

35-43 BELGRAVE ST MANLY DEVELOPMENT APPLICATION

2023030: LANDSCAPE ARCHITECTURAL DRAWING LIST

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LANDSCAPE DA DESIGN STATEMENT

NOTE:

- DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM LANDFORM OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS.
- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
- ALL LANDSCAPE DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
- INSTALLATION OF SYSTEMS AND PROPRIETARY PRODUCTS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
- DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING SERVICES

Objectives:

- to increase the number of indigenous species planted in Manly region
- to eliminate the use of noxious weeds of potentially invasive species in developments
- to use plants in such a way to foster energy efficient development that relies on passive energy principles for heating and cooling
- to reduce maintenance and water consumption through appropriate species selection
- to create buffer zones and add to existing areas of remnant vegetation with locally indigenous species.

Principles

- Enhance the appearance and amenity of the proposed residential development by sensitively integrating architecture and landscape through effective site planning and landscape design.
- Consolidate the open space into a coherent landscape treatment that provides visual amenity from above and below.
- Take forward the landscape principles and urban design principles established by the Site specific DCP by Northern Beaches Council to Establish a visually and environmentally sensitive landscape, complimentary to the architectural vision and greater urban setting, while providing high quality private spaces for residents and visitors.
- Provide new tree planting that ameliorates the building scale and offers environmental benefit through micro climate.
- Create a garden terrace on level 1 with both integrated seating areas & engaging social gathering spaces

Public Domain & Streetscapes

An upgrade and make-good of the public domain and associated streetscapes is included as part of the development offer to ensure seamless transitions throughout the ground plane. The ground plane is publicly accessible and offers a high quality civic environment with active frontages to both Belgrave st & Raglan st.

Access, Egress & Connectivity

The through site links act as the primary connectivity spines with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:21 grades have been implemented to ensure access for all is achieved.

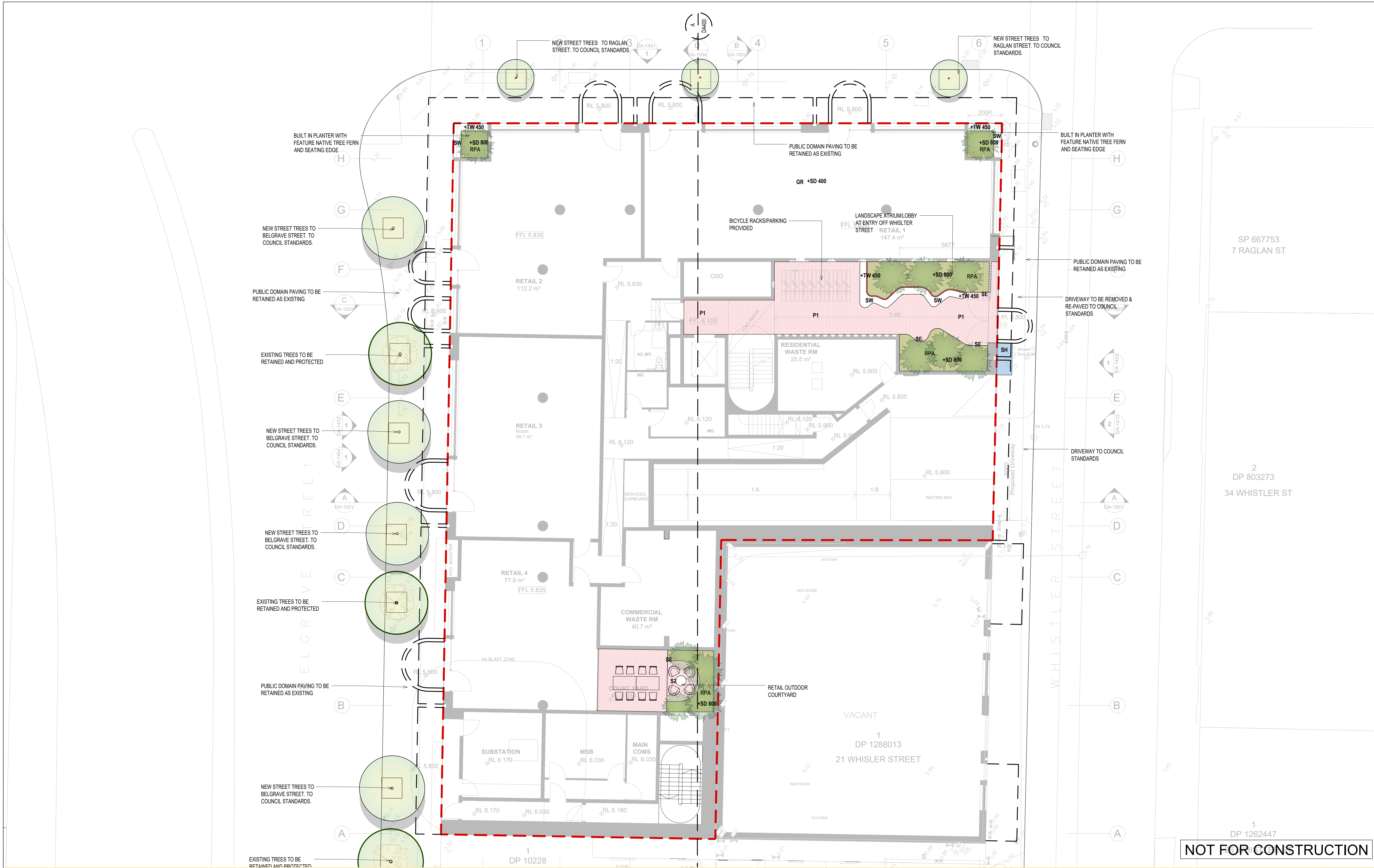
Soil Depths on Podiums & Permanent Planting

All planters have a minimum soil depth of 600mm with a minimum 200-400mm slab setdown achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting with the softworks equating to 46% of the total site area.

For deep soil calculations - refer to architectural design report

NOT FOR CONSTRUCTION

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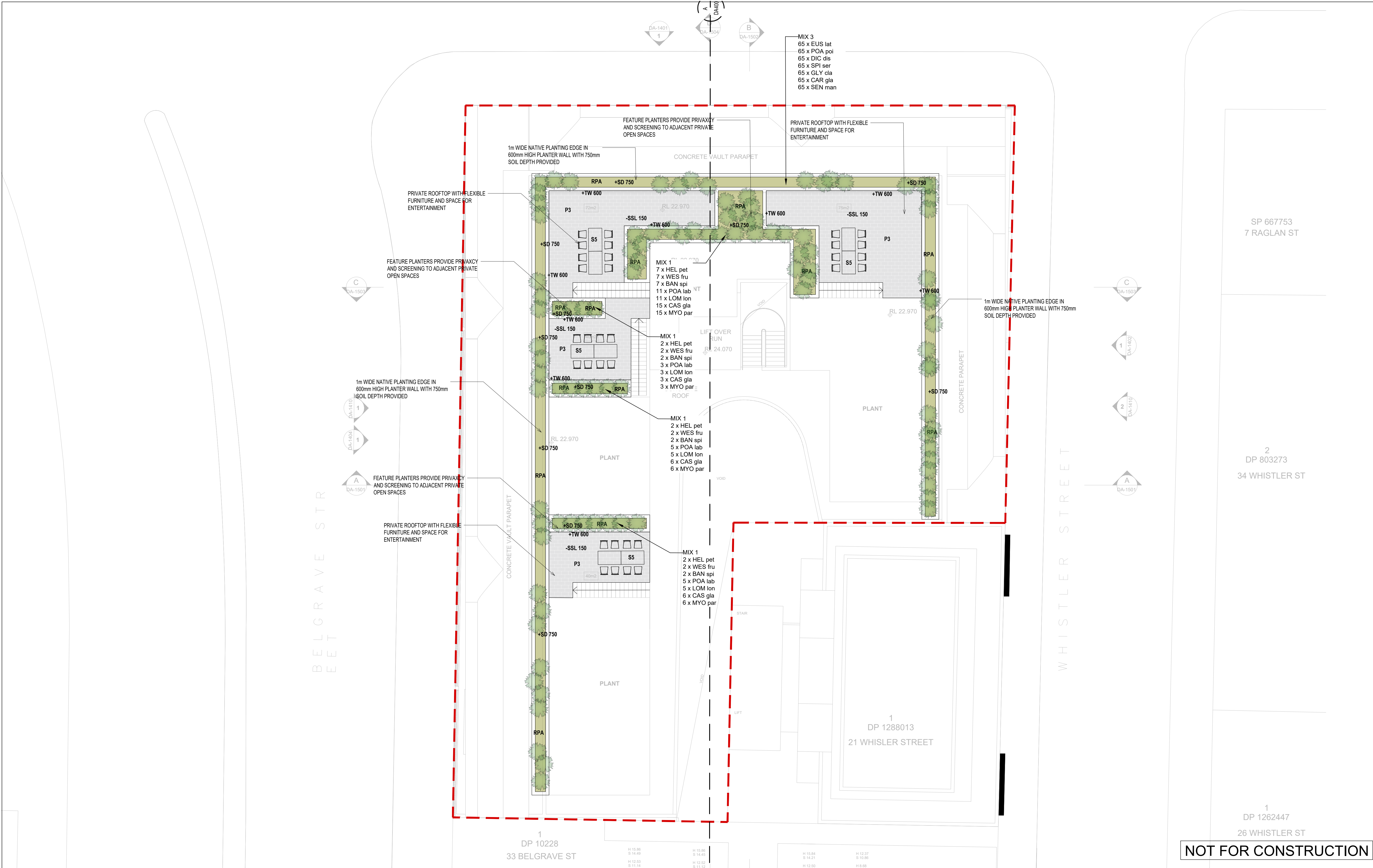
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												Approved	(Project Director)			Title	GROUND FLOOR & PUBLIC DOMAIN PLAN	
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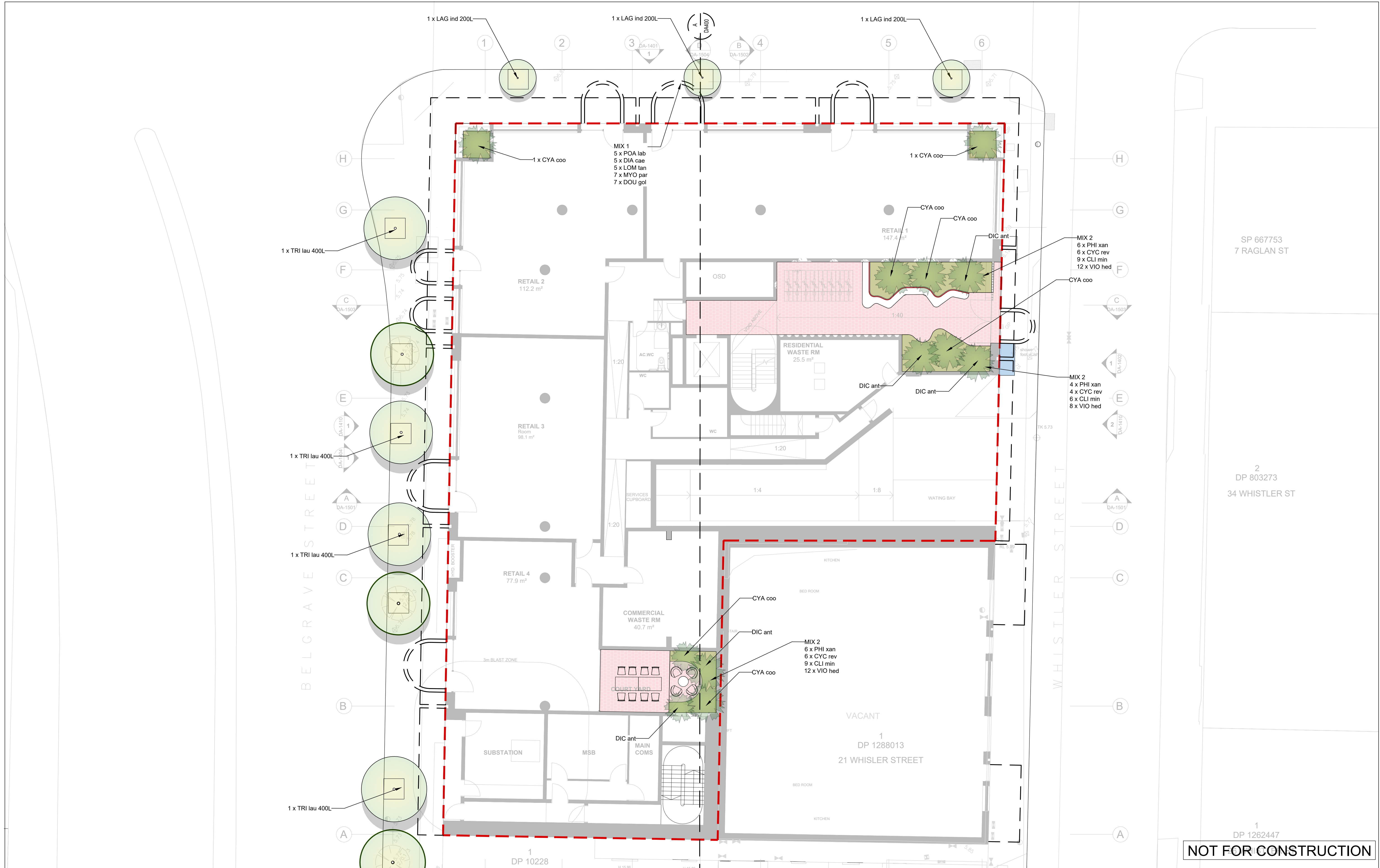
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2 REVISED DA				RI	CR	CR	04.12.23							Conditions of Use. This document may only be used by the client (and any other person who the client has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or for any other purpose.		Approved (Project Director) Date				Title GROUND FLOOR & PUBLIC DOMAIN OUTLINE PLANTING PLAN			
1 DEVELOPMENT APPLICATION				RI	CR	CR	07.07.23																
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LANDSCAPE ARCHITECTURE DESIGN REPORT
DEVELOPMENT APPLICATION
04.12.23

35-43 BELGRAVE ST

MANLY NSW

NORTHERN BEACHES COUNCIL

LAND
AND
FORM

Prepared for

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Development Application
04/12/2023

This report 2023030-LR-DA000[1] should be read in conjunction with
Landscape Development Application drawings (Appendix A) Prepared by
Land and Form

This Design Report provides an explanation that verifies how the development address-
es how design quality principles are achieved, and demonstrates, in terms of the DCP
for Manly Town Centre Urban and how the objectives and relevant sections have been
achieved.

Land and Form Studios
10 Boronia Street, Redfern 2016 NSW

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INTRODUCTION & CONTEXT

INTRODUCTION

Project Overview

The project involves the re-development of 40-43 Belgrave st in Manly for Development Application to Northern Beaches Council. The site is to be developed for mixed residential, community & retail use including extensive public domain upgrades. This design report demonstrates the quality of the public domain and private open space provisions and embellishments.

Design Process

Land and Form Studios and SJB Architects have gone through a thorough design competition process which resulted in the winning bid to develop the design for DA. The current design was developed over a series of collaborative workshops with SJB, The Design Excellence Panel and Northern Beaches Council with further refinement and improvements included from the original design competition scheme as recommended by the Panel. The design scheme has received design excellence endorsement.

Public Domain

The site area is approximately 1060m² and is to be developed to incorporate a total public domain upgrade of approximately 240m².

This document provides an outline of the context, the brief, concepts and principles that have played a role in the preparation of the overall design and public domain works.



STRATEGIC CONTEXT (GANSW)

RELEVANT POLICIES, GUIDELINES & CONTROLS

BETTER PLACED & GREENER PLACES (GANSW)

Good design is fundamental in creating better places, considering the needs of people and the community. The NSW EP&A Act has been amended to include the new design object, reinforcing the importance of good design and amenity in the planning process.

- To promote good design and amenity of the built environment
- To promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage)

GANSW policies and guidance form the line of sight from the Environmental Planning & Assessment (EP&A) Act amendments to include the promotion of good design and amenity of the built environment.

Apartment Design Guide

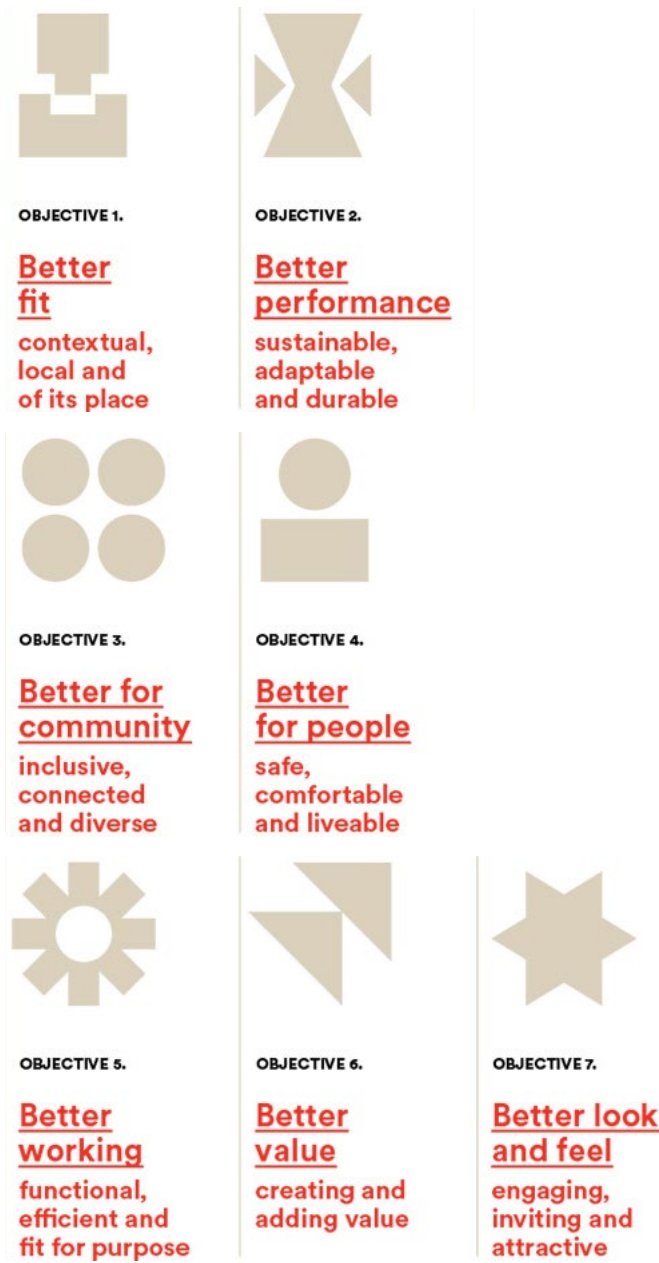
Part 3: 3D Communal & Public Open Space

Part 4: 4O Landscape Design

Part 4: 4P Planting on structures

SITE SPECIFIC DCP MARCH 2021 AMENDMENT

OBJECTIVES FOR GOOD DESIGN (GANSW)



A well-designed built environment is:

Healthy for all members of our communities, promoting physical activity and walkable environments, social cohesion, and community safety and security to support people's well-being.

Responsive to the needs and aspirations of local people, now and into the future, inviting innovative use and habitation, interaction, productivity and enjoyment.

Integrated, by drawing together the relationships between parts and elements, considering interfaces at multiple scales, and working to common goals and aspirations.

Equitable by presenting opportunities for all segments of our community so residents and visitors have access to and can move about freely between public domain, infrastructure, open space and buildings.

Resilient to the dynamic, challenging conditions of our time, to adapt and evolve while retaining essential qualities and values



MANLY UD & DCP OBJECTIVES

MANLY TOWN CENTRE URBAN DESIGN GUIDELINES 2003

Landscape Design

- Where a building setback is required it should be a well designed landscaped area that adds to the amenity of the street environment as well as the building. This area should be predominantly planted and include minimal paving.
- Rooftop gardens, or terraces and courtyards in the centre of blocks are to incorporate substantial soft landscaping and minimal paving. The planting should reflect the architectural style of the development

Public Domain Design

Streetscapes should be designed so they enhance the urban character and improve pedestrian orientation, accessibility and amenity. The street hierarchy of major streets, secondary streets and local streets be reinforced with different tree planting, footpath width and character.

The proponents of new development may be required to contribute or undertake streetscape improvements in accordance with the following general guidelines:

- 2.2.1 Intersection design - Where indicated on area street plans, street intersections should be narrowed with footpath widenings to slow traffic and to help pedestrians crossing.
- 2.2.2 Street tree planting - Protect and maintain the green edge to the water by strengthening the existing distinct planting pattern of the foreshore parklands.
- The location, scale and character of the planting varies to suit different streets.
- Street tree planting should be carried out in accordance with the Manly Street Tree Management Report

- In general, street tree should be located in a one metre zone along the kerbline unless otherwise indicated in the Manly Street Tree Management Report. On some wider streets planting is to be within the roadway.

MANLY TOWN CENTRE DCP LANDSCAPE OBJECTIVES

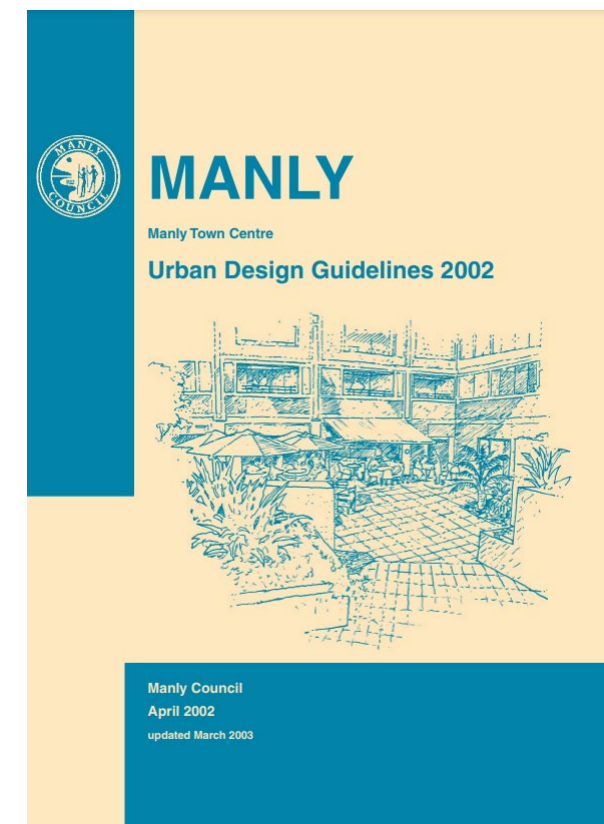
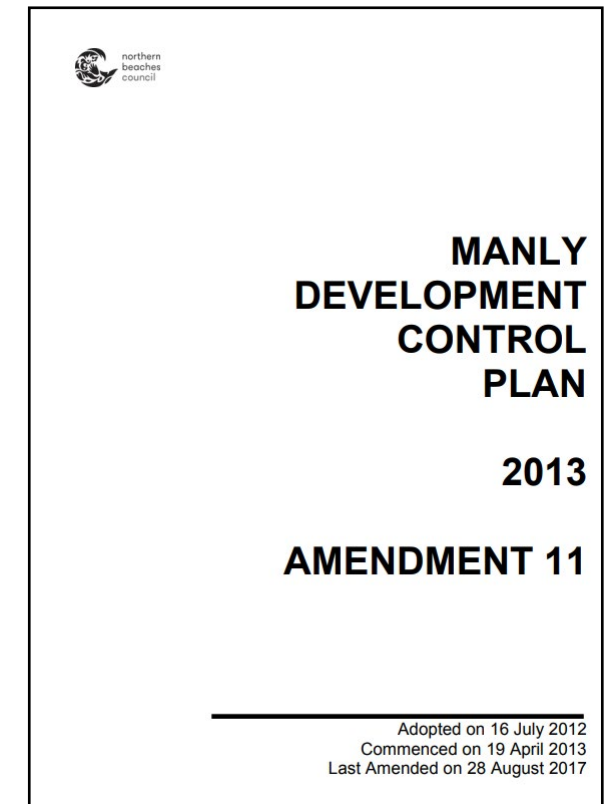
- Objective 1) To encourage appropriate tree planting and maintenance of existing vegetation.
- Objective 2) To retain and augment important landscape features and vegetation remnant populations of native flora and fauna.
- In higher density areas: the provision of adequate private open space and landscaped areas are to maximise residential amenity. Site works must be minimised to protect natural features

Planting criteria including Native Plant Species and Amenity:

- i) Landscaped Areas must be capable of supporting new native tree species that are typically expected to reach a mature height of 10m notwithstanding the minimum dimension requirements at paragraph 4.1.5.2 of this plan.
- ii) The use of locally occurring native plant species is preferred to assist in providing habitat for local fauna; and preserve threatened native plants.
- iii) Trees should be positioned in locations that minimise significant impacts on neighbours in terms of: blocking winter sunlight to either living rooms, private open space or solar collectors; or where the proposed location of the tree may be otherwise positioned to minimise any significant loss of views.

Undercroft areas

- c) Undercroft areas must be presented as a positive space and integrated into the design of the building by use of appropriate landscaping and/or the retention of natural features and vegetation where possible, having regard to the volume of the space and its orientation. In relation to sloping sites (see also paragraph 4.1.8) and in lower density areas, any supporting undercroft structures must be minimised.
- Minimum area of Private Open Space is 20sqm for each dwelling within a mixed use development or shop top housing with a minimum dimension of 3m and designed to receive a minimum of 3 hours direct sunlight between 9am and 3pm in midwinter.
- All side and rear setbacks to boundaries adjoining land zoned Residential in the LEP (excluding laneways) are to be developed for deep soil planting to allow for the retention/establishment of a mature tree landscape buffer.



EXISTING SITE/STREET CONTEXT ANALYSIS

BELGRAVE ST
CHARACTER
Boulevard / High Street



Lack of retail spill-out on street



Green awnings supported



Avenue planting along Belgrave St

RAGLAN ST
CHARACTER
Secondary St / pedestrian
friendly / retail spill-out



Lack of retail spill-out on street



strong street dining experiences



public domain embellishments encouraged

WHISTLER ST
CHARACTER
laneway / finer grain



Lack of activation / pedestrian priority



moments of landscape terracing



opportunities for more street landscaping

CONTEXT & WALKABILITY TO OPEN SPACES



DESIGN OBJECTIVES & PRECINCT VISION

DESIGN OBJECTIVES



A SAFE CONNECTED COMMUNITY

A welcoming neighbourhood that creates a sense of belonging and security whilst being connected to the wider local community of quality schools and local lifestyle amenity. The proposal expands on the sites existing assets and creates a new community destination. We aim to create resilient communities with shared spaces & encourage community support & engagement



SUSTAINABILITY & INNOVATION

We aim to create resilient spaces harnessing innovation and a commitment to a sustainable community for all. The proposal aims to increase Urban canopy & City greening improve Green infrastructure - with a minimum 20% site canopy coverage through implementation of trees & 'green' canopy structures to mitigate heat island effect. WSUD principles are also explored through blistered kerb WSUD planting



HARMONY WITH NATURE

Biophilic design principles influence the urban design to balance built form with natural landscape. Supported by generous open spaces vegetated corridors and selective tree-planting to enhance the beauty of the site. We aim to create a Green Heart to the development with an emphasis on tree Canopy , natural materials and sustainability.



A HEALTHY LIFESTYLE

A site designed for a healthy, positive lifestyle with public spaces, active linkages, sporting facilities and nearby access to township amenities and transport. We aim to enhance the existing site with connections to existing reserves and the wider context



KEY DESIGN OPPORTUNITIES

Embedding the built-form in a strong coastal **landscaped setting**

Maximising green amenity through lower ground pockets, awnings & terraces & rooftop landscaping

Creating a **fine-grain** & connected **community**

Creating small and special moments for residents to connect as neighbours in a boutique environment

Promoting a personal **connection with nature** and improving mental health & well-being

Promoting visual connections to nature at all times to allow nurturing and healing through landscape and provide residents with their own high quality garden experience





LANDSCAPE VISION

// TO CREATE A COASTAL SANCTUARY IN THE HEART
OF MANLY THAT CELEBRATES AND EMBRACES A CLOSE
CONNECTION WITH MANLY COVE AND IT'S
LANDSCAPE SETTING

THE DESIGN

DESIGN STATEMENT

Public Domain & Streetscapes

An upgrade and make-good of the public domain and associated streetscapes is included as part of the development offer to ensure seamless transitions throughout the ground plane. The ground plane is publicly accessible and offers a high quality civic environment with active frontages to Raglan st.

Access, Egress & Connectivity

The through site links act as the primary connectivity spines with finer grain permeability promoted throughout the ground plane maximising access and circulation. All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required.

CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces and retail activation enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception, lobby and retail areas at maximum 1:21 grades reducing the amount of handrails and clutter in the public realm.

Deep Soil, Soil Depths on Podiums & Permanent Planting

All planters have a minimum soil depth of 600mm with a minimum 200-400mm slab setback achieved throughout all landscaped areas in the development. This allows planter walls to be at seating height with additional 1:3 mounding to achieve soil depth for small trees where shown on plan. All noted planted areas in the design is permanent planting with the softworks equating to 46% of the total site area. See more information on Landscape Replacement compliance on page 35.

Community & Placemaking

The DA design process enabled Land and Form Studios and SJB Architects to workshop the site's capability for placemaking, community events and day & night activation.



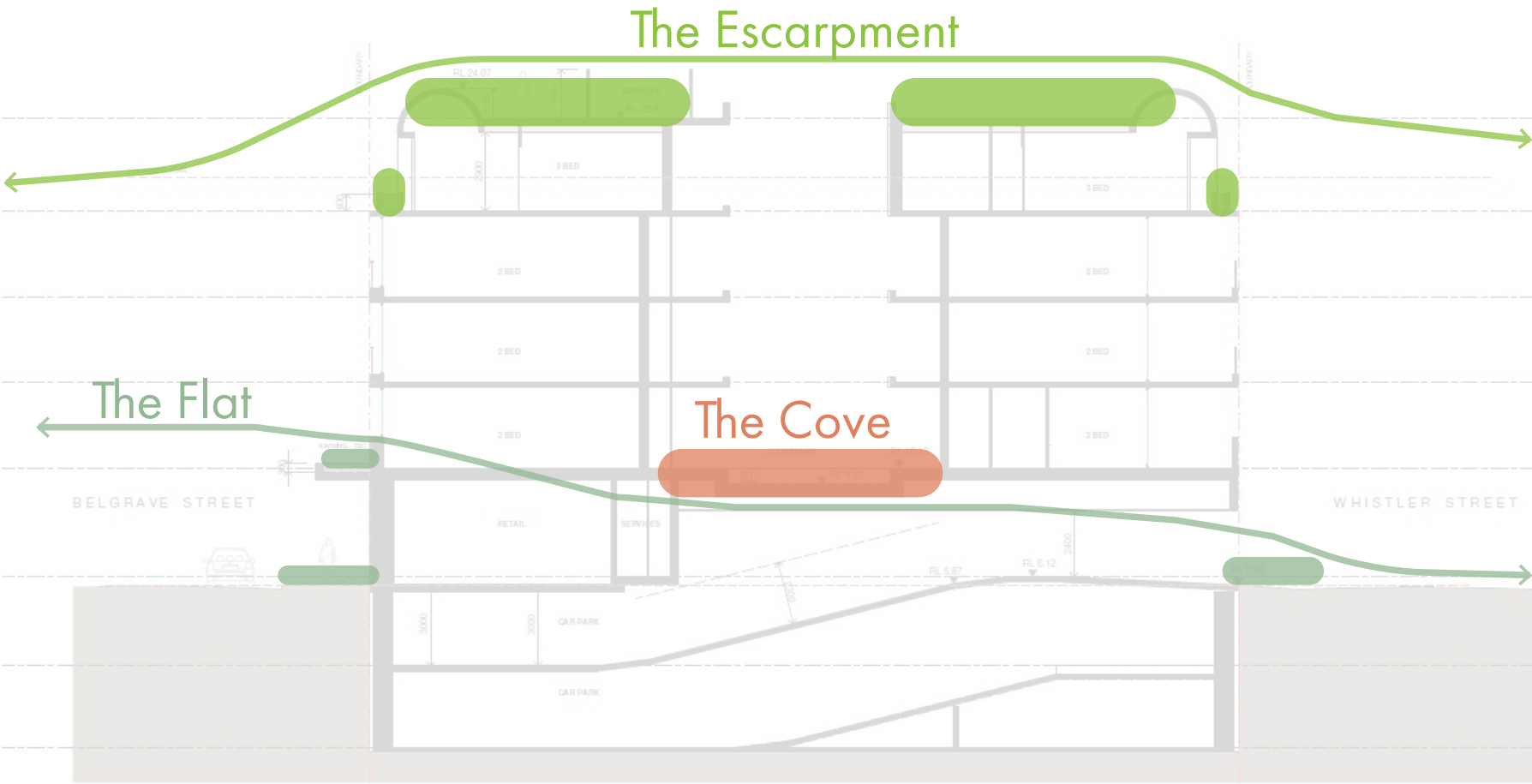
LANDSCAPE CONCEPT & RESPONSE TO PLACE

The Flat & The Escarpment

The landscape concept embraces the natural landform of Manly and represents the two key topographical plains, The Flat & The Escarpment. This manifests throughout the building and transitions from one typology to the other.

The Cove

The Cove is the feature multi-layered courtyard space representing Manly Cove and it's landscape context & setting. This courtyard is visible & apparent through each level of the central open to sky void

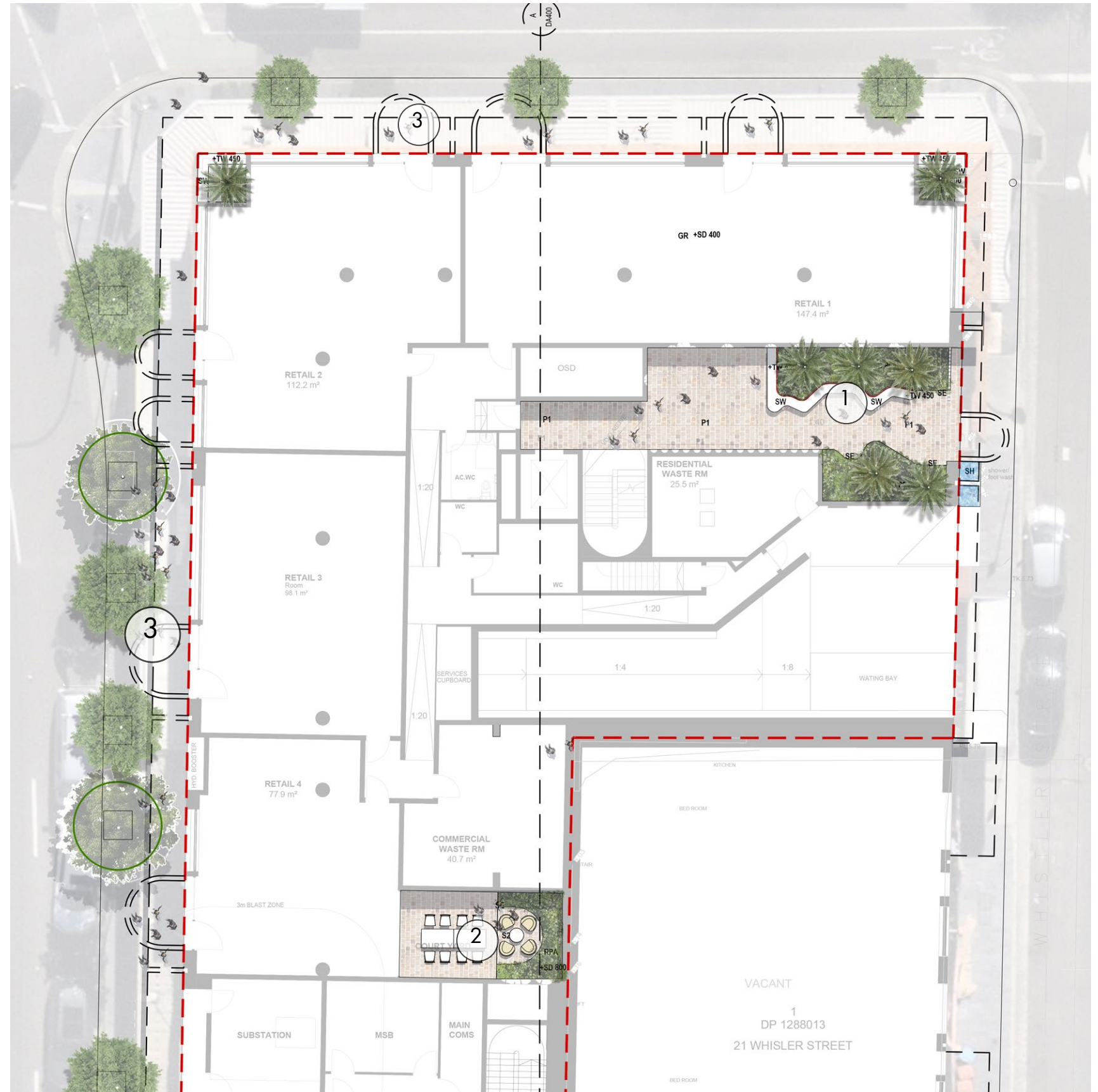


GROUND & PUBLIC DOMAIN

- 1 ENTRY COURTYARD - FEATURE PLANTER WITH TREE FERNS & SEATING EDGE
- 2 COURTYARD
- 3 LIGHT TOUCH LANDSCAPE EMBELLISHMENTS TO BELGRAVE ST & RAGLAN ST WITH ADDITIONAL TREE CANOPY PROVIDED



35-43 Belgrave St Manly



ARRIVAL COURTYARD/LOBBY

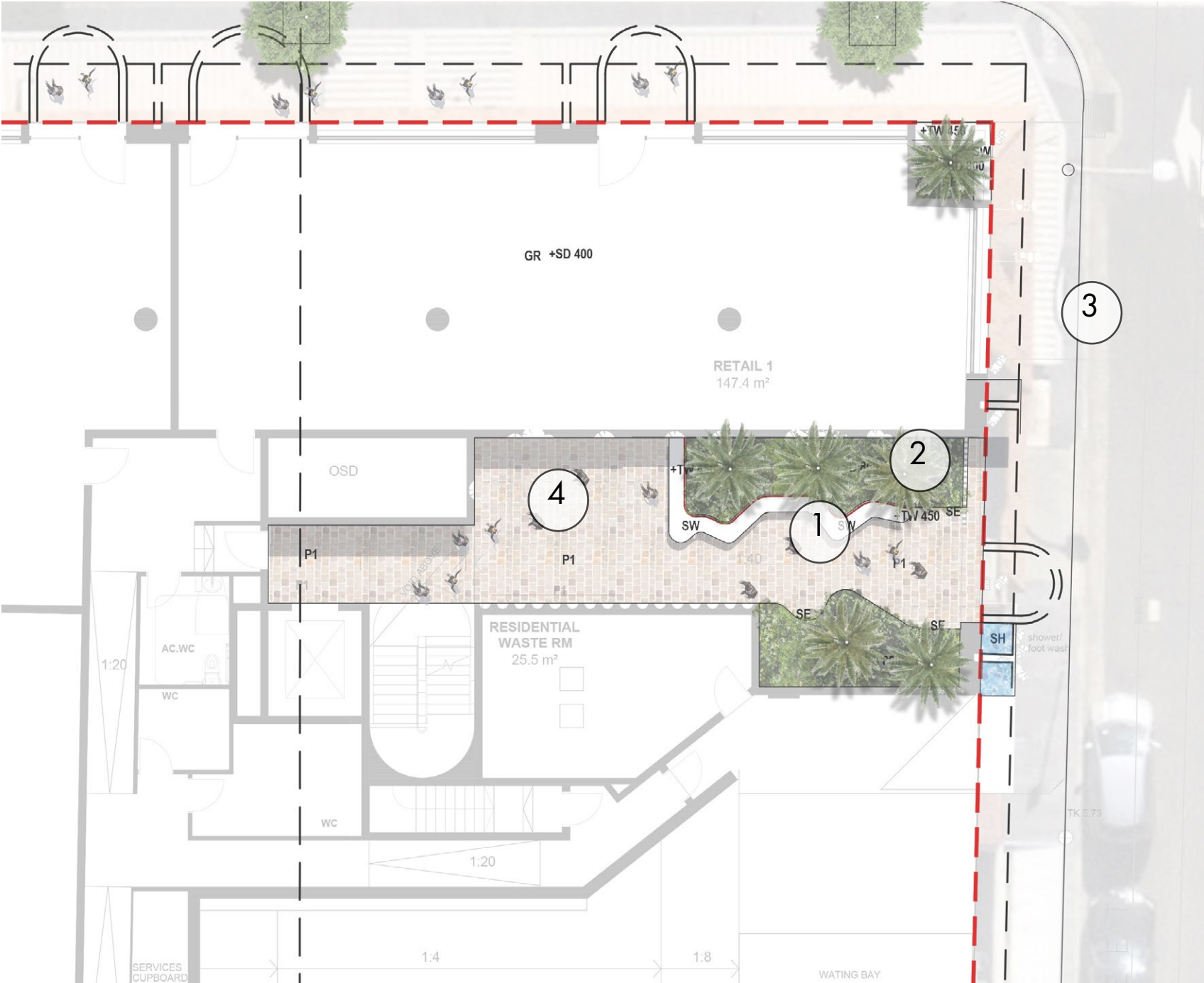
- 1

PORPHYRY STONE PAVING TO ATRIUM
- 2

FEATURE SEATING WALL RIBBON & RAISED PLANTER WITH FEATURE NATIVE FERNS
- 3

LIGHT TOUCH GRC PLANTERS & SEATING OPPORTUNITIES OUTSIDE OF LOBBY
- 4

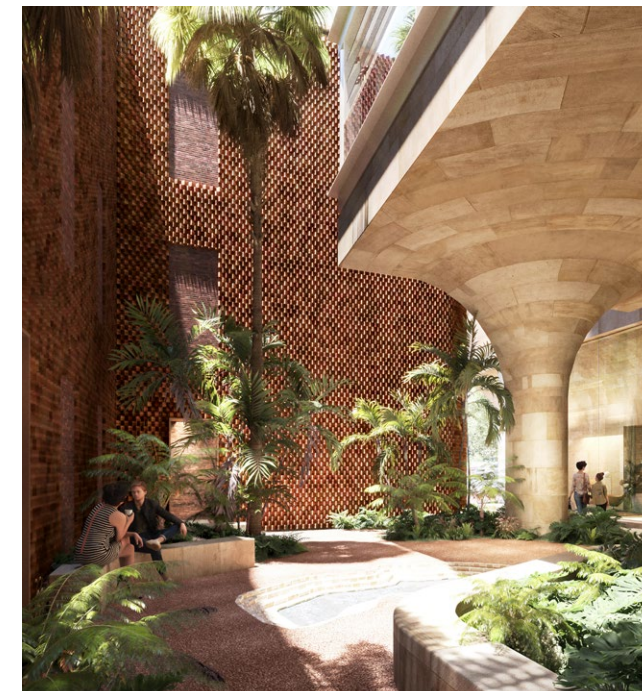
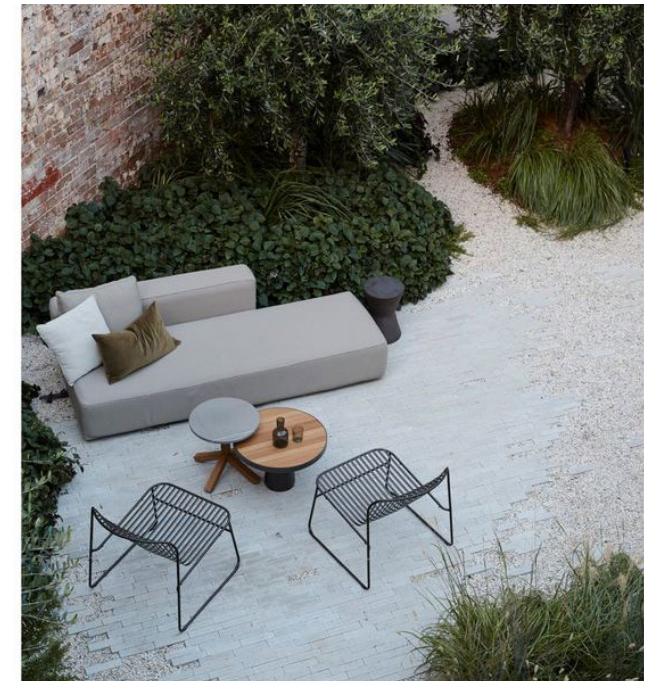
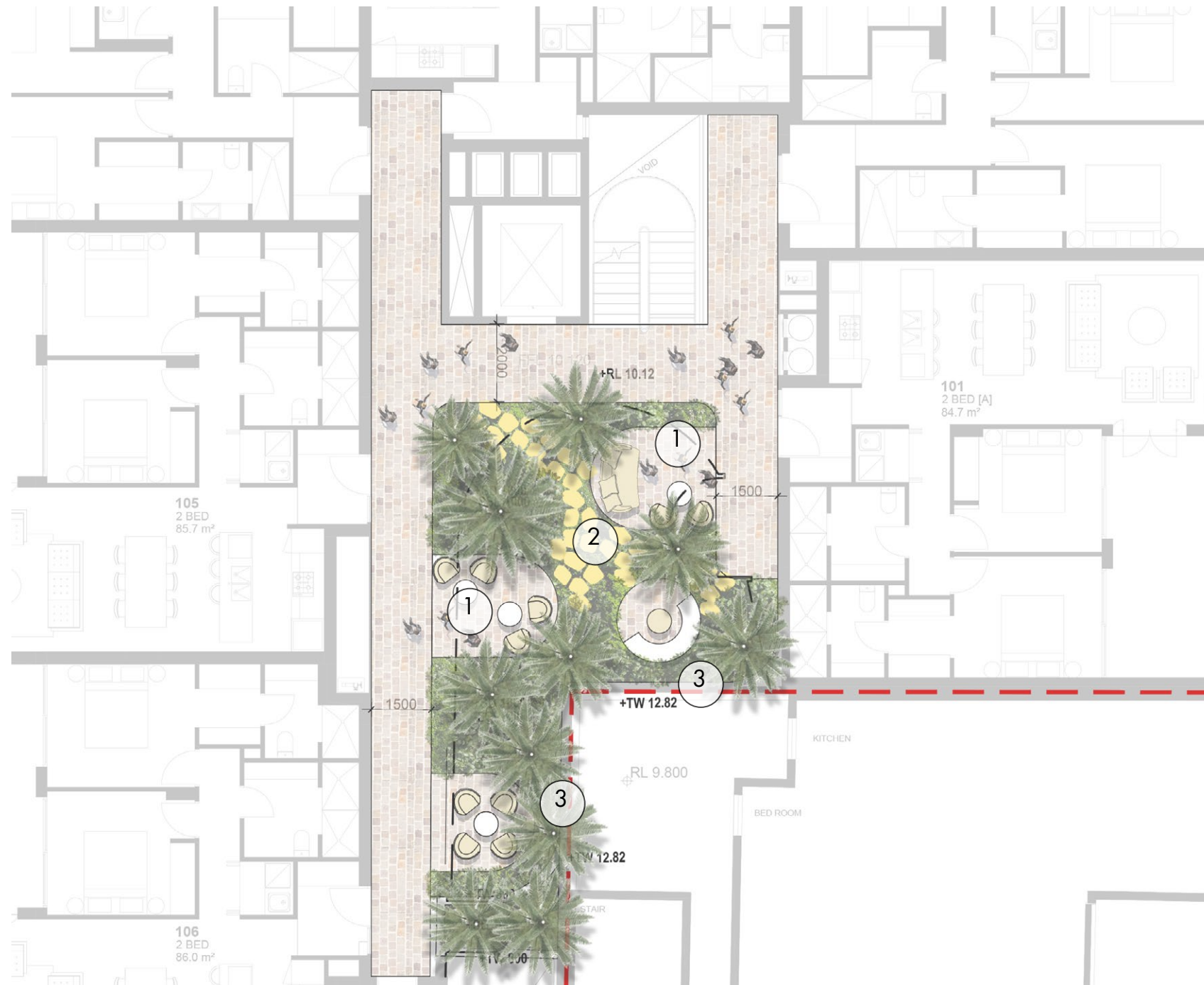
BIKE RACKS



LEVEL COURTYARD “THE COVE”

- 1 SEATING NOOKS
- 2 SECRET SEATING SPACE
ACCESSED THROUGH GARDEN

- 3 VERTICAL CLIMBERS TO REAR WALL

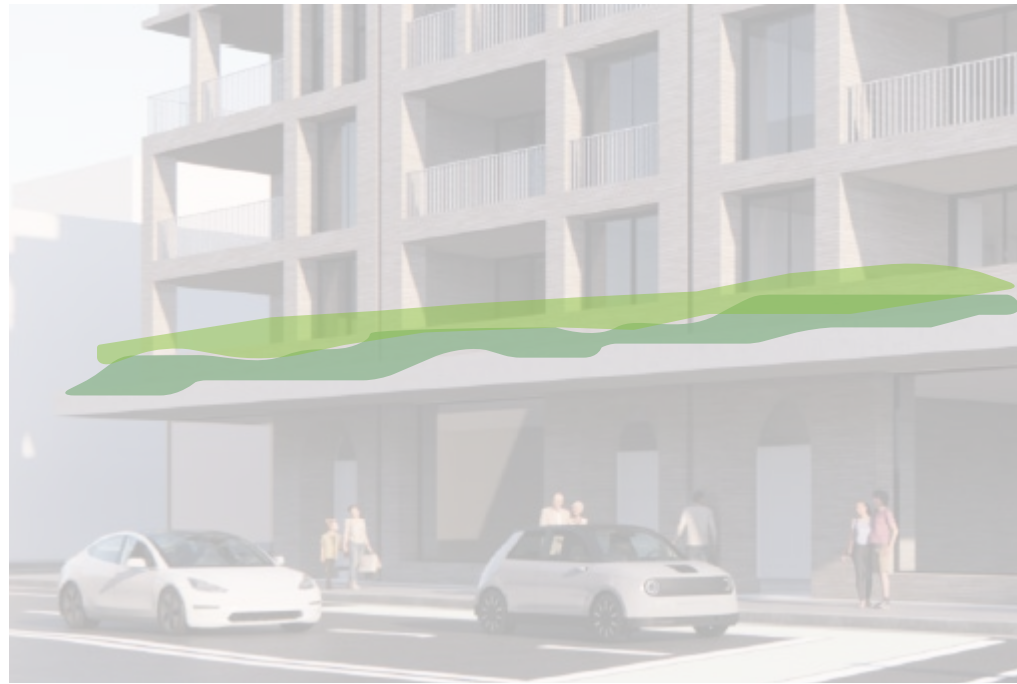


"THE COVE COURTYARD"



GREEN AWNING “THE COASTAL SHELF”

- 1 LOW WATER/NATIVE VEGETATED AWNING WITH 400MM SOIL PROFILE - GROUNDCOVERS/NATIVE GRASSES

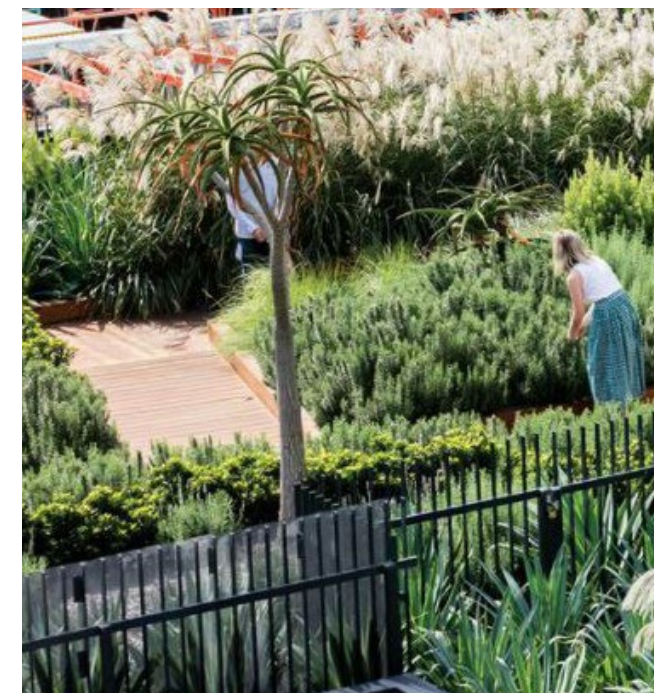
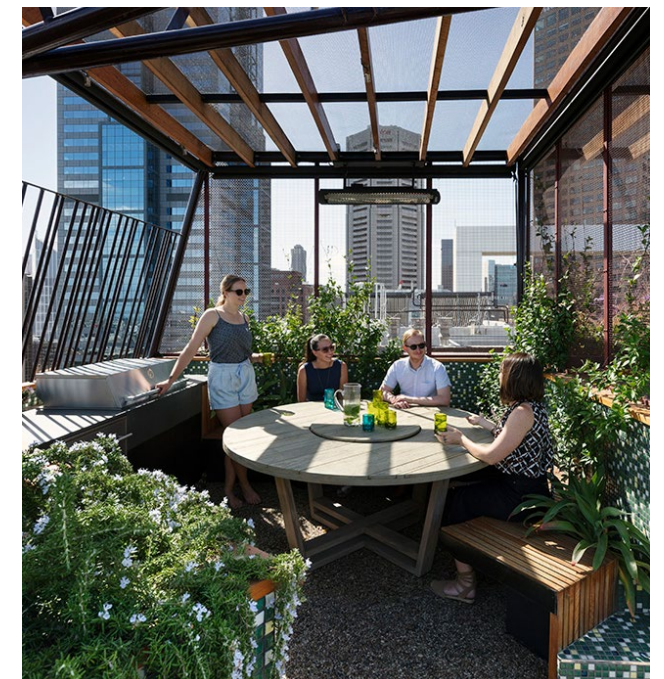


LEVEL 2 PLANTING

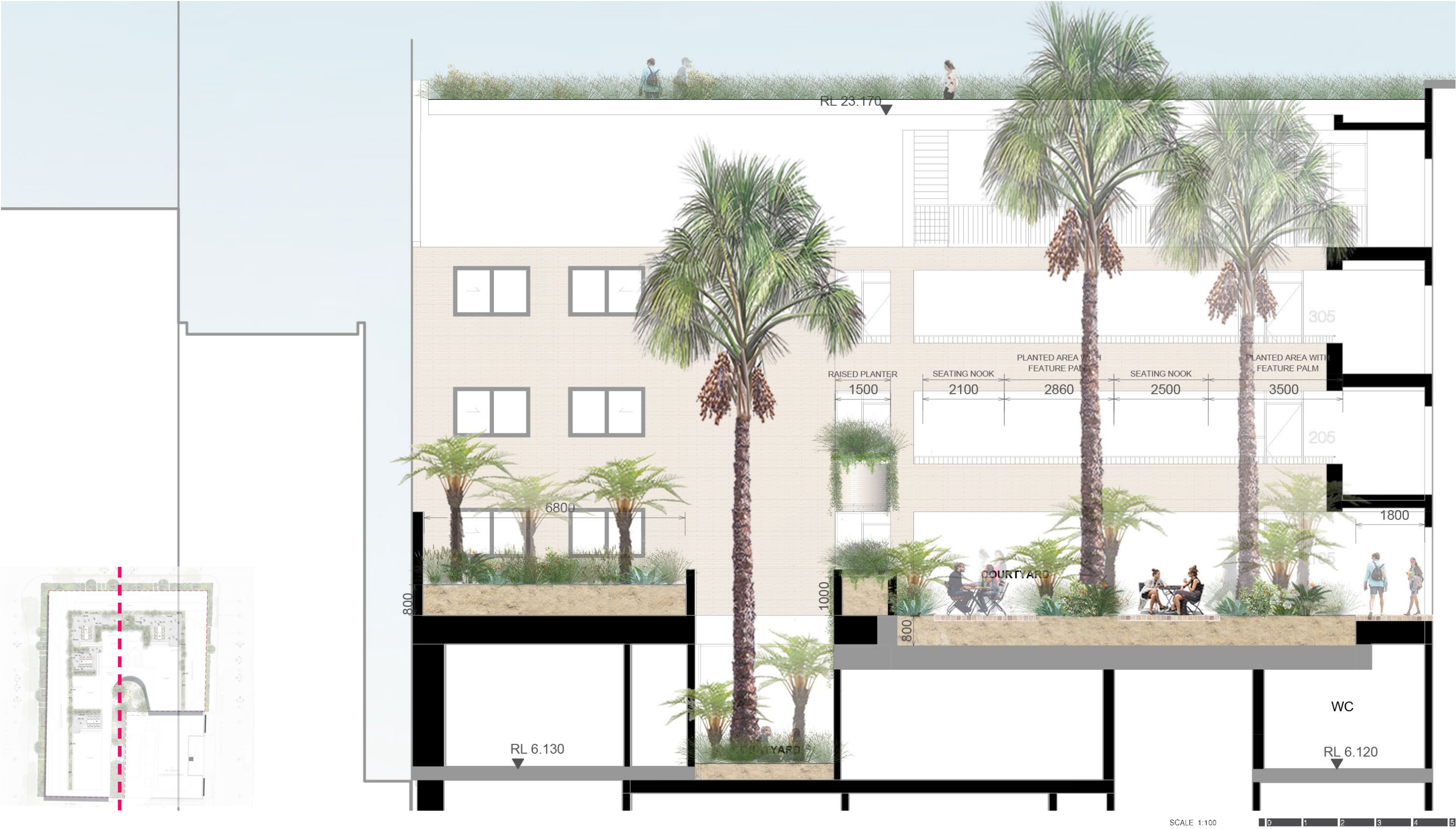
1 RAISED PLANTERS WITH CASCADING
PLANTING INTO CENTRAL VOID



-
- Architectural site plan of a building complex. The plan includes various rooms, outdoor areas, and landscaping. Key features include:
- Building Footprints:** Several rectangular buildings with internal room divisions. Rooms are labeled with codes like P3, S5, and S6.
 - Outdoor Spaces:** A large arched structure at the bottom, possibly a covered walkway or entrance, and various open areas with landscaping (trees, shrubs).
 - Landmarks:** A central "LIFT OVER RUN" area and a "CONCRETE ROOF" section.
 - Annotations:** Numerous elevation markers (e.g., +SD 750, -SSL 150, +TW 600, RL 22.970) and area markers (e.g., 40m², 75m²).
 - Circulation:** Stairs and walkways are indicated throughout the plan.



LANDSCAPE SECTION - CENTRAL COURTYARD



LANDSCAPE SECTION - RAGLAN ST INTERFACE



PLANTING & MATERIALS

PLANTING PALETTE

TREES



Lagerstroemia indica



Livistona Australis



Tristaniopsis laurina
'luscious'



Dicksonia antarctica



Cyathea cooperi

MIX TYPE 1 - FULL SUN/PART SHSADE



Pultenaea stipularis



Banksia spinulosa



Lomandra tanika



Dianella caerulea



Callistemon citrinus



Billardiera scandens

MIX TYPE 2 - PART SHADE/SHADE TOLERANT



Alpinia caerulea



Pimelia linifolia



Rhapis excelsa



Pultenaea stipularis



Lomandra Longfolia
LM400



Viola hederacea

MIX TYPE 3 - GREEN ROOF MIX



Carpobrotus
glaucescens



Themeda australis



Senecio mandralis-
cae



Glycine clandestina

Reference: Northern Beaches Council Native Planting Guide - Manly

MATERIALS PALETTE



SW: insitu concrete class 2 with timber seating battens and led light strip



P1: Porphyry cobblestone pavers



P2: Steppers in groundcovers



P3: Pavers on pedestals



F1: Bench seat o council standards



F2: Coffee Table Set



F3: Seating Bench



F4: Outdoor Lounge Suite



F5: Outdoor Dining Table

DESIGN PERFORMANCE & PROJECT OUTCOMES

DESIGN PERFORMANCE



OBJECTIVE 1.

Better fit
contextual,
local and
of its place

The project offers a diverse range of program & activation enabling different cultures, age groups & community members to come together contributing to the quality of place in Manly



OBJECTIVE 2.

Better performance
sustainable,
adaptable
and durable

The project offers a large open to air central void and garden courtyard in the heart of the development. This social landscape space allows access to sun, air & natural light throughout the day



OBJECTIVE 3.

Better for community
inclusive,
connected
and diverse

All communal space & public domain areas offered in the project are universally accessible and adjacent to retail frontages creating an active environment for the local community to gather and interact with each other



OBJECTIVE 4.

Better for people
safe,
comfortable
and liveable

All communal spaces are protected areas located providing a safe, inclusive and comfortable environment for people to gather and congregate



OBJECTIVE 5.

Better working
functional,
efficient and
fit for purpose

The public domain can host new and different community events, temporary activation whilst retaining its character and sense of place at all times



OBJECTIVE 6.

Better value
creating and
adding value

The project is an active mixed-use precinct adding value to the suburb and drawing people from the surrounding Manly by providing important activation along the at street level and creating a destinational precinct

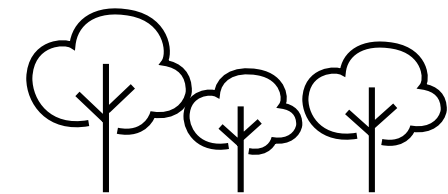


OBJECTIVE 7.

Better look and feel
engaging,
inviting and
attractive

The project offers a high quality and bespoke public realm. It is unique to the area and will enhance the neighbourhood aesthetically & visually whilst also using fine grain materials often found at the everyday home

DESIGN OUTCOMES



INCREASED TREE CANOPY

The retention of key existing trees and the provision of new public domain spaces will enable the site to increase it's current tree canopy coverage to 15% to further mitigate Urban Heat Island effect and create comfortable spaces around homes and within the public domain.



CREATING 'GREEN' CORRIDORS

The proposal will create a series of green corridors and shared streets to connect existing biodiversity corridors., create comfortable pedestrian environments and contribute to local flora and fauna systems



IMPROVED PUBLIC DOMAIN

The master plan provides a number of public domain spaces , which enrich both leisure and recreational opportunity across the site.



A CATALYST FOR HEALTHY LIVING

The project will activate the precinct and become a catalyst for the area with recreational open green spaces, outdoor fitness and well-being spaces for people of all abilities and ages



*Note figures indicative only and are subject to design development.

APPENDIX A LANDSCAPE DA DRAWINGS