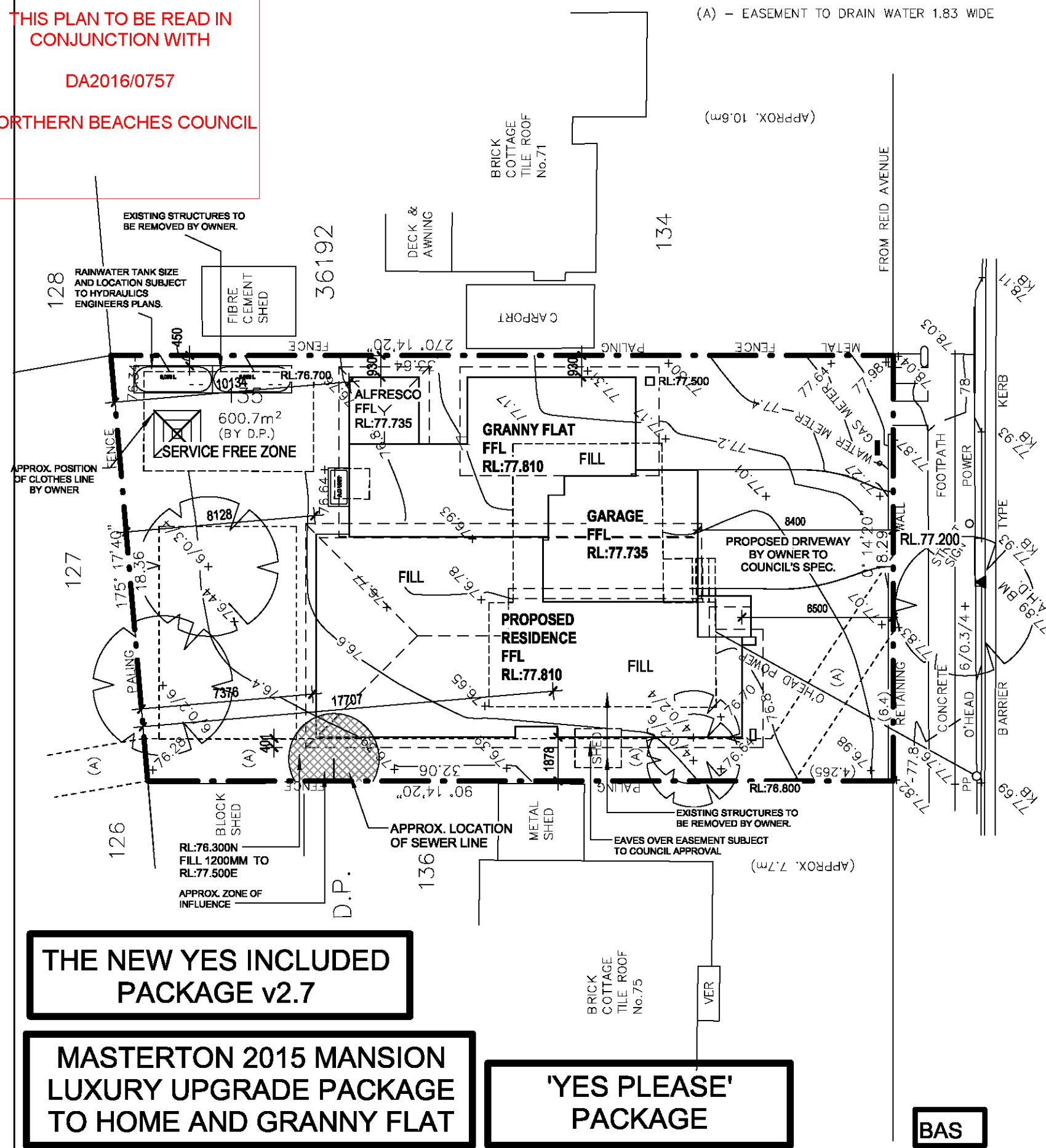


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NORTHERN BEACHES COUNCIL

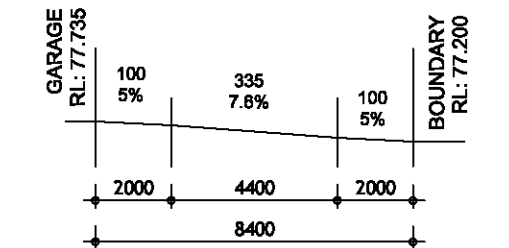


EXCAVATION & SITE NOTES
EXCAVATE/FILL TO FORM A LEVEL BUILDING PLATFORM (EXTENT OF EXCAVATION & BATTER TO BE DETERMINED ON SITE. BACKFILL AGAINST FOOT OF SLAB).
SEWER CONNECTION TO AUTHORITIES REQUIREMENTS TO WITHIN PROPERTY BOUNDARY.
WATER CONNECTION FROM EXISTING WATER METER TO HOUSE UPTO A DISTANCE OF 12.0M
RELOCATE EXISTING WATER METER POSITION TO WITHIN 4.0M OF THE EXISTING METER POSITION ONLY.
TEMPORARY PROTECTIVE FENCING TO BLOCK TO MEET SAFETY REQUIREMENTS.
SITE LEVELS SUBJECT TO SECOND SITE INSPECTION.
SUBJECT TO POSITION OF SERVICES
PROVIDE A NEW GALVANISED CONSUMER PROPERTY POLE.
POSSIBLE BAS/BOS (SEWER PEGOUT REQUIRED)
* DESIGN LEVELS MAY VARY BY +/- 100mm

ITEMS BY OWNER
RETAINING WALLS TO BE COMPLETED TO ENG'S DETAILS (IF REQUIRED).
DISH DRAINS (IF NEEDED) TO AUTHORITIES' REQUIREMENTS.
EXISTING TREES, STUMPS, CONC. PATHS, BUILDINGS, ETC., TO BE DEMOLISHED FROM BUILDING AREA PRIOR TO 2ND SITE INSPECTION.

KEY TO SYMBOLS

- VEHICLE CROSSING
- STORMWATER PIT
- KERB INLET PIT
- TELSTRA PIT
- OPTUS PIT
- SEWER MAN HOLE
- ELECTRICITY PILLAR
- STOP VALVE
- HYDRANT
- POWER POLE
- LIGHT POLE
- TREE (SPREAD/DIAM./HEIGHT)



DRIVEWAY GRADIENT

DRAWING:	DRAWN:	TENDER:
1 CONTRACT PLAN 1	GJC	13.04.16
2 CONTRACT PLAN 2	GJC	21.04.16
3 COUNCIL SUBMISSION 1	EP	08.6.16
4 COUNCIL SUBMISSION 2	EP	21.6.16
5 ---	-	-
6 ---	-	-
7 ---	-	-
8 ---	-	-
9 ---	-	-
10 ---	-	-

BASIX & SITE INFO

BASIX CERTIFICATE No. 736488M_02
DA No. ---

SITE DETAILS
LOT NUMBER: 135 (HOUSE No 73)
DP NUMBER: 36192
UBD REFERENCE: NOT PROVIDED
SITE AREA: 600.70m²
HOUSE AREAS (MEASURED TO EXTERNAL WALLS)
GROUND FLOOR: 130.35m²
FIRST FLOOR: 134.90m²
GARAGE: 38.22m²
PORCH: 4.01m²
TOTAL (HOME): 305.48m²
GRANNY FLAT: 60.00m²
GRANNY FLAT PORCH: 9.90m²
TOTAL (GRANNY FLAT): 69.90m²
TOTAL (HOME & GRANNY FLAT): 375.38m²
DRIVEWAY / PATHS TO BOUNDARY: 40.00m²

PROJECT DETAILS
NO. OF BEDROOMS (HOME): 4
NO. OF BEDROOMS (GRANNY FLAT): 2
ROOF AREA: 280.00m²
TOTAL AREA OF ROOF MEASURED TO THE OUTSIDE OF GUTTERS EXCLUDES PARAPETS & TRAFFICABLE TERRACES. (GUTTER WIDTH 150mm)
GARDEN & LAWNS (AREA OF PROPOSED GARDENS & LAWN): 272.00m²

STORMWATER
MIN. RAINWATER TANK SIZE REQ: 2X8000 Litre
MIN. ROOF AREA CONNECTED TO RAINWATER: 80.00m²
RAINWATER USES: GARDEN TAP, TOILET, & LAUNDRY
REMAINDER OF ROOFWATER & OVERFLOW TO: T.B.A.
HYDRAULIC DESIGN REQUIRED: YES

WATER
KITCHEN TAP FITTING RATING: 4 STAR
SHOWERHEAD RATING: 3 STAR
TOILET RATING: - DUAL FLUSH (3/6 litre) 3 STAR
BATHROOM TAP FITTING RATING: 3 STAR

THERMAL COMFORT/ENERGY
EXTERNAL WALL SURFACE: BRICK
EXTERNAL WALL INSULATION: R1.5
WALL COLOUR: ---
ROOFING MATERIAL: COLORBOND
ROOF INSULATION: ANTICON BLANKET
ROOF COLOUR: ---
CEILING INSULATION: R4.1
AIR CONDITIONING INCLUDED: YES
EER: 2.5 - 3.0 OR HIGHER
HOT WATER SYSTEM: GAS INSTANTANEOUS
EER: 6 STAR
COMPACT FLUORESCENT LIGHTING: AS PER BASIX
COOKING APPLIANCES: GAS CK&ELE.OVEN
CLOTHES DRYING LINE REQUIRED: AS PER BASIX
WIND DRIVEN VENTILATORS REQUIRED/QTY: N/A

WIP (WORKS IN PROGRESS)
DRAINAGE REQUIRED: YES / NO

LANDSCAPING	CARPARKING
MIN. REQ: 40%=240.30m² PROVIDED: 45%=272.00m²	MIN. REQ: 2 SPACES PROVIDED: 2 SPACES
BUILDING HEIGHT	PRIVATE OPEN SPACE
MAX. ALLOWED: 8.500m PROVIDED: 8.500m	MIN. REQ: 60.00m² PROVIDED: 179.90m²

Proposed Residence
For: MR & MRS GUNASTI
Lot No : 135, 73 ALFRED STREET
Suburb: NARRAWEENA
Council: WARRINGAH

Project Details

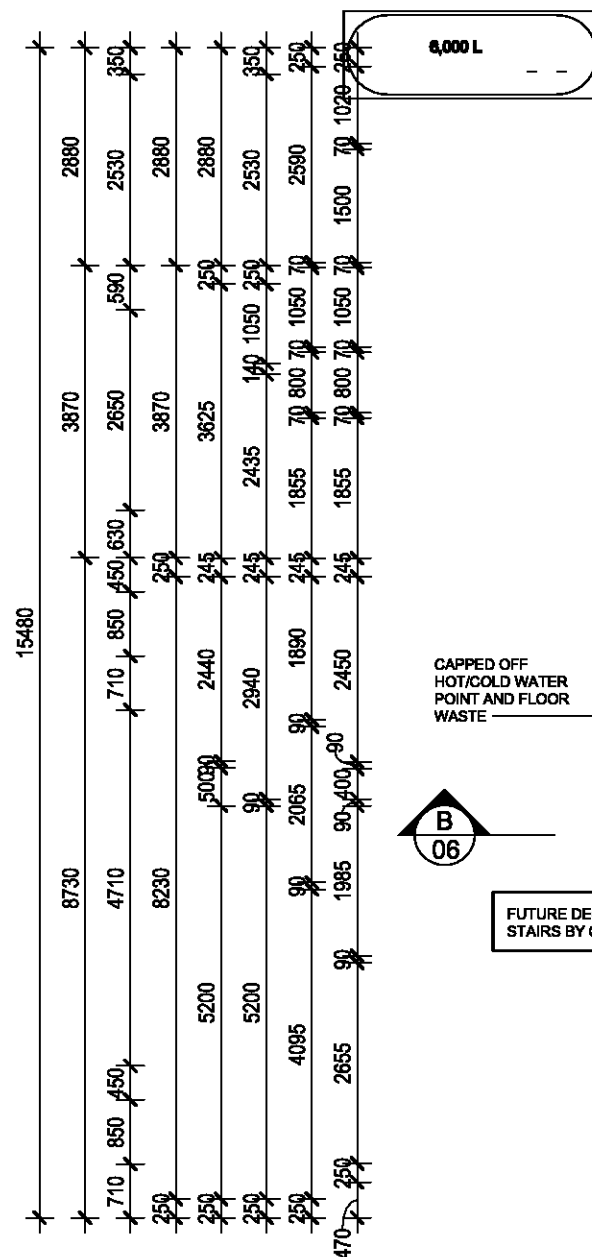
Design: VILLINA TWIN (OPTION 3) GARAGE RHS Facade: TREND 2	Drawn By: G.J.C. Date: 08.6.16 Job No: 2011154
Edition: DESIGNER	Sheet Title: SITE PLAN Sheet No: 01/--
Plot Date: 21/08/2018 1:51:04 PM	Scale @ A3: 1 : 200 Final Plan Issue: -- Final Plan Date: ---

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- PROVIDE AN ELECTRICAL SUB-BOARD TO THE PROPOSED HOME.
- PROVIDE AN UPGRADED ELECTRICAL BOARD TO THE MAIN DWELLING TO ALLOW SEPARATE METERING FOR GRANNY FLAT.
- PROVIDE UPGRADES AS REQUIRED FOR SEPARATE METERING TO MAIN DWELLING AND GRANNY FLAT FOR GAS SUPPLY.

WAFFLE POD CONCRETE SLAB ON GROUND CLASS "M"
IN ACCORDANCE WITH AS 2870.1
EDGE BEAM TO HABITABLE AREAS STEPPED DOWN
APPROX. 180mm.
EDGE BEAM TO GARAGE FLOOR STEPPED DOWN
APPROX. 85mm.
GARAGE FLOOR STEP DOWN APPROX. 75mm
(INCLUDING INTERNAL PRE-CAST CONCRETE STEPS).
GALVANISED/STEEL BEAMS REQUIRED AS PER PLANS.
100mmØ SERVICE CONDUIT TO ISLAND BENCH.
D.E.B TO REAR & SIDE OF HOME APPROX 16CRS (1372MM)
FROM PROPOSED HOUSE FIN FLR LEVEL
CONCRETE PATIO WITH CONCRETE STEPS TO SERVICE
FRONT ENTRY USING STRIP FOOTING TYPE CONSTRUCTION

[illegible]

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**ALL SERVICE POSITIONS TO BE DETERMINED ON SITE
BY SUPERVISOR**

BULKHEADS TO BE DETERMINED ON SITE BY SUPERVISOR

PROVIDE A SUITABLE PEST CONTROL SYSTEM

**CENTER OF DP TO BE 350mm FROM CORNER OF FACE
BRICKWORK (UNLESS SPECIFIED ON ELEVATION)**

For: MR & MRS GUNASTI
Lot No : 135, 73 ALFRED STREET
Suburb: NARRAWEENA
Council: WARRINGAH

Design: VILLINA TWIN (OPTION 3)
GARAGE RHS
Facade: TREND 2
Edition: DESIGNER

DRAWN BY: G.J.C.	DATE: 08.6.16	JOB NO: 2011154
SHEET TITLE: GROUND FLOOR PLAN		SHEET NO: 02 / --
SCALE @ A3: 1 : 100	FINAL PLAN ISSUE: --	FINAL PLAN DATE: --.--.--

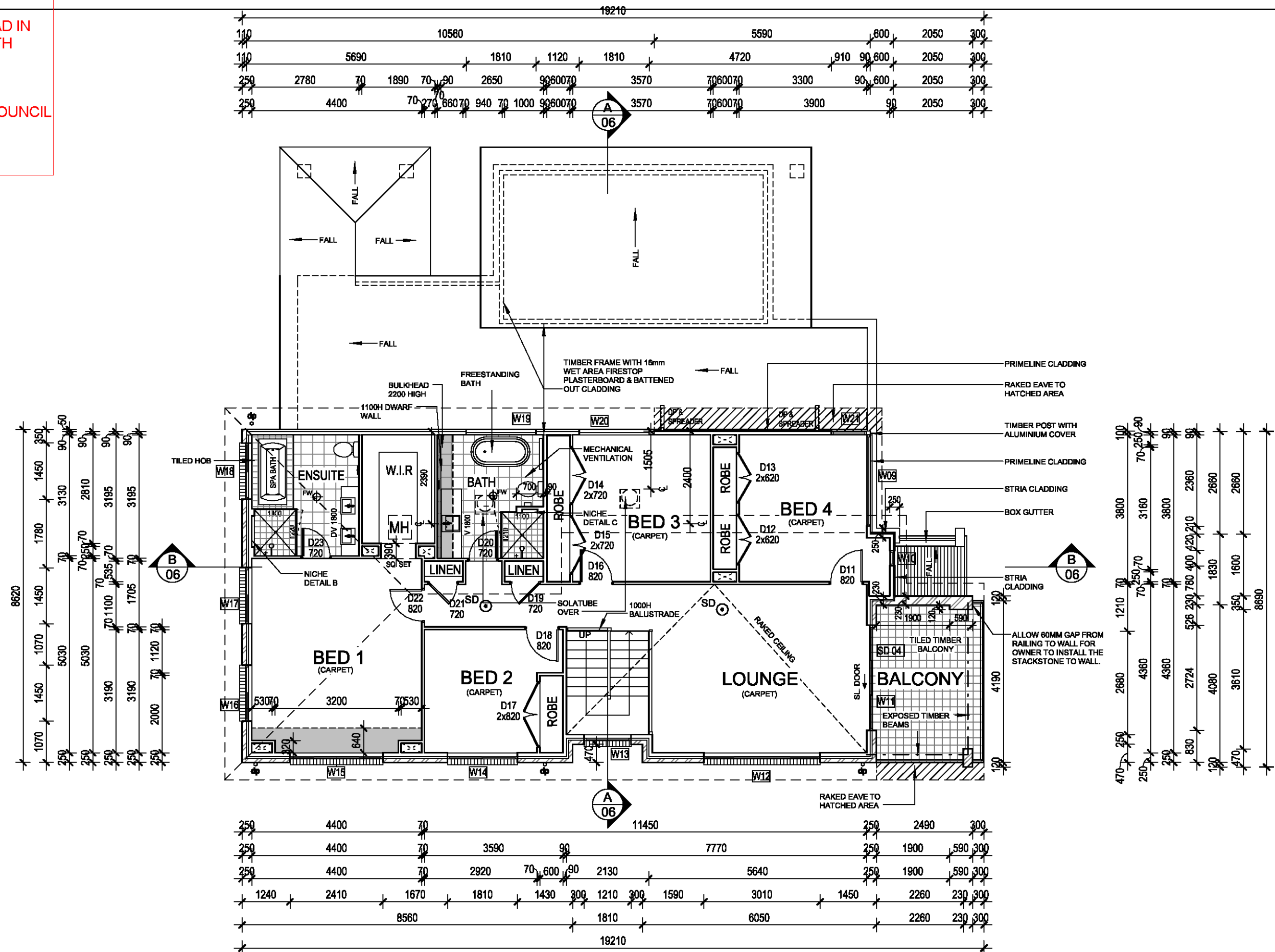
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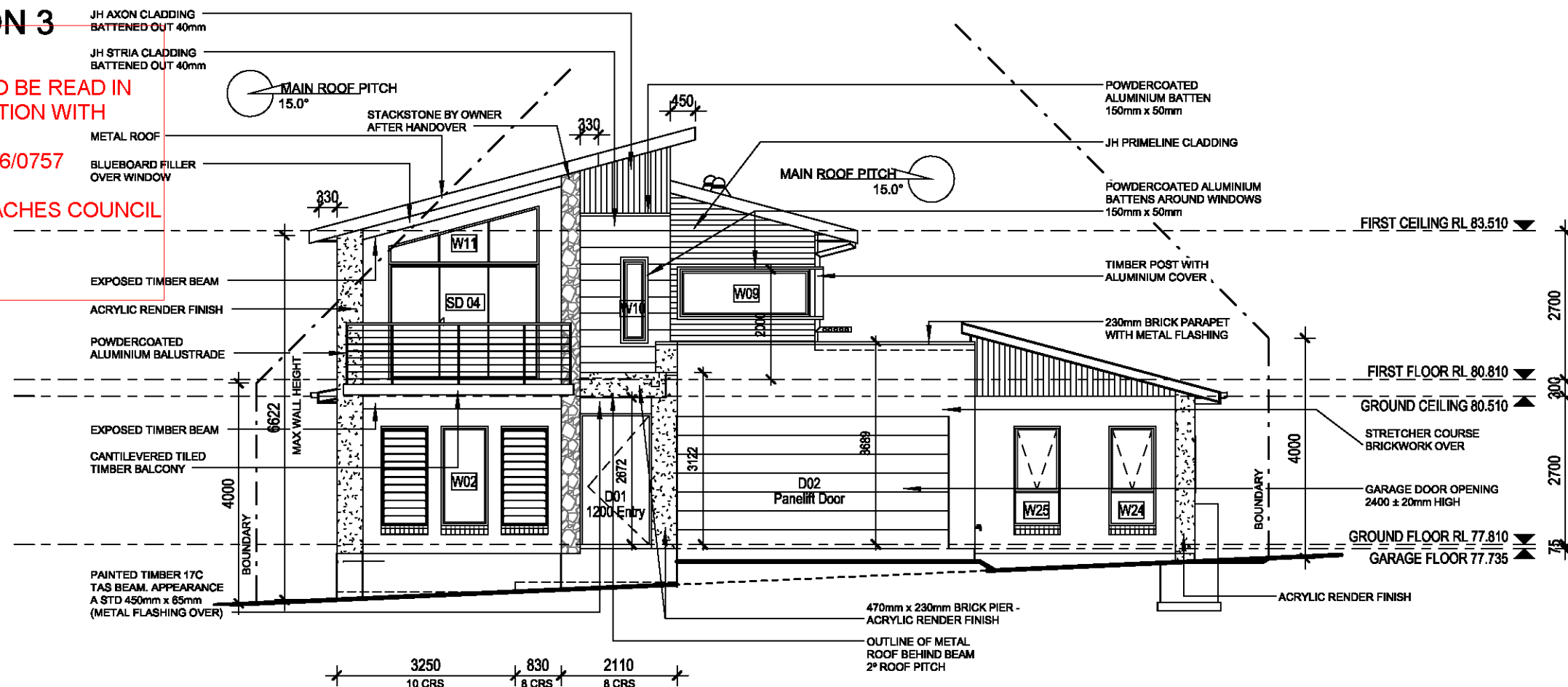
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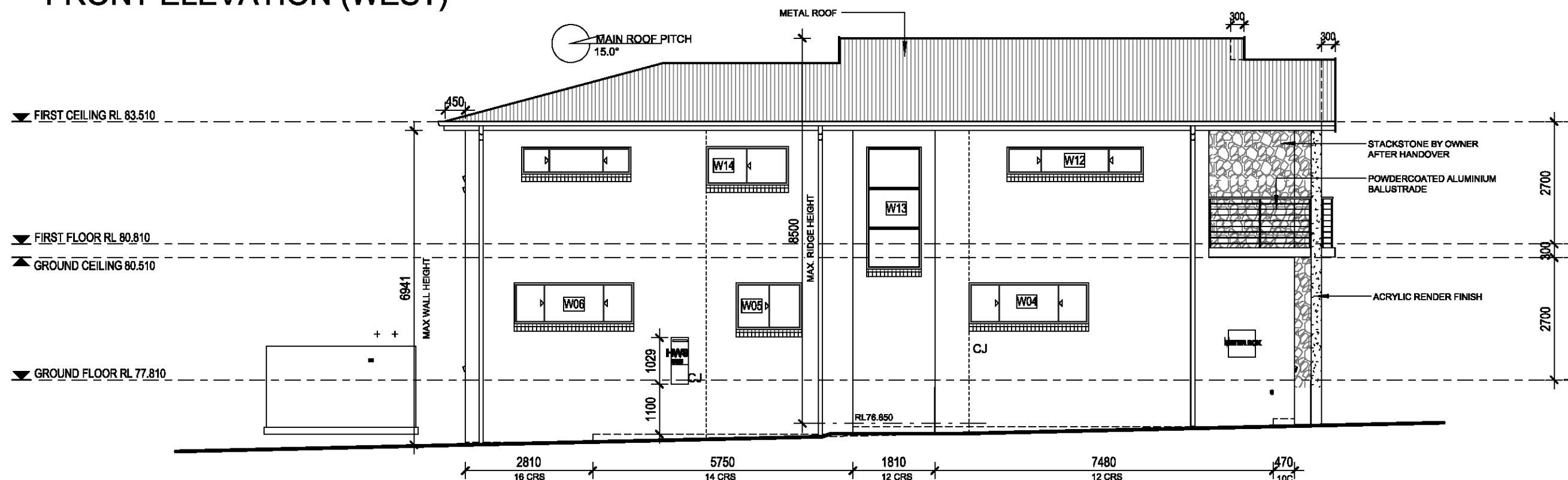
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OPTION 3

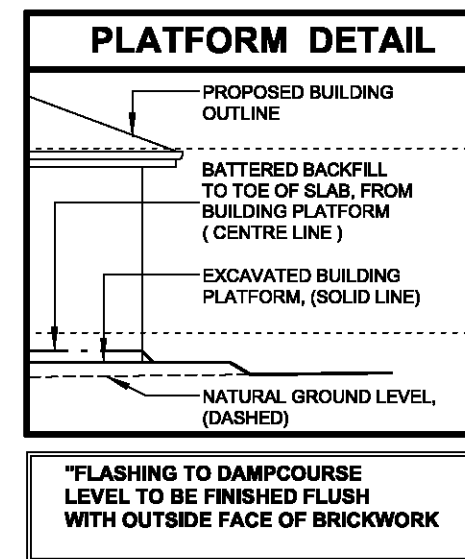
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FRONT ELEVATION (WEST)



LEFT ELEVATION (NORTH)



Proposed Residence

For: MR & MRS GUNASTI
Lot No : 135, 73 ALFRED STREET
Suburb: NARRAWEENA
Council: WARRINGAH

Project Details

Design: VILLINA TWIN (OPTION 3)
GARAGE RHS
Facade: TREND 2
Edition: DESIGNER

DRAWN BY:	DATE:	JOB NO:
G.J.C.	08.6.16	2011154
SHEET TITLE:	SHEET NO:	
ELEVATIONS	04 / --	
SCALE @ A3:	FINAL PLAN ISSUE:	FINAL PLAN DATE:
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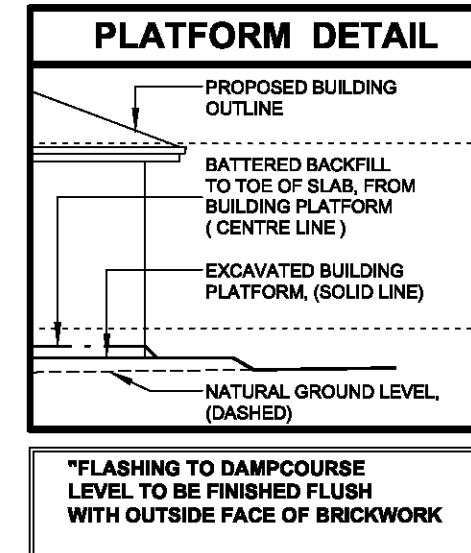
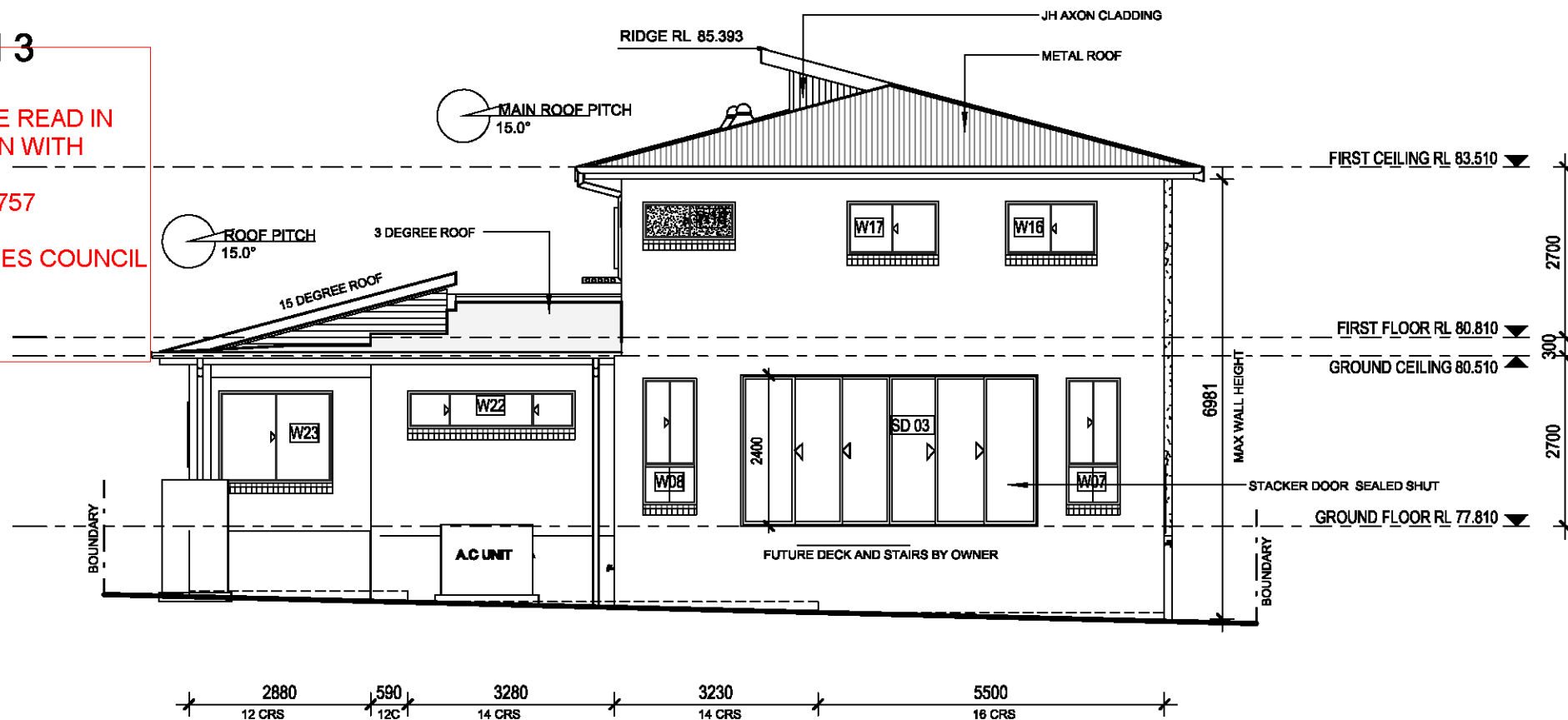
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OPTION 3

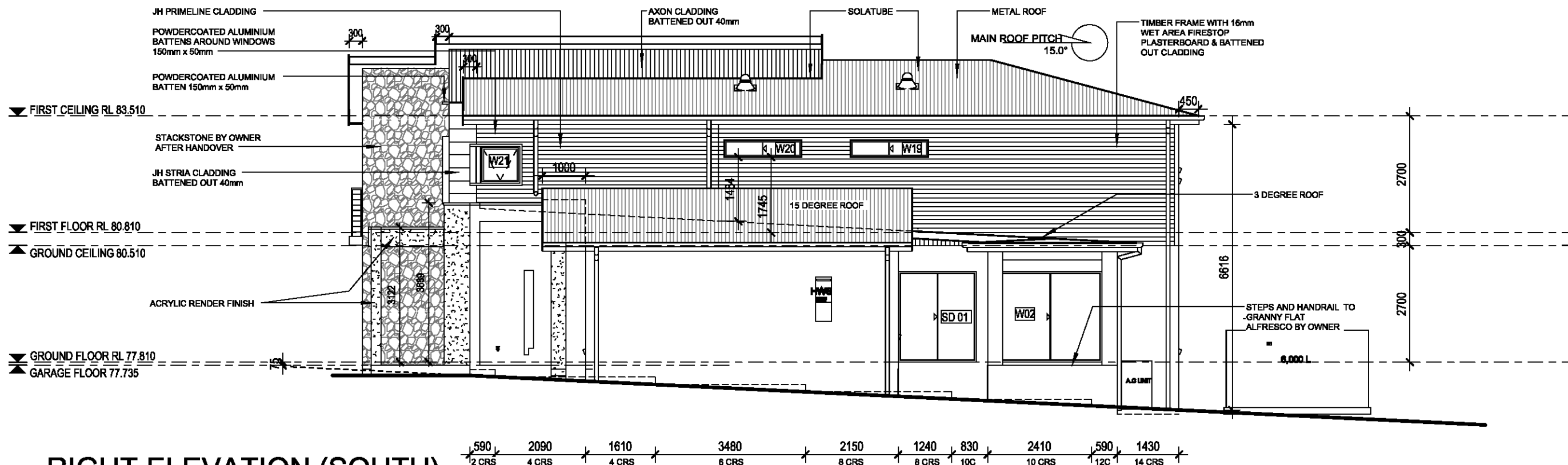
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REAR ELEVATION (EAST)



RIGHT ELEVATION (SOUTH)

Proposed Residence

For: MR & MRS GUNASTI
Lot No : 135, 73 ALFRED STREET
Suburb: NARRAWEENA
Council: WARRINGAH

Project Details

Design: VILLINA TWIN (OPTION 3)
GARAGE RHS
Facade: TREND 2
Edition: DESIGNER

DRAWN BY:	DATE:	JOB NO:
G.J.C.	08.6.16	2011154
SHEET TITLE:	SHEET NO:	
ELEVATIONS	05 / --	
SCALE @ A3:	FINAL PLAN ISSUE:	FINAL PLAN DATE:
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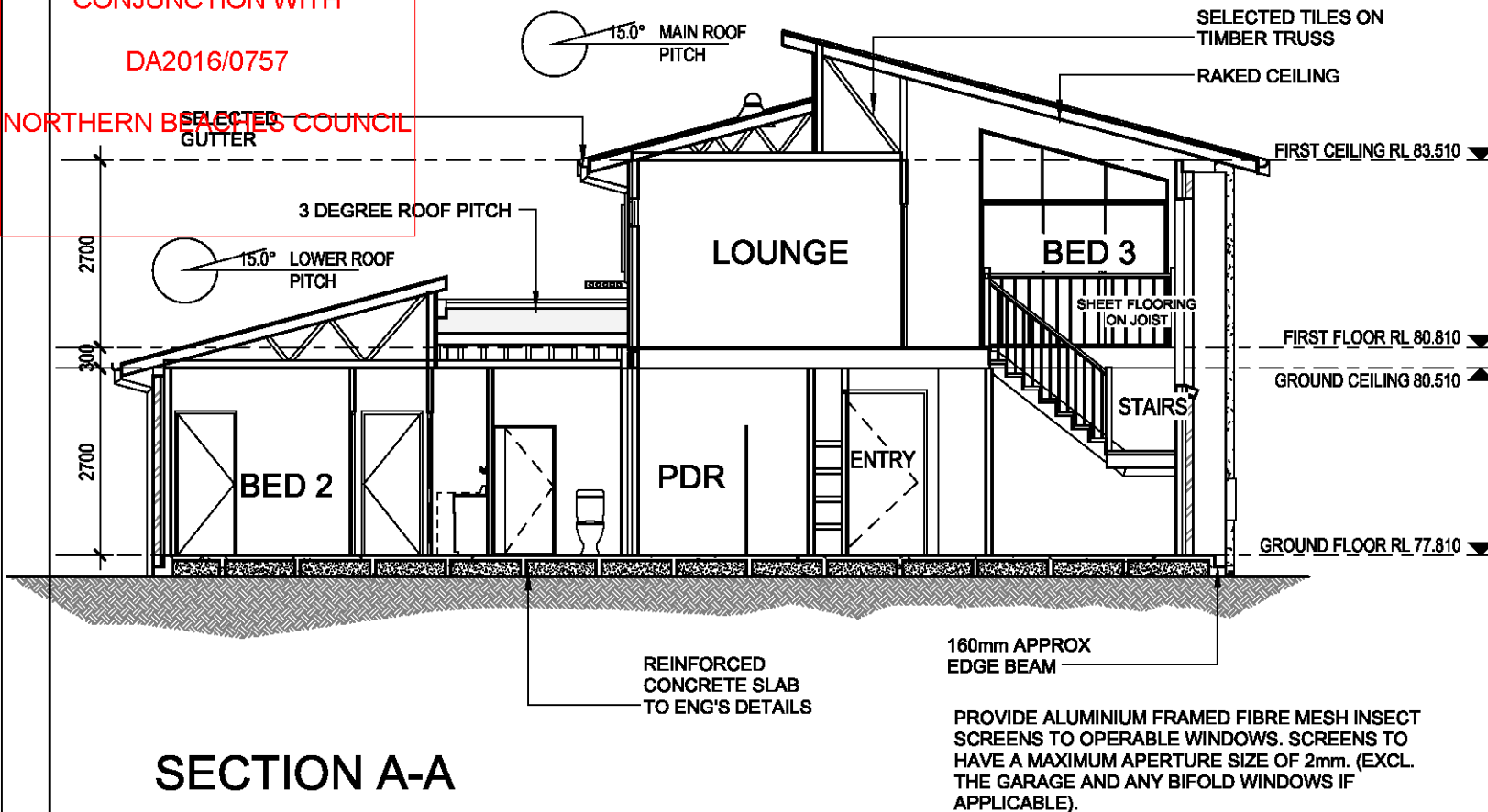
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WINDOW & SLIDING DOOR Schedule					
Type	Window No.	Height	Width	Window Style	Glazing
W	01	1800	850		
W	02	1800	850	FIXED	CLEAR, SPECIAL
W	03	1800	850		
W	04	900	2650	SLIDING	CLEAR
W	05	1029	1450	SLIDING	
W	06	900	2650	SLIDING	CLEAR
W	07	2000	850	SLIDING	
W	08	2000	850	SLIDING	
W	09	1800	1500	SLIDING	
W	10	857	2360	FIXED	CLEAR
W	11	1457	400	FIXED	CLEAR
W	12	1050	2724	FIXED	CLEAR
W	13	600	3010	SLIDING	
W	14	2700	1210	FIXED	CLEAR
W	15	857	1810	SLIDING	CLEAR
W	16	600	2410	SLIDING	
W	17	857	1450	SLIDING	CLEAR
W	18	857	1450	SLIDING	CLEAR
W	19	600	1450	SLIDING	TOUGH, OBSCURE
W	20	400	1810	SLIDING	
W	21	400	1810	SLIDING	
W	22	857	910	AWNING	CLEAR
W	23	600	2650	SLIDING	
W	24	1457	1810	SLIDING	
W	25	1800	850	AWNING	
W	26	1800	850	AWNING	
W	27	1800	2700	SLIDING	
ST	03	2400	4710	ALFRESCO DOOR	CLEAR
SD	01	2100	1810	SLIDING DOOR	CLEAR
SD	02	2100	2410	SLIDING DOOR	
SD	04	2100	2724	SLIDING DOOR	CLEAR

DOOR Schedule				
Mark	Location	Comments	Height	Width
01	ENTRY HALL		2340	1200
02	GARAGE	PANELIFT DOOR	2400	5150
03	STUDY		2340	820
04	HOME THEATRE		2340	820
05	STORE	BELOW STAIRS	2340	720
06	GARAGE	INTERNAL	2340	820
07	LINEN	GROUND FLOOR	2340	820
08	POWDER		2340	820
09	LAUNDRY	INTERNAL	2340	820
10	LINEN	LAUNDRY	2040	3x720
11	BED 4		2040	820
12	ROBE	BED 4	2040	2x620
13	ROBE	BED 4	2040	2x620
14	ROBE	BED 3	2040	2x720
15	ROBE	BED 3	2040	2x720
16	BED 3		2040	820
17	ROBE	BED 2	2040	2x820
18	BED 2		2040	820
19	LINEN		2040	720
20	BATH		2040	720
21	LINEN	FIRST FLOOR	2040	720
22	BED 1		2040	820
23	ENSUITE		2040	720
24	BATH	GRANNY FLAT	2040	720
25	LINEN	GRANNY FLAT	2040	620
26	BED 2	GRANNY FLAT	2040	820
27	LAUNDRETTE	GRANNY FLAT	2040	1325
28	BED 1	GRANNY FLAT	2040	820
29	ROBE	GRANNY FLAT	2040	2x620
30	ROBE	GRANNY FLAT	2040	820

All permanent bracing in accordance
with AS 1684 - Timber Framing Code
Wind velocity - TBA

INSULATION REQUIREMENTS

R1.5 BRADFORD INSULATION BATTS TO EXTERNAL
FRAMED WALLS OF LIVING AREAS & INCLUDING WALLS
BETWEEN GARAGE & LIVING AREAS

R4.1 BRADFORD INSULATION BATTS TO CEILINGS OF
LIVING AREAS (EXCLUDING GARAGE)

ANTICON BLANKET TO THE UNDERSIDE OF THE ROOFING SYSTEM

FRAMING NOTES

SQ. SET OPENINGS TO GROUND FLOOR 2340mm HIGH
(UNLESS SPECIFIED ON FLOOR PLANS)

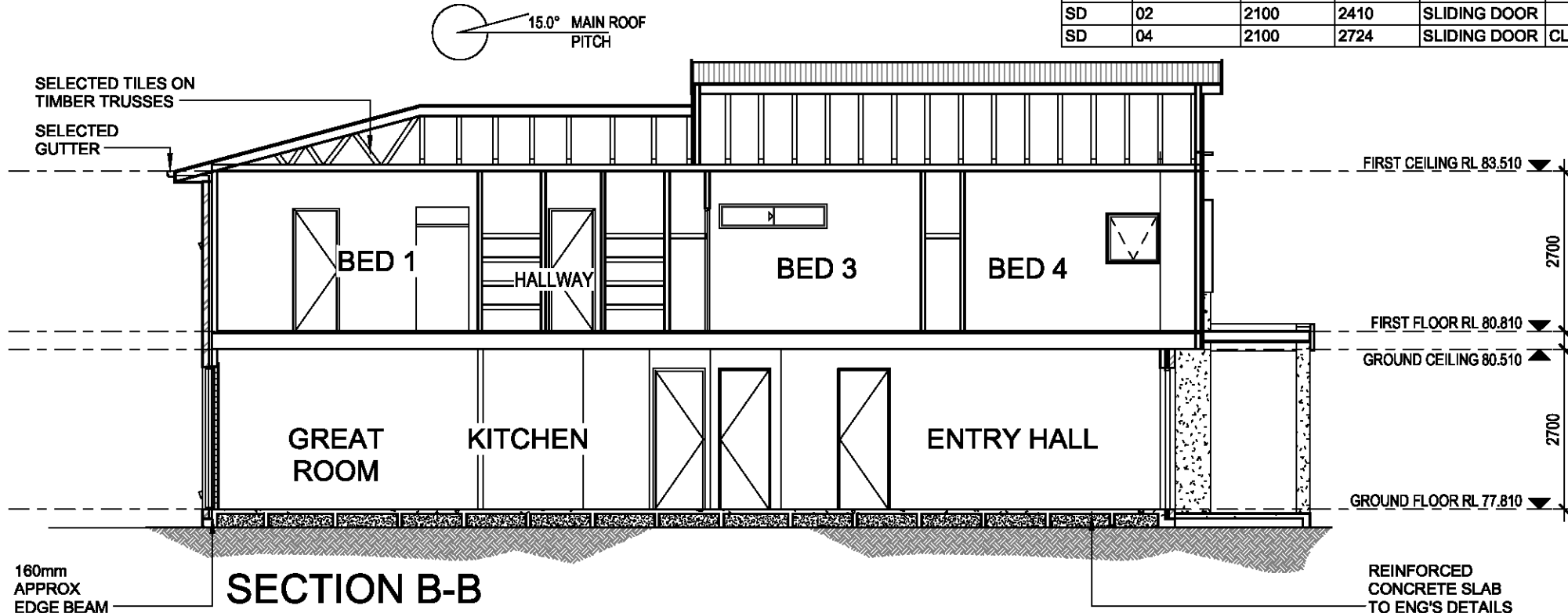
SQ. SET OPENINGS TO FIRST FLOOR 2340mm HIGH
(UNLESS SPECIFIED ON FLOOR PLANS)

STRENGTHENING OF ROOF TRUSSES AS REQUIRED DUE
TO AIR CONDITIONING.

2340mm HIGH INTERNAL DOORS, TO GROUND FLOOR

ALL CJ (CONSTRUCTION JOINTS) REQUIRES A STUD WITHIN
300mm ON EITHER SIDE FOR NAILING OF WALL TILES.

PROVIDE TERMITE RESISTANT TREATED
TIMBER FRAME AND ROOF TRUSSES
(INCLUDING FLOORING IN TWO STOREY DESIGNS).



Proposed Residence

For: MR & MRS GUNASTI
Lot No : 135, 73 ALFRED STREET
Suburb: NARRAWEENA
Council: WARRINGAH

LOCATION: TREND - RHS.M

Project Details

Design: VILLINA TWIN (OPTION 3)
GARAGE RHS
Facade: TREND 2

Edition: DESIGNER

PLOT DATE: 21/08/2018 1:51:12 PM

DRAWN BY:

G.J.C.

DATE:

08.6.16

JOB NO:

2011154

SHEET TITLE:

SECTIONS / SHEDULES

SHEET NO:

06 / --

SCALE @ A3:

1 : 100

FINAL PLAN

ISSUE:

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FINAL PLAN DATE:

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