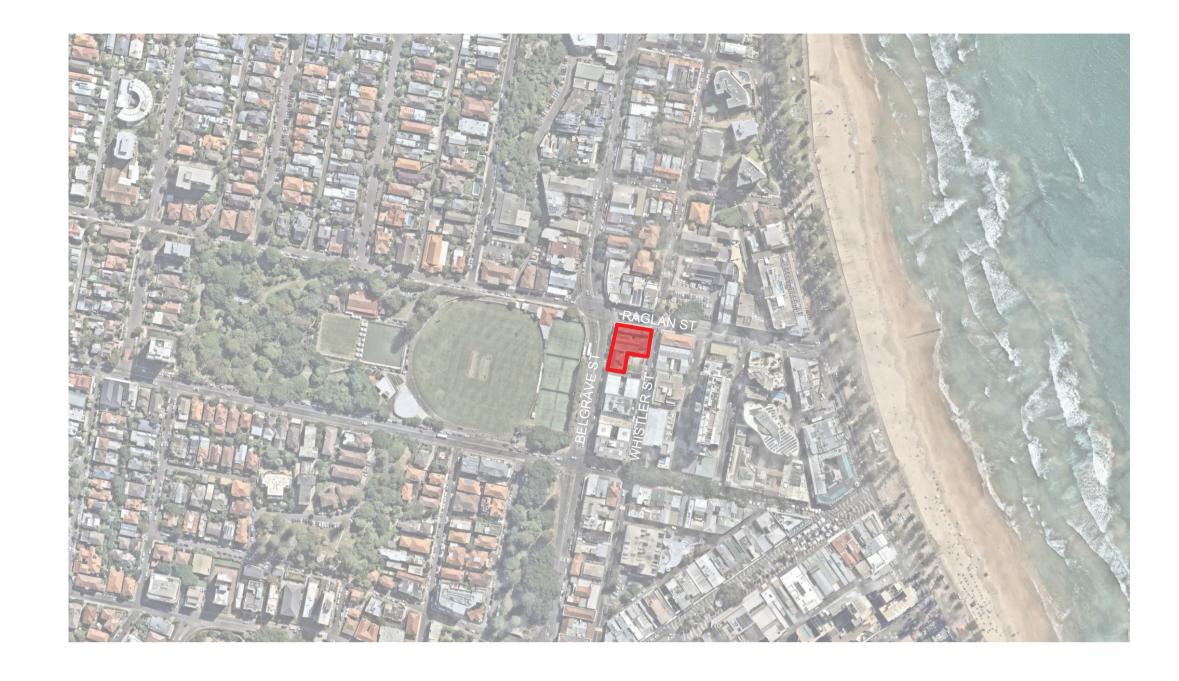
35-43 BELGRAVE ST MANLY DEVELOPMENT APPLICATION

2023030: LANDSCAPE ARCHITECTURAL DRAWING LIST

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LD-DA100	GROUND FLOOR & PUBLIC DOMAIN PLAN	2
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LD-DA210	LEVEL 1 PLANTING PLAN	1
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LD-DA400	TYPICAL SECTION A	2
LD-DA900	TYPICAL DETAILS & OUTLINE SPECIFICATION & MAINTENANCE	1



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- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS
- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
- ALL LANDSCAPE DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
- INSTALLATION OF SYSTEMS AND PROPRIETARY PRODUCTS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
- DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING SERVICES



LANDSCAPE DA DESIGN STATEMENT

Obiectives:

- to increase the number of indigenous species planted in Manly region
- to eliminate the use of noxious weeds of potentially invasive species in developments
- to use plants in such a way to foster energy efficient development that relies on passive energy principles for heating and cooling
- to reduce maintenance and water consumption through appropriate species selection
- to create buffer zones and add to existing areas of remnant vegetation with locally indigenous species.

Principles

- Enhance the appearance and amenity of the proposed residential development by sensitively integrating architecture and landscape through effective site planning and landscape design.
- Consolidate the open space into a coherent landscape treatment that provides visual amenity from above an below.
- Take forward the landscape principles and urban design principles established by the Site specific DCP by Northern Beaches Council to Establish a visually and environmentally sensitive landscape, complimentary to the architectural vision and greater urban setting, while providing high quality private spaces for residents and visitors.
- Provide new tree planting that ameliorates the building scale and offers environmental benefit through micro climate.
- Create a garden terrace on level 1 with both integrated seating areas & engaging social gathering spaces

Public Domain & Streetscapes

An upgrade and make-good of the public domain and associated streetscapes is included as part of the development offer to ensure seamless transitions throughout the ground plane. The ground plane is publicly accessible and offers a high quality civic environment with active frontages to both Belgrave st & Raglan st.

Access, Egress & Connectivity

The through site links act as the primary connectivity spines with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:21 grades have been implemented to ensure access for all is achieved.

Soil Depths on Podiums & Permanent Planting

All planters have a minimum soil depth of 600mm with a minimum 200-400mm slab setdown achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting with the softworks equating to 46% of the total site area.

For deep soil calculations - refer to architectural design report

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Title TIME & PLACE
Project 35-43 BELGRAVE ST MANLY
Title COVER SHEET & DESIGN STATEMENT

PLANT SCHEDULE DEVELOPMENT APPLICATION

CODE	SPECIES	COMMON NAME	ORIGIN	IPOT SIZE	EST. MATURE HT	ALP	SPACING / QTY
	TREES						
LIV aus	Livistona australis,	Cabbage-tree palm	Native	200L	15-20m	2.2x1.0m	8
TRI lau	Tristaniopsis laurina 'luscious'	Water Gum	Native	400L	6-10m	1.5x1.0m	3
CYA coo	Cyathea cooperi	Australian Treen Fern	Native	45L	6-10m	1.5x1.0m	3
_AG ind	Lagerstroemia indica	Crepe Myrtle	Native	200L	3-5m	1.5x1.0m	3
DIC ant	Dicksonia antarctica MIX TYPE 1 - FULL SUN / PART SHADE	Smooth Tree Fern	Native	45L	6-10m	1.5x1.0m	3
	SHRUBS						
HEL pet	Helichrysum petiolare 'Limelight'	Licorice Plant	Exotic	300mm	0.5m	300mm	As Shown
BAN spi	Banksia spinulosa	Hairpin Banksia	Native	300mm	2m	300mm	As Shown
IEA ban	Heath-leaved Banksia	Banksia ericifolia	Native	300mm	3-4m	300mm	As Shown
CAL lin	Callistemon linearis	Narrow Leaf Bottlebrush	Native	300mm	1-2m	300mm	As Shown
WES fru	Westringia fruticosa 'Grey Box' WES04	Coastal Rosemary	Native	300mm	1	300mm	As Shown
120 114	GRASSES	- Couclai Nocemary	T to tive	000111111		300111111	7.0 0110111
POA lab	Poa labillardieri 'Eskdale'	Poa	Native	150mm	60cm x 50cm	100mm	3 per m2
LOM Ion	Lomandra longfolia LM400	Matt Rush	Native	150mm	60cm x 60cm	200mm	3 per m2
DIA cae	Dianella caerulea	Blue Flax Lily	Native	150mm	0.5m	200mm	3 per m2
OM tan	Lomandra tanika	Spiny Mat Rush	Native	150mm	1.2m	200mm	3 per m2
DIC sp	Dichelachne sp.	Plume Grass	Native	150mm	1.2m	200mm	3 per m2
THE aus	Themeda australis		Native	150mm	1.2m	200mm	3 per m2
IC nod	Ficinia nodosa	Kangaroo grass	Native	150mm	1.2m	200mm	
TC 1100	CLIMBERS + GROUNDCOVERS	Knobby Club Rush	INative	13011111	1.2111	20011111	3 per m2
ND ala		Augaia Damblar	Notivo	150mm	200mm	100mm	4 nor m2
AR gla	Carpobrotus glaucescens 'CAR10'	Aussie Rambler	Native	150mm		100mm	4 per m2
CAS gla	Casuarina glauca 'Cousin It'	Cousin It	Native	150mm	150mm	100mm	4 per m2
KEN rub	Kennedia rubicunda	Dusky Coral Pea	Native	150mm	150mm	100mm	4 per m2
BIL sca	Billardiera scandens	Apple Berry Plant	Native	150mm	0.5m	100mm	4 per m2
DOU gol	Double Gold™ Gazania hybrid 'GT20'	Gazania	Native	150mm	200mm	100mm	4 per m2
MYO par	Myoporum parvifolium 'Yareena'	Creeping boobialla	Native	150mm	200mm	100mm	4 per m2
FIC nod	ficinia nodosa	Creeping Jasmine	Exotic	150mm	200mm	100mm	4 per m2
KAN pil	Xanthosia pilosa MIX TYPE 2 - PART SHADE / SHADE TOL	Woolly Xanthosia	Native	150mm	200mm	100mm	4 per m2
	WILK TIFE 2 - PART SHADE / SHADE TOL	LIVANI					
	SHRUBS						
ALP cae	Alpinia caerulea	Native Ginger	Native	300mm	1-3m	500mm	As Shown
PHI xan	Philodendron xanadu	Xanadu Philodendron	Native	200mm	1m x 1m	300mm	As Shown
RHAexc	Rhapis excelsa	Broadleaf lady palm	Native	200mm	4m x 2m	300mm	As Shown
STR nic	Strelitzia nicolai	Giant White Bird of Paradise	Native	200mm	6m x 4m	300mm	As Shown
CYC rev	Cycas revoluta	Sago Palm	Native	300mm	1m	300mm	As Shown
PUL sti	Pultenaea stipularis	Fine-leaf Bush Pea	Native	300mm	1-3m	300mm	As Shown
	GRASSES						
CLI min	Clivia miniata	Bush Lily	Native	150mm	60cm x 50cm	100mm	3 per m2
	CLIMBERS + GROUNDCOVERS						
ALT den	Alternanthera denata	Little ruby	Exotic	150mm	0.3m x 0.6m	100mm	4 per m2
JR mus	Liriope muscari 'Evergreen Giant'	Giant Liriope	Exotic	150mm	0.4m x 0.6m	100mm	4 per m2
PAN jas	Pandorea jasminoides	Bower Plant	Native	150mm	0.2m x 0.6m	100mm	4 per m2
/IO hed	Viola hederacea	Native Violet	Native	150mm	0.2m x 0.5m	100mm	4 per m2
	MIX TYPE 3 - GREEN AWNING MIX						
US lat	Eustrephus latifolius	Wombat berry	Native	150mm	0.2m x 0.6m	100mm	3 per m2
POA poi	Poa poiformis	Blue Tussock Grass	Native	150mm	0.2m x 0.6m	100mm	3 per m2
DIC dis	Dictichlis distochophylla	Australian Salt-Grass	Native	150mm	0.2m x 0.6m	100mm	3 per m2
SPI ser	Spinifex sericeus	Hariy Spinifex	Native	150mm	0.2m x 0.6m	100mm	3 per m2
GLY cla	Glycine clandestina	Love Creeper	Native	150mm	0.2m x 0.6m	100mm	3 per m2
CAR gla	Carpobrotus glaucescens 'CAR10'	Aussie Rambler	Native	150mm	200mm	100mm	4 per m2
SEN man	Senecio mandraliscae	Blue Chalk sticks	Native	150mm	200mm	100mm	4 per m2

LANDSCAPE PLANS

LEGEND

SITE BOUNDARY



- + RL 67.85 PROPOSED NOMINAL DESIGN LEVELS: REFER TO ENGINEERS DRAWINGS
- + TW 450TOP OF WALL HEIGHT (mm)
- + TM 800 TOP OF MOUND HEIGHT (mm) (MAX 1:3 GRADE)
- + SD 800 TOTAL SOIL DEPTH INCLUSIVE OF STRUCTURAL SLAB SETDOWN (mm)
- -SSL 200 STRUCTURAL SLAB SETDOWN (mm)

EXISTING TREE TO BE RETAINED - REFER TO ARBORIST REPORT



EXISTING TREE TO BE REMOVED - REFER TO



PROPOSED TREES - REFER TO PLANTING PALETTE



PROPOSED SHRUBS - REFER TO PLANTING PLAN & SCHEDULE



The state of the s PLANTING SCHEDULE



RAISED PLANTER AREA ON SLAB - SOIL DEPTHS TO ADG STANDARDS

- SW SEATING WALL: INSITU CONCRETE CLASS 2 WITH TIMBER SEATING BATTENS AND LED LIGHT STRIP
- PAVING TYPE 1: PORPHYRY COBBLESTONE **PAVERS**
- P2 PAVING TYPE 2: STONE PAVERS IN GROUND COVERS
- P3 PAVING TYPE 3: PAVERS ON PEDESTALS
- GR NON-TRAFFICABLE GREEN ROOF
- DG DECORATIVE GRAVEL
- SH OUTDOOR SHOWER/WASH TAP
- SE STEEL EDGE

- S1 SEATING TYPE 1: BENCH SEAT TO COUNCIL STANDARD
- S2 SEATING TYPE 2: COFFEE TABLE SET
- SEATING TYPE 3: SEATING BENCH
- S4 SEATING TYPE 4: OUTDOOR LOUNGE SUITE
- S5 SEATING TYPE 5: OUTDOOR DINING TABLE

General Notes:

FOR SITE LEVELS AND ARCHITECTURAL INFORMATION REFER TO CIVIL AND ARCHITECTS DRAWINGS RESPECTIVELY.

FOR COURTYARD AND OVERFLOW DRAINAGE REFER TO HYDRAULIC **ENGINEERS DRAWINGS**

ALL TREES TO BE RETAINED AND ARE SUBJECT TO TREE PROTECTION & MANAGEMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

EXTERNAL LIGHTING AND ELECTRICAL: REFER TO ENGINEERS DETAILS.

CONTRACTOR TO PROTECT ALL LANDSCAPE WORKS DURING CONSTRUCTION INCLUDING BUT NOT EXCLUSIVE TO EXISTING VERGE.

LEVELS GENERAL: CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO ALL PAVEMENTS, TURF AND PLANTER AREAS, INSTALL SUBSOIL DRAINAGE TO PLANTER AREAS AS REQUIRED.

NOTE: PLANTING NUMBERS AND SCHEDULES FOR DA PURPOSES - SUBJECT TO DESIGN DEVELOPMENT

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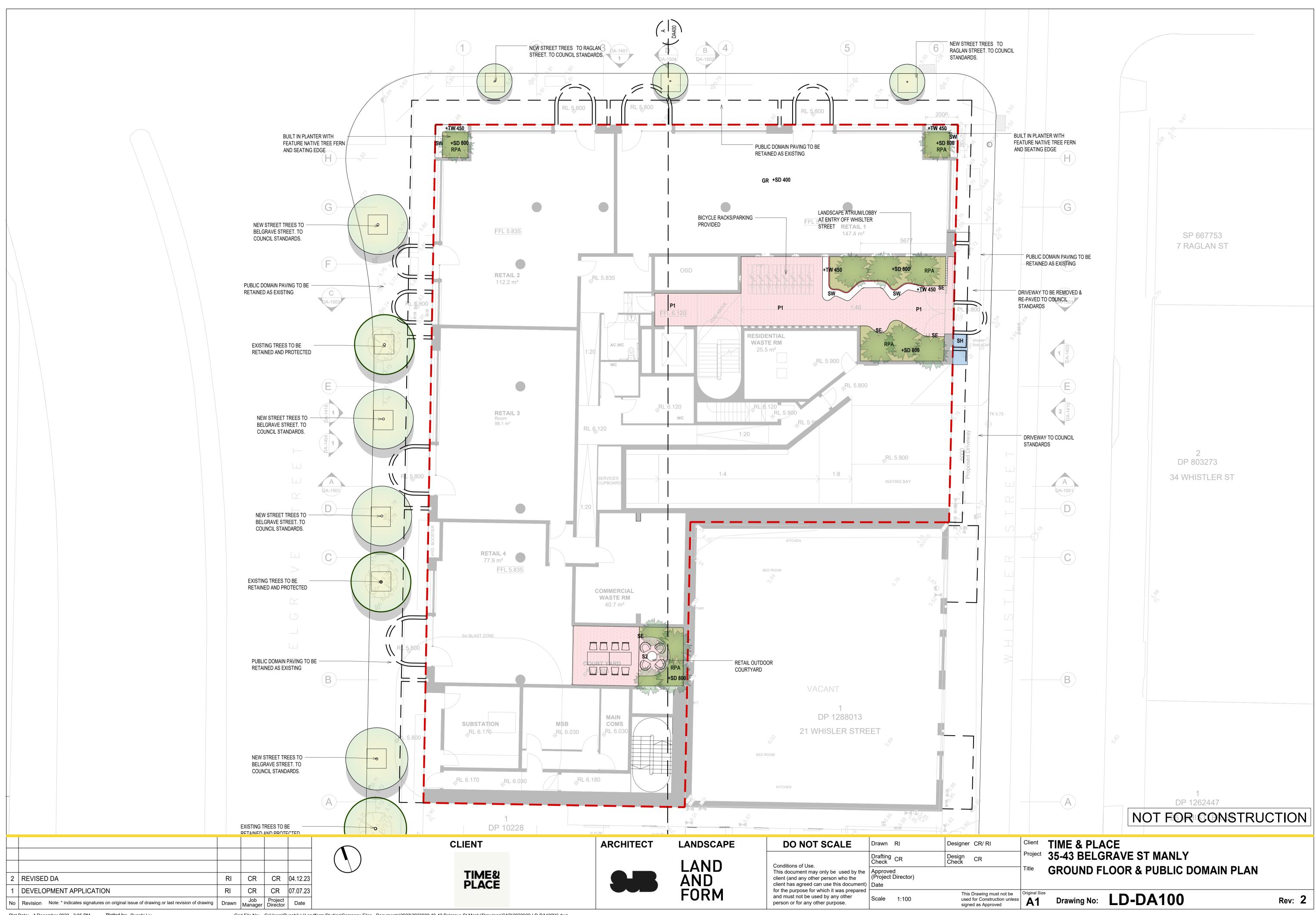
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TIME & PLACE Project 35-43 BELGRAVE ST MANLY PLANTING SCHEDULE & LEGENDS

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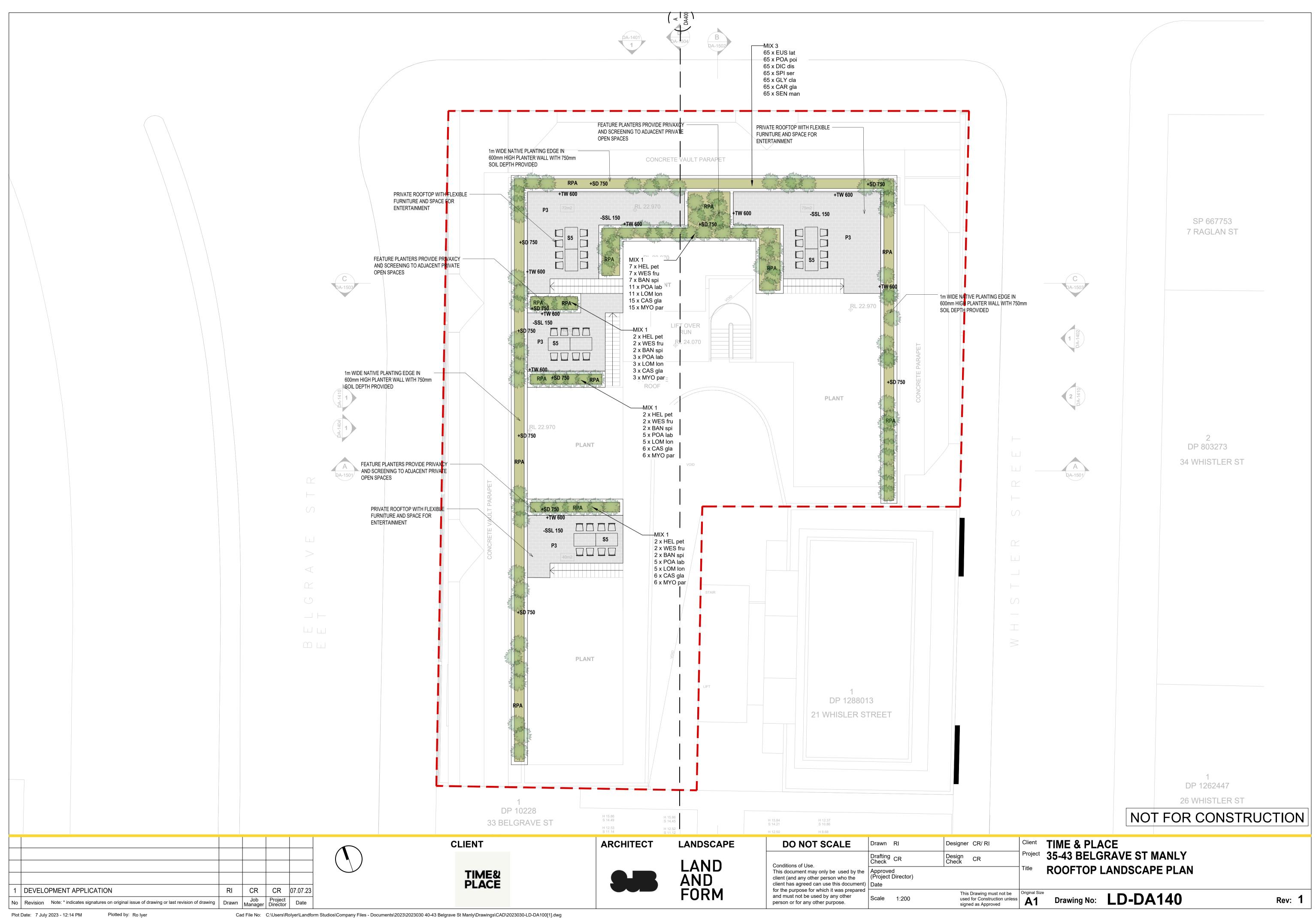
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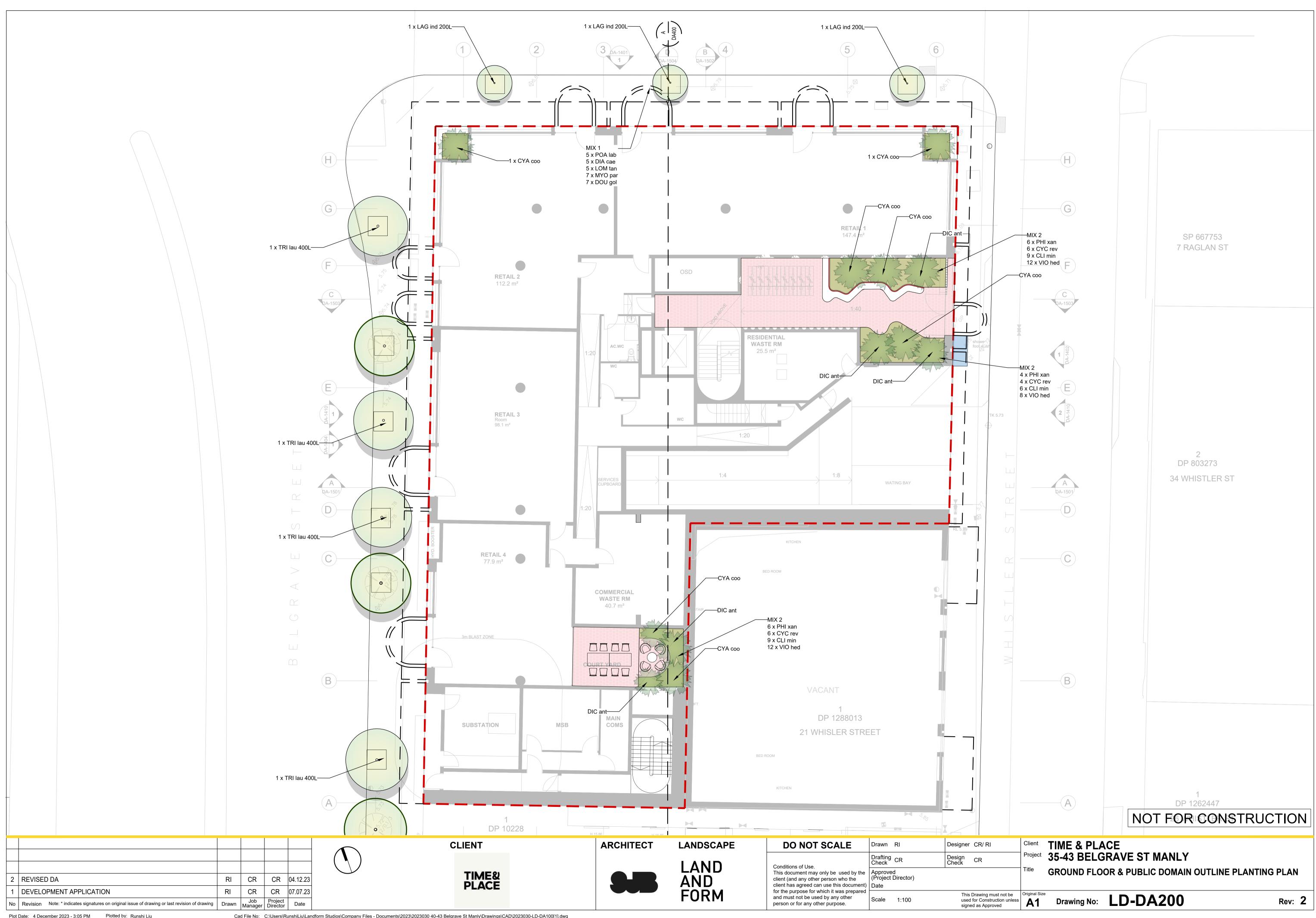
















LANDSCAPE OUTLINE SPECIFICATION NOTES

GENERAL:

Note the following is an outline specification for DA purposes only.

All works are to be performed by suitably qualified and experienced trades persons in landscape works. All works shall be supervised by a qualified superintendent.

SERVICES IDENTIFICATION

The contractor shall verify the position of all services prior to the commencement of works and take all necessary precautions to protect services during implementation works.

SITE ESTABLISHMENT

The contractor shall establish site access and compound in position agreed with the Superintendent and or subject to Council approval. The Contractor shall be totally responsible for protecting the site works during construction and establishment including vegetation, pedestrian and vehicular management. Implement erosion control and site management practices to secure the site and to comply with all statutory requirements.

EARTHWORKS & DRAINAGE

Bulk earthworks are by the civil contractor. The landscape contractor shall allow for minor earth trimming and profiling to prepare landscape areas to accept the nominated treatment. Protect exposed earthworks with temporary erosion measures and coordinate the on-site disposal of excess spoil with the Superintendent.

SUBSOIL AGRICULTURAL DRAINS:

All tree positions shall be free draining with positive drainage to SW outlets or natural drainage systems. Install 100mm diameter agg. drains including 200mm wide column of 10-20mm crushed drainage gravel and geo-textile fabric - Bidum A24. Seek direction from the site superintendent.

PIT LIDS:

The Contractor is to protect all pit lids during earthworks preparation. Retain Telstra concrete oval covers & pit checker plate steel pit covers, and concrete service pits. New pit lids are to be suitable for paver infill.

HARD LANDSCAPE WORKS

PAVEMENTS:

Modular Pavement Systems - Pedestrian: Stone paving product

Pavements systems shall conform to the approved Public Domain Framework and or Council's streetscape guidelines to the extent defined on the landscape plans. Supply and install pavements to the pattern nominated over concrete base including; base preparation, mortar bedding, placement, mechanical cutting, expansion | control joints, grout jointing and finishing to achieve levels and positive drainage.

ROADWORKS: Refer to Engineers drawings for grading, materials and set-out.

FURNITURE & FIXINGS

Supply and install furniture and fixing in the positions nominated on the plans or as agreed on site with the superintendent. All items are to be installed on concrete base slab or in-ground footings strictly in accordance with the manufacturer's specification. Where necessary, allow for cutting of pavements and or core drilling installation method.

The pavements shall comply with Council and Australian Standards

LIGHTING

Refer to the electrical engineer's plans for lighting circuits and installation. The general layout are nominated on the landscape plans.

SOFT LANDSCAPE WORKS

SOIL MIX:

Imported Soil Mix:

All planter areas shall have a minimum soil depth of 300mm and 100mm to turf | grass areas with landscape quality soil that conforms to AS 4419 Soils for Landscaping and Gardens.

Ameliorated site topsoil mix:

The Contractor is to use stockpiled site topsoil adding soil additives and chemicals; lime gypsum and fertiliser nutrients to achieve AS4419.

SAMPLE & TESTING:

Provide 1kg soil mix test sample and data to of imported or modify site soil, clearly

identified and referenced to the test data, prepared by an independent soil laboratory. Submit to the Superintendent for approval prior to supply and placement.

FERTILISER: Apply slow release Oganic fertiliser at the time of planting with pellets to advanced tree positions strictly in accordance with the manufacturers specification and with regard to season, soil mix, watering regimes and sub grade conditions.

PLANT MATERIALS:

Refer to the plant schedule. The contractor shall ensure that all plant materials are secured immediately upon award of contract. Failure to do so will not give rise to substitutions or extensions of time. All stock shall be grown in open areas which are exposed to the sun and wind to promote vigorous plant growth and to harden plants off. All plant material shall be pest and disease free. All plant material shall not be root bound or damaged. Plant densities shall reflect accepted industry standards and Councils guidelines for Landscape Works and be sourced from an accredited nursery. The Contractor will be responsible for purchasing and coordination of delivery to satisfy the construction program. It is the Contractor's responsibility to check trees at the supply source and to accept delivery of the trees at site, ensuring that the trees are supplied in accordance with the specification and are in good health. The Contractor shall allow for unloading and placement of all advanced tree materials.

All bag stock shall conform to the specification and must be secured from an Accredited Nursery. The current Natspec Guide "Purchasing Landscape Trees" is a **guide only** for quality tree production. All trees must be able to be planted without the use of tree stakes. Any trees requiring staking to be held vertical shall be rejected.

ADVANCED TREES:

Plant stock shall have a well developed straight stem with tri-branching structure and healthy canopy typical to the species and to the minimum sizes scheduled.

Excavate a hole a minimum 2X wider than the root ball and deep enough to accept a minimum 200mm of topsoil below. Break up the base of the hole to a further depth of 200mm, and loosen compacted sides of the hole as necessary to prevent confinement of root growth to the hole. Loosen sides of root ball to promote growth. Backfill with nominated soil mix, lightly tamp and water to eliminate air pockets. Ensure positive drainage to all tree positions.

Supply and install root barrier as nominated and staking as detailed on plans.

IRRIGATION SYSTEM: Supply and install an automatically controlled system to landscape areas identified on the plans to achieve 25mm/week precipitation rate. This system shall have a rain switch and have backflow prevention devices fitted in accordance with Councils regulations.

MAINTENANCE PERIOD:

General

Planting maintenance period: the planting maintenance period will be 52 weeks and will commence from the date of practical completion. Of each phase of planting works (hereby specified to be a separable part of the works). It is anticipated that planting works will be undertaken in one phase

Planting maintenance program: 2 weeks prior to practical completion, furnish a proposed planting establishment program, and amend it as required. Such proposal should contain details of the types and frequency of maintenance activities involved with the establishment of plants and grassed areas. Comply with the approved program.

Planting maintenance log book: keep a log book recording when and what maintenance work has been done and what materials, including approved toxic materials, have been used. Log book must be signed off by the client's representative after each maintenance visit. Maintain log book in location nominated by superintendent. All entries are to be initialled by person nominated by superintendent. Log book to contain a copy of the approved planting establishment program. Product warranty: submit the supplier's written statement certifying that plants are true to the required species and type, and are free from diseases, pests and weeds. Insurance: the contractor is to ensure suitable insurance cover and / or bank guarantee is in place for the theft and / or damage of all works executed under this contract for the plant maintenance period.

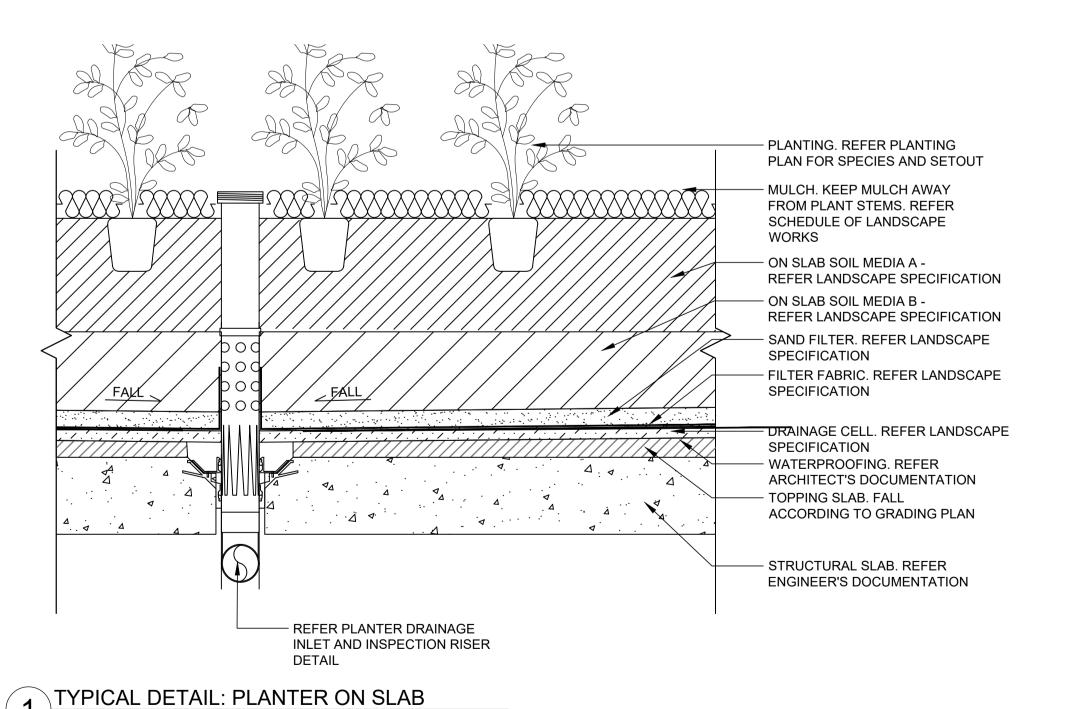
All Drawings To Be Read In Conjunction With Structural, Mechanical, Hydraulic and Electrical Engineers' Detail Drawings And Specifications.

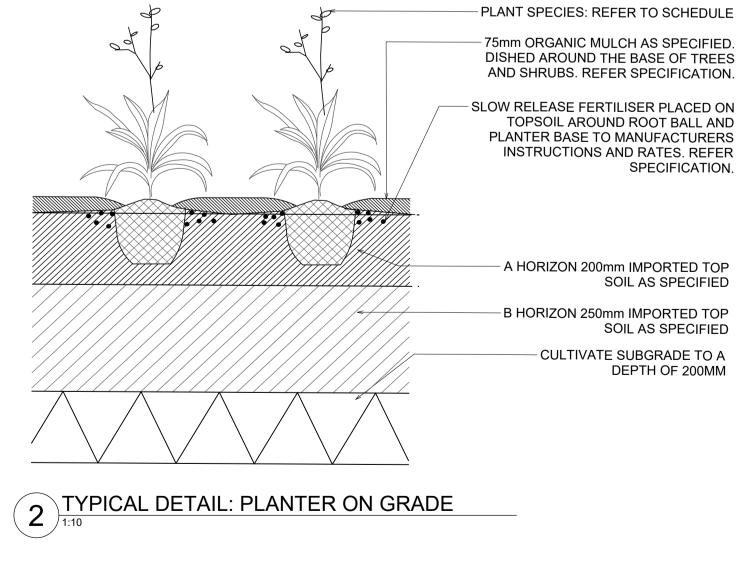
**** ALL WORKS WITHIN THE PUBLIC DOMAIN IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL SPECIFICATION AND DETAILS**

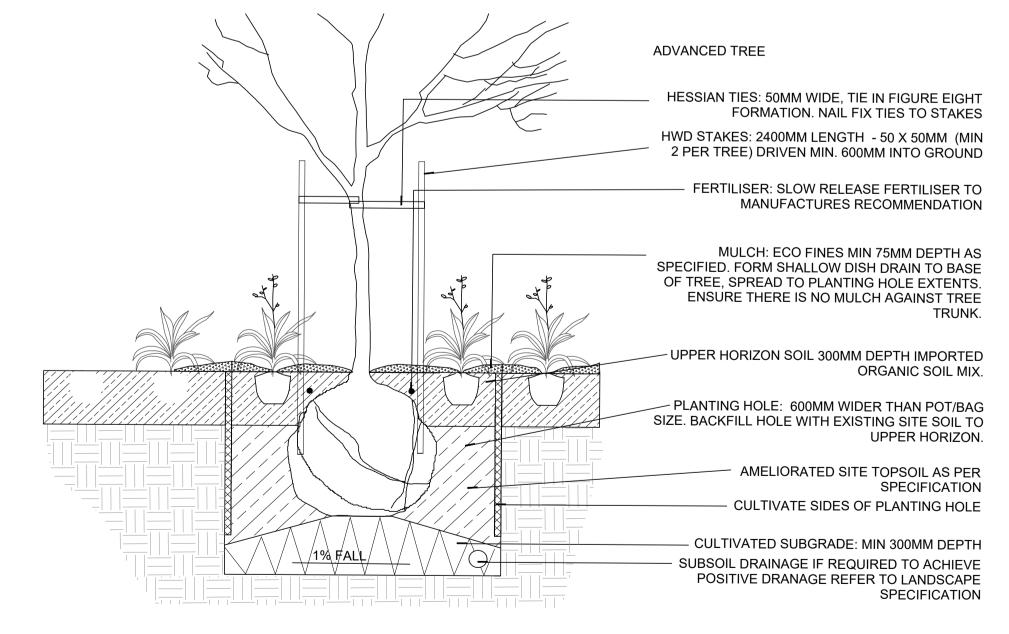
All Levels Indicated Taken To Australian Height Datum (AHD)

Refer to Detail Drawings For Typical Details.

Generally All Materials & Construction to Comply To AS 3700







3 TYPICAL DETAIL: TREE PLANTING ON GRADE

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1 DEVELOPMENT APPLICATION

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oct 35-43 BELGRAVE ST MANLY

TYPICAL DETAILS & OUTLINE MAINTENANCE SPECIFICATION

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LAND AND FORM

Prepared for

Time & Place Level 34 - suit 3402 Australia Square, 264 George St Sydney NSW 2000 https://timeplace.com.au +61 3 7009 6060

Development Application 04/12/2023

This report 2023030-LR-DA000[1] should be read in conjunction with Landscape Development Application drawings (Appendix A) Prepared by Land and Form

This Design Report provides an explanation that verifies how the development addresses how design quality principles are achieved, and demonstrates, in terms of the DCP for Manly Town Centre Urban and how the objectives and relevant sections have been achieved.

Land and Form Studios 10 Boronia Street, Redfern 2016 NSW

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INTRODUCTION & CONTEXT

P 4

INTRODUCTION

Project Overview

The project involves the re-development of 40-43 Belgrave st in Manly for Development Application to Northern Beaches Council The site is to be developed for mixed residential, community & retail use including extensive public domain upgrades. This design report demonstrates the quality of the public domain and private open space provisions and embellishments.

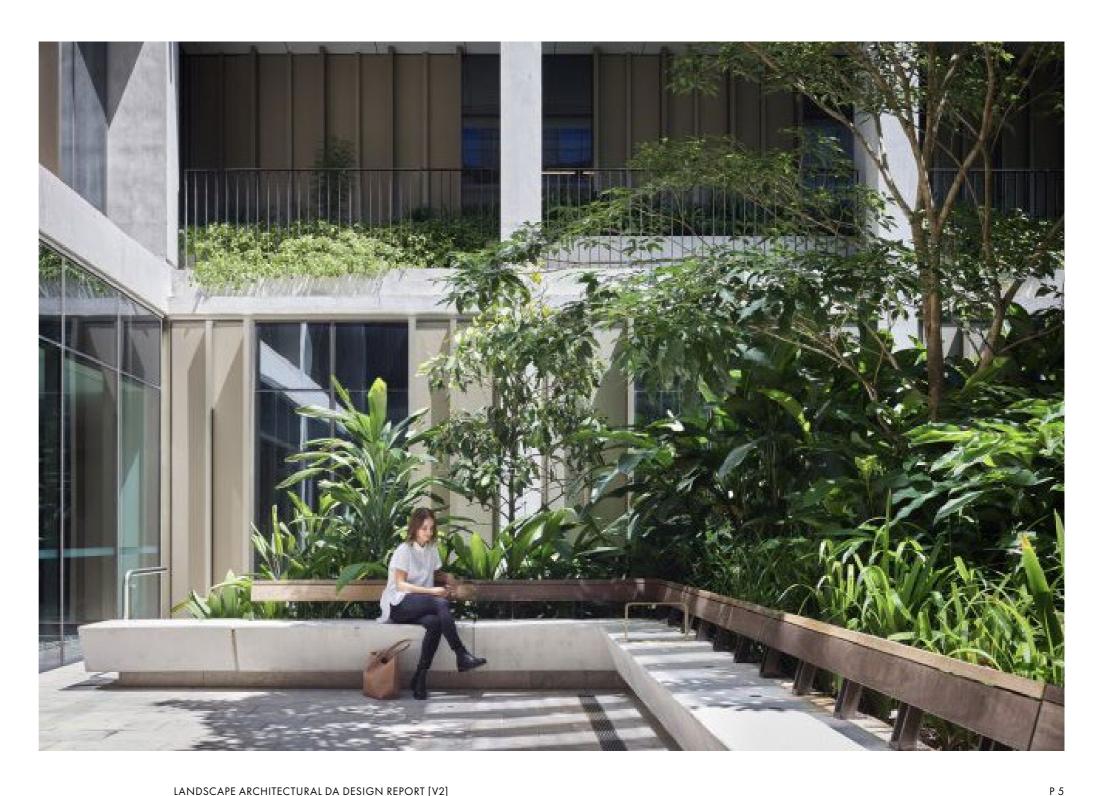
Design Process

Land and Form Studios and SJB Architects have gone through a thorough design competition process which resulted in the winning bid to develop the design for DA. The current design was developed over a series of collaborative workshops with SJB, The Design Excellence Panel and Northern Beaches Council with further refinement and improvements included from the original design competition scheme as recommended by the Panel. The design scheme has received design excellence endorsement.

Public Domain

The site area is approximately 1060m2 and is to be developed to incorporate a total public domain upgrade of approximately 240m2.

This document provides an outline of the context, the brief, concepts and principles that have played a role in the preparation of the overall design and public domain works.



STRATEGIC CONTEXT (GANSW)

RELEVANT POLICIES, GUIDELINES & CONTROLS

BETTER PLACED & GREENER PLACES (GANSW)

Good design is fundamental in creating better places, considering the needs of people and the community. The NSW EP&A Act has been amended to include the new design object, reinforcing the importance of good design and amenity in the planning process.

- To promote good design and amenity of the built environment
- To promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage)

GANSW policies and guidance form the line of sight from the Environmental Planning & Assessment (EP&A) Act amendments to include the promotion of good design and amenity of the built environment.

Apartment Design Guide

Part 3: 3D Communal & Public Open Space

Part 4: 40 Landscape Design

Part 4: 4P Planting on structures

SITE SPECIFIC DCP MARCH 2021 AMENDMENT

OBJECTIVES FOR GOOD DESIGN (GANSW)



OBJECTIVE 1.

Better fit contextual, local and of its place



OBJECTIVE 3.

Better for community inclusive, connected and diverse



OBJECTIVE 5.

Better working functional, efficient and fit for purpose



OBJECTIVE 2.

Better performance sustainable, adaptable and durable



OBJECTIVE 4.

Better for people safe, comfortable and liveable



OBJECTIVE 6.

Better value creating and adding value



OBJECTIVE 7.

Better look and feel engaging, inviting and attractive A well-designed built environment is:

Healthy for all members of our communities, promoting physical activity and walkable environments, social cohesion, and community safety and security to support people's well-being.

Responsive to the needs and aspirations of local people, now and into the future, inviting innovative use and habitation, interaction, productivity and enjoyment.

Integrated, by drawing together the relationships between parts and elements, considering interfaces at multiple scales, and working to common goals and aspirations.

Equitable by presenting opportunities for all segments of our community so residents and visitors have access to and can move about freely between public domain, infrastructure, open space and buildings.

Resilient to the dynamic, challenging conditions of our time, to adapt and evolve while retaining essential qualities and values





35-43 Belgrave St Manly

LANDSCAPE ARCHITECTURAL DA DESIGN REPORT [V2]

MANLY UD & DCP OBJECTIVES

MANLY TOWN CENTRE URBAN DESIGN GUIDELINES 2003

Landscape Design

- Where a building setback is required it should be a well designed landscaped area that adds to the amenity of the street environment as well as the building. This area should be predominantly planted and include minimal paving.
- Rooftop gardens, or terraces and courtyards in the centre of blocks are to incorporate substantial soft landscaping and minimal paving. The planting should reflect the architectural style of the development

Public Domain Design

Streetscapes should be designed so they enhance the urban character and improve pedestrian orientation, accessibility and amenity. The street hierarchy of major streets, secondary streets and local streets be reinforced with different tree planting, footpath width and character.

The proponents of new development may be required to contribute or undertake streetscape improvements in accordance with the following general guidelines:

- 2.2.1 Intersection design Where indicated on area street plans, street intersections should be narrowed with footpath widenings to slow traffic and to help pedestrians crossing.
- 2.2.2 Street tree planting Protect and maintain the green edge to the water by strengthening the existing distinct planting pattern of the foreshore parklands.
- The location, scale and character of the planting varies to suit different streets.
- Street tree planting should be carried out in accordance with the Manly Street Tree Management Report

 In general, street tree should be located in a one metre zone along the kerbline unless otherwise indicated in the Manly Street Tree Management Report. On some wider streets planting is to be within the roadway.

MANLY TOWN CENTRE DCP LANDSCAPE OBJECTIVES

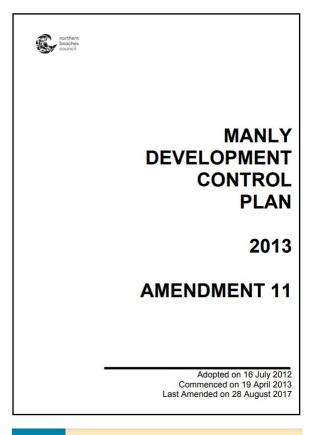
- Objective 1) To encourage appropriate tree planting and maintenance of existing vegetation.
- Objective 2) To retain and augment important landscape features and vegetation remnant populations of native flora and fauna.
- In higher density areas: the provision of adequate private open space and landscaped areas are to maximise residential amenity. Site works must be minimised to protect natural features

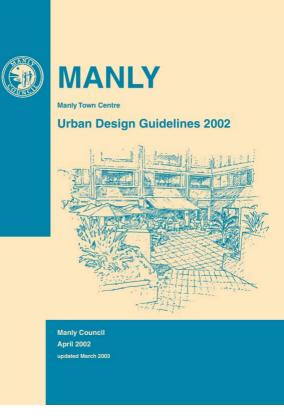
Planting criteria including Native Plant Species and Amenity:

- i) Landscaped Areas must be capable of supporting new native tree species that are typically expected to reach a mature height of 10m notwithstanding the minimum dimension requirements at paragraph 4.1.5.2 of this plan.
- ii) The use of locally occurring native plant species is preferred to assist in providing habitat for local fauna; and preserve threatened native plants.
- iii) Trees should be positioned in locations that minimise significant impacts on neighbours in terms of: blocking winter sunlight to either living rooms, private open space or solar collectors; or where the proposed location of the tree may be otherwise positioned to minimise any significant loss of views.

Undercroft areas

- c) Undercroft areas must be presented as a
 positive space and integrated into the design of
 the building by use of appropriate landscaping
 and/or the retention of natural features and
 vegetation where possible, having regard to the
 volume of the space and its orientation. In relation
 to sloping sites (see also paragraph 4.1.8) and in
 lower density areas, any supporting undercroft
 structures must be minimised.
- Minimum area of Private Open Space is 20sqm for each dwelling within a mixed use development or shop top housing with a minimum dimension of 3m and designed to receive a minimum of 3 hours direct sunlight between 9am and 3pm in midwinter.
- All side and rear setbacks to boundaries adjoining land zoned Residential in the LEP (excluding laneways) are to be developed for deep soil planting to allow for the retention/establishment of a mature tree landscape buffer.





35-43 Belgrave St Manly

LANDSCAPE ARCHITECTURAL DA DESIGN REPORT [V2]

EXISTING SITE/STREET CONTEXT ANALYSIS

BELGRAVE ST CHARACTER Boulevard / High Street



Lack of retail spill-out on street



Green awnings supported



Avenue planting along Belgrave Stt





Lack of retail spill-out on street



strong street dining experiences



public domain embelishments encouraged

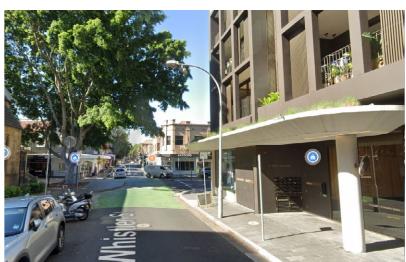




Lack of activation / pedestrian priority



moments of landscape terracing



opportunities for more street landscaping





DESIGN OBJECTIVES & PRECINCT VISION

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DESIGN OBJECTIVES



A SAFE CONNECTED COMMUNITY

A welcoming neighbourhood that creates a sense of belonging and security whilst being connected to the wider local community of quality schools and local lifestyle amenity. The proposal expands on the sites existing assets and creates a new community destination. We aim to create resilient communities with shared spaces & encourage community support & engagement



SUSTAINABILITY & INNOVATION

We aim to create resilient spaces harnessing innovation and a commitment to a sustainable community for all. The proposal aims to increase Urban canopy & City greening improve Green infrastructure - with a minimum 20% site canopy coverage through implementation of trees & 'green' canopy structures to mitigate heat island effect. WSUD principles are also explored through blistered kerb WSUD planting



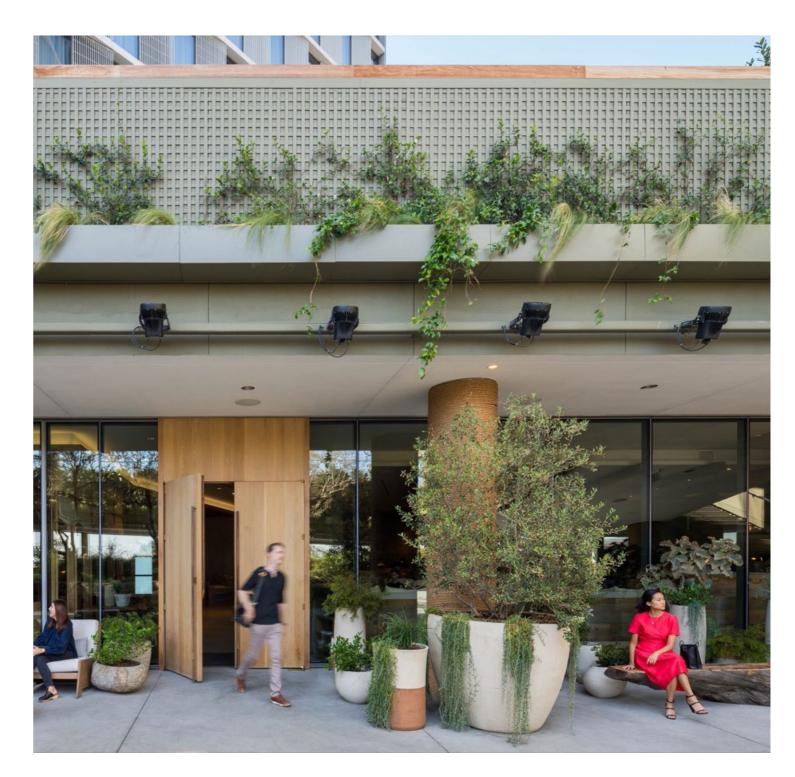
HARMONY WITH NATURE

Biophilic design principles influence the urban design to balance built form with natural landscape. Supported by generous open spaces vegetated corridors and selective tree-planting to enhance the beauty of the site. We aim to create a Green Heart to the development with an emphasis on tree Canopy, natural materials and sustainability.



A HEALTHY LIFESTYLE

A site designed for a healthy, positive lifestyle with public spaces, active linkages, sporting facilities and nearby access to township amenities and transport. We aim to enhance the existing site with connections to existing reserves and the wider context





KEY DESIGN OPPORTUNITIES

Embedding the built-form in a strong coastal landscaped setting

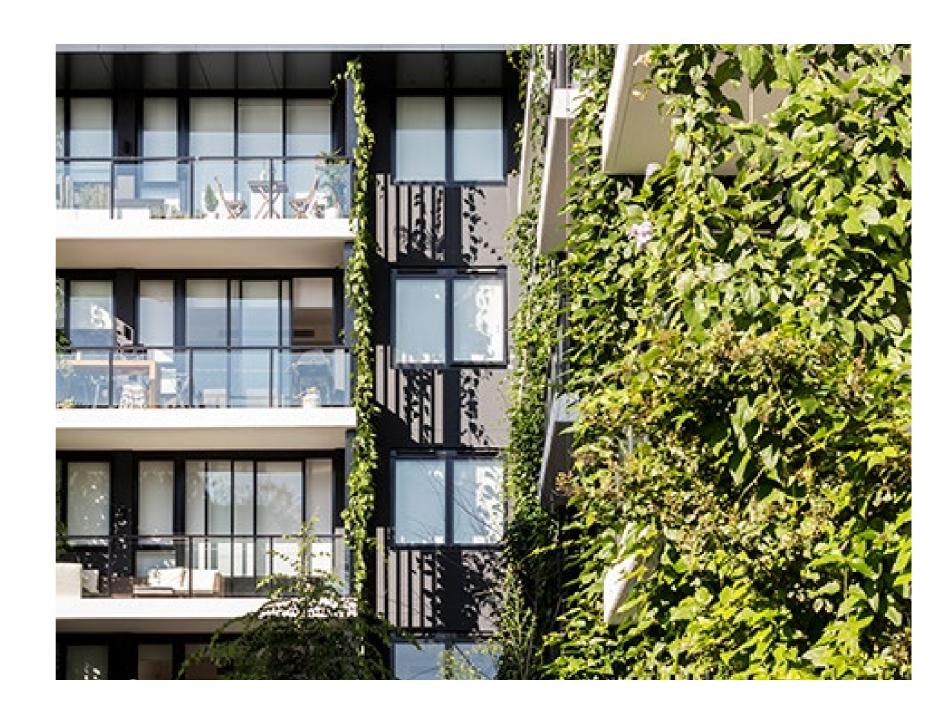
Maximising green amenity through lower ground pockets, awnings & terraces & rooftop landscaping

Creating a fine-grain & connected community

Creating small and special moments for residents to connect as neighbours in a boutique environment

Promoting a personal connection with nature and improving mental health & well-being

Promoting visual connections to nature at all times to allow nurturing and healing through landscape and provide residents with their own high quality garden experience



LANDSCAPE ARCHITECTURAL DA DESIGN REPORT [V2]





THE DESIGN

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DESIGN STATEMENT

Public Domain & Streetscapes

An upgrade and make-good of the public domain and associated streetscapes is included as part of the development offer to ensure seamless transitions throughout the ground plane. The ground plane is publicly accessible and offers a high quality civic environment with active frontages to Raglan st.

Access, Egress & Connectivity

The through site links act as the primary connectivity spines with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:21 grades reducing the amount of handrails and clutter in the public realm.

Deep Soil, Soil Depths on Podiums & Permanent Planting

All planters have a minimum soil depth of 600mm with a minimum 200-400mm slab setdown achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting with the softworks equating to 46% of the total site area. See more information on Landscape Replacement compliance on page 35.

Community & Placemaking

The DA design process enabled Land and Form Studios and SJB Architects to workshop the site's capability for placemaking, community events and day & night activation.





LANDSCAPE CONCEPT & RESPONSE TO PLACE

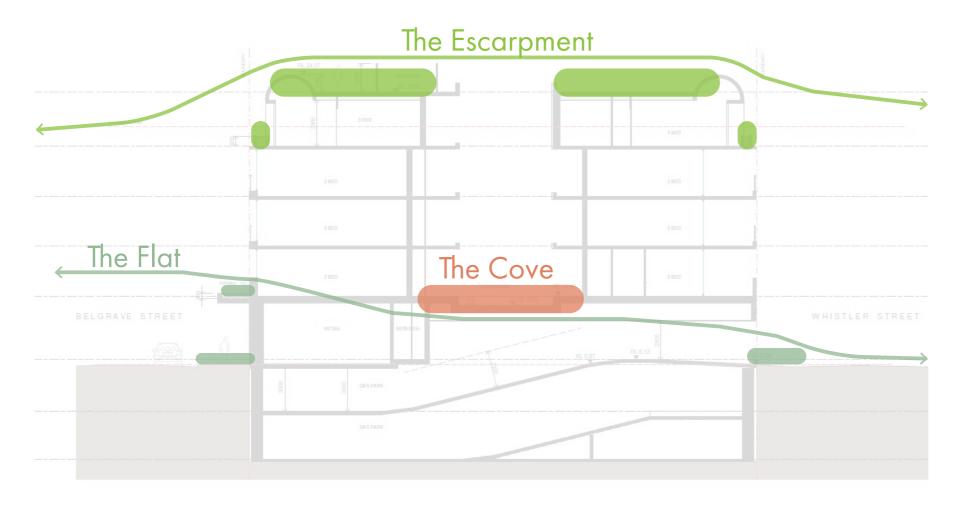
The Flat & The Escarpment

The landscape concept embraces the natural landform of Manly and represents the two key topographical plains, The Flat & The Escarpment. This manifests throughout the building and transitions from one typology to the other.

The Cove

The Cove is the feature multi-layered courtyard space representing Manly Cove and it's landscape context & setting. This courtyard is visible & apparent through each level of the central open to sky void





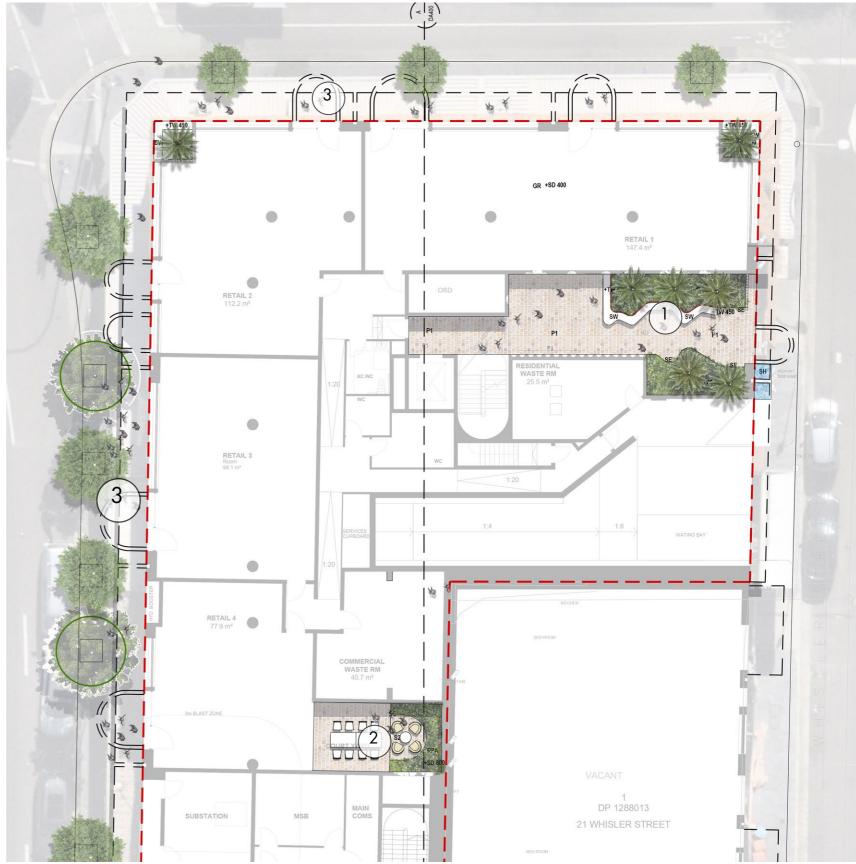


GROUND & PUBLIC DOMAIN

- 1 ENTRY COURTYARD FEATURE PLANTER WITH TREE FERNS & SEATING EDGE
- 2 COURTYARD
- 3 LIGHT TOUCH LANDSCAPE EMBELLISHMENTS TO BELGRAVE ST & RAGLAN ST WITH ADDITIONAL TREE CANOPY PROVIDED









ARRIVAL COURTYARD/LOBBY

- $\begin{pmatrix} 1 \end{pmatrix}$ porphyry stone paving to atrium
- 1 LIGHT TOUCH GRC PLANTERS & SEATING OPPORTUNITIES OUTSIDE OF LOBBY
- (2) FEATURE SEATING WALL RIBBON & RAISED PLANTER WITH FEATURE NATIVE FERNS
- 4 BIKE RACKS



LEVEL COURTYARD "THE COVE"

1 SEATING NOOKS

(3) vertical climbers to rear wall

2 SECRET SEATING SPACE ACCESSED THROUGH GARDEN





GREEN AWNING "THE COASTAL SHELF"















LEVEL 2 PLANTING









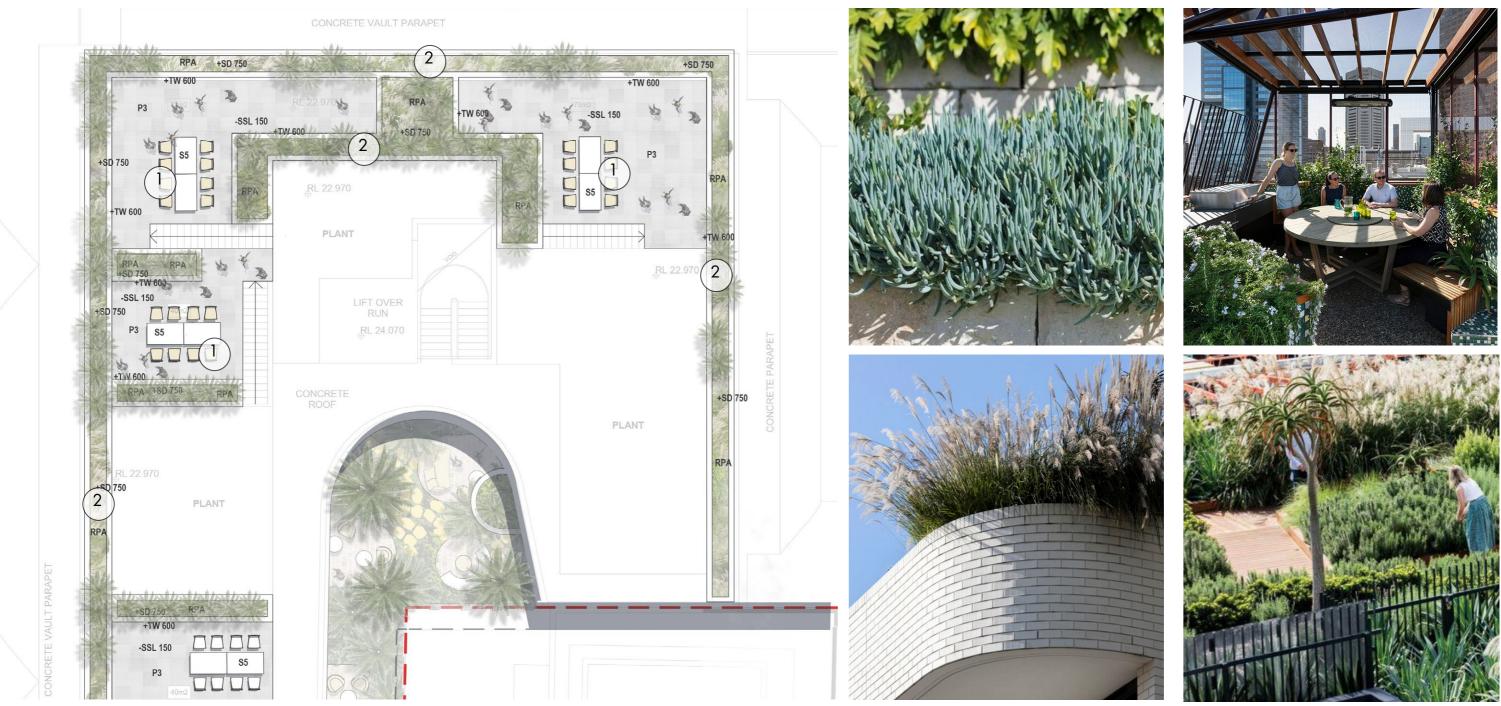
ROOFTOP TERRACES

(1)

PRIVATE ROOFTOP ENTERTAINING SPACE

2

NATIVE LOW WATER PLANTED EDGE - 600MM HIGH PLANTER WALL WITH BALUSTRADE TO ARCHITECTS DETAILS

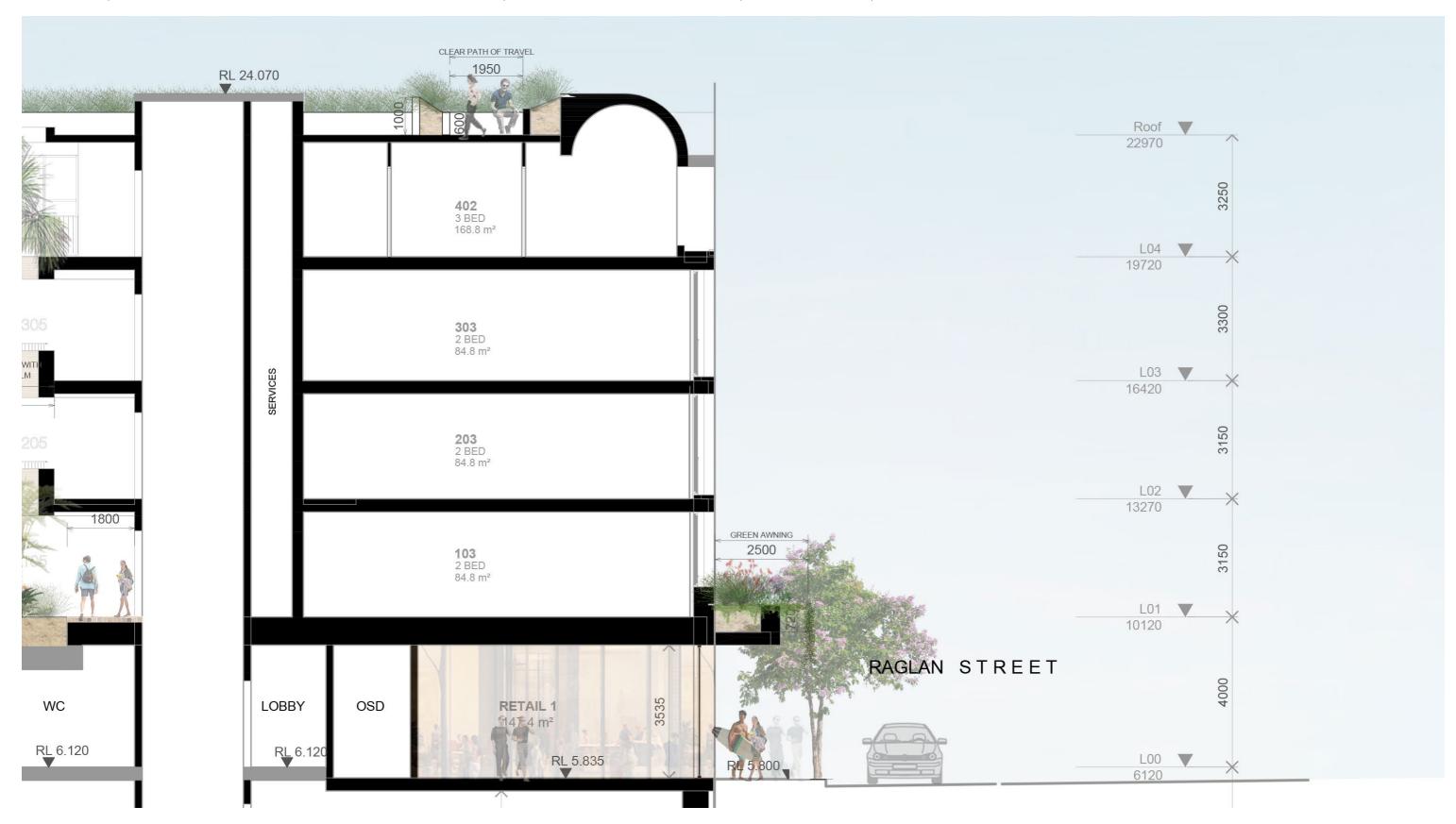




LANDSCAPE SECTION - CENTRAL COURTYARD



LANDSCAPE SECTION - RAGLAN ST INTERFACE





PLANTING & MATERIALS

PLANTING PALETTE

TREES











Lagerstroemia indica

Livistona Australis

Tristaniopsis laurina 'luscious'

Dicksonia antarctica

Cyathea cooperi

MIX TYPE 1 - FULL SUN/PART SHSADE



Pultenaea stipularis



Banksia spinulosa









Dianella caerulea



Callistemon citrinus



Billardiera scandens



Alpinia caerulea



LM400

MIX TYPE 2 - PART SHADE/SHADE TOLERANT

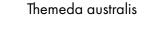
Pimelia linifolia



Rhapis excelsa

Carpobrotus

glaucescens



MIX TYPE 3 - GREEN ROOF MIX





Glycine clandestina

Reference: Northern Beaches Council Native Planting Guide - Manly



MATERIALS PALETTE



SW: insiu concrete class 2 ith timber seating battens and led light strip



P1: Porphyry cobblestone pavers



P2: Steppers in groundcovers



P3: Pavers on pedestals



F1: Bench seat o council standards



F2: Coffee Table Set



F3: Seating Bench



F4: Outdoor Lounge Suite



F5: Outdoor Dining Table



DESIGN PERFORMANCE & PROJECT OUTCOMES

DESIGN PERFORMANCE



OBJECTIVE 1.

Better fit contextual, local and of its place The project offers a diverse range of program & activation enabling different cultures, age groups & community members to come together contributing to the quality of place in Manly



OBJECTIVE 2.

Better performance sustainable, adaptable and durable The project offers a large open to air central void and garden courtyard in the heart of the development. This social landscape space allows access to sun, air & natural light throughout the day



OBJECTIVE 3.

Better for community inclusive, connected and diverse All communal space & public domain areas offered in the project are universally accessible and adjacent to retail frontages creating an active environment for the local community to gather and interact with each other



OBJECTIVE 4.

Better for people safe, comfortable and liveable All communal spaces are protected areas located providing a safe, inclusive and comfortable environment for people to gather and congregate



OBJECTIVE 7.

Better look and feel engaging, inviting and attractive The project offers a high quality and bespoke public realm. It is unique to the area and will enhance the neighbourhood aesthetically & visually whilst also using fine grain materials often found at the everyday home



OBJECTIVE 5.

Better working functional, efficient and fit for purpose The public domain can host new and different community events, temporary activation whilst retaining its character and sense of place at all times



OBJECTIVE 6.

Better value creating and adding value The project is an active mixed-use precinct adding value to the suburb and drawing people from the surrounding Manly by providing important activation along the at street level and creating a destinational precinct

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DESIGN OUTCOMES



The retention of key existing trees and the provision of new public domain spaces will enable the site to increase it's current tree canopy coverage to 15% to further mitigate Urban Heat Island effect and create comfortable spaces around homes and within the public domain.



The master plan provides a number of public domain spaces, which enrich both leisure and recreational opportunity across the site.





The proposal will create a series of green corridors and shared streets to connect existing biodiversity corridors., create comfortable pedestrian environments and contribute to local flora and fauna systems





240M²

STREETSCAPE **UPGRADES**, &

SHARED LINKAGES

The project will activate the precinct and become a catalyst for the area with recreational open green spaces, outdoor fitness and well-being spaces for people of all abilities and ages

*Note figures indicative only and are subject to design development.





APPENDIX A LANDSCAPE DA DRAWINGS