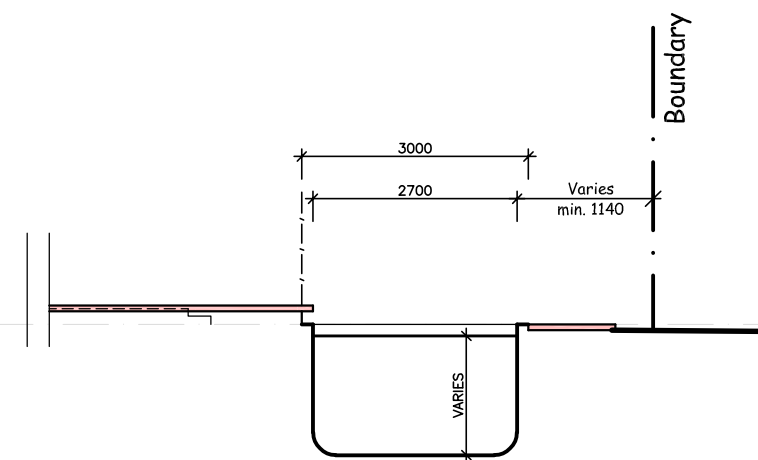
GARAGE / DRIVEWAY RIGHT HAND (RH) EDGE PROFILE



PROPOSED SWIMMING POOL PLAN



SECTION C - C



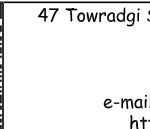
SECTION D - D

POOL OWNER NOTES

- 1 If owner is dissatisfied with initial pool setout, location or depths, the Builder should be Notified BEFORE steel reinforcement is fixed.
- 2 The position of skimmers, lights, return lines etc. on this drawing is indicative only and final position to be determined on Site.
- 3 Safety Fencing should be in accordance with Local Councils requirements and Conform to Australian Standards.

POOL BUILDER ; GENERAL NOTES

1. This Design applies only for Ground levels as shown.
2. All workmanship and materials shall comply with relevant current SAA Codes, By-laws and Ordinances of the Local Building Authority including but not limited to AS 2783-1985 and The Swimming Pools Act-1992.
3. The overall Dimensions shall be checked on Site. Dimensions shown are overall shell sizes and do not include Finishes. These drawings are to be read in conjunction with the Engineers drawings.
4. Provide temporary drain hole in both shallow and deep ends of Pool shell. Hydostatic Valve to be cleared of Debris on completion of Concreting.
5. Underside of Pool shell to be separated from the underlying material by 75mm layer of clean sand. Place membrane between Pool Shell and sand if required.
6. Pool filter pump must be enclosed within a soundproofed enclosure to minimise noise nuisance.

		 SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL	 BUILDING DESIGNERS AUSTRALIA		47 Towradgi Street, Narraweena, NSW, 2099 ABN 17 751 732 195 Sally mobile : 0414 731 685 Robert mobile : 0413 572 250 e-mail: robert@designanddraft.com.au http:// www.designanddraft.com.au	Clients Brian & Kathleen FAIRWEATHER	Project PROPOSED ALTERATIONS AND ADDITIONS 29 FINIAN AVENUE, KILLARNEY HEIGHTS	 True North	Scale 1:100 @ A3	Job Number 11-1115	
B	26/6/20				Pool details amended	Date	23 MAR. 2017		Drawing Number A7	Rev. B	
A	24/5/17				Pool amended & Spa added						
	Date				Amendments						

WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING STYLE	U value : SHGC	Additional Basix Requirements
# W1	1.370	3.480	Main Bed	Powder Coated Aluminium Framed Casement windows with clear glazing	6.44 : 0.75	Requires awning (adjustable) >=900mm
W2	DELETED					
W3	2.250	3.110	Main Bed	Powder Coated Aluminium Framed Sliding doors with clear glazing	4.48 : 0.46	Requires Pyrolytic low-E glazing
W4	DELETED					
W5	1.370	0.610	Main Bed	Powder Coated Aluminium Framed Casement window with clear glazing	6.44 : 0.75	
W6	1.370	0.610	Main Bed	Powder Coated Aluminium Framed Casement window with frosted glazing	6.39 : 0.56	
# W7	2.430	4.450	Pool Cabana	Powder Coated Aluminium Framed Bi-fold doors with clear glazing	6.44 : 0.75	Requires awning (adjustable) >=900mm
W8	DELETED					
W9	0.700	0.960	L'dry / Shwr	Powder Coated Aluminium Framed Awning window with frosted glazing	6.44 : 0.75	
# W10	2.060	1.450	Kitchen	Powder Coated Aluminium Framed French doors with clear glazing	6.44 : 0.75	Requires awning (adjustable) >=900mm
W11	1.160	1.560	Kitchen	Powder Coated Aluminium Framed Bi-fold window with clear glazing	6.44 : 0.75	
# W12	1.000	1.520	Kitchen	Powder Coated Aluminium Framed Awning window with clear glazing	6.44 : 0.75	Requires awning (adjustable) >=900mm

All sizes listed include the frame and are nominal sizes for BASIX Certification.

All glazing assemblies will comply with AS2047 and AS1288

All external glazing is to have a maximum reflectivity index of 25%.

- Denotes window requiring additional shading device to BASIX Certification requirements. Refer Basix Certificate for details.

DOOR & WINDOW NOTE:

All Doors and Windows to be keyed alike with deadlocks to all sashes & doors. Provide weather strips and door seals around openings to prevent drafts.

All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with BCA requirements, for child safety.

BASIX INSULATION SCHEDULE

Construction	Additional insulation required (R-value)
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)

BASIX NOTES

TAPS: Must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

TOILETS: Must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

SHOWER HEADS: Must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Install aerators on bathroom hand basins & kitchen sinks.

LIGHTING : Basix requirements

A minimum of 40% of new or altered light fixtures must be fitted with flourescent, compact flourescent or light-emitting diode (LED) lamps.

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B	26/6/20	Windows W2, W4, W8 deleted from schedule				Drawing Title	SCHEDULES & BASIX NOTES			Drawing Number	Rev.
A	24/5/17	Window schedule altered								N2	B
	Date	Amendments									