

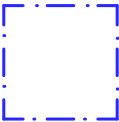
DEVELOPMENT APPLICATION

ALTERATIONS AND ADDITIONS TO
4C MINKARA ROAD
BAYVIEW, NSW, 2104
LOT 53 / DP 774017

NO:	SHEET NAME	DATE
DA00	TITLE PAGE	1/9/2023
DA01	EXISTING AREAS CALCULATIONS	1/9/2023
DA02	PROPOSED AREAS CALCULATIONS	1/9/2023
DA03	HEIGHT CONTROLS	1/9/2023
DA04	SITE ANALYSIS	1/9/2023
DA05	SITE - WASTE - SEDIMENT PLAN	1/9/2023
DA06	EXISTING GROUND FLOOR PLAN	1/9/2023
DA07	PROPOSED GROUND FLOOR PLAN	1/9/2023
DA08	EXISTING FIRST FLOOR PLAN	1/9/2023
DA09	PROPOSED FIRST FLOOR PLAN	1/9/2023
DA10	EXISTING ROOF PLAN	1/9/2023
DA11	PROPOSED ROOF / CONCEPT STORMWATER PLAN	1/9/2023
DA12	EXISTING GARAGE FLOOR PLAN	1/9/2023
DA13	PROPOSED GARAGE FLOOR PLAN	1/9/2023
DA14	EXISTING GARAGE ROOF PLAN	1/9/2023
DA15	PROPOSED GARAGE ROOF PLAN	1/9/2023
DA16	ELEVATIONS - NORTH & SOUTH	1/9/2023
DA17	ELEVATIONS - EAST & WEST	1/9/2023
DA18	SECTIONS - A & B	1/9/2023
DA19	SECTIONS - C & D	1/9/2023
DA20	POOL PLANS	1/9/2023
DA21	POOL SECTIONS	1/9/2023
DA22	FINISHES BOARD	1/9/2023
DA23	SHADOW DIAGRAM - JUNE 21ST - 9AM	1/9/2023
DA24	SHADOW DIAGRAM - JUNE 21ST - 12PM	1/9/2023
DA25	SHADOW DIAGRAM - JUNE 21ST - 3PM	1/9/2023
DA26	BASIX REQUIREMENTS	1/9/2023
DA27	BASIX REQUIREMENTS	1/9/2023



BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



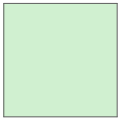
SITE AREA:
7612.20m²



DWELLING, GARAGE, SHEDS



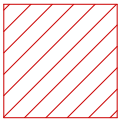
LANDSCAPE AREA
REQUIRED 96.00% - 400m² (6907.71m²)
EXISTING 84.66% (6444.55m²)
PROPOSED 84.72% (6449.13m²)



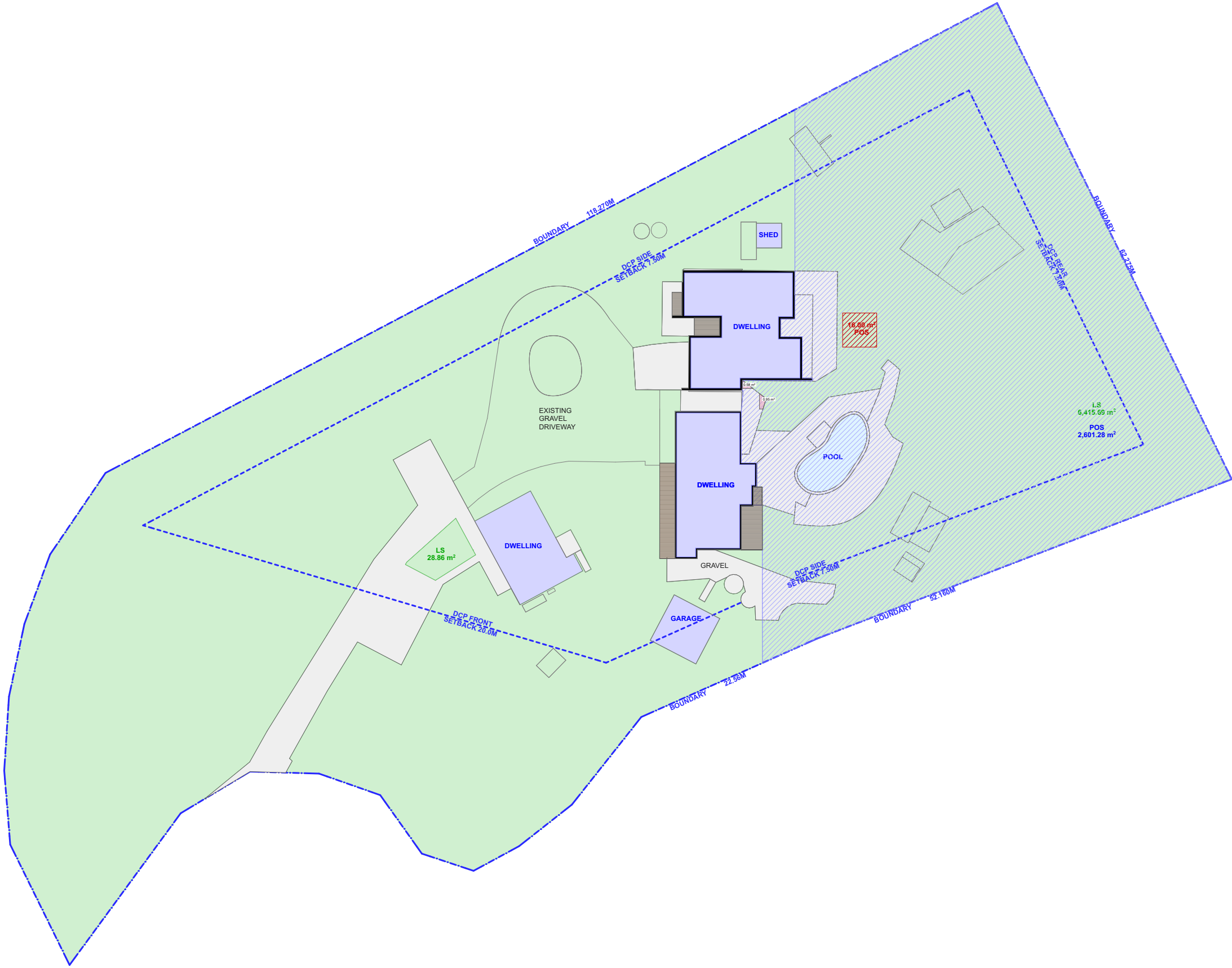
LANDSCAPE AREA: GRAVEL
DRIVEWAY AND PATH



PRIVATE OPEN SPACE
REQUIRED 240.00m²
EXISTING 2651.58m²
PROPOSED 2525.35m²



PRINCIPLE OPEN SPACE
16m² WITH A MINIMUM
DIMENSION OF 4m REQUIRED



1

EXISTING AREA CALCULATIONS

1:500



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NOTES

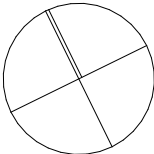
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REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

LEGEND

- DWELLING WALLS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER

NORTH POINT



CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

EXISTING AREAS CALCULATIONS

SCALE:

1:500 @A3

DATE:

19/2023

PROJECT NO:

1010

DRAWING NO:

DA01

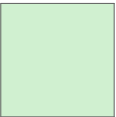
BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

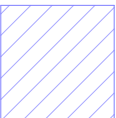
**SITE AREA:**
7612.20m²

**DWELLING, GARAGE, SHEDS**

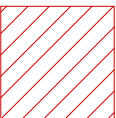
**LANDSCAPE AREA**

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EXISTING 84.66% (6444.55m²)
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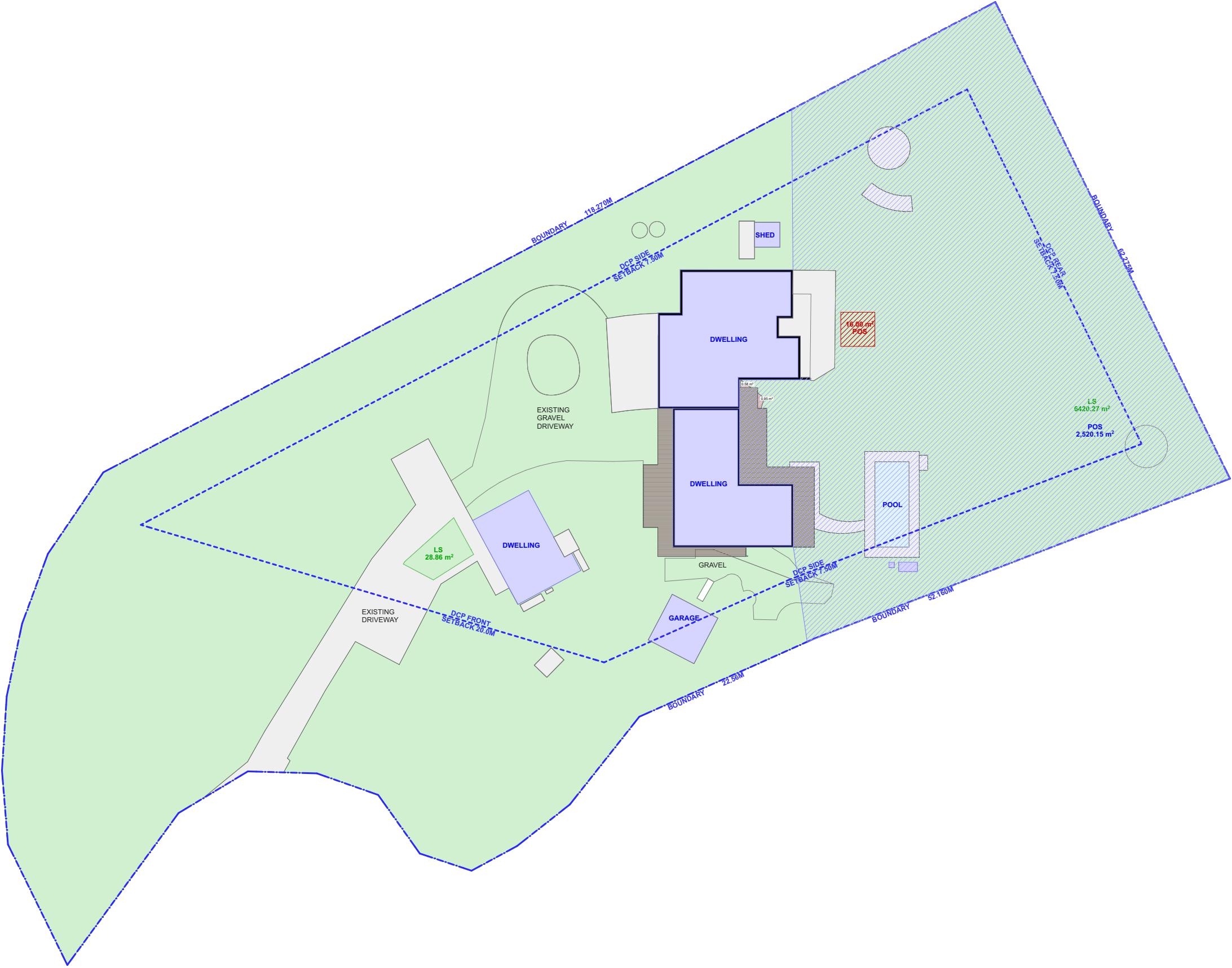
**LANDSCAPE AREA: GRAVEL DRIVEWAY AND PATH**

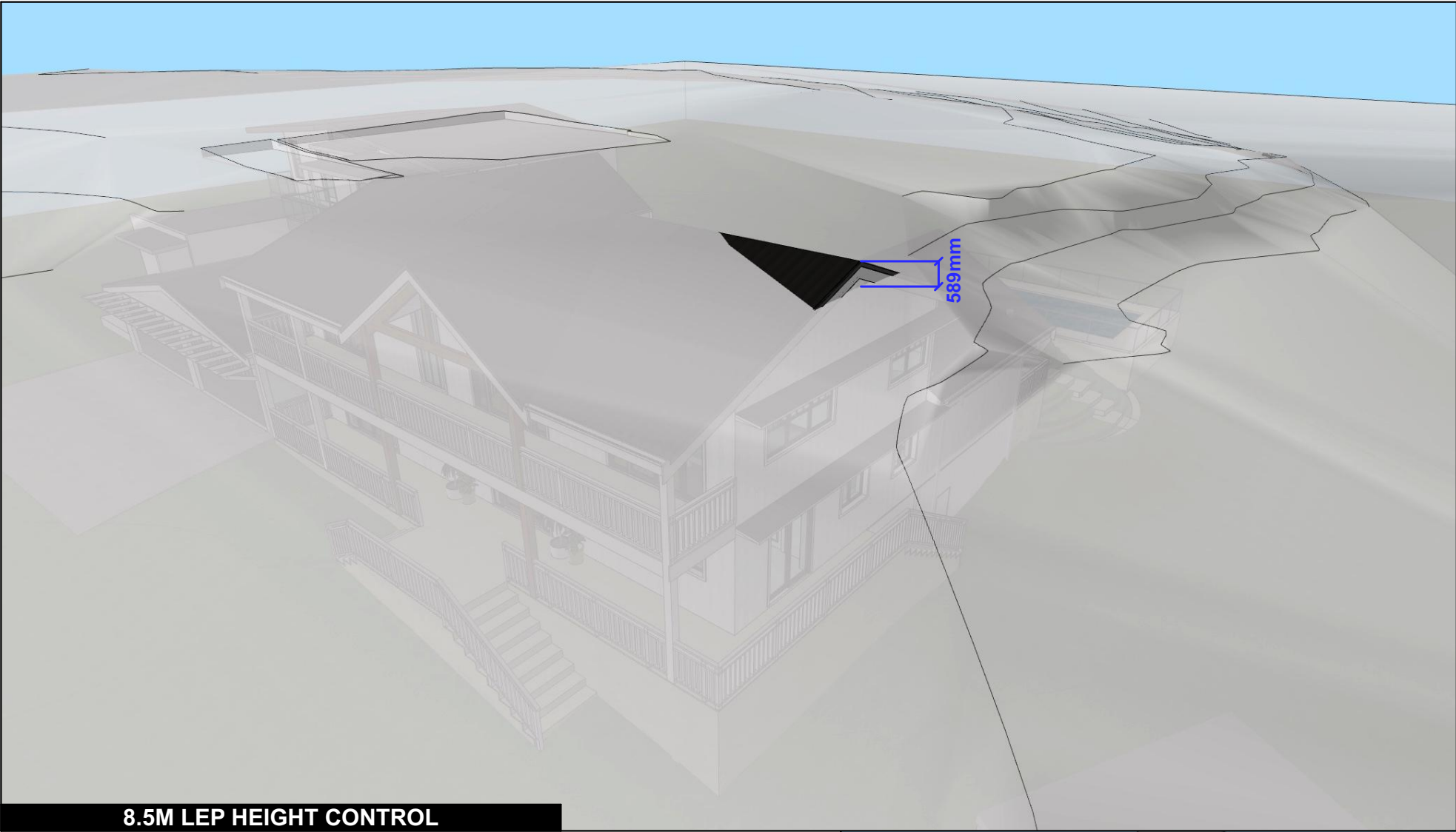
**PRIVATE OPEN SPACE**

REQUIRED 240.00m²
EXISTING 2651.58m²
PROPOSED 2525.35m²

**PRINCIPLE OPEN SPACE**

16m² WITH A MINIMUM
DIMENSION OF 4m REQUIRED





THE IMAGE BELOW DEMONSTRATES THAT THERE IS NO BREACH OF THE 3.5M DCP SIDE BOUNDARY ENVELOPE CONTROL.

THE IMAGE ABOVE DEMONSTRATES THAT THERE IS A 589mm BREACH OF THE 8.5M LEP HEIGHT CONTROL. THIS IS DUE TO WORKING WITH THE EXISTING ROOF RIDGE HEIGHT. THE SITE HAS BEEN MODELLED USING THE RLS PROVIDED FROM THE SITE SURVEY, AND THIS HAS BEEN COPIED AND PLACED 8.5M ABOVE THE SITE TO ENSURE COMPLIANCE.



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CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

HEIGHT CONTROLS

SCALE:

NTS

DATE:

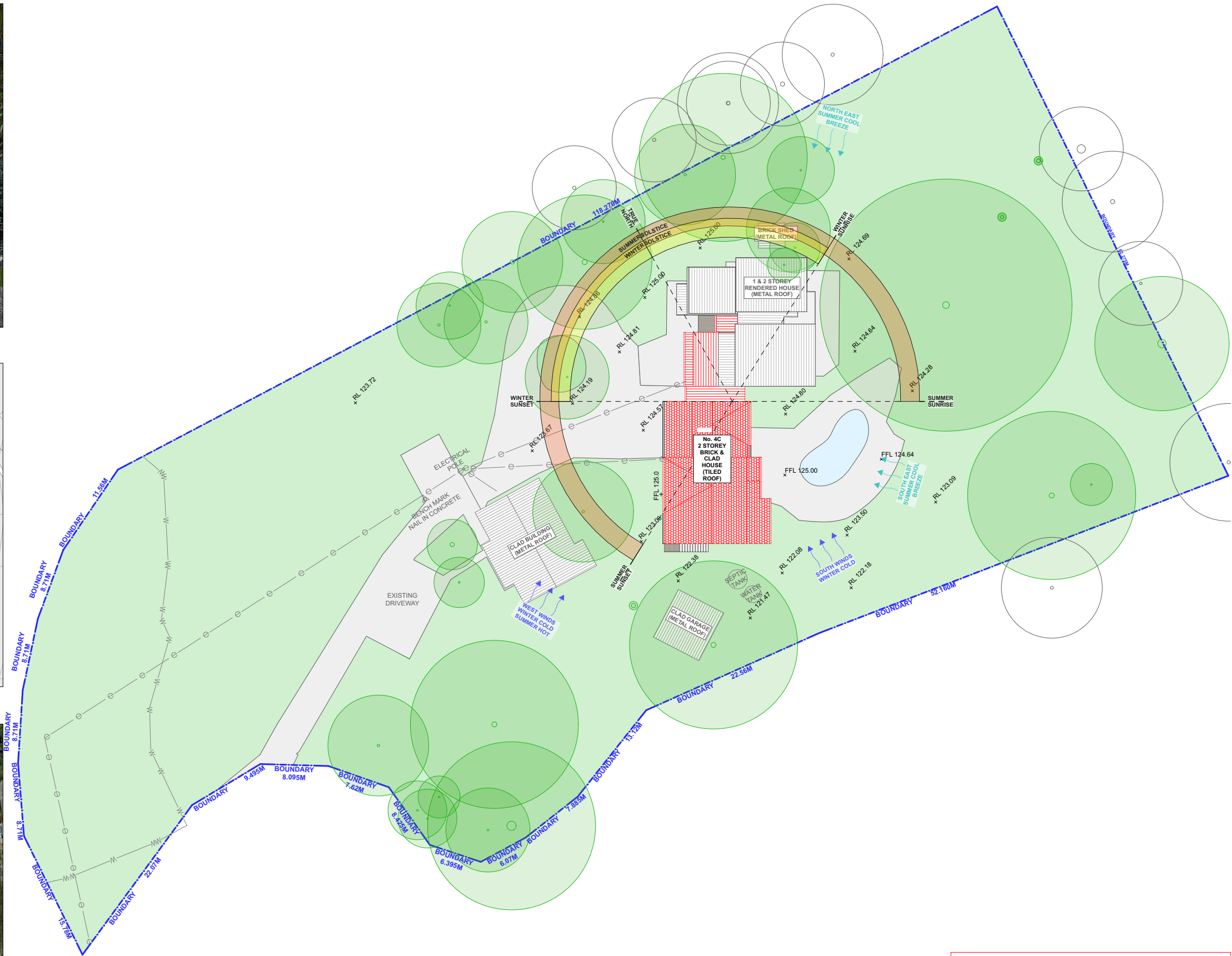
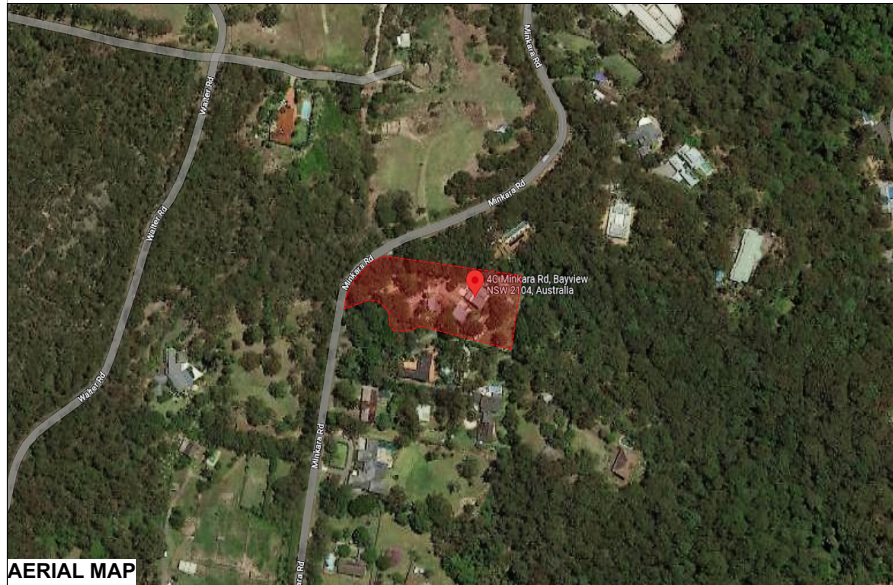
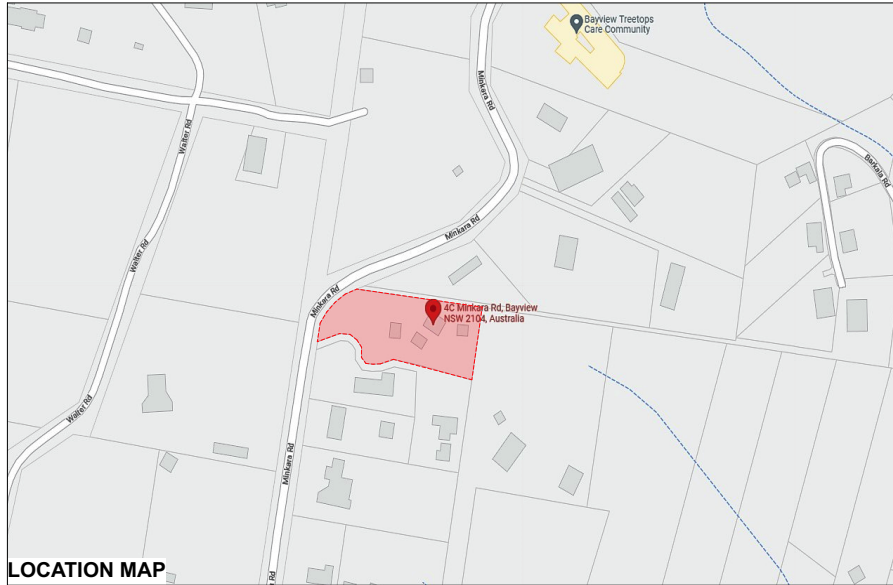
19/2023

PROJECT NO:

1010

DRAWING NO:

DA03



BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

SITE ANALYSIS

1:500

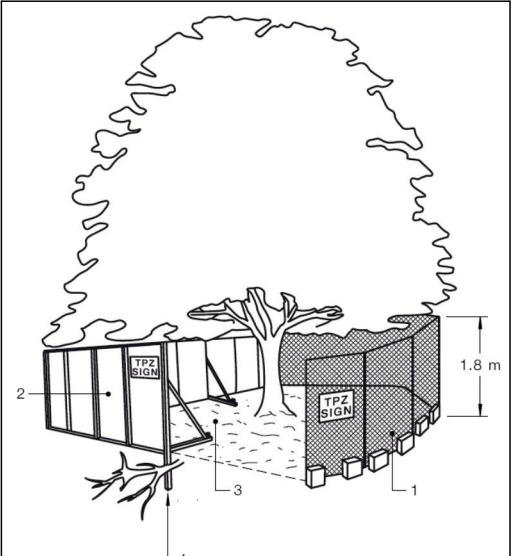
progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND		ABBREVIATIONS	NORTH POINT	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE:	
		A	DA SUBMISSION	SS	13.06.23	EXISTING LANDSCAPE / GRASS	DP: DEPOSIT PLAN RL: REDUCED LEVEL SP: STRATA PLAN	SITE ANALYSIS				
		B	WINDOW & COL. CHANGE	SS	01.09.23	DEMOLISHED CONCRETE / PAVERS		SCALE:			DATE:	
						EXISTING ROOF TIMBER DECK		1:500 @A3			19/2023	
						PROPOSED ROOF POOL / WATER		PROJECT NO:			DRAWING NO:	
				SEDIMENT EROSION FENCE		1010	DA04					

SKIP BIN
RECYCLING

SKIP BIN
WASTE

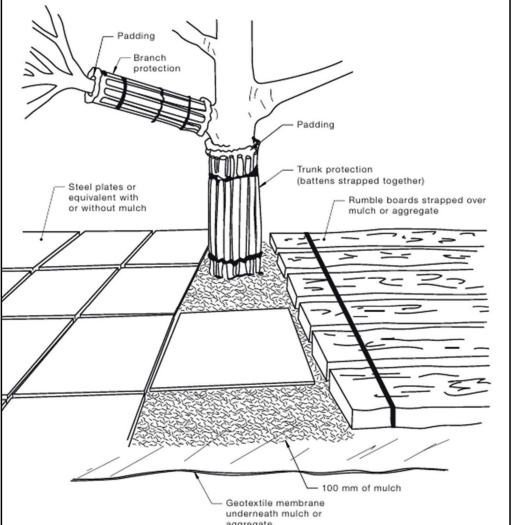
MATERIAL
STORAGE

SKIP BINS & MATERIAL STORAGE TO BE STORED IN
FRONT YARD OR DRIVEWAY



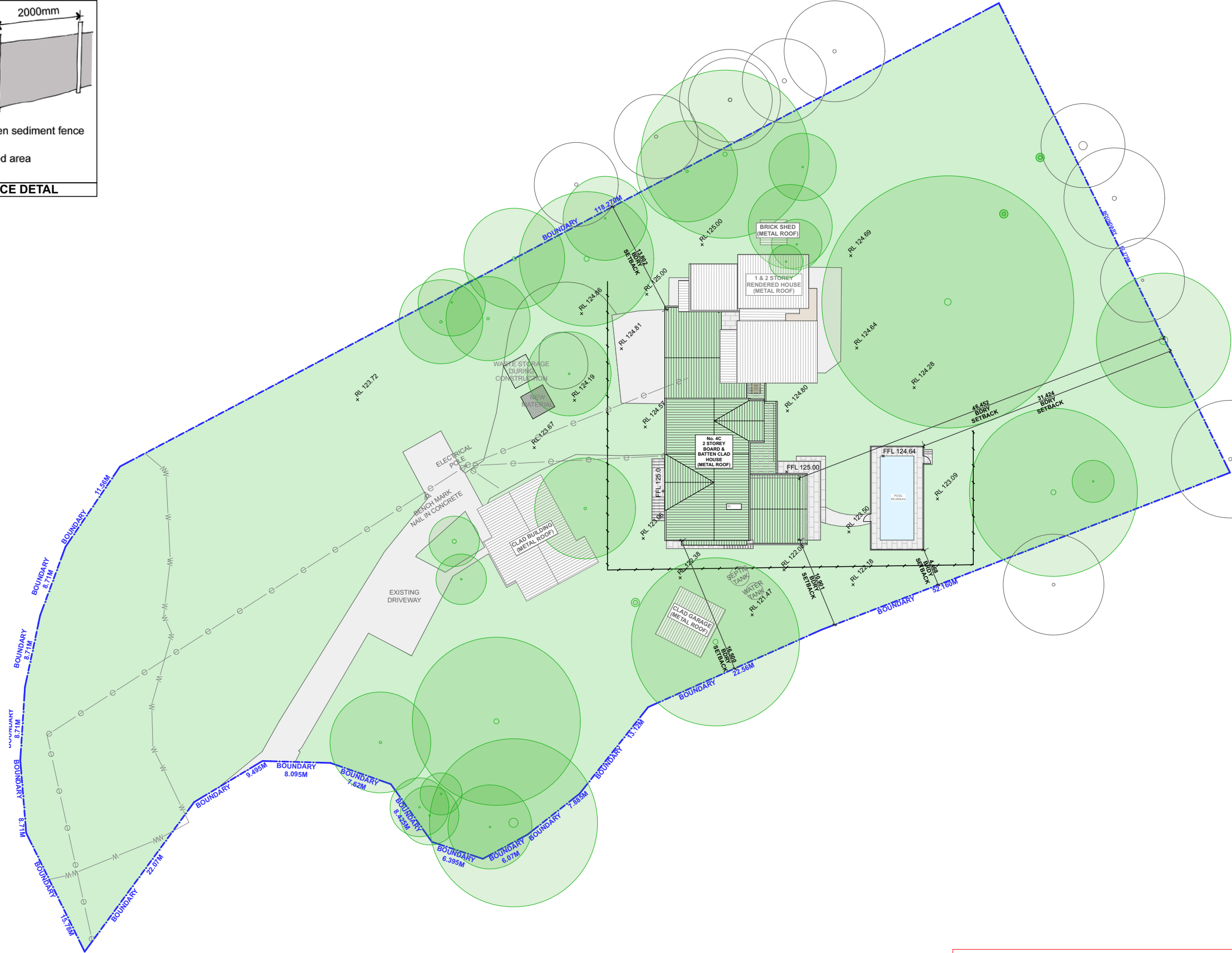
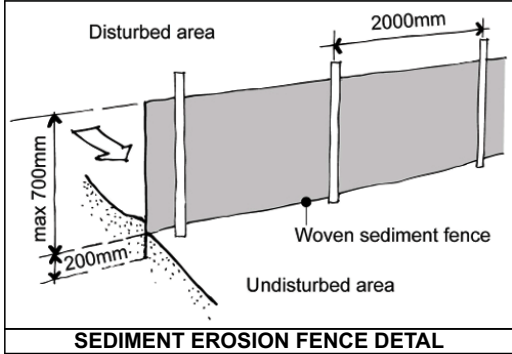
**TREE PROTECTION ZONE (TPZ)
FENCING (WHEN POSSIBLE):**

- CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
- ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
- MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
- BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



**TREE PROTECTION ZONE (TPZ)
FENCING (NOT POSSIBLE):**

- FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
- RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



1

SITE - WASTE - SEDIMENT PLAN

1:500

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: TPZ AND SRZ TO ARBORIST'S DETAILS



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REV.	NOTES.	INITIAL	DATE
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B	WINDOW & COL. CHANGE	SS	01.09.23

LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

PROPOSED ROOF

LANDSCAPE / GRASS

CONCRETE / PAVERS

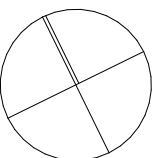
TIMBER DECK

POOL / WATER

SEDIMENT EROSION FENCE

ABBREVIATIONS

DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN

NORTH POINT

CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:
4C MINKARA ROAD
BAYVIEW, NSW, 2104

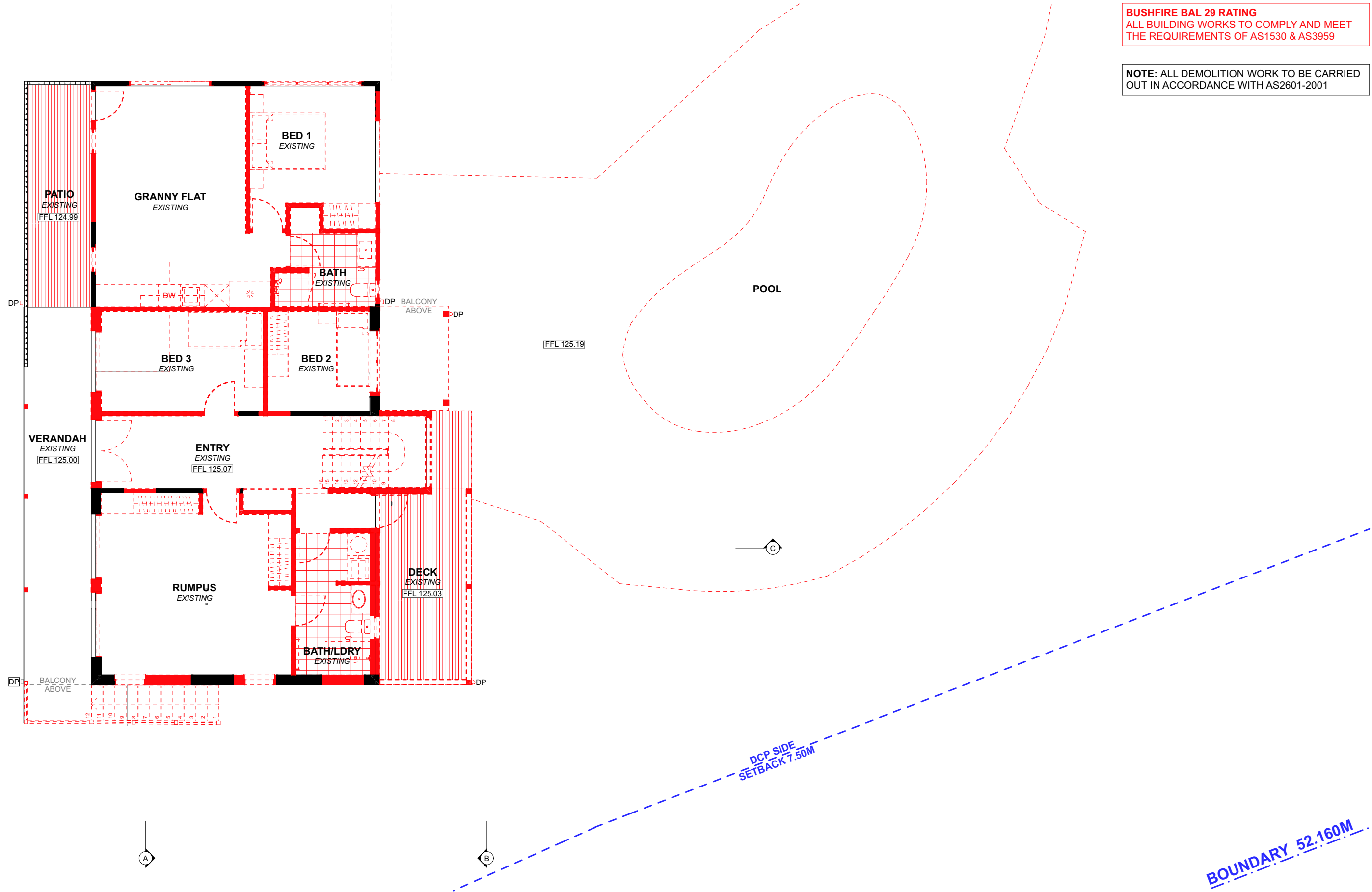
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SITE - WASTE - SEDIMENT PLAN

SCALE: 1:500 @A3	DATE: 19/2023
PROJECT NO: 1010	DRAWING NO: DA05

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: ALL DEMOLITION WORK TO BE CARRIED
OUT IN ACCORDANCE WITH AS2601-2001



1 EXISTING GROUND FLOOR PLAN 1:100



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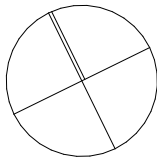
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM

NORTH POINT



CLIENTS:

NINA & KRISTIAN
REYNOLDS
SITE ADDRESS:
4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

EXISTING GROUND FLOOR PLAN

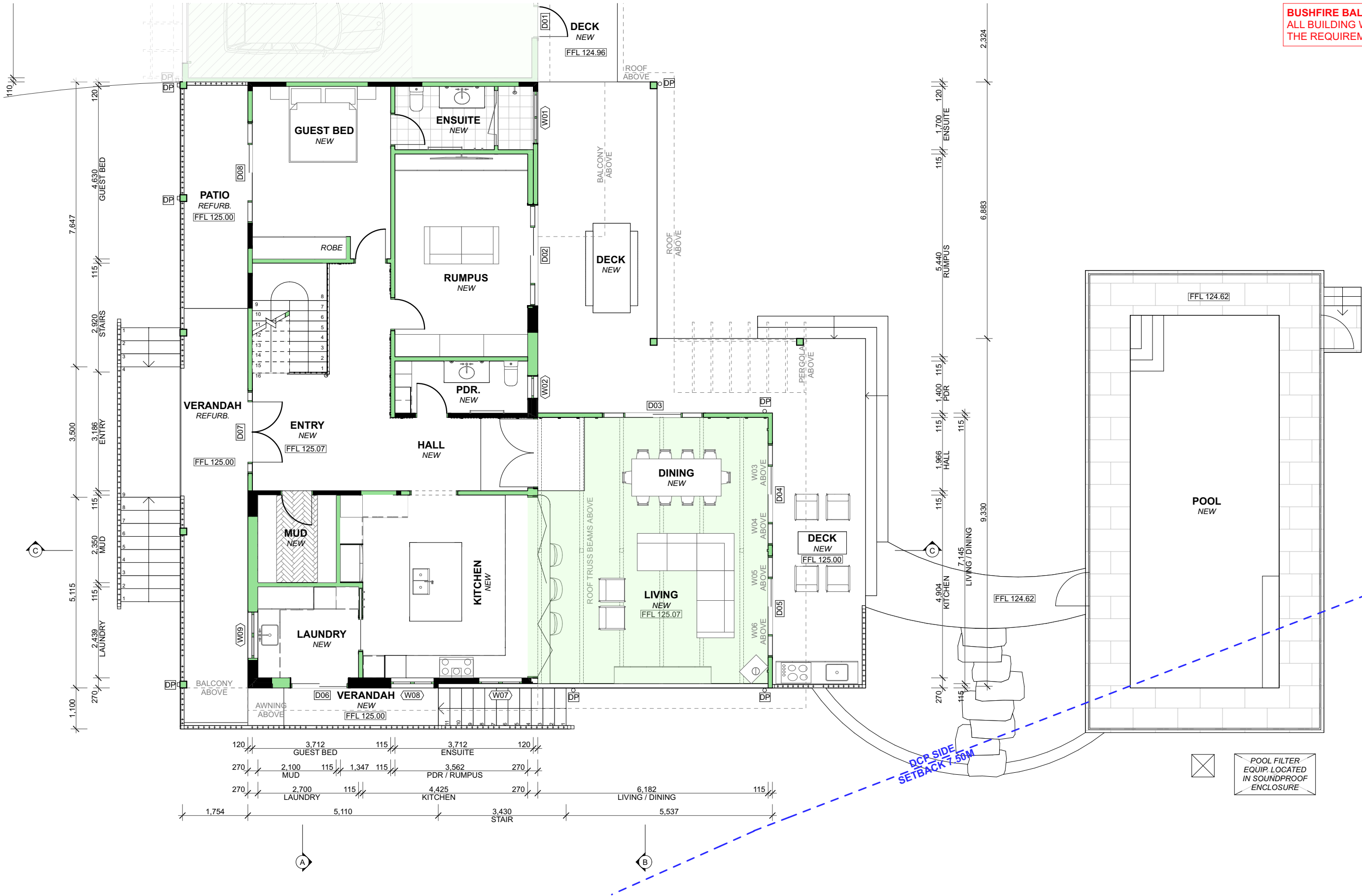
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DATE:
19/2023

PROJECT NO:
1010

DRAWING NO:
DA06

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



1 PROPOSED GROUND FLOOR PLAN 1:100



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REV.

NOTES.

INITIAL

DATE

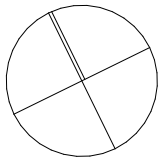
LEGEND

- EXISTING
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NORTH POINT



CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

PROPOSED GROUND FLOOR PLAN

SCALE:

1:100 @A3

DATE:

19/2023

PROJECT NO:

1010

DRAWING NO:

DA07

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



1 PROPOSED FIRST FLOOR PLAN 1:100



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REV.

NOTES.

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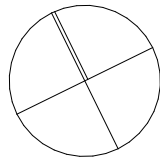
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

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NORTH POINT



CLIENTS:

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REYNOLDS

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DRAWING TITLE:

PROPOSED FIRST FLOOR PLAN

SCALE:
1:100 @A3

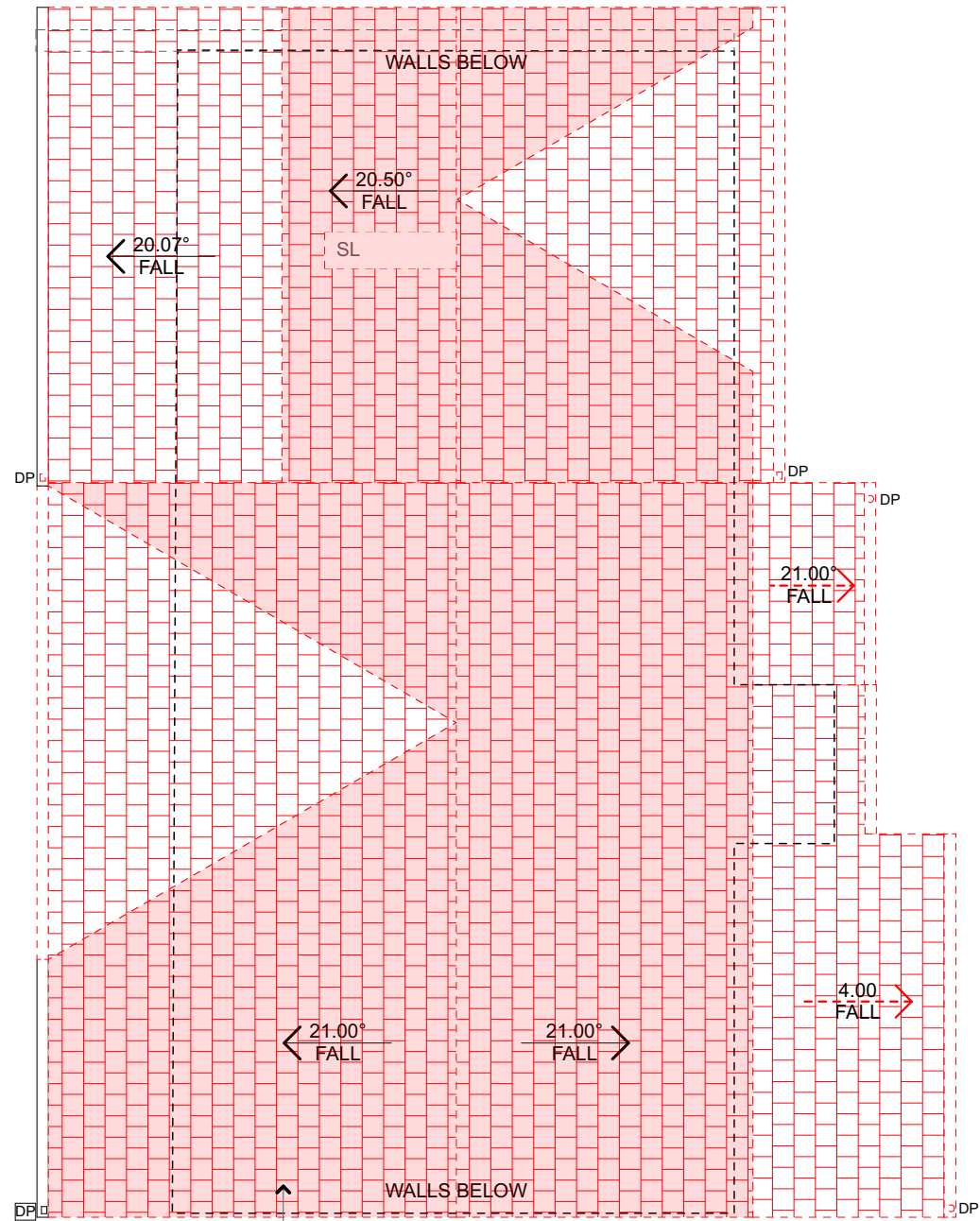
DATE:
19/2023

PROJECT NO:
1010

DRAWING NO:
DA09

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: ALL DEMOLITION WORK TO BE CARRIED
OUT IN ACCORDANCE WITH AS2601-2001



REPLACE EXISTING ROOF TILES
WITH METAL SHEETS, ROOF
STRUCTURE TO REMAIN

BOUNDARY 52.160M

1 EXISTING ROOF PLAN 1:100



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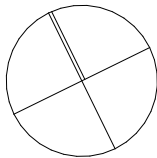
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- DEMOLISHED
- PROPOSED

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NORTH POINT



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REYNOLDS
SITE ADDRESS:
4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

EXISTING ROOF PLAN

SCALE:
1:100 @A3

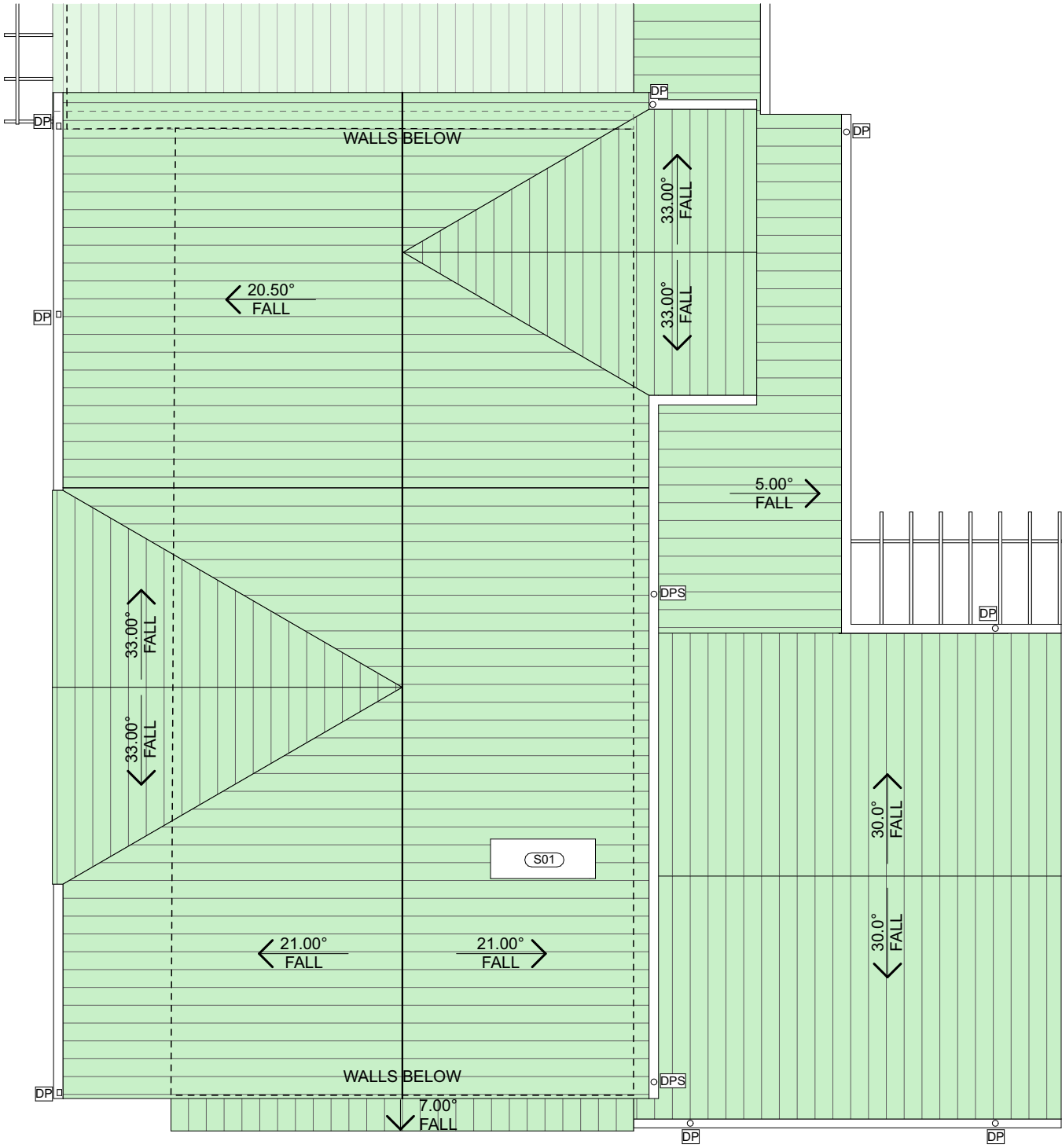
DATE:
19/2023

PROJECT NO:
1010

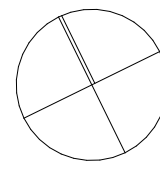
DRAWING NO:
DA10

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO
EXISTING STORMWATER LINES

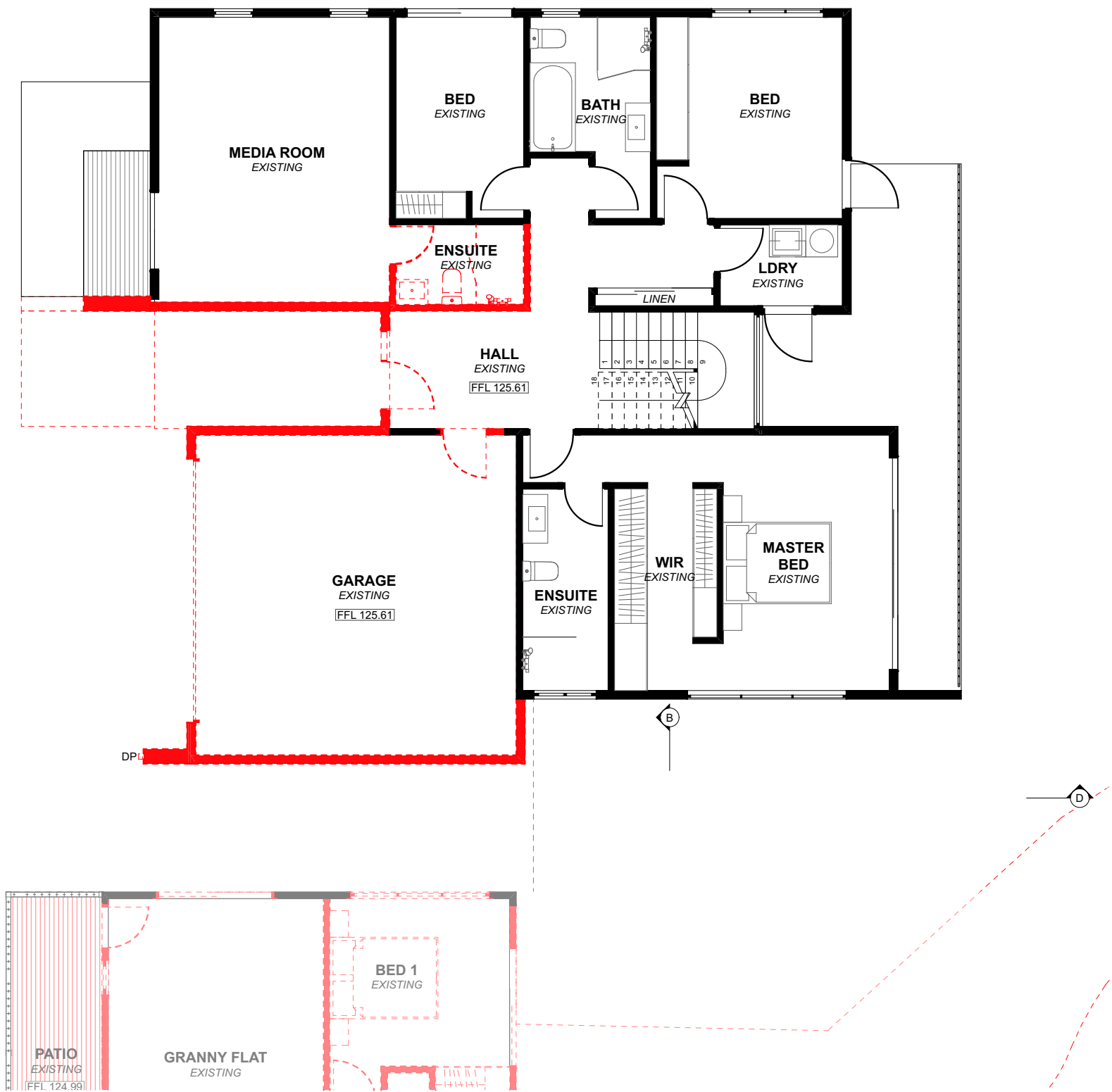


1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: PROPOSED ROOF / CONCEPT STORMWATER PLAN	
		A	DA SUBMISSION	SS	13.06.23					SCALE: 1:100 @A3	DATE: 19/2023
		B	WINDOW & COL. CHANGE	SS	01.09.23					PROJECT NO: 1010	DRAWING NO: DA11

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: ALL DEMOLITION WORK TO BE CARRIED
OUT IN ACCORDANCE WITH AS2601-2001



1 EXISTING GARAGE FLOOR PLAN 1:100



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AND NOTED ON THE TITLE BLOCK.
THE WORK MUST BE VERIFIED BY
STRUCTURAL ENGINEER BEFORE WORK
COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

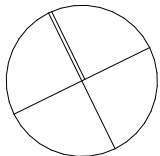
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM

NORTH POINT



CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

EXISTING GARAGE FLOOR PLAN

SCALE:

1:100 @A3

DATE:

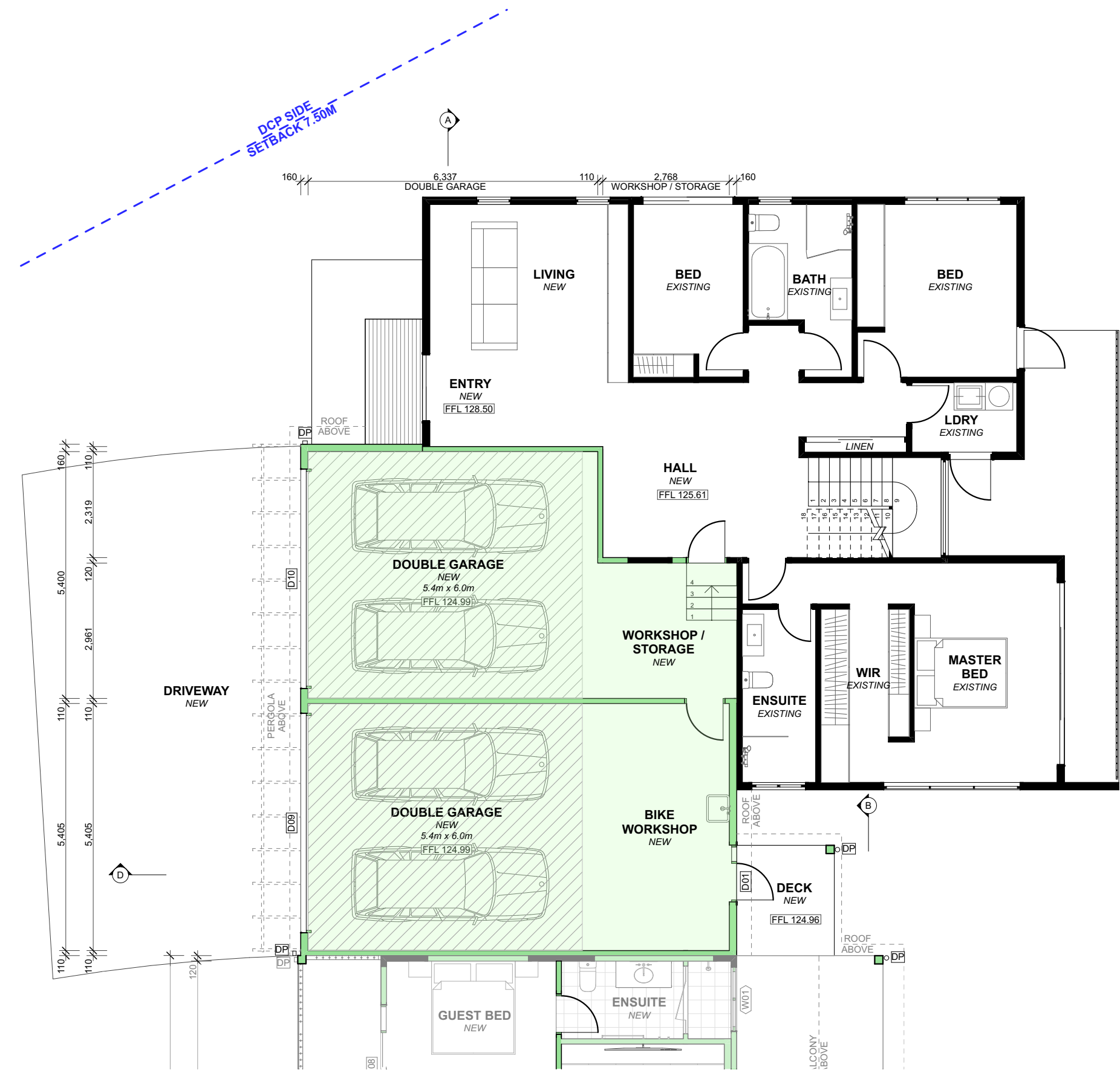
19/2023

PROJECT NO:

1010

DRAWING NO:

DA12



1 PROPOSED GARAGE FLOOR PLAN 1:100



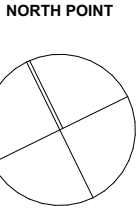
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REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

LEGEND
EXISTING
DEMOLISHED
PROPOSED

ABBREVIATIONS
CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM

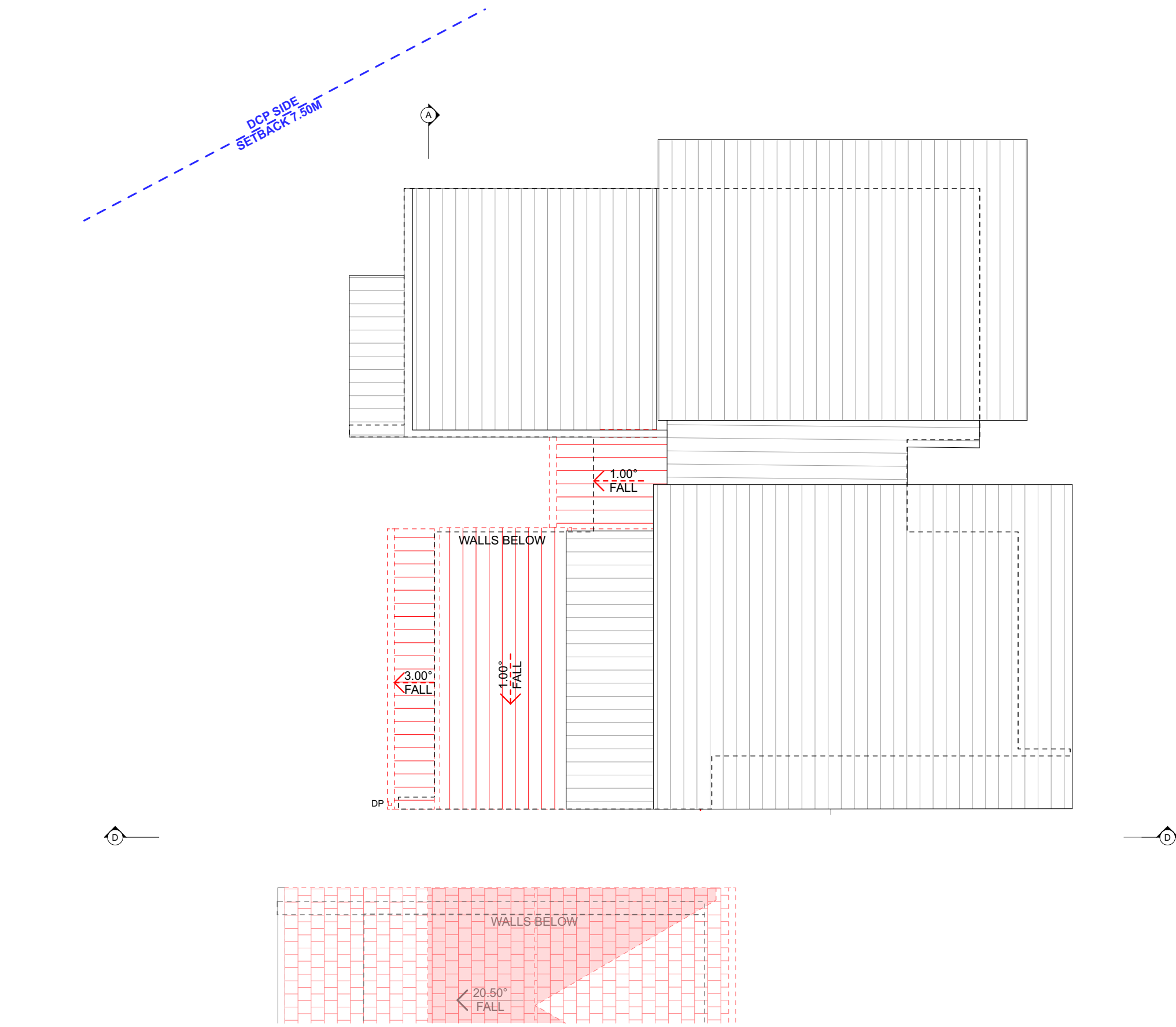


CLIENTS:
NINA & KRISTIAN
REYNOLDS
SITE ADDRESS:
4C MINKARA ROAD
BAYVIEW, NSW, 2104

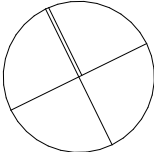
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SCALE: 1:100 @A3	DATE: 19/2023
PROJECT NO: 1010	DRAWING NO: DA13

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: ALL DEMOLITION WORK TO BE CARRIED
OUT IN ACCORDANCE WITH AS2601-2001

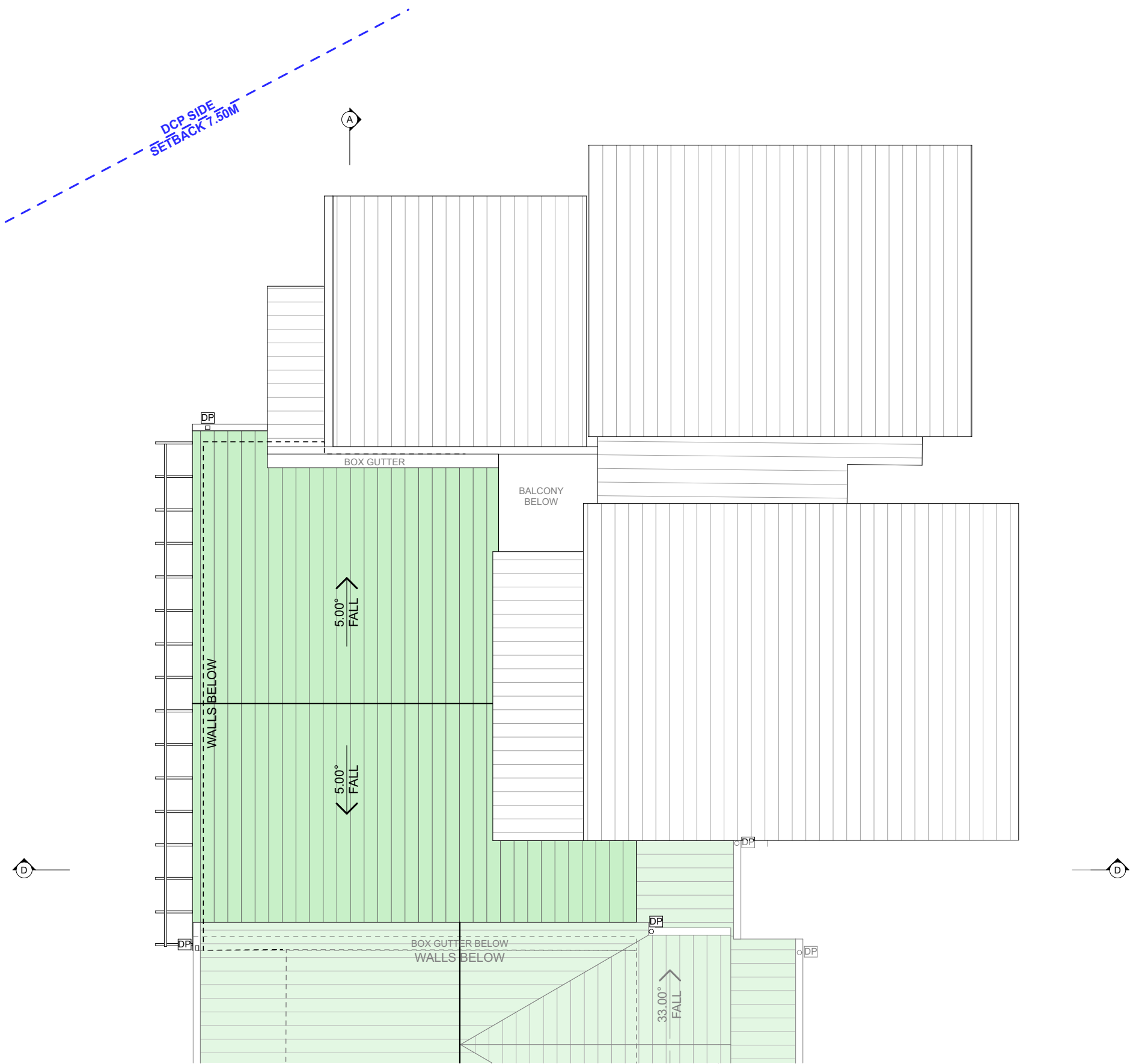


1 EXISTING GARAGE ROOF PLAN 1:100

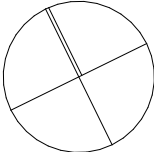
 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS		DRAWING TITLE: EXISTING GARAGE ROOF PLAN	
		A	DA SUBMISSION	SS	13.06.23				SCALE: 1:100 @A3	DATE: 19/2023		
		B	WINDOW & COL. CHANGE	SS	01.09.23				SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING NO: DA14		

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO
EXISTING STORMWATER LINES

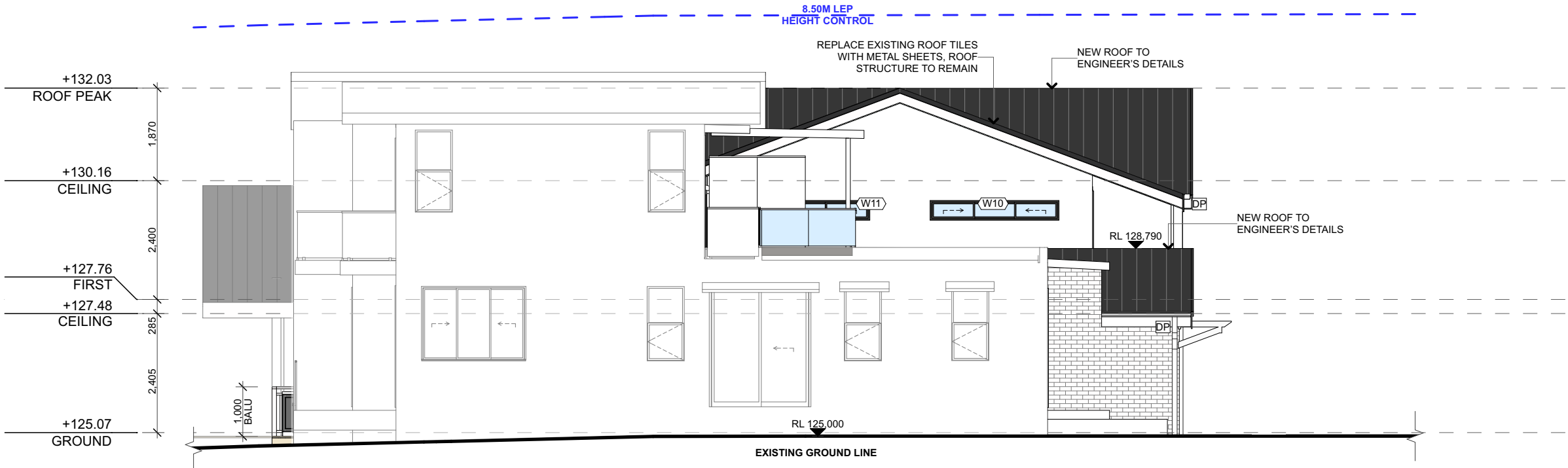


1 PROPOSED GARAGE ROOF PLAN 1:100

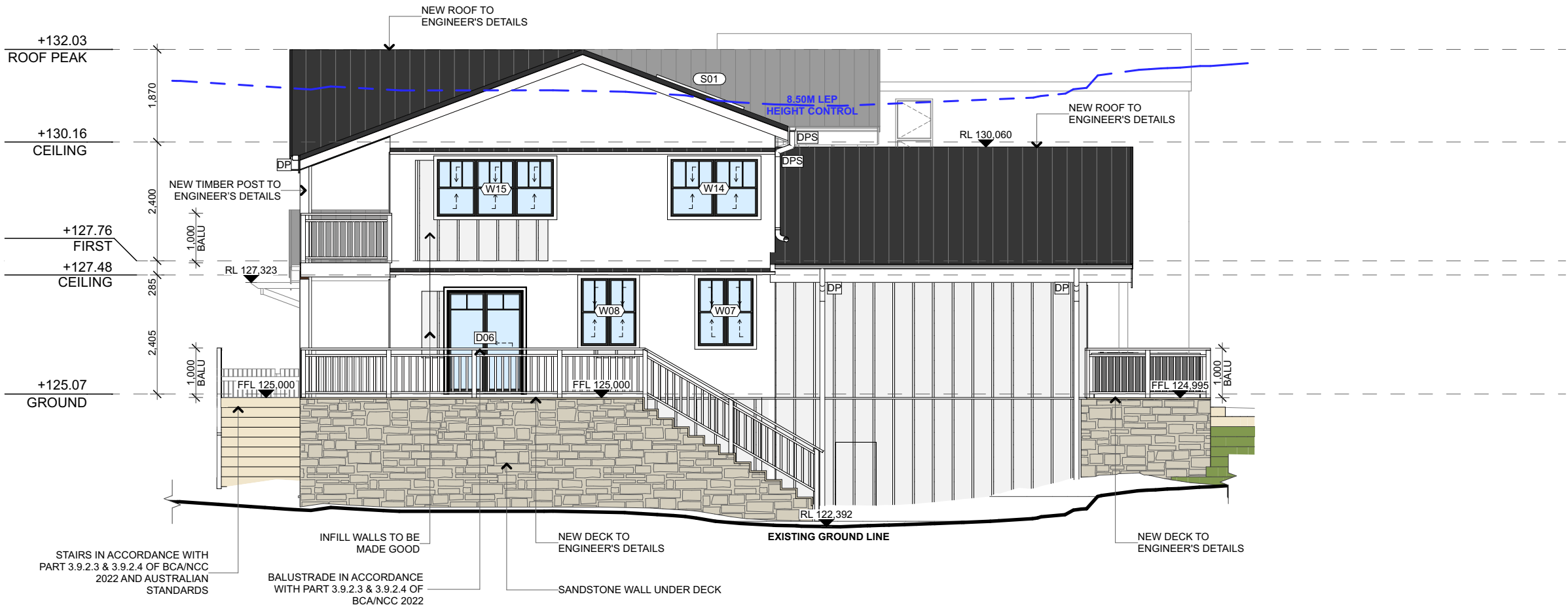
 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104		DRAWING TITLE: PROPOSED GARAGE ROOF PLAN	
		A	DA SUBMISSION	SS	13.06.23						SCALE: 1:100 @A3	DATE: 19/2023
		B	WINDOW & COL. CHANGE	SS	01.09.23						PROJECT NO: 1010	DRAWING NO: DA15

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: SETBACKS HAVE NOT BEEN SHOWN DUE
TO SPLAYED LOT BOUNDARIES, WITH
SETBACKS BEST REPRESENTED ON SITE
PLANS



1 NORTH ELEVATION 1:100



2 SOUTH ELEVATION 1:100



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REV.

NOTES.

INITIAL

DATE

LEGEND

EXISTING
DEMOLISHED



BOARD AND BATTENS



SANDSTONE WALL



TIMBER POST



GLASS



ROOF SHEETS

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

ELEVATIONS - NORTH & SOUTH

SCALE:

1:100 @A3

DATE:

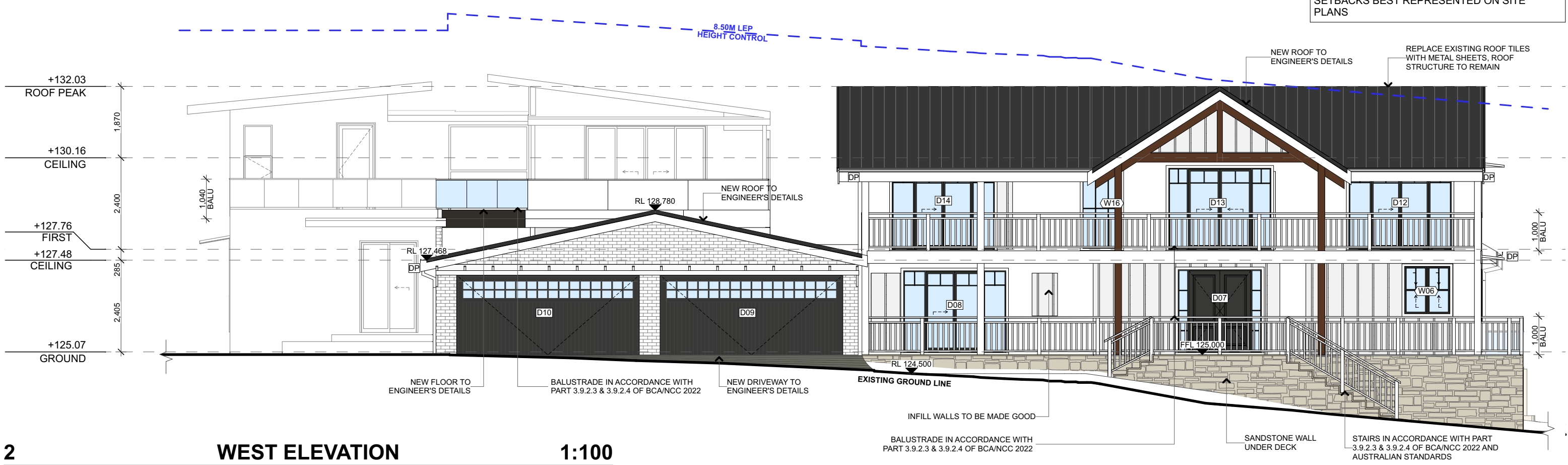
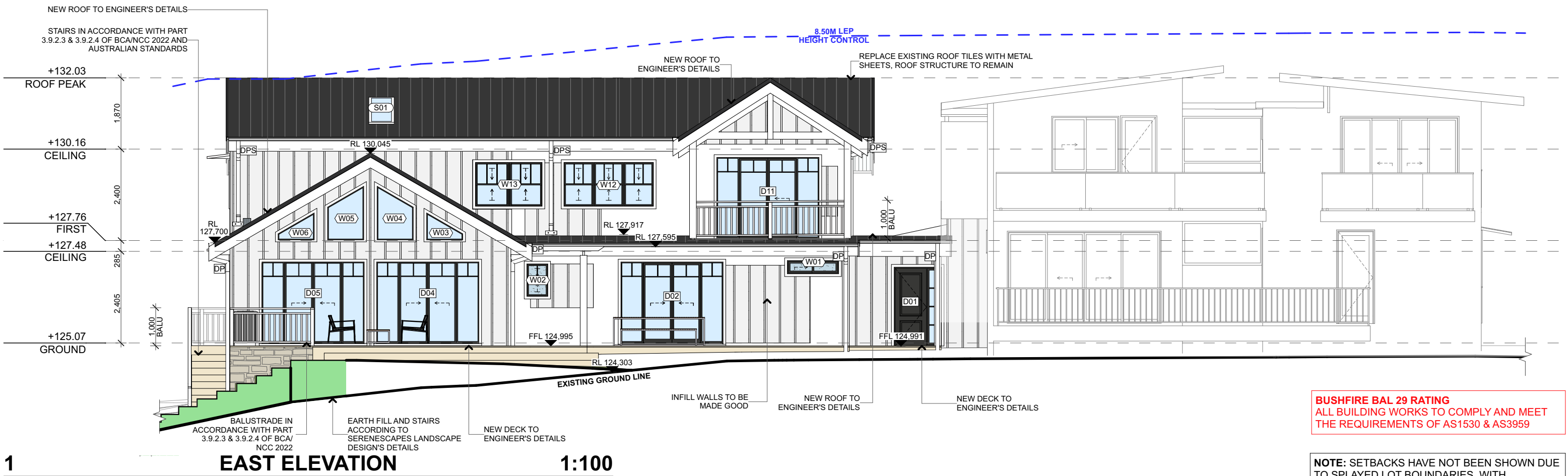
19/2023

PROJECT NO:

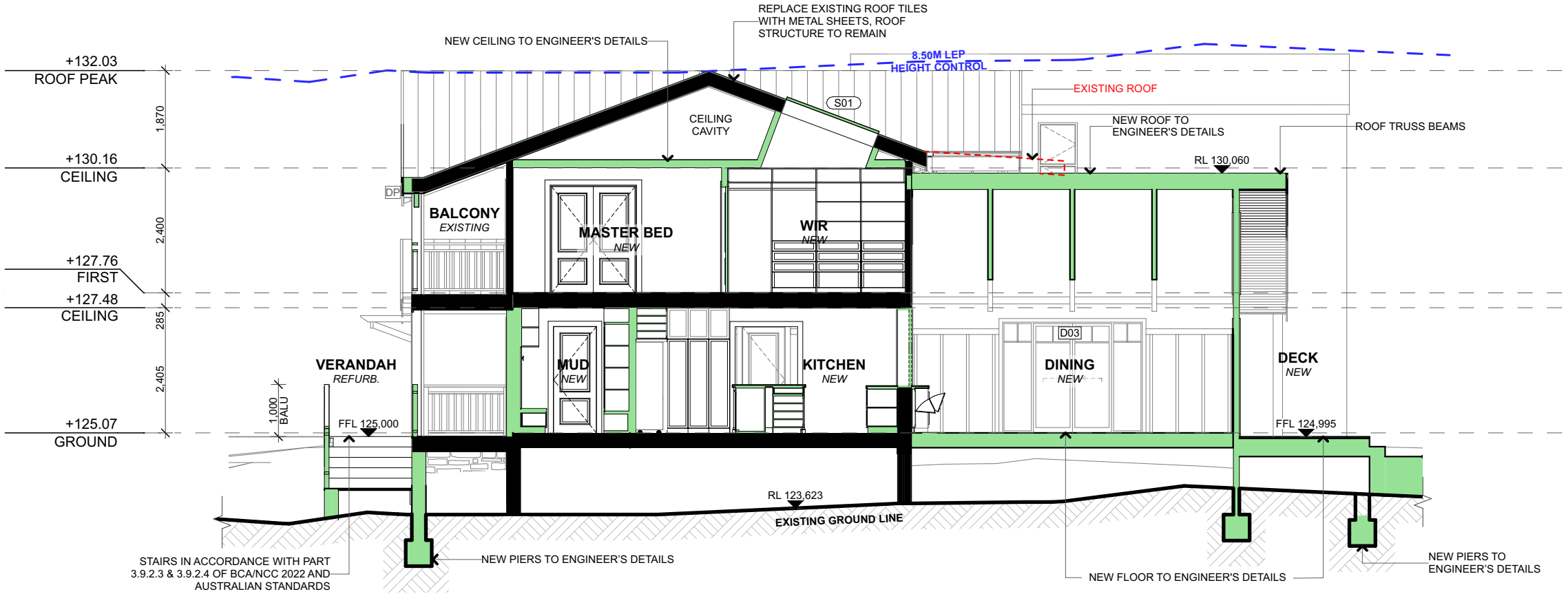
1010

DRAWING NO:

DA16

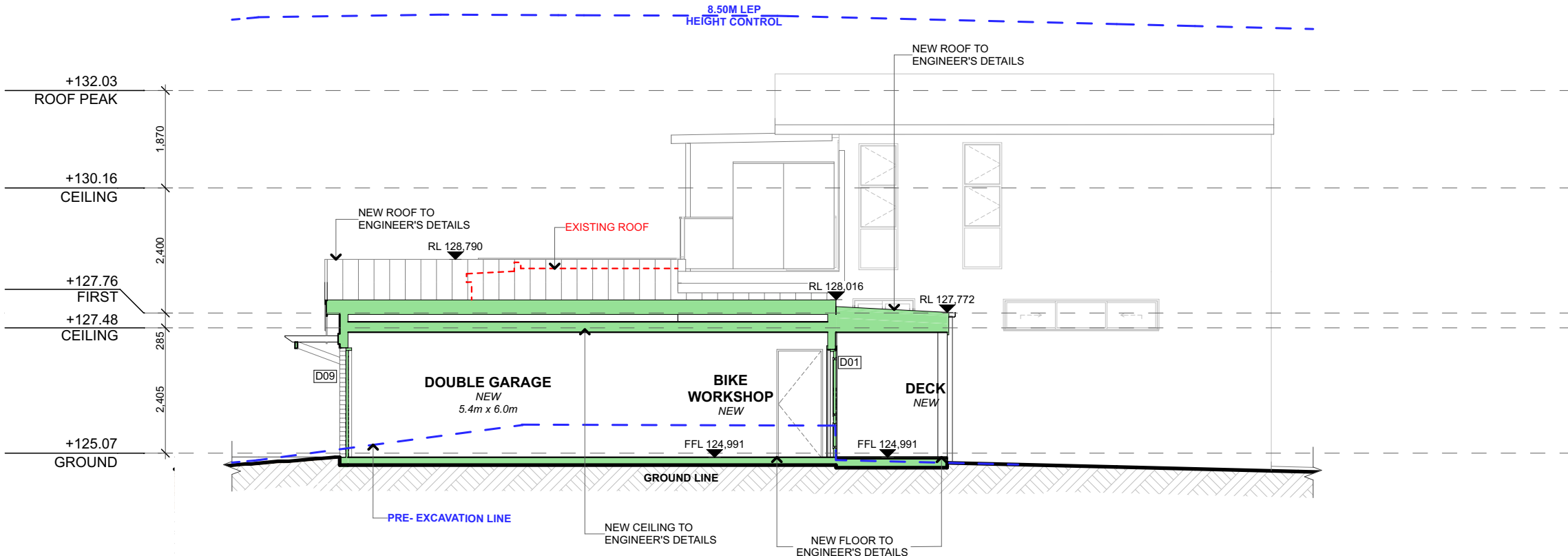


 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED BOARD AND BATTENS SANDSTONE WALL TIMBER POST GLASS ROOF SHEETS	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: ELEVATIONS - EAST & WEST	
		A	DA SUBMISSION	SS	13.06.23				SCALE: 1:100 @A3	DATE: 19/2023
		B	WINDOW & COL. CHANGE	SS	01.09.23				PROJECT NO: 1010	DRAWING NO: DA17



SECTION C

1:100



SECTION D

1:100

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: SETBACKS HAVE NOT BEEN SHOWN DUE
TO SPLAYED LOT BOUNDARIES, WITH
SETBACKS BEST REPRESENTED ON SITE
PLANS



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COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

LEGEND
EXISTING
DEMOLISHED
PROPOSED

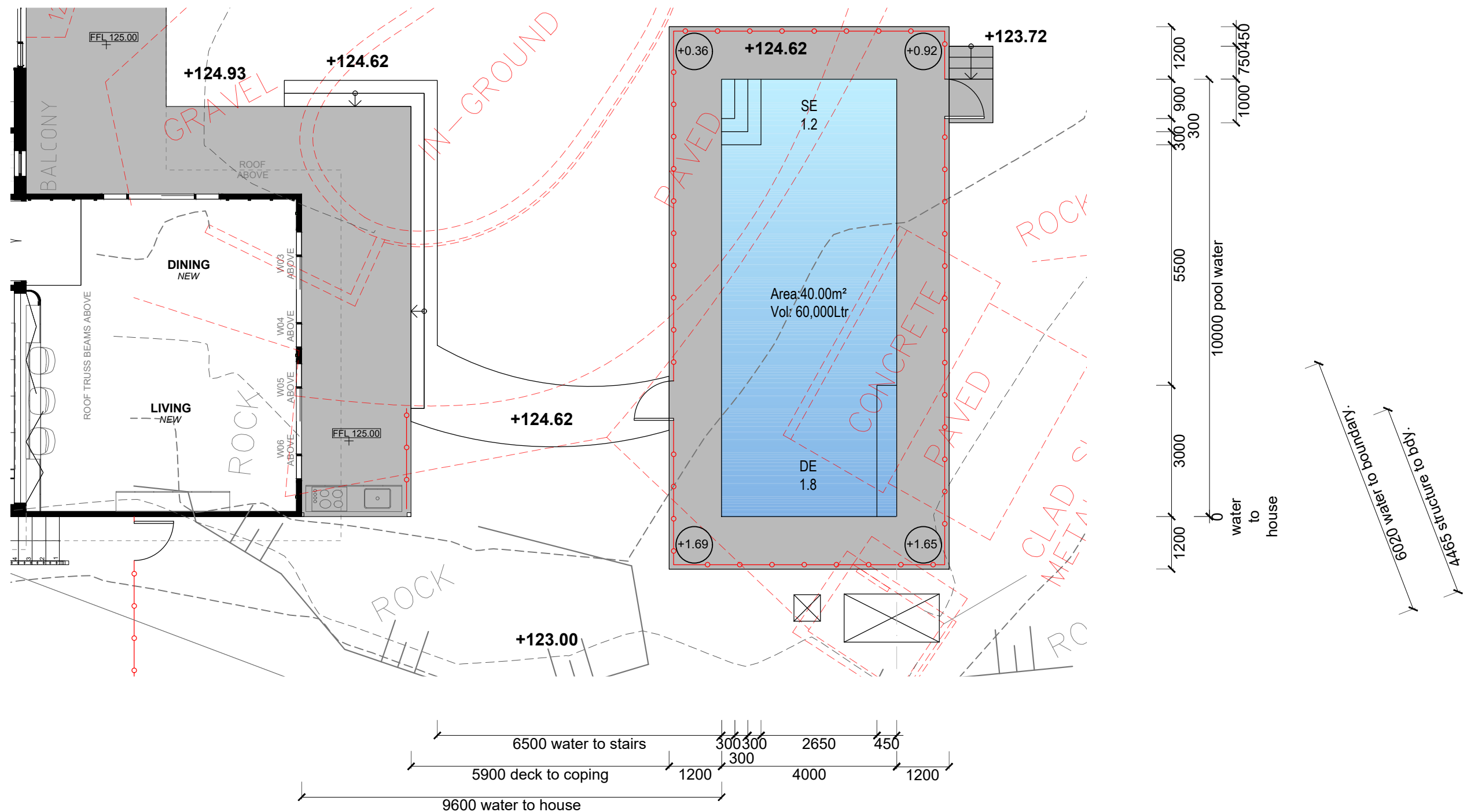
ABBREVIATIONS
CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:
NINA & KRISTIAN
REYNOLDS
SITE ADDRESS:
4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:
SECTIONS - C & D

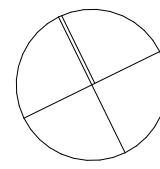
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DATE:
19/2023

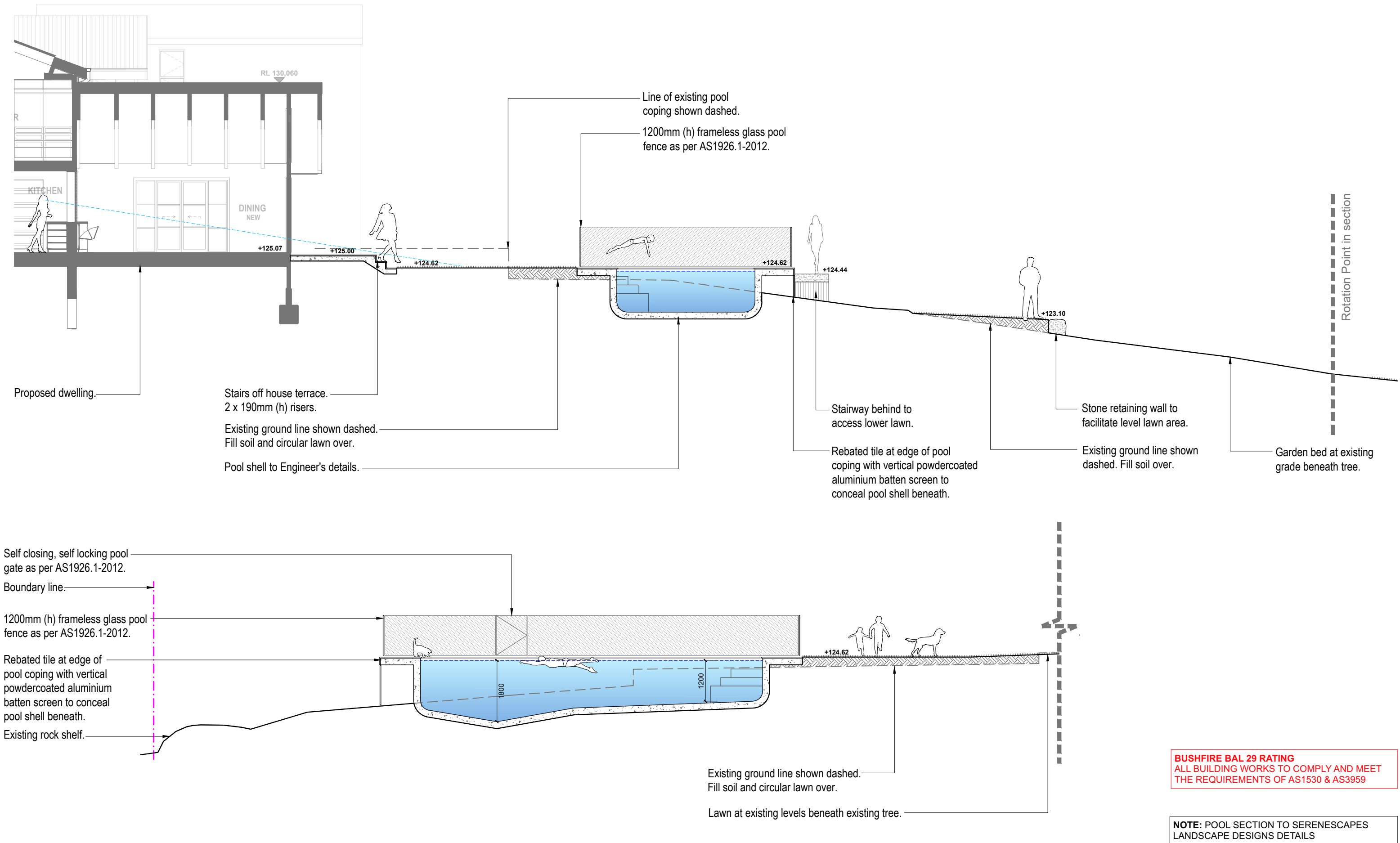
PROJECT NO:
1010
DRAWING NO:
DA19



BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959

NOTE: POOL PLAN TO SERENESCAPES
LANDSCAPE DESIGNS DETAILS

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		A	DA SUBMISSION	SS	13.06.23				SCALE: 1:100 @A3	DATE: 19/2023		
		B	WINDOW & COL. CHANGE	SS	01.09.23				PROJECT NO: 1010	DRAWING NO: DA20		



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		A	DA SUBMISSION	SS	13.06.23					SCALE: 1:100 @A3	DATE: 19/2023
		B	WINDOW & COL. CHANGE	SS	01.09.23					PROJECT NO: 1010	DRAWING NO: DA21

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



ROOF
- COLORBOND MATT IN MONUMENT
OR SIMILAR

GABLE ROOF TRUSS & COLUMN
- RAW RECYCLED TIMBER OR SIMILAR

DOORS & WINDOWS
- PAINTED COLORBOND MONUMENT BLACK
OR SIMILAR

WALLS
- SANDSTONE WALL

WALLS
- FIBRE CEMENT BOARD WITH TIMBER BATTENS
PAINTED WHITE OR SIMILAR

RAILINGS, GUTTERS & DP, ROOF TRIMS
- PAINTED WHITE OR SIMILAR



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COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

CLIENTS:

NINA & KRISTIAN
REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:

FINISHES BOARD

SCALE:

NTS

DATE:

19/2023

PROJECT NO:

1010

DRAWING NO:

DA22

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:250



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REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

LEGEND

 EXISTING SHADOWS

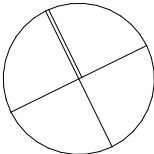
 PROPOSED SHADOW REDUCTIONS

 PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

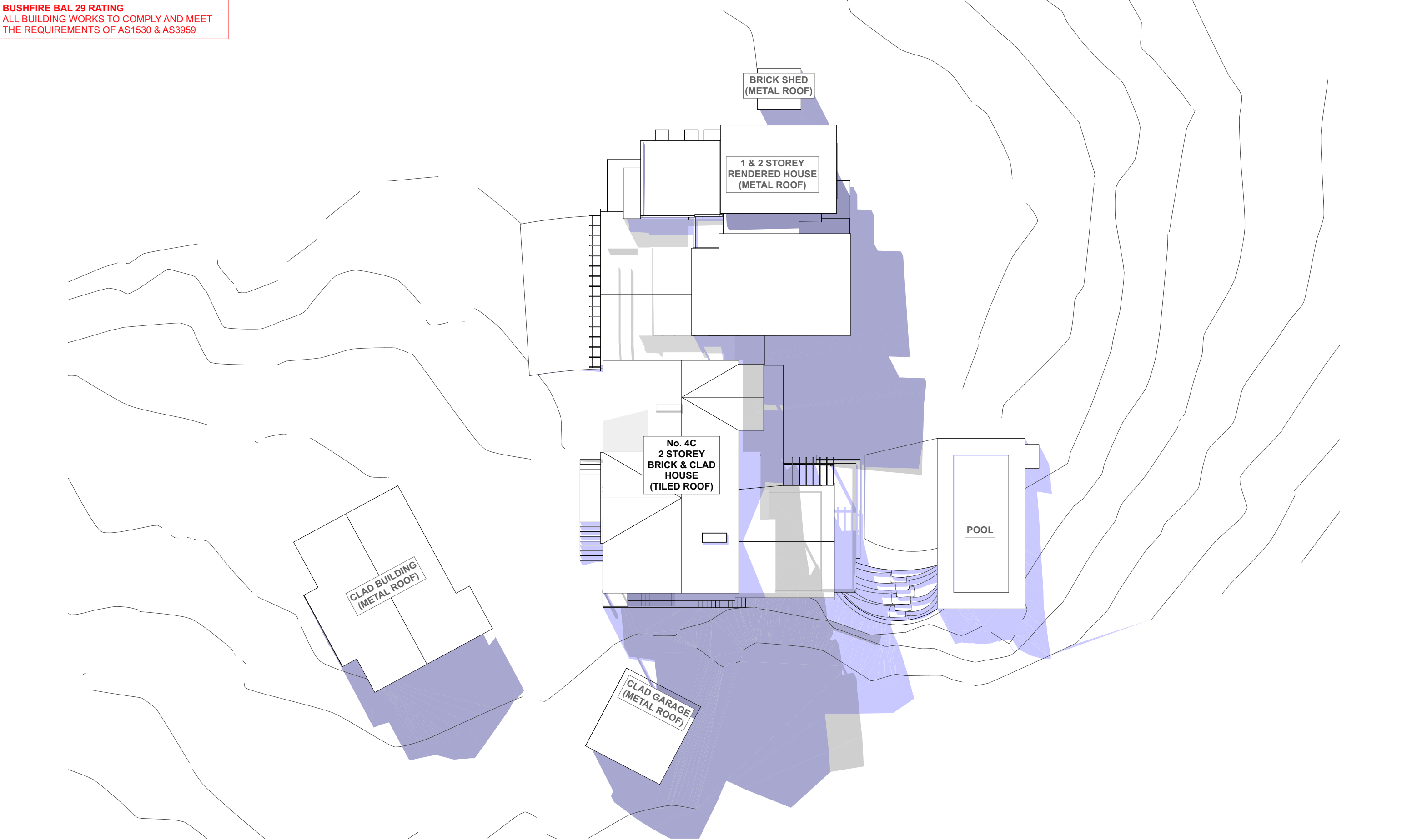
NINA & KRISTIAN REYNOLDS

SITE ADDRESS:

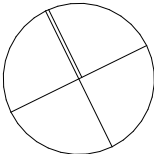
4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:	
SHADOW DIAGRAM - JUNE 21ST - 9AM	
SCALE:	DATE:
1:250 @A3	19/2023
PROJECT NO:	DRAWING NO:
1010	DA23

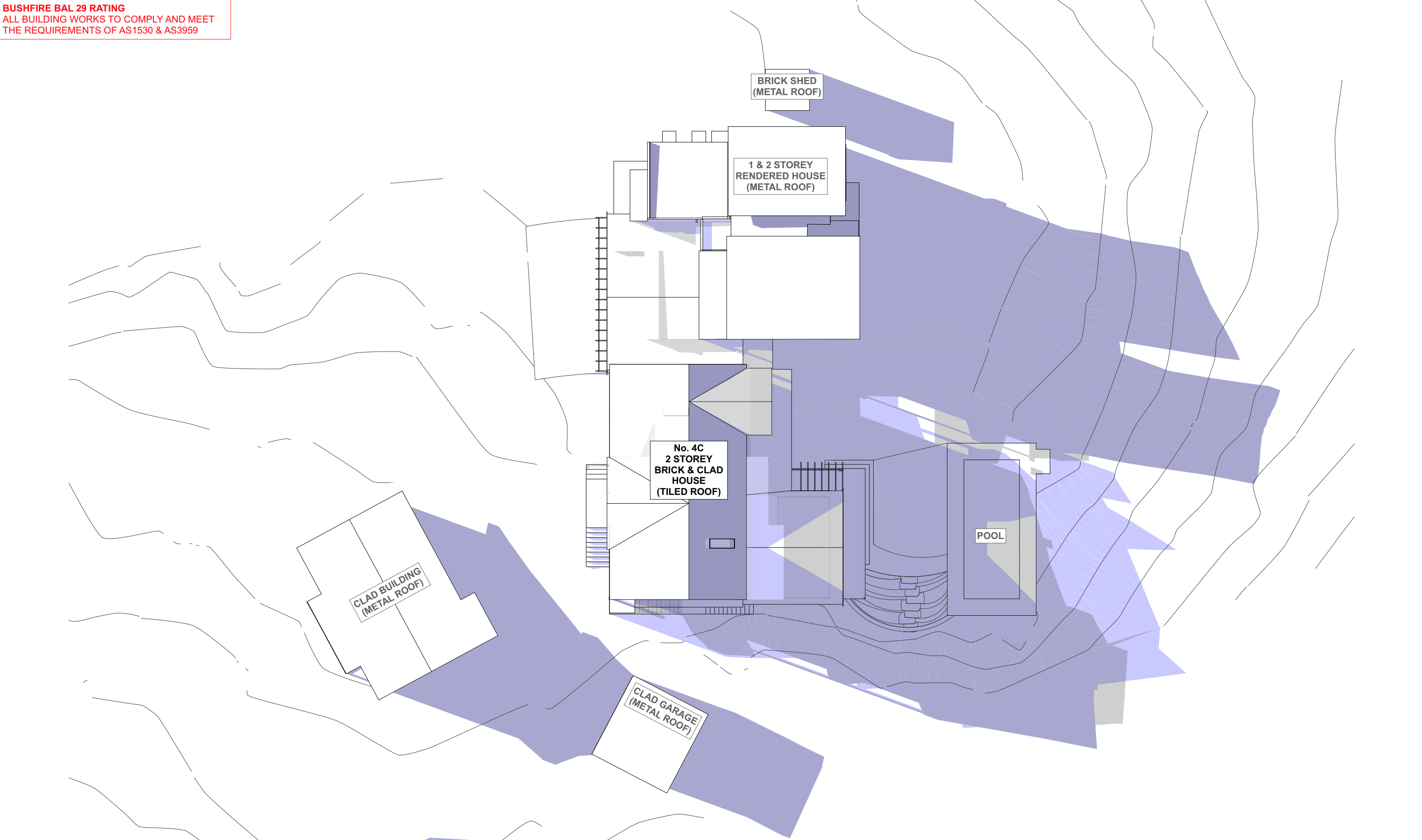
BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



1 SHADOW DIAGRAM - JUNE 21 - 12PM 1:250

 progressive plans 0400 699 850 UNIT 4/40-42 AVALON PARADE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING SHADOWS PROPOSED SHADOW REDUCTIONS PROPOSED SHADOW ADDITIONS	ABBREVIATIONS DP: DEPOSIT PLAN SP: STRATA PLAN	NORTH POINT 	CLIENTS: NINA & KRISTIAN REYNOLDS SITE ADDRESS: 4C MINKARA ROAD BAYVIEW, NSW, 2104	DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 12PM	
		A	DA SUBMISSION	SS	13.06.23					SCALE: 1:250 @A3	DATE: 19/2023
		B	WINDOW & COL. CHANGE	SS	01.09.23					PROJECT NO: 1010	DRAWING NO: DA24

BUSHFIRE BAL 29 RATING
ALL BUILDING WORKS TO COMPLY AND MEET
THE REQUIREMENTS OF AS1530 & AS3959



1 SHADOW DIAGRAM - JUNE 21 - 3PM 1:250



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NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA SUBMISSION	SS	13.06.23
B	WINDOW & COL. CHANGE	SS	01.09.23

LEGEND

 EXISTING SHADOWS

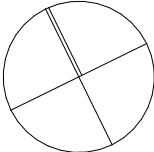
 PROPOSED SHADOW REDUCTIONS

 PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

NINA & KRISTIAN REYNOLDS

SITE ADDRESS:

4C MINKARA ROAD
BAYVIEW, NSW, 2104

DRAWING TITLE:	
SHADOW DIAGRAM - JUNE 21ST - 3PM	
SCALE:	DATE:
1:250 @A3	19/2023
PROJECT NO:	DRAWING NO:
1010	DA25

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A489234

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 05, July 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	BAYVIEW - 4C Minkara Road
Street address	4c Minkara Road Baview 2104
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 774017
Lot number	53
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Progressive Plans
ABN (if applicable): 59879808402

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1273 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 363.15 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 60 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

Skylights											
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓								
The following requirements must also be satisfied in relation to each skylight:		✓	✓								
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✓	✓								
Skylights glazing requirements											
<table><tr><th>Skylight number</th><th>Area of glazing inc. frame (m2)</th><th>Shading device</th><th>Frame and glass type</th></tr><tr><td>S01</td><td>1.23</td><td>no shading</td><td>timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)</td></tr></table>	Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type	S01	1.23	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type								
S01	1.23	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)								

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
internal wall shared with garage: plasterboard (R0.36)	nil				
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W01	E	0.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W02	E	0.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W03	E	0.78	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W04	E	1.48	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W05	E	1.48	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W06	E	1.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W07	S	1.67	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W08	S	1.67	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W09	W	1.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W10	N	1.04	2.14	2.4	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W11	N	1.04	2.14	2.4	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W12	E	2.88	26	23	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W13	E	2.16	26	23	projection/height above sill ratio >=0.23	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W14	S	2.16	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W15	S	2.88	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W16	W	2.25	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
D01	E	2.57	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	E	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	N	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D04	E	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D05	E	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D06	S	3.26	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D07	W	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D08	W	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D09	W	10.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D10	W	10.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D11	E	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D12	W	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D13	W	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D14	W	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			