

Peter J Boyce & Associates

Ph 0412 928 500

P.O. Box 375. Strathfield 2135
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc. No **6395**

Ph 9868 2855

Fax 9868 2655

Your ref D/A 402/02(M)

22nd May 2006

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re: Copy of Modified Construction Certificate
139 Hudson Parade Clareville

Please find enclosed copy of Modified Construction Certificate issued for the above property under D/A 402/02(M).

Please find cheque enclosed for \$30.00 for registration of Modified Construction Certificate.

Yours faithfully



Peter Boyce

PRVC 830.00
R: 192640
25/05/06 w

MODIFIED

Construction Certificate

Cert No.BP2153(M)

Peter J. Boyce & Associates

Planning NSW Bldg Surveyor No 6395

P.O. Box 375, Strathfield 2135

Mob.Ph 0412 928 500

Ph 9868 2855/ Fax 9868 2655

Issued: 22 MAY 2006

To **Mr. & Mrs. Birkby**
139 Hudson Parade
CLAREVILLE NSW 2107

Subject land

Part Lot 63 DP 13291 H/N 139 Hudson Parade Clareville

Description of Development

Internal fit-out and upgrade of existing terrace and pool.
Modifications

Development Consent

Development consent number: D/A 402/02(M)

Date of Determination: 18th July 2002 – 9th May 2006(M)

Building Code of Australia

Building classification Class 1a & 10b

Determination

Pursuant to Section 109C (1) (b), 81A (2) and 81A (4) Of the Environmental Planning & Assessment Act, 1979 the construction certificate has been determined by approval in accordance with the stamped plans and specifications.

Plans and supporting documents

List Plans :

Arch Plans: Belinda Koopman Architect

Date of determination:

22 MAY 2008

Note:

Prior to commencement of work, Section 81A (2) (b) and/or 81A (4) (b) and (c) Of the Environmental Planning & Assessment Act, 1979 must be satisfied (see form 7 of the Regulation) i.e. name of the Principal Certifying Authority.

Certifying Authority

Peter Boyce

Planning NSW Acc Blding Surveyor No **6395**

P.O. Box 375, Strathfield 2135

Mob. Ph 0412 928 500

Ph 9868 2855

Certificate

I certify that the work if completed in accordance with the documents, plans and specifications accompanying the application will comply with the requirements of this regulation as are referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979

Accredited Certifier



Peter Boyce

Planning NSW Accreditation No 6395

ACCESS ROAD

LANDSCAPED BANK
TO BE PROTECTED

EXIST.
CONC.
DRIVEWAY

POOL

NEW WORK TO
POOL SURROUND AND
FENCING

NEW STEEL - REMOVE
SPIRAL STAIR

PLAN
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PITTSBURGH COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

LOCATION PLAN

THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

**SITE AREA
1,638 M2
SITE COVERAGE
474 M2-EXISTING
511 M2-PROPOSED
PERMISSABLE BUILT
UPON AREA
655 M2**

KOOPMAN ARCHITECTS
T A R U S K I N R O W E
P H A L L O N B E A C H N S W
A V 8 8 7 3 4 8 7 4 F I 8 8 7 3 4 8 7 4

JOE BARK AND ASSOCIATES
BARKBY RESIDENCE
179 HUDSON PARADE
CLAREVILLE

SITE PLAN
LOCATION PLAN

MATERIALS / FINISHES
AAC
Aerated Autoclave Concrete
Aluminum

ALU	Aluminium
BLK	Black
BK	Block
BRP	Brick Pavers
CAR	Carpet
CFC	Compressed Fbre Cement
CFT	Ceramic Floor Tiles
CONC	Concrete
CR	Cement Render
CRCT	Concrete Roof Tiles
CWT	Ceramic Wall Tiles
F3	Face Brick
FC6	Fibre Cement Thicknesslamm
FC9	Fibre Cement Thicknesslamm
G	Glass
GA	Galvanised
GRD	Grass
HWD	Handwood
INSUL	Insulation
MR	Metal Roofing
MS	Mild Steel
OFC	Off Form Concrete
P30	Plasterboard Thicknesslamm
POL	Polished
POL	Paving Slab
PS	Quarry Tile
RC	Reinforced Concrete
A	steel Trussel
B	Noticed
C	scored
D	non-slip carboandum
R	Render
RT	Rubber Tiles
SCH	Satin Chrome Plate
SCS	Set Plaster
SS	Stainless Steel
ST	Stone Tiles
T	Timber
TC	Texture Coating
TRT	Terra Cotta Tiles
VZ	Verardo
VT	Vinyl Sheet
W	Window
WPB	Waterproof Plasterboard

TERMS - GENERAL

ADJ	Air Lock
ADJ	Adjusting
BLDG	Building
CL	Centre Line
CNR	Corner
ENR	Enrlement
ELEC	Electrical
EQ	Equal
EXT	Exterior
FLL	Finished Floor Level
FLL	Finished Ground Level
FNL	Floor Level
FR	Fire Resistant
INT	Internal
NF	No Voltage
NTS	Not To Scale
O/A	Overall
OPP	Opposite
SFL	Structural Floor Level
SM	Similar
TYP	Typical
U/C	Undercut
WR	Water Resistant

MECHANICAL

E/A	Exhaust Air
MECH	Mechanical
R/A	Return Air
S/A	Supply Air
O/A	Outside Air

HYDRAULIC

AG	Agricultural drain
B/SN	Basin
BT	Boundary Trap
CO	Cleanout
CS	Cleavage sink
DSP	Downspout
CM	Floor Waste
H/C	Head Header
HT	Hydraulic
RWH	Rainwater Head
RWD	Rainwater Downlet
SD	Sewer Drain
SNK	Sink
SWD	Stormwater Drain
TB	Toilet Tub
VP	Vent Pipe
WTN	Water Meter

CONSTRUCTIONS / FITTINGS

ALG	Aluminum Ceiling System
ALU	Aluminum Sliding
ALU	Aluminum Framed
AP	Access Panel
BHD	Bulbhead
BLK	Blackwork
CMK	Construction Joint
D	Dampener
DPC	Dampener Course
EC	Expansion Joint
MC	Metal Cladding
FD 1	Fire Door In-suit
FD	Fixed Glass
FLA	Flange
HL	Horizontal Lave
HR	Horizontal
IGS	Internal Glazed Screen
ID	Inspection Opening
M	Mirror
M	Membrane
MH	Moisture Resistant Joint
MT	Metal Partition
PTN	Partition
PF	Perforated Flanging
SKY11	Roller Shutter
SKY11	Skylight TYPE II
SCB	Suspended Plasterboard
SCB	Suspended Acoustic Ceiling Panel
TV	Television
UB	Universal Beam
UC	Universal Column
V	Vent
VL	Vertical Lave
W	Window
WPH	Waterproof Membrane

ELECTRICAL / FIRE

BB	Circuit Breaker
ELEC	Electrical
ELC	Electrical Power Outlet
GPB3	Grounding Panel
HWU	Hot Water Unit
LS	Light Switch
H5B	Main Switch Board
D	Over
SD	Smoke Detector
TEL	Television
VM	Washing Machine

[illegible]

Peter Boyce & Associates
Ph (412) 928-5001
This PLAN/DOCUMENT forms part
of the Approval granted under
Construction Cert. No. *2001/53*
29/3/04
Accredited Building Surveyor No 6395

~~Peter Boyce & Associate~~
PH 2 928 5100
This ~~PLAN/DOCUMENT~~ forms part
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Construction Cert. No. ~~8 P 2 1 5~~
22 MAY 2009

CHARGE BY	DATE	BUILD	CHARGING NO.
	JUL 02	230	DA01
APPROVED BY	DATE	AS NO.	
		113	B

plans received
10/4/06

1 A R U S K I N R O W E
A V A L O N B E A C H N S W
P H 9 9 7 3 4 9 7 4 F X 9 9 7 3 4 9 7 4

BIRKBY RESIDENCE
139 HUDSON PARADE
CLAREVILLE

CLAREVILLE

DRAWING TITLE

GROUND FLOOR PLAN

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE GROUND FLOOR PLAN

CONNECTION WITH THE CONDITIONS C

DA02

DRAWING NO. **DAO**
 SCALE 1:100
 DATE JUL 02
 DRAWN BY BK
 APPROVED BY
 JOB NO. 113

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Peter Boyce & Associates

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22 MAY 2015

Accredited Building Surveyor No 6395

REMOVE EXIST. DOORS
& REPLACE WITH GLASS
LOUVRES
REMOVE EXIST.
FLOOR
& REPLACE WITH
TILES

THE COUNCIL OF PITTMAN

APPROVED
THE COUNCIL OF PITTSWATER
DEVELOPMENT CONSENT PLAN

Peter Boyce & Associates

Ph (1412 928 50)

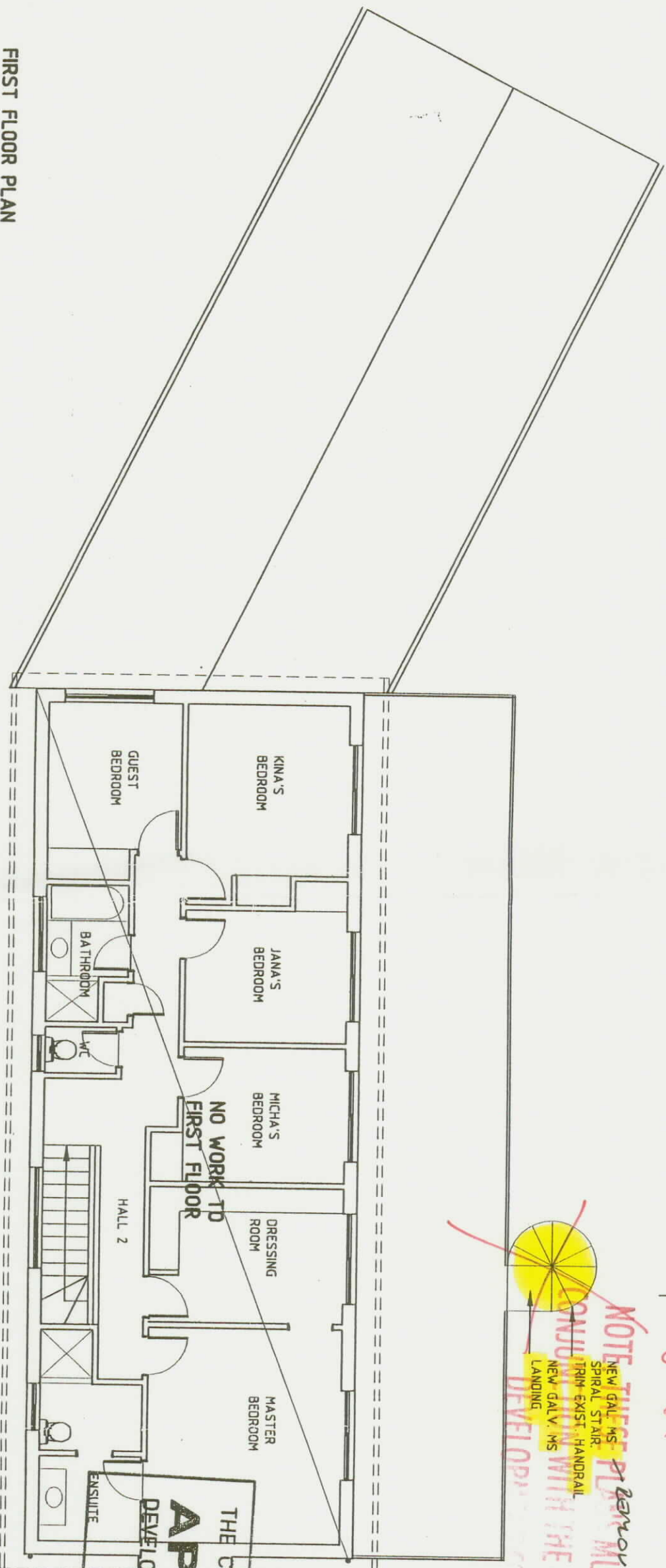
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~~80697~~

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plans received
10/4/06



FIRST FLOOR PLAN



NOTE THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
8/5/06

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

Peter Boyce & Associates
Ph 0412 928 500
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27/2/06
Accredited Building Surveyor No 6395
Peter Boyce & Associates
Ph 0412 928 500

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8 p 2 1 5 3
22 MAY 2005
Accredited Building Surveyor No 6395

KOOPMAN ARCHITECTS
1 A RUSKIN ROWE
VALON BEACH NSW
PH 0873 4874 FX 0873 4874
JAN 2006
BIRKBY RESIDENCE
139 HUDSON PARADE
CLAREVILLE

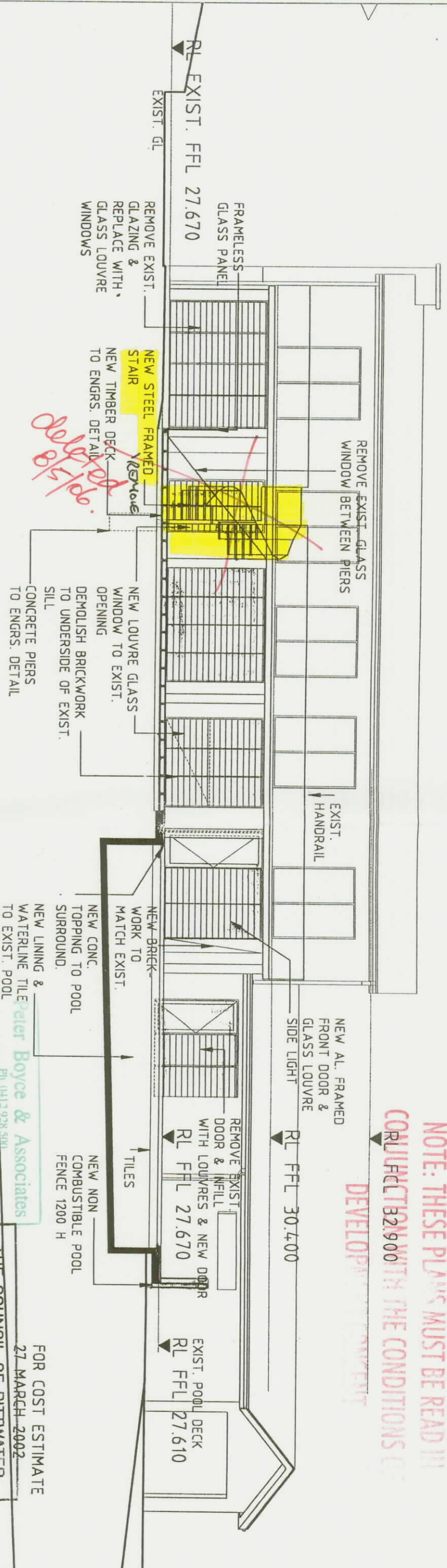
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FIRST FLOOR PLAN

DRAWN BY: DATE: 11/3/05
CHECKED: DATE: 11/3/05
APPROVED BY: DATE: 11/3/05
DRAWING NO: **DA03**
A

plans received 18/4/06.

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
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DEVELOPMENT CONSENT



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22 MAY 2005
Accredited Building Surveyor No. 6395

Peter Boyce & Associates
Ph (0412) 928 500
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22 MAY 2005
Accredited Building Surveyor No. 6395

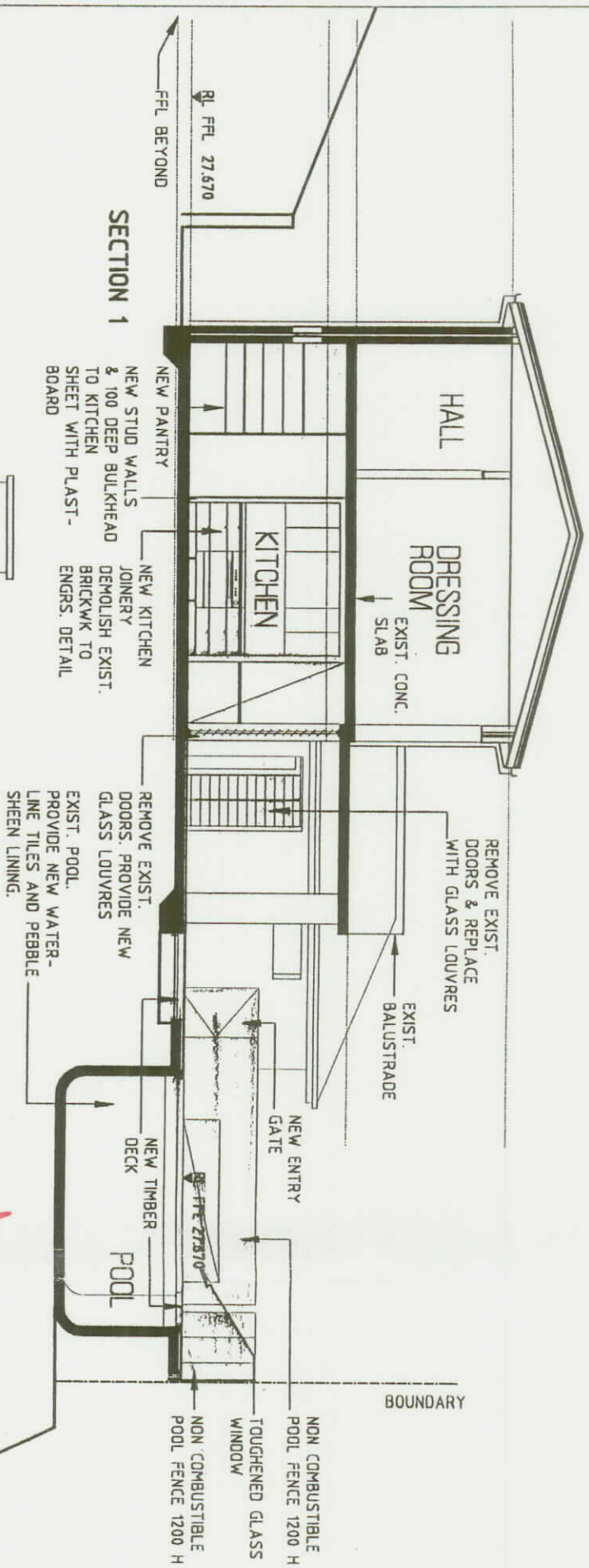
FOR COST ESTIMATE
27 MARCH 2002
THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN
AVALON BEACH
PH 9973 4974 FX 9973 4974

22 NAME AND ADDRESS
BIRKBY RESIDENCE
139 HUDSON PARADE
CLAREVILLE
DRAWING TITLE
NORTH ELEVATION

DRAWN BY
DATE
SCALE
DRAWING NO.
DA4
B

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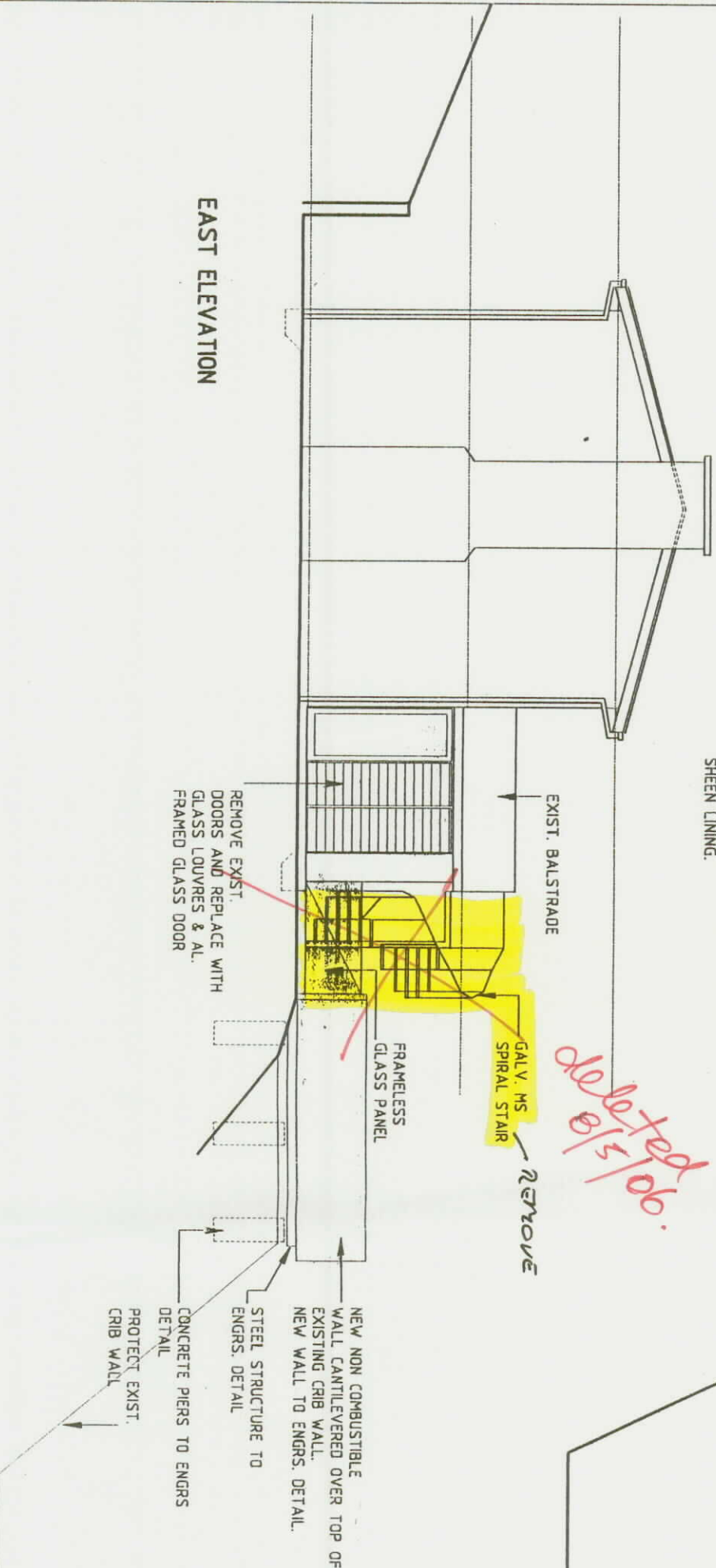
Plans received
18/4/06.



SECTION 1

SECTION 2

EAST ELEVATION



PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

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THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN

Peter Boyce & Associates
Ph (0412) 928 500
This PLAN/DOCUMENT forms part of the Approval granted under Construction Cert. No. 8 P 2 1 5 3 M
22 MAY 2006
Accredited Building Surveyor No 6395

FOR COST ESTIMATE
27 MARCH 2002

KOOPMAN ARCHITECTS
1 A RUSKIN ROWE
AVALON BEACH NSW
PH 6873 4874 FX 6873 4874
200 KING AND ADELMAN
BIRKBY RESIDENCE
139 HUDSON PARADE
CLAREVILLE

Peter Boyce & Associates
Ph (0412) 928 500
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29/1/06
Accredited Building Surveyor No 6395

DRAWING TITLE
SECTIONS 1&2
EAST ELEVATION

DRAWN BY J.L.Z. J.C.B. DA5
CHECKED BY J.C.B. DA5
DATE 11/3 B

plans received
18/4/06.

SPECIFICATION

STANDARDS

Current SAA Specification and Codes shall apply where not in conflict with this Specification.
BCA
All works shall comply with the Building Code of Australia.

MATERIALS

Unless otherwise noted, all materials shall be new and of the best quality of their respective kinds. All items selected, stored and handled will be in accordance with manufacturer's current published instructions.

TERMITE PROTECTION

Provide protection to buildings under construction from subterranean termites. Comply with AS 2057 or AS 3660.1 for buildings with slab on ground construction. Comply with AS 1694 or AS 3660.1 for buildings with suspended floor construction.

DEMOLITION

Comply to AS 2601. Protect adjacent property from damage or interference. Reinstall or make good any damage. Provide temporary support to sections of the building to be retained which rely on support from work to be demolished. Restrict dust to a minimum. Do not use explosives. Take possession of demolished materials and remove from the site. Comply with AS 2601 where filling is required. It shall be free of perishable material.

GROUNDWORKS

Groundworks for slab and footings to comply to AS 2870.1. Do not use explosives.

CONCRETE

Shall be in accordance with the document ACSE Concrete Specification 5th edition Document 1 and as modified by the standards set out below.
AS 3600 Concrete Structures Code
AS 2870.1 Ground Slabs and Footings
AS 3610 Formwork for Concrete
AS 2159 Piles

CLADDING

Fibre cement and Western Red cedar boarding to be in accordance with AS/NZS 2908 and ISO 8336.

BRICKWORK/BLOCKWORK

Shall comply with Masonry Code AS 3700 together with any additional standards or codes as deemed relevant to the construction. Flashings and damp proof courses to AS 2904. Steel lintels to comply with AS 1538 Cold Form Steel structures Code and galvanised mild steel components to AS 1214 and AS 1650, class Z600. Do not cut after galvanizing. AS 3700-Reinforced Masonry.

STEELWORK

Steel Specification Document 2 - 2nd Edition. Comply with:
AS 1250 Steel Structures Code
AS 4100 Steel Structures
All steelwork shall be galvanised to AS 1650 and AS 1214 except where conceded in roofspace.
Protective coatings in accordance with BCA Table 3.4.4.2.

CARPENTRY

Timber shall be of the species and grades normally used in the work for which the timber is intended. Shall comply with AS 1604, AS 1684 and ASK 130. Hardwood for framing shall be minimum stress grade F11. Timber windows to AS 2047 and installation to AS 2147. Timber doors to AS 2688, timber frames and jamb lining to AS 2689.

POOL CONSTRUCTION AND FENCING

Provide pool fencing in accordance with AS 1926.1 1993. Swimming pool regulation 1998, and swimming pool Act 1992 No 49.

ROOFING

Metal roofing shall comply with AS 1562.1. Provide all new fully weathertight and birdproof roofing system of the type shown, complete with all necessary accessories, trims, flashings and roof plumbing. Flashings to AS 2904. Self drilling screws to AS 3566. Selection and installation of all metal rainwater goods to AS 2180, all joints to be sealed with silicone sealant.

ELECTRICAL

Comply with SAA electrical installation and wiring rules also Authority Requirements. All wiring is concealed - no exposed conduits allowed. Provide smoke detectors to AS 3786. Mechanical ventilation to AS 1668.2. Provide a consumer mains and connect to the main service.

INSULATION

The bulk insulation material shall be wool and comply to AWC/A202. The sarking material shall comply to AS 4200.1 and the installation to AS 4200.2. Supply and installation shall be in accordance with the manufacturer's specification.

DRAINAGE

Provide sewerage and drainage to the specifications of the relevant Council and Water Board. Drain pipes not to be laid within 500mm of footings running parallel with the same and must not be taken through the footings of the building.

Ensure all vertical pipes between the ground and underside of the building occur 2m in from the perimeter of the works.
AS/NZS 3500 -Stormwater drainage.

PAINTING

Follow guidance in AS 2311 and AS 2312. Comply to manufacturer's specifications.

WALL FINISHES

Cement rendering to comply to AS 3972, type GP Portland and Blended Cements Code.

FLOOR FINISHES

Carpet laying to comply with AS 2455. The minimum class to be a domestic medium duty under the Australian Carpet Classification Scheme. Resilient finishes to comply to AS 1884.

TILING

Guidance given in AS 3958.1 and AS 3958.2. Adhesives to AS 2358 and mortar materials to AS 3972. Compliance with AS 3740 for wet areas.

GLAZING

Shall comply with AS 1170, AS 1288 and Part 53.4 Ordinance 70. Provide toughened or laminated glass required by code.

HYDRAULICS

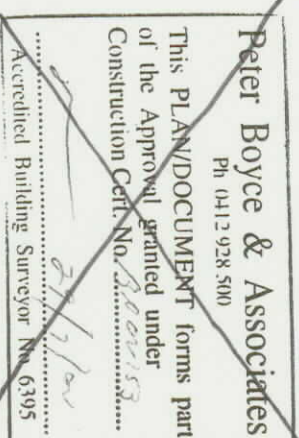
Comply with Australian Standards and Authorities requirements.

GAS

All gas work shall comply with the relevant Australian Standards and the requirements of the appropriate Authorities. Provide LPG gas supply.

PLUMBING

Ensure that the installation of the plumbing does not affect the stability of the building. All plumbing shall comply with the relevant Australian Standards and the requirements of the appropriate Authorities. All wastes must be trapped and connected to drains. All internal works shall be done in copper tubing. External works shall be painted. All hot water pipes shall be insulated. AS/NZS 2179 Gutters and Down Pipes.



THE COUNCIL OF PITWATER
APPROVED ARCHITECTS
DEVELOPMENT CONSULTANTS
P H 9 9 7 3 4 9 7 4 F X 9 9 7 3 4 9 7 4

JB NAME AND ADDRESS

BIRKBY RESIDENCE

139 HUDSON PARADE

Peter Boyce & Associates CLAREVILLE

Ph 0412 928 500

This PLAN/DOCUMENT forms

of the Approval granted under

Construction Cert. No. 000153

22 MAY 2003

Accredited Building Surveyor No 6395

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MAY 02 - DA06

APPROVED BY DATE JOB NO.

A

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