

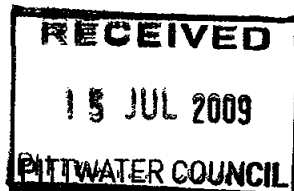


CONSTRUCTION CERTIFICATE # 2009/75

Approved 13/07/09

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received	13/07/09		
Council	Pittwater		
Development Consent No	N0147/09	Date Approved	06/07/09
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa BPB0124
Accreditation Body	Building Professionals Board		
APPLICANT DETAILS			
Name	Reginald K Guion	Ph No	0410 607 651
Address	642 Barrenjoey Road AVALON NSW 2107		
OWNER DETAILS			
Name	As above		
Address			
DEVELOPMENT DETAILS			
Subject Land	642 Barrenjoey Road AVALON NSW 2107	Lot No	2 DP 14017
Description of Development	Alterations and additions		
Class of Building	10a	Value of Work	\$5000 00
BUILDER DETAILS			
Name	R K Guion		
Address	642 Barrenjoey Road AVALON NSW 2107		
Contact Number	0410 607 651	License No	R62902
APPROVED PLANS & DOCUMENTS			
Plans Prepared By	J D Evans & Company Pty Ltd		
Drawing Numbers	1196 1 1196 2 1196 3 1196 4 1196 5	Dated	29/4/09
CERTIFICATION			
I Craig Formosa as the certifying authority am satisfied that			
(a) The requirements of the regulations referred to in s81A (5) have been complied with That is work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act and			
(b) Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986			
Signed			Date 13/07/09



SEL 700 L 1

\$30

R 262026

15/7/09



Application Lodgement Summary



Reference Number 2615588 **Date Requested** Mon July 13 2009

Agent Reece Brookvale, 25 Orchard Road Brookvale

Applicant form building certifiers, 78 parr pde narraweena 2099

Property/Asset 642 Barrenjoey Rd, Avalon 2107 (Rk Guion) PNum 3399747
150 mm VC Sewer Main - (3146874)

Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$25 95	\$0 00	\$25 95

Property Special Conditions

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	Yes
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	Yes
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property

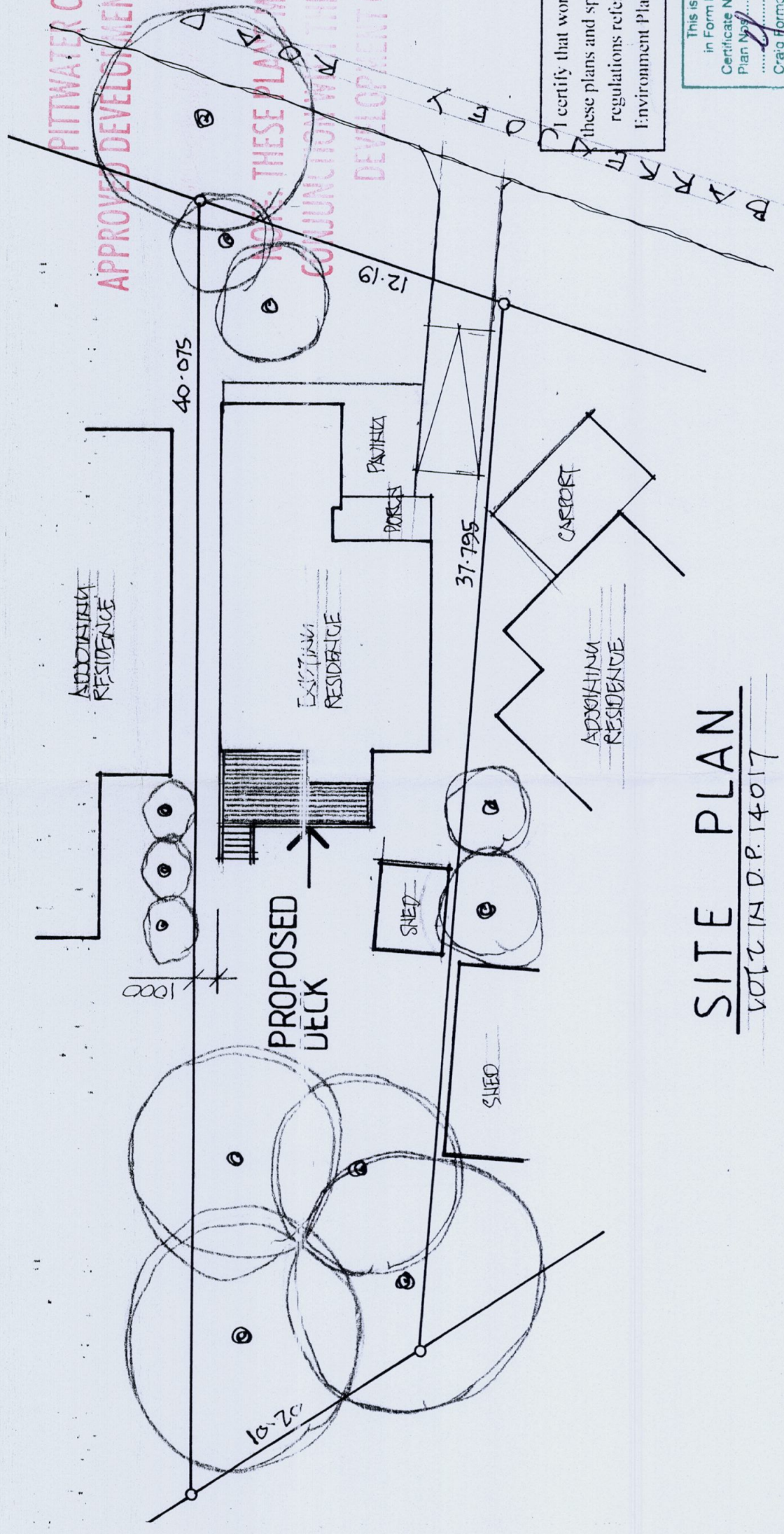
Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards

THIS PLAN / DOCUMENT
FORMS PART OF FORM
BUILDING CERTIFIERS
CONSTRUCTION CERT.

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLAN

NOTES: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning and Assessment Act 1979

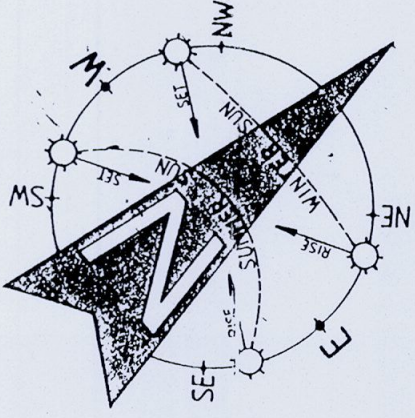
This is the plan/spec. referred to in Form Building Certifiers Certificate
Certificate No. 2009/75
Plan No. 1-3
13/7/09
Craig Formosa
BP80124

SITE PLAN

VOLCANO D.P. 14017

DEVELOPMENT CALCULATIONS			
SITE AREA	440.00 SQUARE METRES		
DESCRIPTION	EXISTING SQM	PROPOSED SQM	
FLOOR AREA	91.38	NO INCREASE	
ROOF AREA	91.38	NO INCREASE	
DRIVEWAY	17.50	NO INCREASE	
SHED	7.80	NO INCREASE	
PORCH	6.48	NO INCREASE	
DECK	—	13.00	
TOTAL HARD SURFACE	123.16 (27.99%)	136.16 (30.95%)	

- NOTES:
- THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 - SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

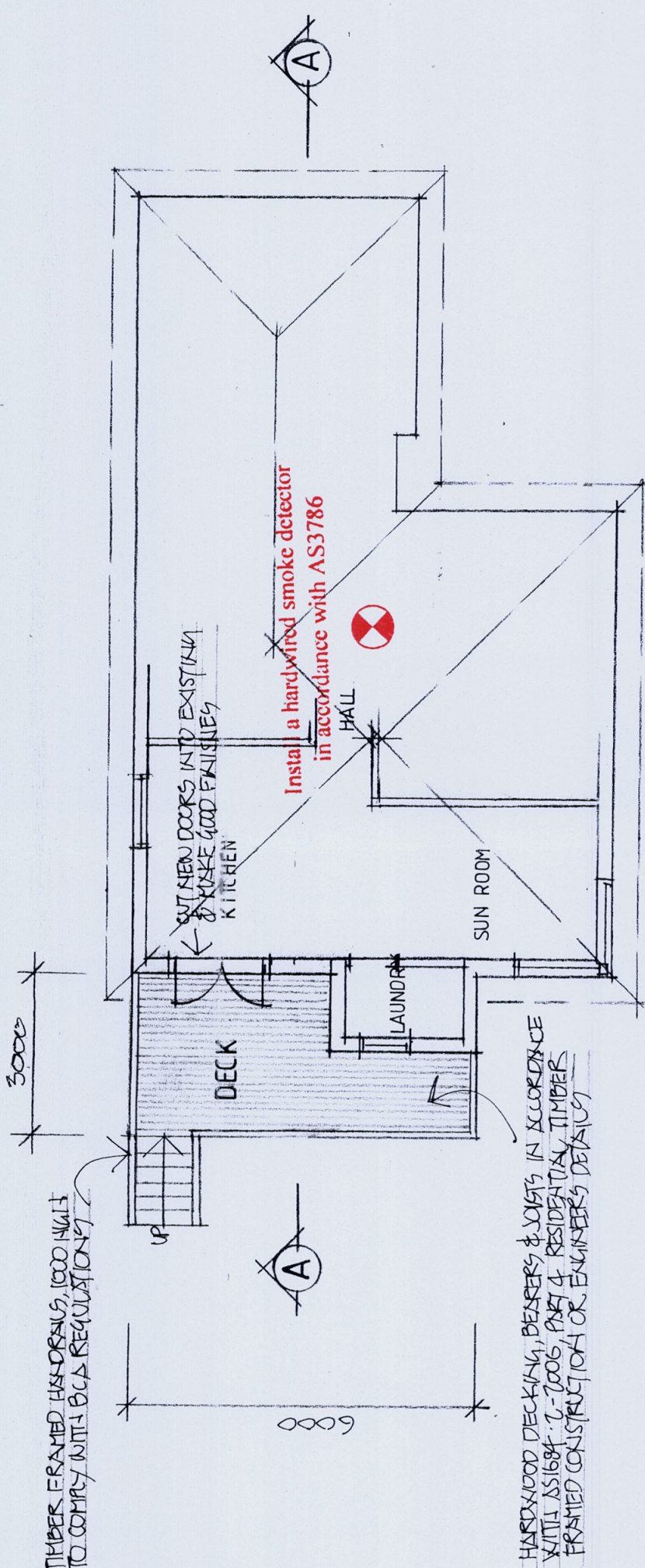


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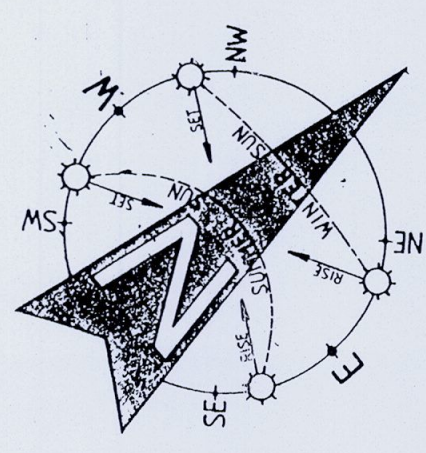
PROJECT
PROPOSED TIMBER DECK AT
No. 642 BARRENJOEY ROAD
AVALON BEACH N.S.W. 2107
CLIENT
REG GUION

DATE 29/4/09 SCALE 1:100, 1:200
DRAWN JDE CHECKED
DRAWING No. **1196-1**
ISSUE



FLOOR PLAN

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- NOTES:
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 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.

2. All dimensions that relate to site boundaries and setbacks must be verified by a registered land surveyor.

3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & the Construction of local council requirements & other authorities.

4. All timber construction to be in accordance with the "TIMBER FRAME" code.

5. Any detailing in addition to that specified shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.

6. Water & sub-surface drainage to be disposed of in the approved manner or as directed by local council inspectors.

7. All construction must be in accordance with the approved drawings.

8. Make good and repair all existing buildings damaged by new work. Remove existing materials where possible.

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MEMBER
BUILDING ASSOCIATION OF AUSTRALIA

PROJECT
PROPOSED TIMBER DECK AT
No. 642 BARRENJOEY ROAD
CLIENT
AVOLON BEACH N.S.W. 2107

DRAWING No.
1196-2

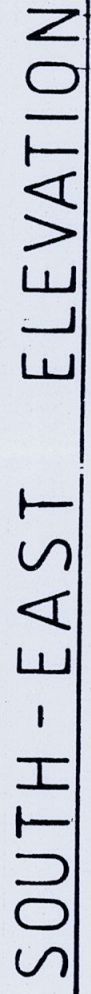
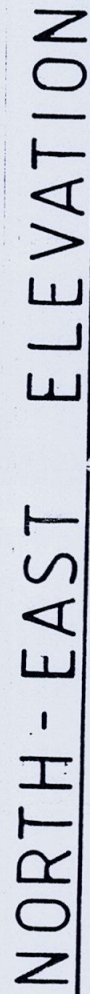
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29/4/09

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JOE

CHECKED

ISSUE



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BUILDING CERTIFIERS
CONSTRUCTION CERT.

NOTES:

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2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Bulkier to check and confirm all necessary documents on site prior to construction. Do not waste the drawing.
2. All dimensions that relate to site boundaries and easements are subject to the surveyor's approval.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA for "FRAME FRAMING"
4. All timber construction to be in accordance with "TIMBER FRAMING" code.
5. All structural details or materials to be approved and be stamped by the engineer and the bulkier to the owner's approval, except for any structural details or materials of Structural Engineer.
6. Roof water and sub-soil drainage to be stamped by the engineer and the bulkier to the owner's approval.
7. All structural power & light conduct to be determined by owner.
8. Gates, pool and rear air walling finished as depicted by your work. House ceiling materials where suitable.

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POLLAND BANGOR CONSULTANTS
P.O. BOX 100, KENYON ROAD, KENYON, KENYA

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MEMBER
BUILDING
DESIGNERS
A SOCIETY OF THE
ROYAL INSTITUTE OF
BRITAIN

No.	AMENDMENT
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DATE _____

PROJECT

**PROPOSED TIMBER DECK AT
No. 642 bARRENJOEY ROAD
AVALON BEACH N.S.W. 2107**

CLIENT

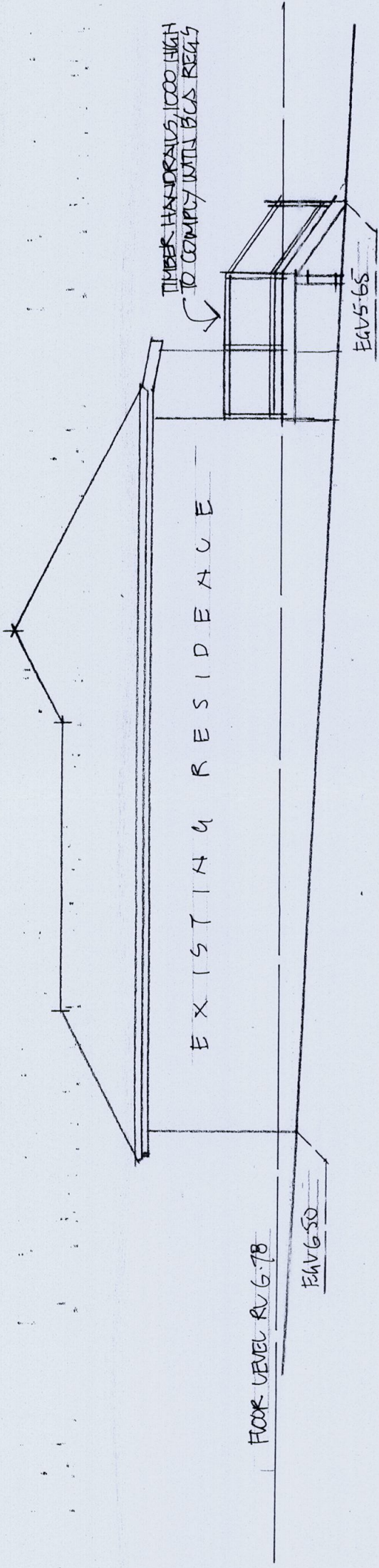
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				101

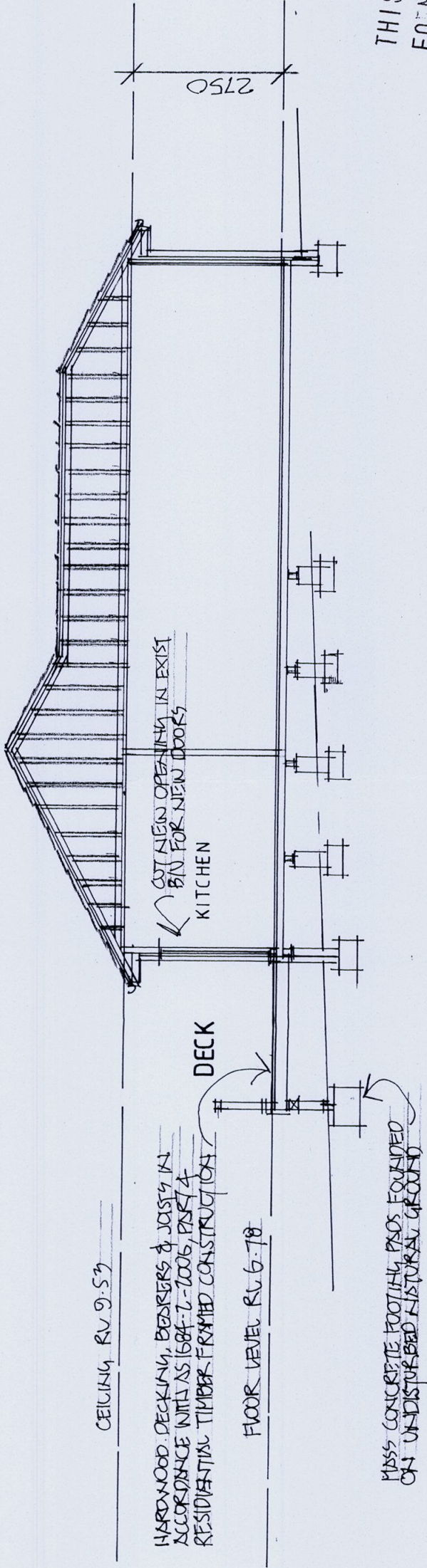
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1196-3



SOUTH - WEST ELEVATION



SECTION A - A

- NOTES:
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 - 2.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All work to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.
3. All timber construction to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.
4. Any building in addition to what is shown shall be approved by the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
5. All work to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements.
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No.	MEASUREMENT	DATE

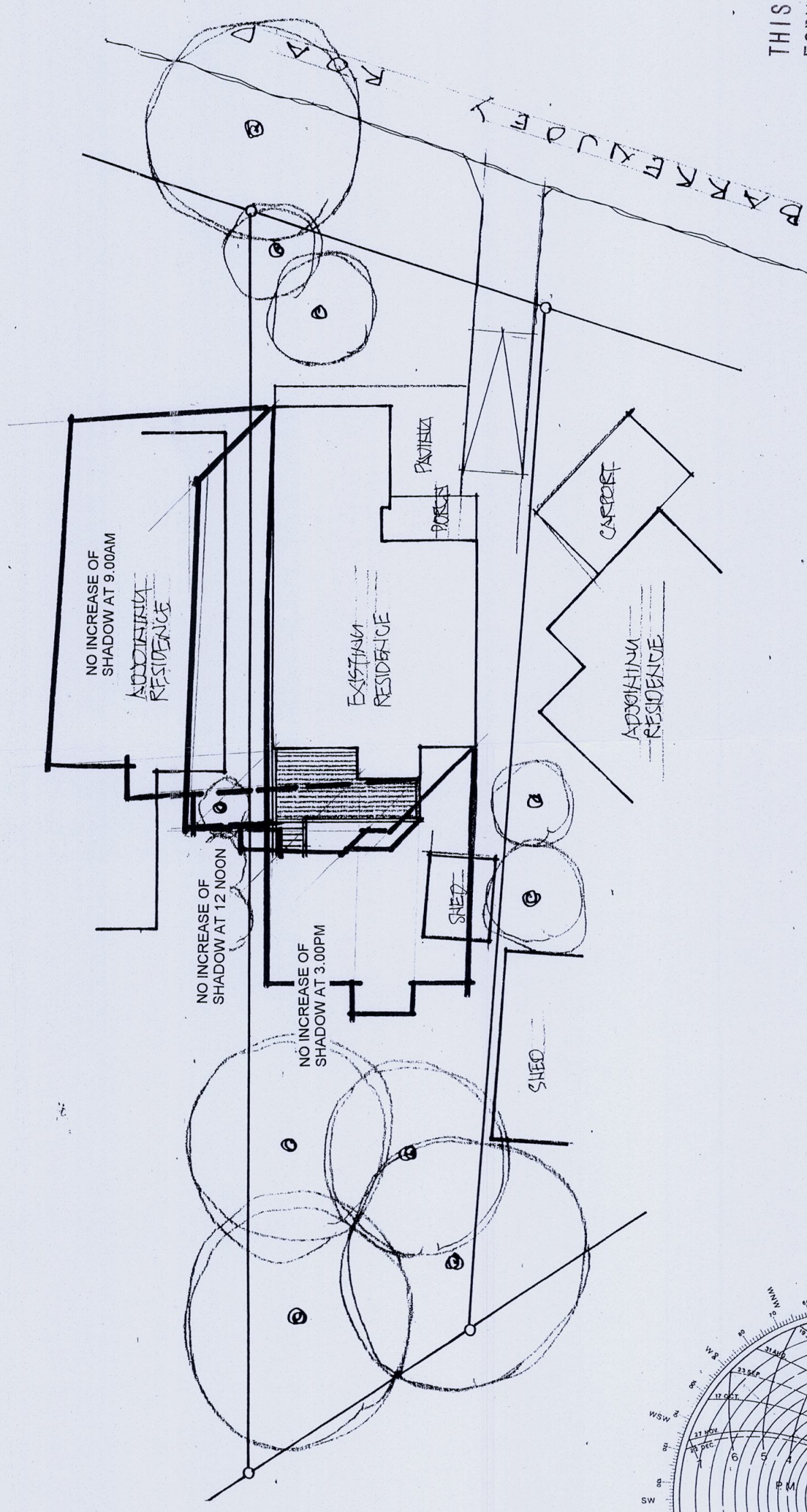


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PROPOSED TIMBER DECK AT
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CLIENT
REG GUION

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DRAWING No.	1196-4
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SHADOW DIAGRAM

JUNE 21
SCALE 1:200

DATE 29/4/09	SCALE 1:200
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DRAWING No. 1196-5	

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PROPOSED TIMBER DECK AT
No. 642 BARREXJOEY ROAD
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CLIENT
REG GUION

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2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAME" code.
5. Any structural details or drawings shall be checked and approved by the owner and the builder to the owner's approval, except for any structural details or drawings which shall be checked and approved by the owner and the builder to the owner's approval, except for any structural details or drawings which shall be checked and approved by the owner and the builder to the owner's approval.
6. Roof water & sub-soil drainage to be detailed in the drawings.
7. All electrical power & light outlets to be detailed in the drawings.
8. Make good and repair of existing features damaged by new work. Remove existing materials where possible.

