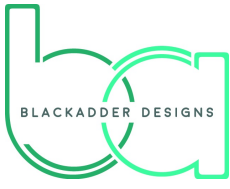
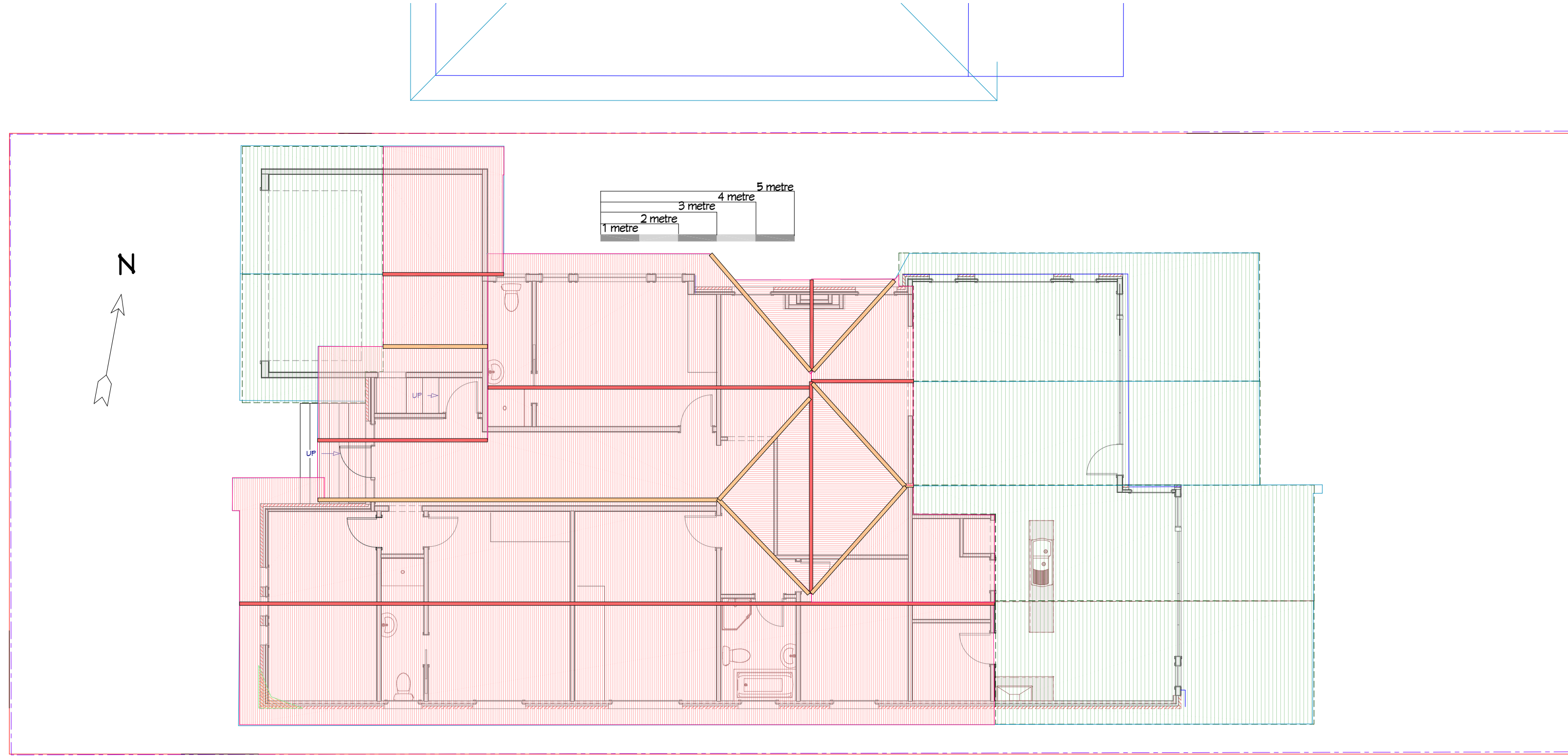




Perspective

	This drawing is protected by copyright		General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.	Alterations & additions Lot 3, DP 238416 24 Keldie street Forestville, 2087 Jenny & Ray Mercer	Scale:	N/A
	M: 0410 419 682	- All dimensions in millimetres (mm) unless otherwise noted.			Size:	A3
	E: KEN@BLACKADDERDESIGNS.COM	- All elevations & RLs in metres (@xx.xx)			Date:	10/08/2023
	W: WWW.BLACKADDERDESIGNS.COM				Drawing No:	01.1
	ABN: 32829136273				Version:	5.1.2



Legend

Roof panes removed

Ridges removed

Gullies removed

Demolition plan (only roof is removed)



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM

ABN: 32829136273

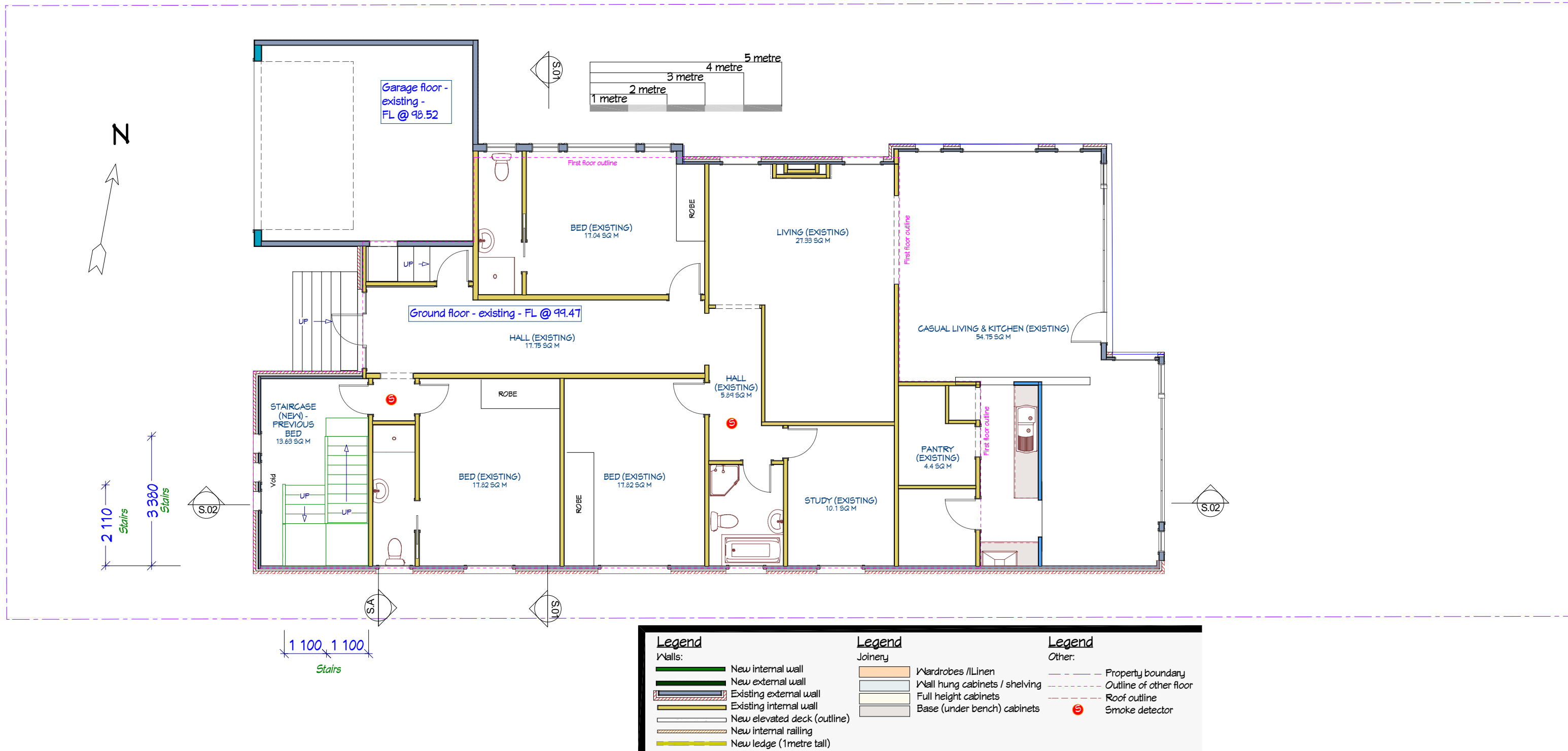
This drawing is protected by copyright

- All dimensions in millimetres (mm) unless otherwise noted.
- All elevations & RLs in metres (@ xx.xx)

General Notes:
Written dimensions take precedence over scaled dimensions.
Builder to verify all dimensions on site and notify this office of any discrepancies.
All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions
Lot 3, DP 238416
24 Keldie street
Forestville, 2087
Jenny & Ray Mercer

Scale:	1:100
Size:	A3
Date:	10/08/2023
Drawing No:	02.1
Version:	5.1.2



Floor plan, existing ground floor

Legend

Walls:

New internal wall

New external wall

Existing external wall

Existing internal wall

New elevated deck (outline)

New internal railing

New ledge (1metre tall)

Legend

Joinery

Wardrobes /Linen

Wall hung cabinets / shelving

Full height cabinets

Base (under bench) cabinets

Legend

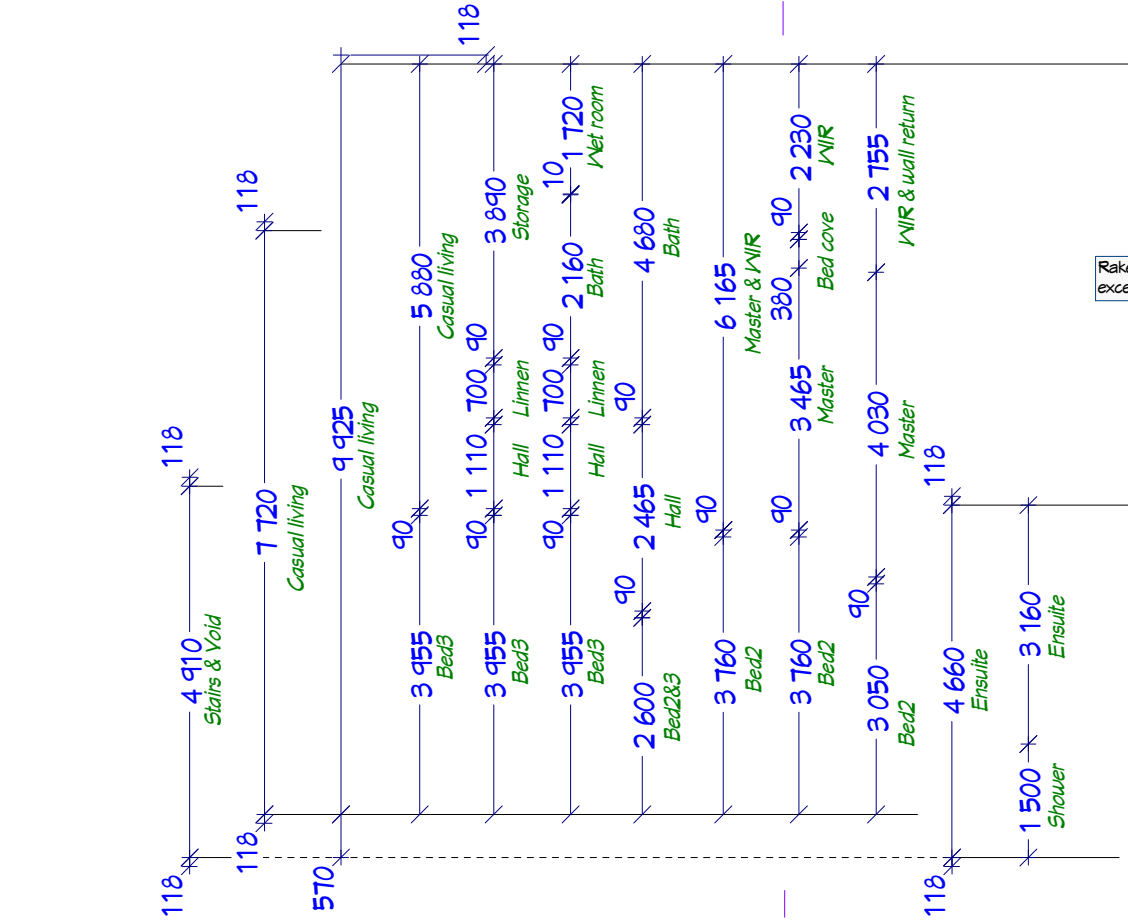
Other:

Property boundary

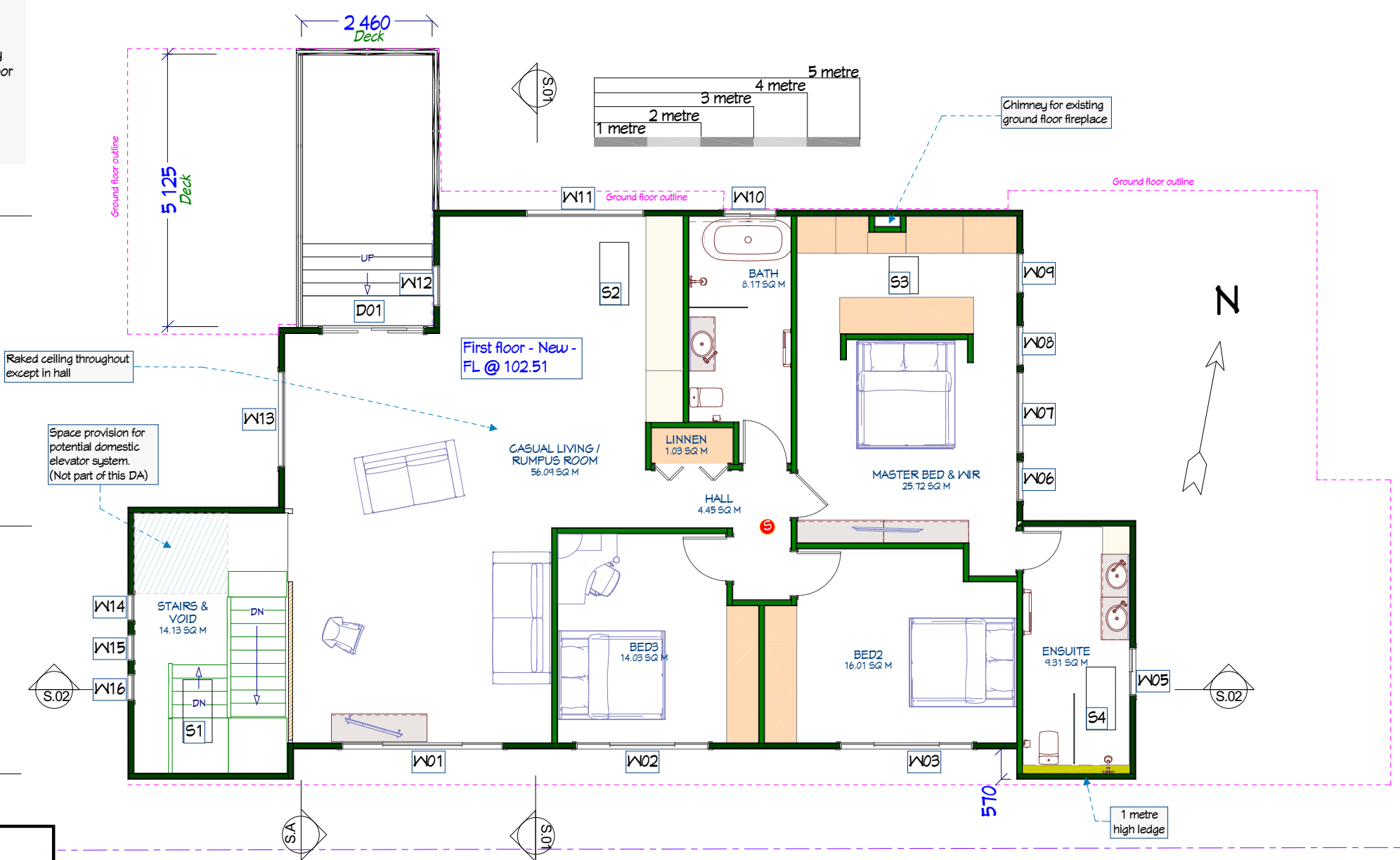
Outline of other floor

Roof outline

Smoke detector



Window: Type	Width	Height	SQM	Head Height	Note
W01 Triple slider	3040	600	1.82	1900	Centre panel fixed
W02 Triple slider	2500	700	1.75	1900	Centre panel fixed
W03 Triple slider	2500	700	1.75	1900	Centre panel fixed
W04 Deleted					
W05 Left Sliding	900	800	0.72	2100	Frosted
W06 Louvred	750	800	0.60	2100	
W07 Fixed	1530	800	1.22	2100	
W08 Louvred	750	800	0.60	2100	
W09 Louvred	600	800	0.48	2100	
W10 Left sliding	1000	600	0.60	1900	
W11 Fixed	2220	660	1.47	1560	Frosted
W12 Fixed	780	2200	1.72	2100	
D01 Glass panel stacker door	1890	2100	3.97	2100	3 panels
W13 Fixed	1800	1200	2.16	2100	
W14 Fixed	500	1850	0.93	2100	3 windows, same dimensions and to fit above existing ground floor window
W15 Fixed	500	1850	0.93	2100	
W16 Fixed	500	1850	0.93	2100	



Floor plan, new first floor

BLACKADDER DESIGNS

M: 0410 419 682

E: KEN@BLACKADDERDESIGNS.COM

W: WWW.BLACKADDERDESIGNS.COM

ABN: 32829136273

This drawing is protected by copyright

- All dimensions in millimetres (mm) unless otherwise noted.

- All elevations & RLs in metres (@xx.xx)

General Notes:

Written dimensions take precedence over scaled dimensions.

Builder to verify all dimensions on site and notify this office of any discrepancies.

All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions

Lot 3, DP 238416

24 Keldie street

Forestville, 2087

Jenny & Ray Mercer

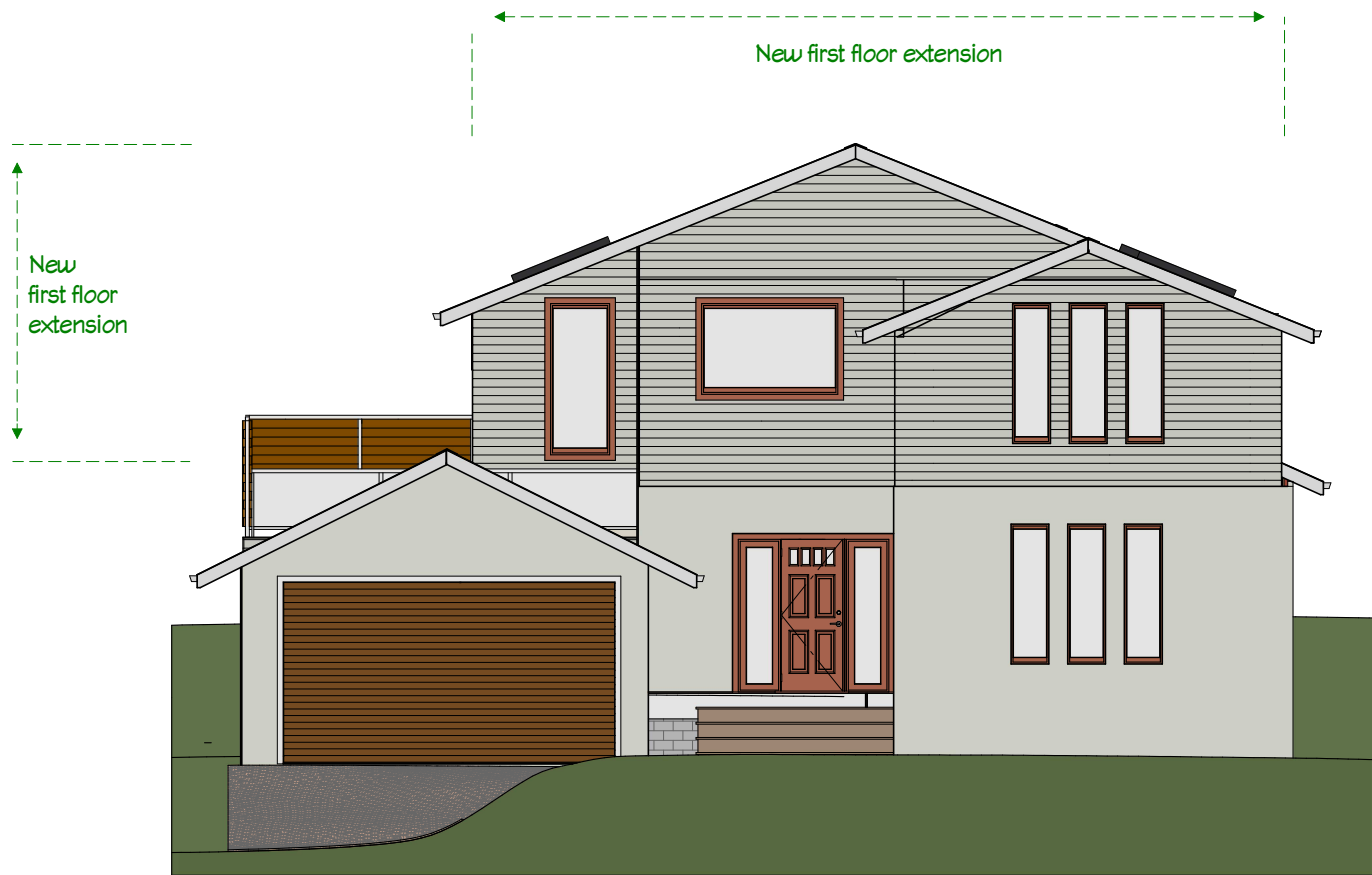
Scale: 1:100

Size: A3

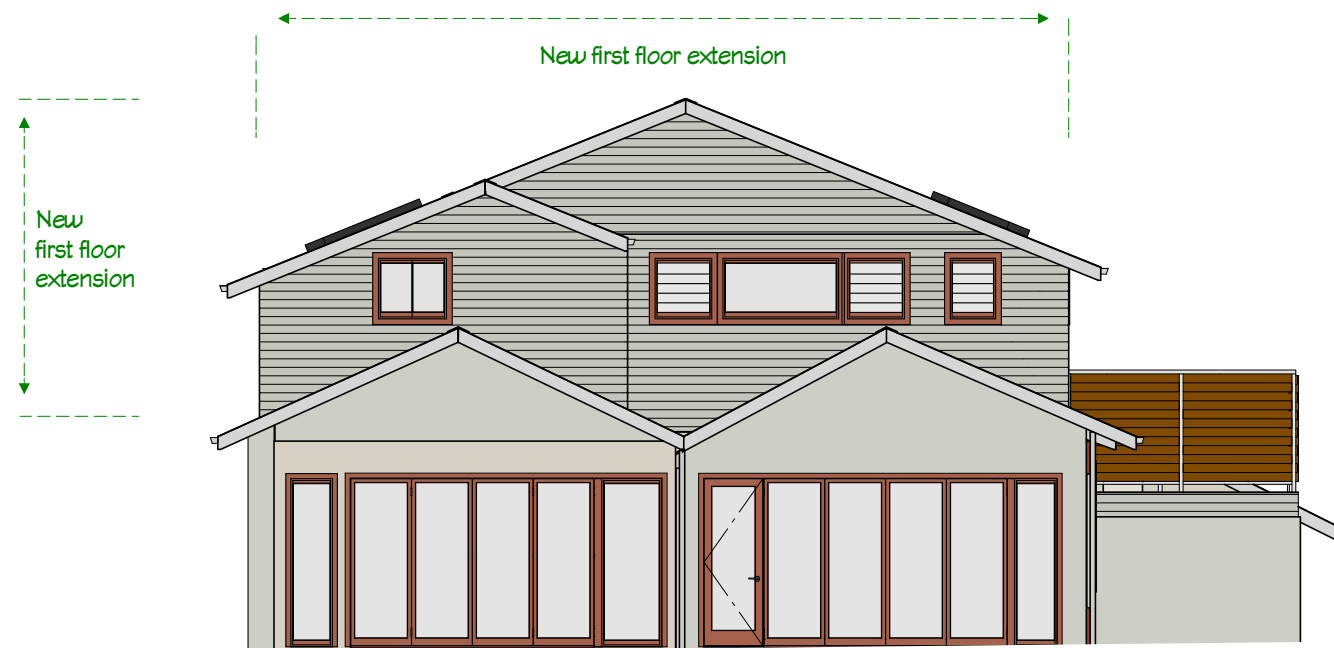
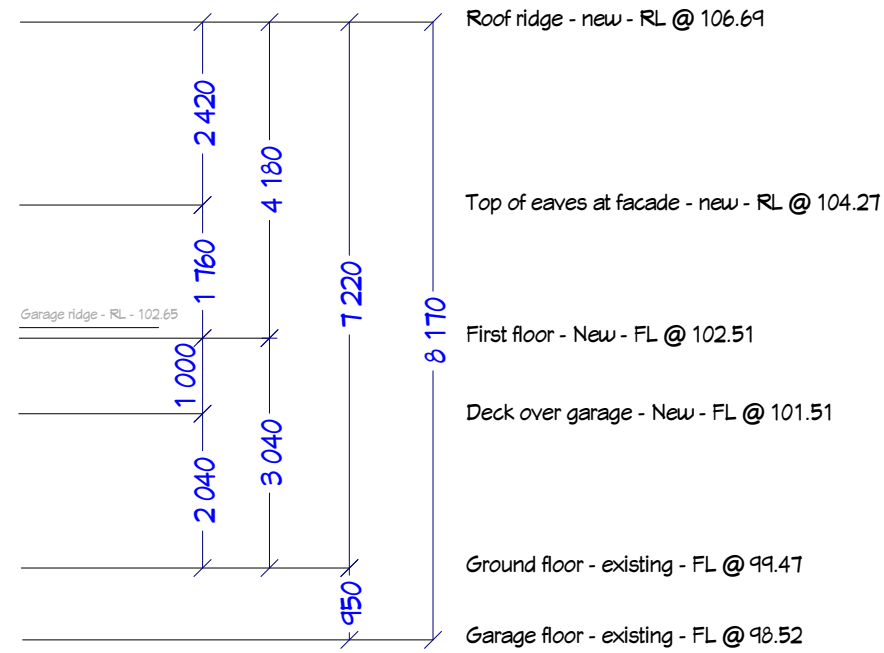
Date: 10/08/2023

Drawing No: 03.2

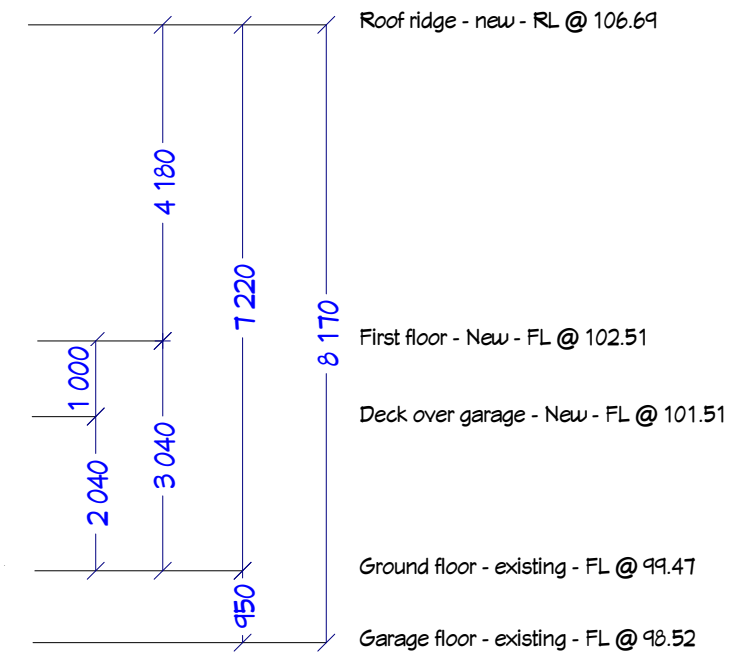
Version: 5.1.2



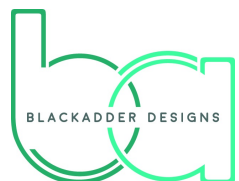
Façade - West elevation



Rear - East elevation



Elevations plan



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM
ABN: 32829136273

This drawing is protected by copyright

- All dimensions in millimetres (mm) unless otherwise noted.
- All elevations & RLs in metres (@xx.xx)

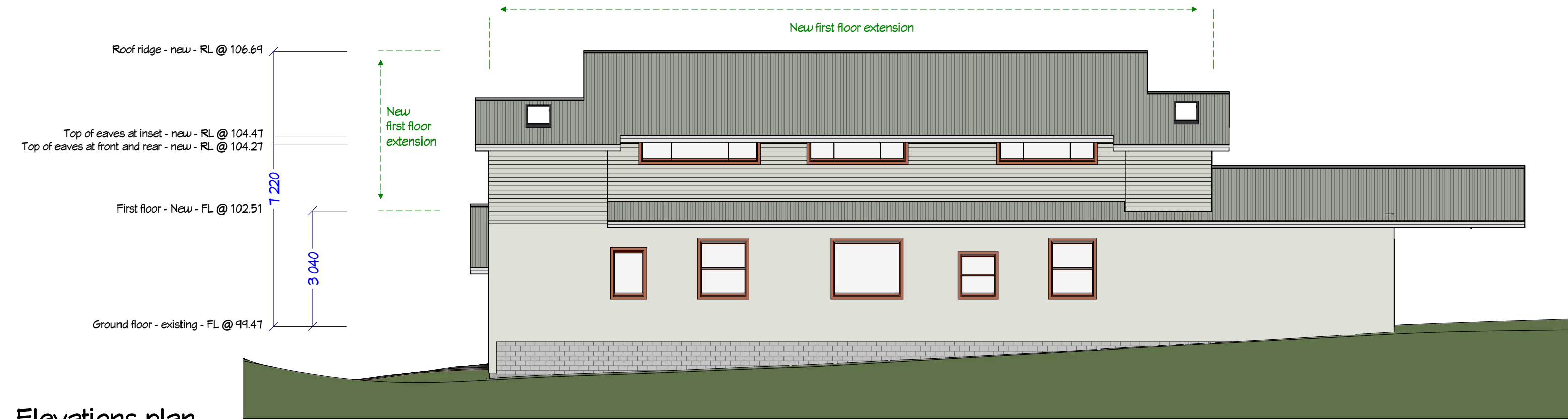
General Notes:
Written dimensions take precedence over scaled dimensions.
Builder to verify all dimensions on site and notify this office of any discrepancies.
All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions
Lot 3, DP 238416
24 Keldie street
Forestville, 2087
Jenny & Ray Mercer

Scale: 1:100
Size: A3
Date: 10/08/2023
Drawing No: 04.1
Version: 5.1.2



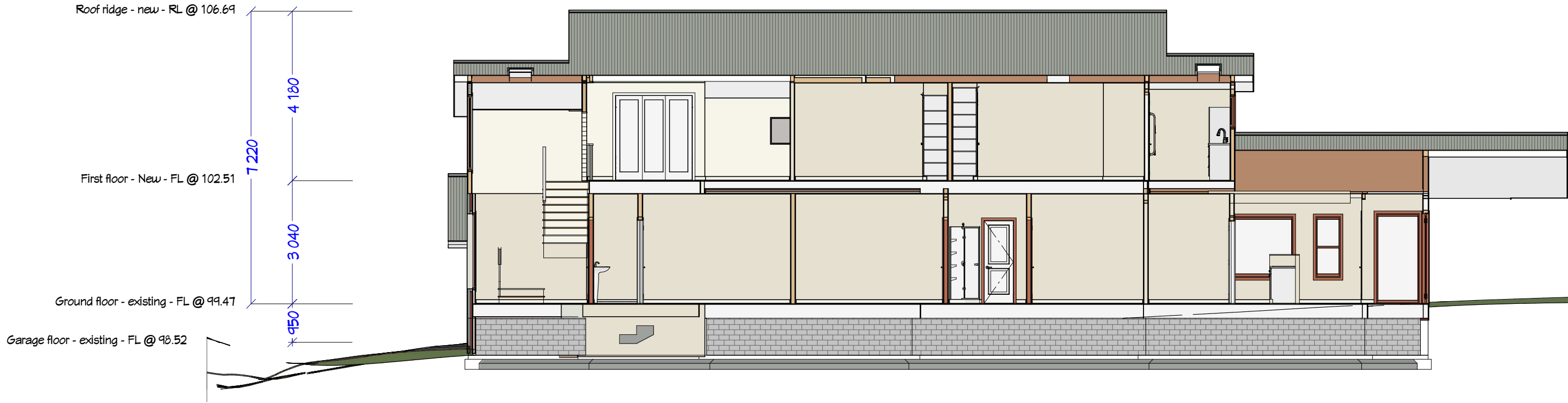
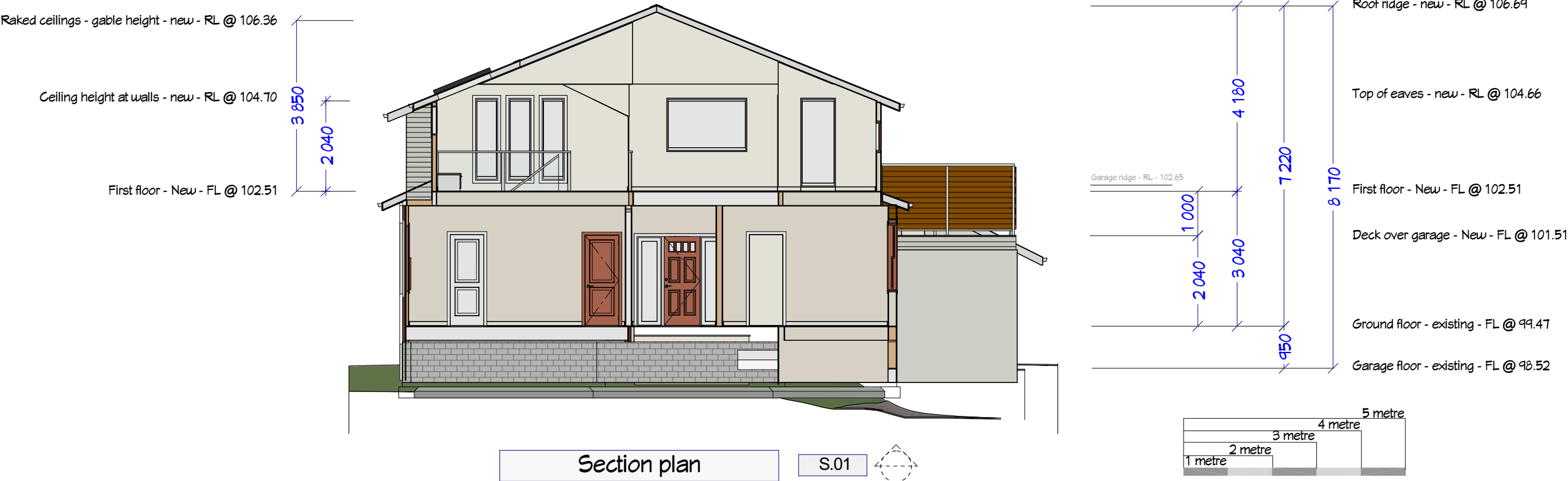
Side - North elevation



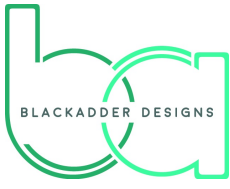
Side - South elevation

Elevations plan

 M: 0410 419 682 E: KEN@BLACKADDERDESIGNS.COM W: WWW.BLACKADDERDESIGNS.COM ABN: 32829136273	<i>This drawing is protected by copyright</i>	- All dimensions in millimetres (mm) unless otherwise noted. - All elevations & RLs in metres (@ xx.xx)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.	Alterations & additions Lot 3, DP 238416 24 Keldie street Forestville, 2087 Jenny & Ray Mercer	Scale: 1:100 Size: A3 Date: 10/08/2023 Drawing No: 04.2 Version: 5.1.2
---	--	--	--	---	---



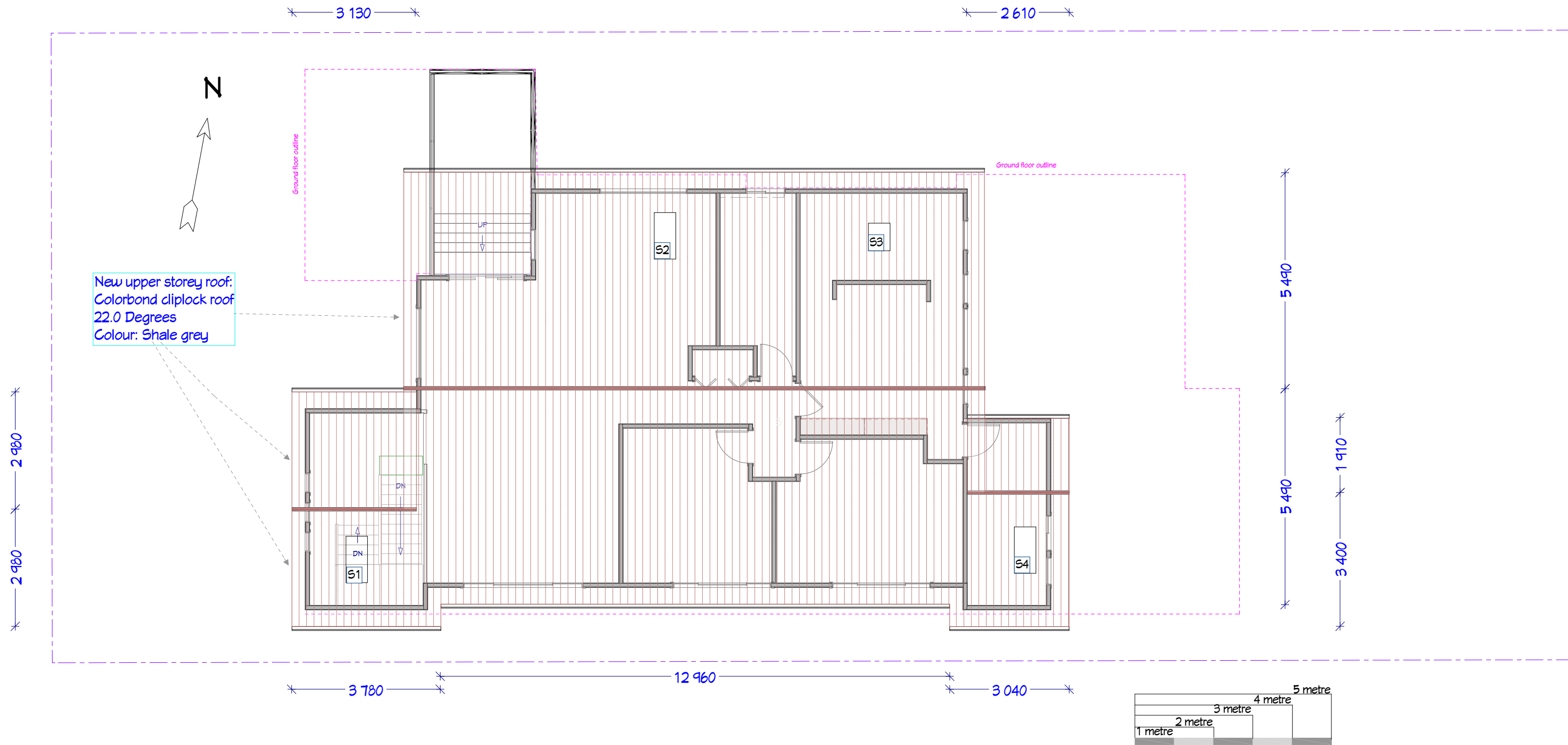
Sections plan

 M: 0410 419 682 E: KEN@BLACKADDERDESIGNS.COM W: WWW.BLACKADDERDESIGNS.COM ABN: 32829136273	<i>This drawing is protected by copyright</i>	- All dimensions in millimetres (mm) unless otherwise noted. - All elevations & RLs in metres (@ xx.xx)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.	Alterations & additions Lot 3, DP 238416 24 Keldie street Forestville, 2087 Jenny & Ray Mercer	Scale: 1:100 Size: A3 Date: 10/08/2023 Drawing No: 05.1 Version: 5.1.2
---	--	---	---	--	---



Building envelope plan (at facade and section)

 M: 0410 419 682 E: KEN@BLACKADDERDESIGNS.COM W: WWW.BLACKADDERDESIGNS.COM ABN: 32829136273	<i>This drawing is protected by copyright</i> - All dimensions in millimetres (mm) unless otherwise noted. - All elevations & RLs in metres (@xx.xx)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.	Alterations & additions Lot 3, DP 238416 24 Keldie street Forestville, 2087 Jenny & Roy Mercer	Scale: 1:100 Size: A3 Date: 10/08/2023 Drawing No: 05.2 Version: 5.1.2
	Notes: 1. All dimensions are in millimetres (mm) unless otherwise noted. 2. All elevations & RLs in metres (@xx.xx) 3. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.			



Skylight Schedule

Window:	Type	Width	Height	SQM	Head Height	Note
S1	Skylight - staircase	550	1180	0.65	N/A	
S2	Skylight - living room	2500	700	1.75	1900	
S3	Skylight - WIR	2500	700	1.75	1900	Frosted
S4	Skylight - ensuite	500	1850	0.93	2100	Optionally openable

Roof plan (new upper floor)



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM
ABN: 32829136273

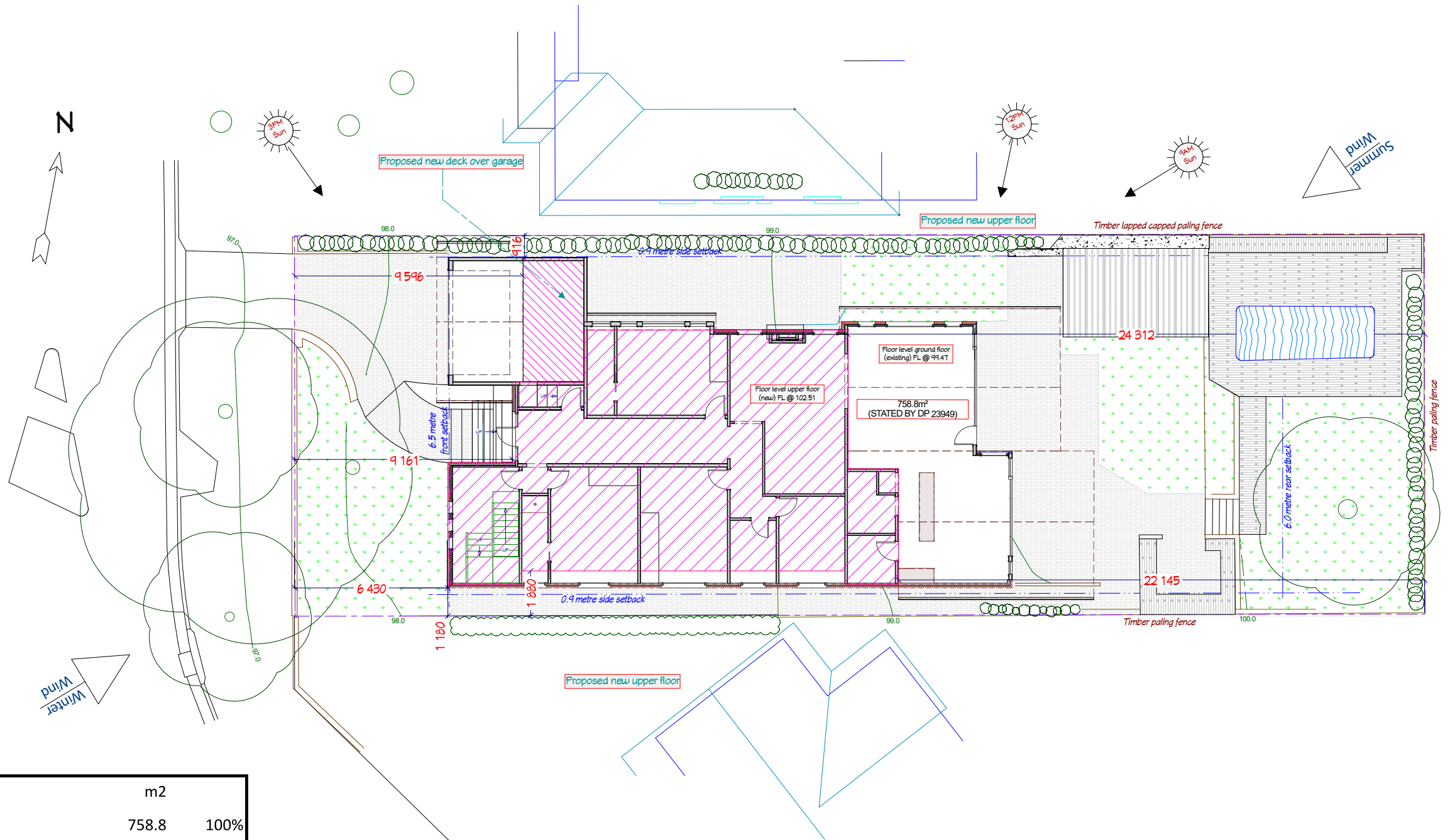
This drawing is protected by copyright

- All dimensions in millimetres (mm) unless otherwise noted.
- All elevations & RLs in metres (@ xx.xx)

General Notes:
Written dimensions take precedence over scaled dimensions.
Builder to verify all dimensions on site and notify this office of any discrepancies.
All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions
Lot 3, DP 238416
24 Keldie street
Forestville, 2087
Jenny & Ray Mercer

Scale: 1:100
Size: A3
Date: 10/08/2023
Drawing No: 06.1
Version: 5.1.2



Site Analysis calculation - Current

	m2	
Property / Site area	758.8	100%
Existing impervious areas / build up areas (BAU):		
Dwelling (unchanged)	262.6	34.6%
Driveway and walkway to front door steps	42.0	5.5%
Front door patio and steps	4.4	0.6%
Paved path, south side of house	27	3.6%
Rear yard paved patio	76.9	10.1%
Side patio - Norht side	32.8	4.3%
Shed	22.8	3.0%
Deck around pool, including bench seat against North fence	42.3	5.6%
Path between paving and pool deck, including steps	8.6	1.1%
Bench seat, south side of back yard	6.8	0.9%
Concrete behind shed	4.4	0.6%
Total existing impervious areas / build up areas	530.6	69.9%

Landscaped Open Space (areas greater than 2.0 *2.0 m only)

Property / Site area	758.8	100%
Front garden	54.9	7.2%
Side lawn (North side)	25.3	3.3%
Lawn between rear patio and pool deck / pool path	35.4	4.7%
Lawn in the rear yard	65.1	8.6%
Pool water	12.9	1.7%
Total landscaped open space	193.6	25.5%

Site plan & site analysis plan



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM
ABN: 32829136273

This drawing is protected by copyright

- All dimensions in millimetres (mm) unless otherwise noted.
- All elevations & RLs in metres (@xx.xx)

General Notes:
Written dimensions take precedence over scaled dimensions.
Builder to verify all dimensions on site and notify this office of any discrepancies.
All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions
Lot 3, DP 238416
24 Keldie street
Forestville, 2087
Jenny & Ray Mercer

Scale: 1:200
Size: A3
Date: 10/08/2023
Drawing No: 07.1
Version: 5.1.2

Legend;

Shadow cast - existing

21 June - winter solstice

 @ 09:00
Current (existing) shadow cast by dwelling house prior to development

 @ 12:00 (noon)
Current (existing) shadow cast by dwelling house prior to development

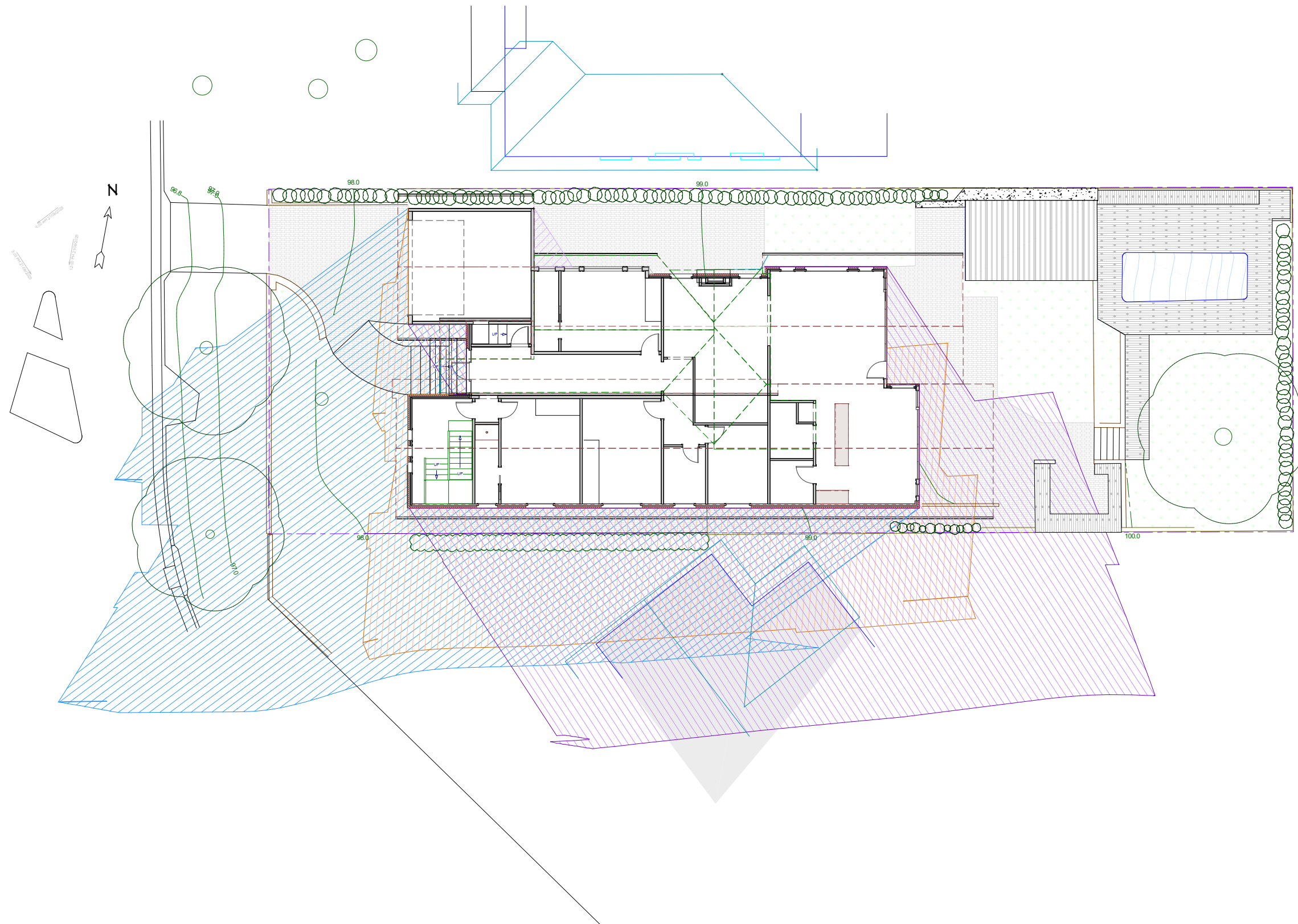
 @ 15:00
Current (existing) shadow cast by dwelling house prior to development

Note:

- Shadow is ground projection taking ground slope into account.
- low garden structures, retaining walls and trees are ignored by shadow diagram

Assumption:

- Adjacent properties' land slopes with a similar degree as the subject property



Shadow diagrams existing



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM
ABN: 32829136273

This drawing is protected by copyright

- All dimensions in millimetres (mm)
unless otherwise noted.
- All elevations & RLs in metres (@ xx.xx)

General Notes:
Written dimensions take precedence over scaled dimensions.
Builder to verify all dimensions on site and notify this office of any discrepancies.
All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions
Lot 3, DP 238416
24 Keldie street
Forestville, 2087
Jenny & Ray Mercer

Scale: 1:200
Size: A3
Date: 10/08/2023
Drawing No: 08.1
Version: 5.1.2

Shadow cast - post development

21 June - winter solstice

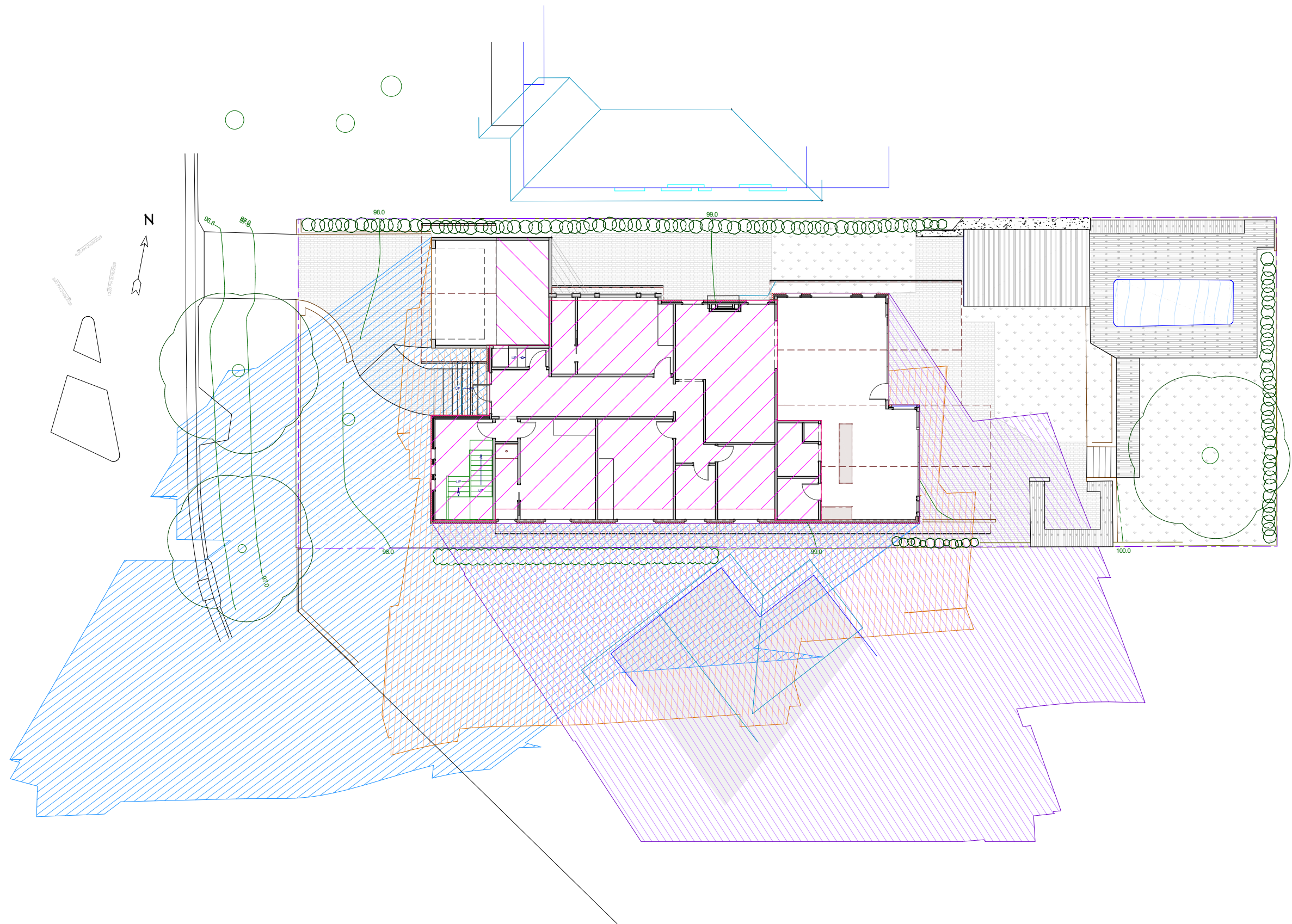
-  @ 09:00
Shadow cast post new development
 -  @ 12:00 (noon)
Shadow cast post new development
 -  @ 15:00
Shadow cast post new development

Note:

- Shadow is ground projection taking ground slope into account.
- low garden structures, retaining walls and trees are ignored by shadow diagram

Assumption:

- Adjacent properties' land slopes with a similar degree as the subject property



Shadow diagrams proposed



M: 0410 419 682
E: KEN@BLACKADDERDESIGNS.COM
W: WWW.BLACKADDERDESIGNS.COM

ABN: 32829136273

This drawing is protected by copyright

- All dimensions in millimetres (mm) unless otherwise noted.
- All elevations & RLs in metres (@xx.xx)

General Notes:

Written dimensions take precedence over scaled dimensions.

Builder to verify all dimensions on site and notify this office of any discrepancies.

All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.

Alterations & additions
Lot 3, DP 238416
24 Keldie street
Forestville, 2087
Jenny & Roy Mercer

Scale:	1:200
Size:	A3
Date:	10/08/2023
Drawing No:	08.2
Version:	5.1.2

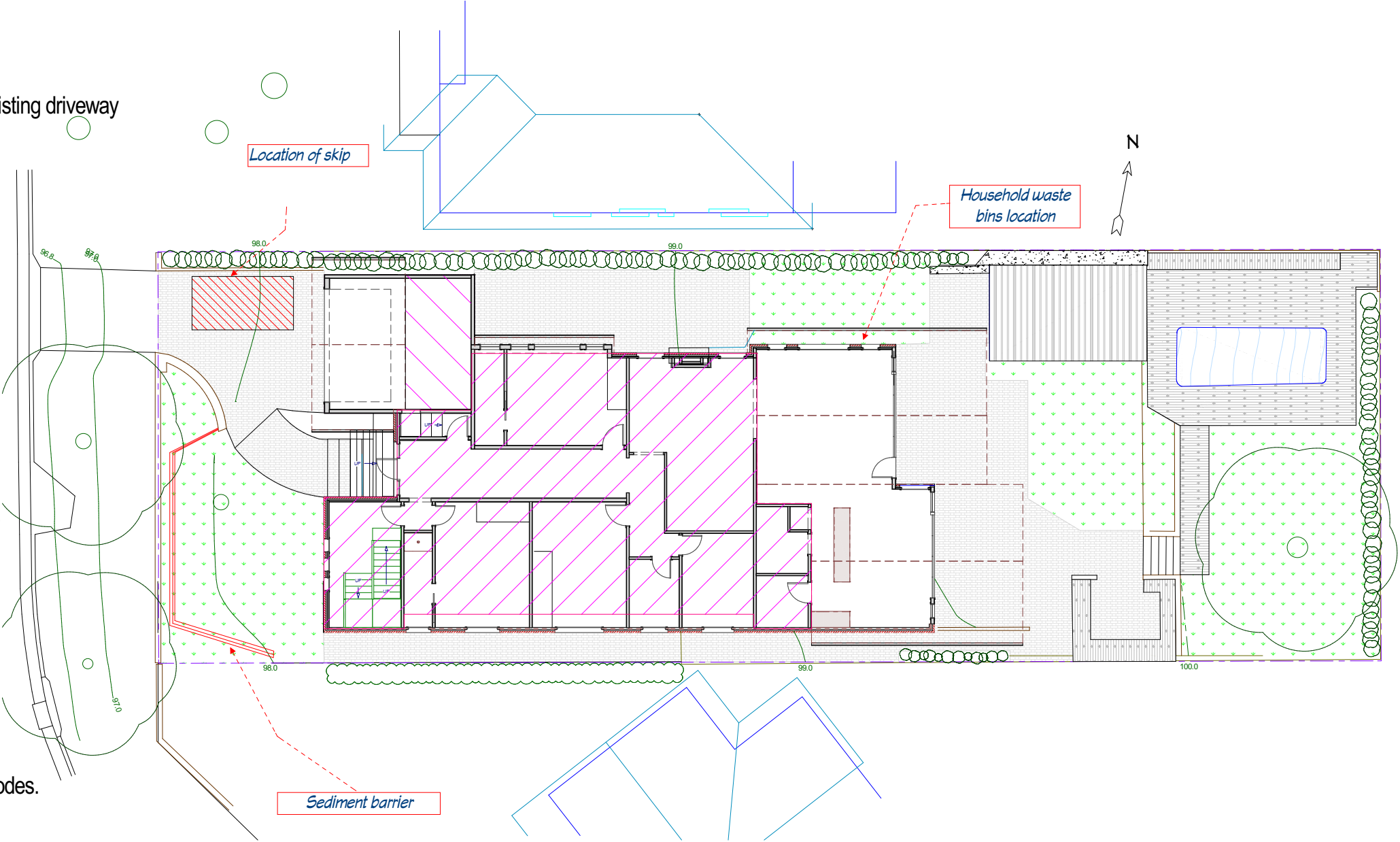
Waste Management Plan

- General notes;
- Good access exists for waste removal, skip location and product delivery via the existing driveway
 - All on site trees are retained
 - Ample street parking for trade vehicles

The following waste is sorted on site and removed

Waste Management Plan – Demolition

- Brick
- No brick waste is expected
- Metal roof
- 1.3 tonne (230.0 sqm) of metal roof sheets are removed
 - To be recycled at the Kimbriki metal depot or any alternate metal recycling plant.
- Other materials consisting of roof framing timbers, windows, doors, plaster board, etc.
- Estimated between 1.5 and 2.5 tonne
 - To go to landfill.
- Soil
- No soil excavation.
- Asbestos
- It has not been determined as yet if asbestos exists on site.
 - If asbestos is found and required to be removed then this will be removed, double wrapped and discarded in accordance with the appropriate standards and codes.



Waste Management Plan – Build

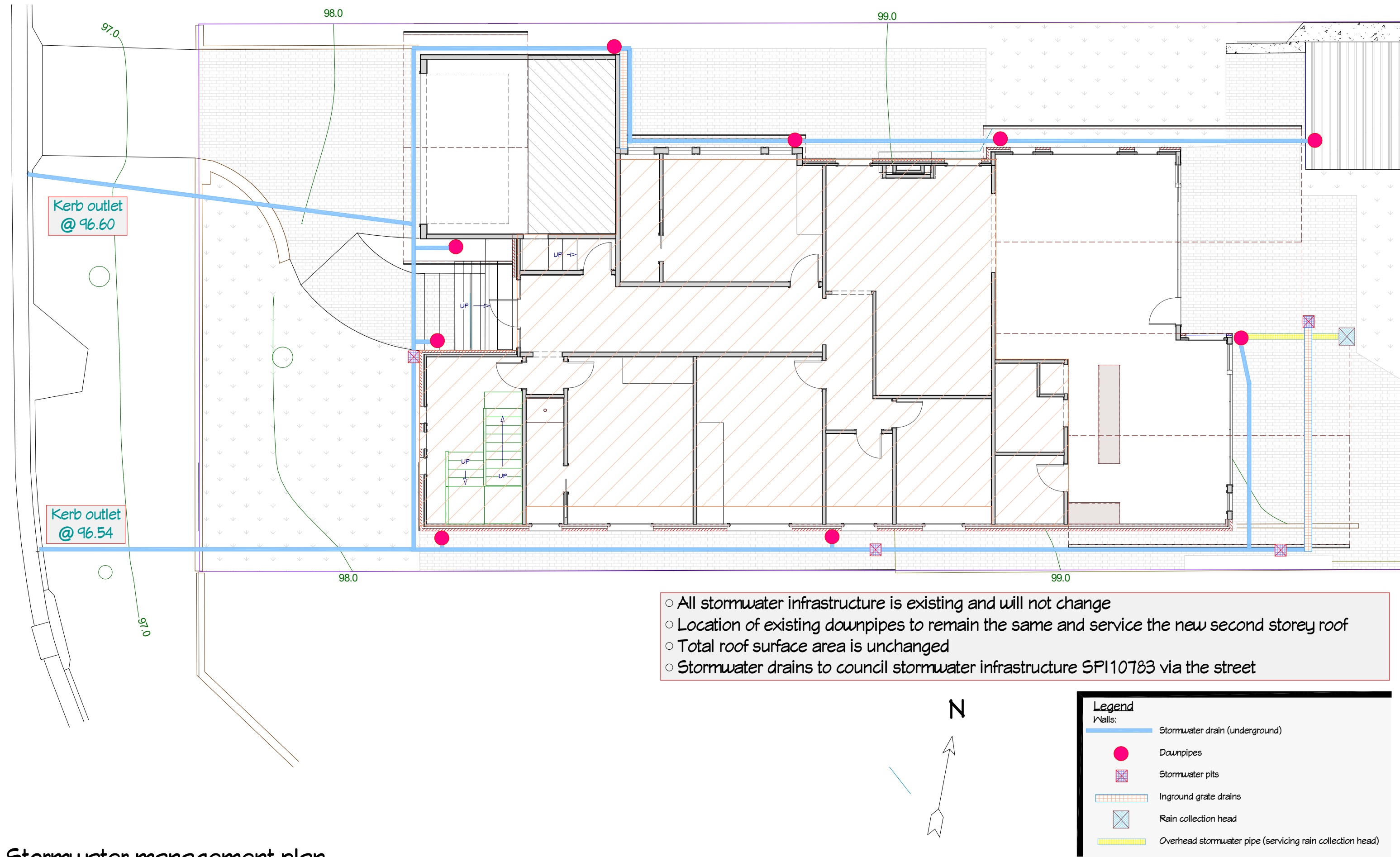
- Excess building waste / cut offs
- To be kept to a minimum and deposited in on-site skip for landfill.
- Roof cut-offs
- Steel roof and gutter leftovers to be removed by the roofing company and recycled
 - Particular care is to be made that small metal shrapnel and rivet pins are collected and do not find their way into the lawn that surrounds the house as these may cause injuries.
- Other
- Builder will provide on-site recycle and waste bins for appropriate disposal and recycling of coffee cups, lunch containers, food waste, etc. These bins are periodically emptied in the appropriate household's yellow, blue and red lidded bins.

Waste management - Ongoing

- The House is currently occupied by the one family, and this will remain unchanged after completion and as such ongoing waste management remains the same.
- Council waste bins;
- Green waste is collected weekly in the council provided green bin
 - Plastic household containers, aluminium & steel cans and glass bottles are fortnightly collected in the council provided yellow bin
 - All cardboard and papers are fortnightly collected in the council provided blue bin
 - All remaining household waste is collected weekly in the council provided red bin

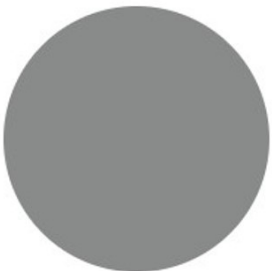
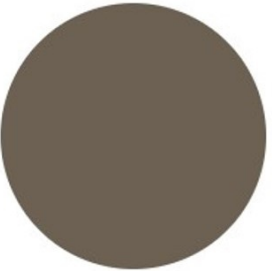
Waste management plan

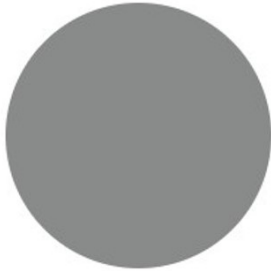
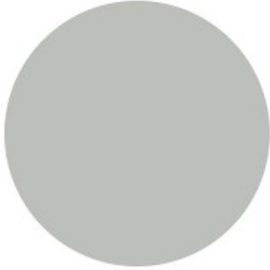
 M: 0410 419 682 E: KEN@BLACKADDERDESIGNS.COM W: WWW.BLACKADDERDESIGNS.COM ABN: 32829136273	This drawing is protected by copyright - All dimensions in millimetres (mm) unless otherwise noted. - All elevations & RLs in metres (@xx.xx)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.	Alterations & additions Lot 3, DP 238416 24 Keldie street Forestville, 2087 Jenny & Roy Mercer	Scale: 1:200 Size: A3 Date: 10/08/2023 Drawing No: 09.1 Version: 5.1.2



- All stormwater infrastructure is existing and will not change
- Location of existing downpipes to remain the same and service the new second storey roof
- Total roof surface area is unchanged
- Stormwater drains to council stormwater infrastructure SPI10783 via the street

Stormwater management plan

Exterior	Material	Colour	Image
Upper floor walls	James Hardie Primeline Weatherboard	Mid Gray Similar to ground floor walls	
Upper floor windows	Aluminium	'Timber' brown Similar to ground floor windows' colours	

Exterior	Material	Colour	Image
Eaves facias	Timber	White	
Gutters	Steel	'Timber' brown Similar to existing gutter colours	
Downpipes	PVC	Mid Gray Same as walls	
Second floor roof	Colorbond Steel	Colourbond colour: Shale Grey	

Schedule of external colours and materials

	M: 0410 419 682 E: KEN@BLACKADDERDESIGNS.COM W: WWW.BLACKADDERDESIGNS.COM ABN: 32829136273	<i>This drawing is protected by copyright</i> - All dimensions in millimetres (mm) unless otherwise noted. - All elevations & RLs in metres (@ xx.xx)	General Notes: Written dimensions take precedence over scaled dimensions. Builder to verify all dimensions on site and notify this office of any discrepancies. All work to be carried out in accordance with engineering plans, local council's NOD, BCA, BASIX report, Australian Standards and any relevant authorities.	Alterations & additions Lot 3, DP 238416 24 Keldie street Forestville, 2087 Jenny & Ray Mercer	Scale: 1:100
					Size: A3 Date: 10/08/2023 Drawing No: 11.1 Version: 5.1.2