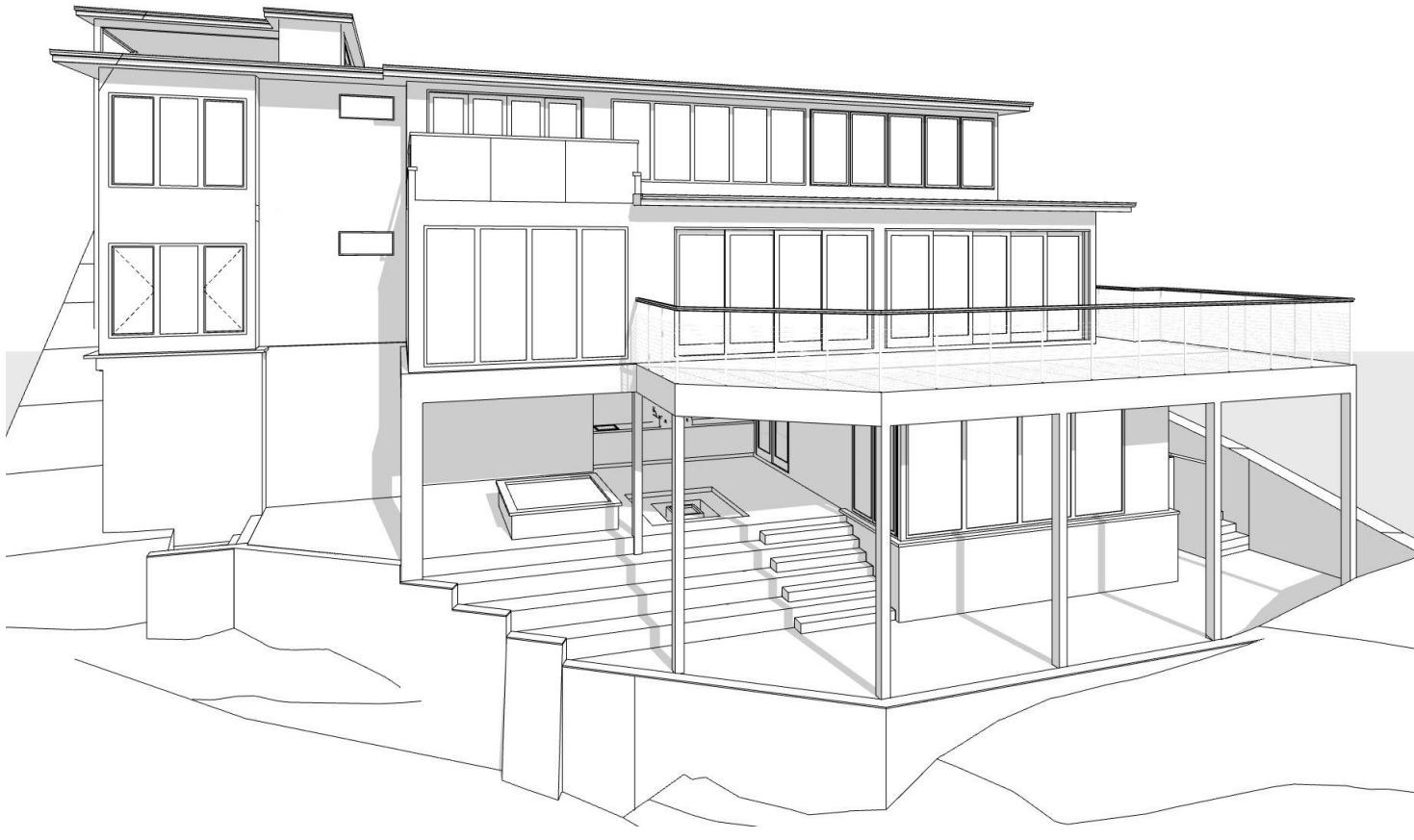


PROPOSED NEW DWELLING

141 Riverview Road, Avalon Beach 2107

- Northern Beaches Council



BASIX & THERMAL COMMITMENTS



Date 18 March 2021					
Lot Number 2	House Number 141	Street Riverview Road	Suburb Avalon	Post Code 2107	State NSW
FLOORS					
Ground Slab on ground, Suspended concrete	1st Floor Suspended concrete	2nd Floor Suspended concrete			
WALLS					
Ground Cavity Brick	1st Floor Cavity Brick	2nd Floor Cavity Brick		Insulation Internal Walls R2.0	
Insulation External Walls Foil Board to double brick excluding Store room			Internal Walls to be Insulated Laundry, Powder, WC, Store Room		
External Colours Not yet selected					
CEILING					
Ceilings with cavity to roof R5.0, R2.0 Guest Bed to Balcony.			Ceiling between Ground and 1st Floor R2.0		
Ceiling between 1st Floor and 2nd Floor Nil			Areas requiring insulation between levels Cantilevered floors to outside air		
ROOF AREA					
Colours Dark		Material Metal (Colourbond)		Insulation Anticon 50mm (R1.3)	
WINDOWS (Refer to NatHERS Certificate for more detail)					
Upgraded windows, refer to NatHERS Certificate					
WATER					
Landscape Area TBCm ²	Rainwater Tank Garden, WC, Laundry	Rainwater Tank Size 3,000 L	Roof Area to Tank 80% of Roof		
Showerheads 3 Star > 7.5 but less < or = 9.0 litres per minute	Toilets 4 Star	Basin Taps 4 Star	Kitchen Taps 4 Star		
Swimming Pool No					
ENERGY					
Hot Water Gas Instantaneous 6 Star	Air Conditioning Single Phase		Air Conditioner EER Heating & Cooling 3.0 - 3.5		
VENTILATION					
Laundry Natural Ventilation (has external window/door)	Bathroom Ducted		Kitchen Ducted		
OTHER					
Solar Photovoltaic System No	Cooking Gas Cooktop/Electric Oven				
Living Room Ceiling Fans No	Bedroom Ceiling Fans No		Other Outdoor Clothes Line		
ADDITIONAL NOTES					

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.

Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 20112891

DESIGNERS WORK HEALTH AND SAFETY STATEMENT

1. FALLS FROM HEIGHTS
At all times during construction, workers should be prevented from falling from heights. Where necessary, workers should be prevented from falling from heights. Where necessary, workers should be prevented from falling from heights.

2. FALLING OBJECTS
Construction workers should be prevented from falling from heights. Where necessary, workers should be prevented from falling from heights.

3. TRAFFIC MANAGEMENT
Construction workers should be prevented from falling from heights. Where necessary, workers should be prevented from falling from heights.

4. SERVICES
Construction workers should be prevented from falling from heights. Where necessary, workers should be prevented from falling from heights.

DRAWING No.	DESCRIPTION
DA01	COVER PAGE & BASIX/NATHERS
DA02	PROPOSED SITE PLAN
DA03	SITE ANALYSIS PLAN
DA04	LOWER GROUND FLOOR PLAN
DA05	GROUND FLOOR PLAN
DA06	UPPER GROUND FLOOR PLAN
DA07	ROOF PLAN
DA08	EAST & WEST PLAN
DA09	NORTH & SOUTH ELEVATION PLAN
DA10	A SECTION PLAN
DA11	LANDSCAPE PLAN
DA12	SHADOW DIAGRAM 9AM
DA13	SHADOW DIAGRAM 12PM & 3PM
DA14	DRIVEWAY SECTION AND WINDOW/ DOOR SCHEDULE
DA15	MAX BUILDING ENVELOP DIAGRAM
DA16	MAX HEIGHT THRESHOLD DIAGRAM

Total Build area

Carport = 37.01m²
Suspended Driveway = 28.53m²

DA Calculations

Site Area = 557.20m²

Level 3 Floor = 177.50m²
Level 3 Balcony = 9.70m²
Level 3 Front Path = 35.68m²

Carraigeway = 133.55m²
Allowable FSR = N/A

Level 2 Floor = 182.89m²
Level 2 Balcony = 165.49m²

Level 1 GFA = 46.04m²
Level 2 GFA = 165.49m²
Level 3 GFA = 115.02m²
Total GFA = 326.55m²

Level 1 Floor = 52.21m²
Level 1 Alfresco/Deck = 95.25m²
Level 1 Landscape Stairs = 10.89m²

Grand Total = 795.14m²

Note: THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES BUT IS NOT RESTRICTED TO: THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, MAINTAINERS AND DEMOLISHERS.

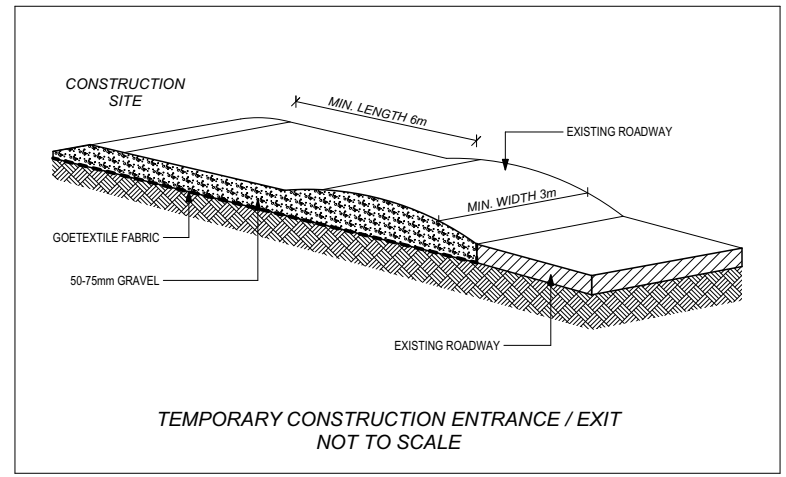
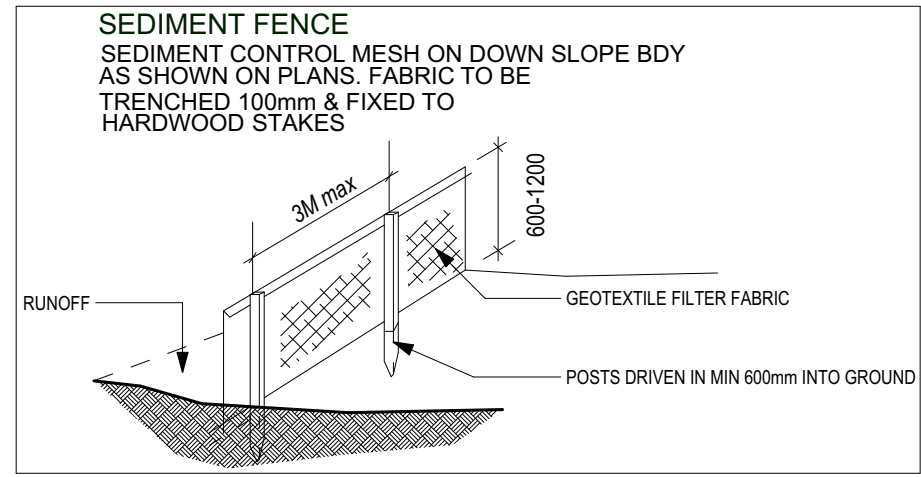
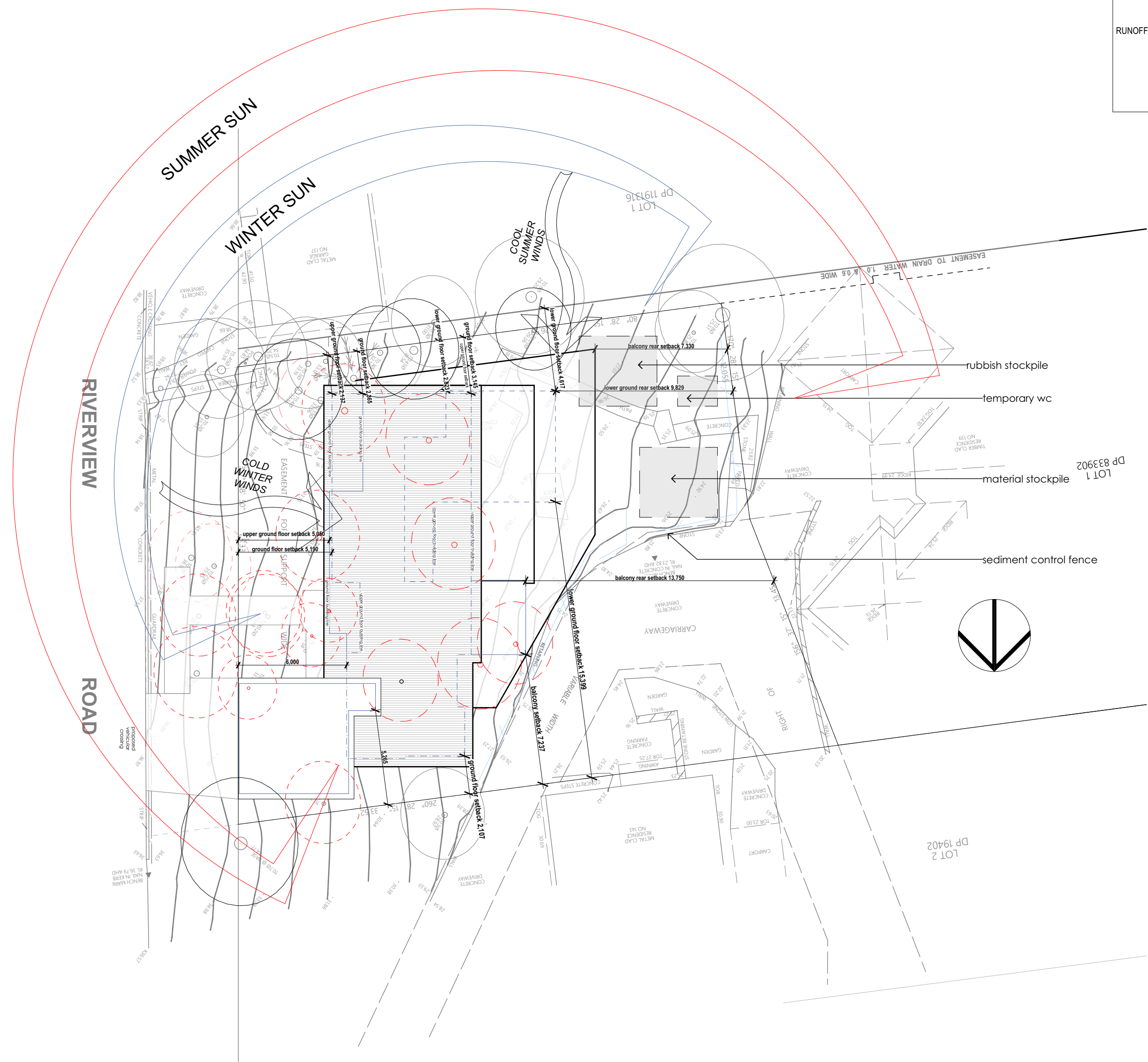


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Full Member
No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	COVER PAGE & BASIX/NATHERS	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY	DATE	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC			AW	22/03/2021	1:1
18/03/2021	development application plans	6	PC					@ A2
				CLIENT	PROJECT	DWG NO	JOB NUMBER	ISSUE
				Uday and Kavita Bonu	PROPOSED NEW DWELLING	DA01	20127	06



SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

NOTE:
 STORMWATER DISPOSAL AS PER HYDRAULICS ENGINEER'S DESIGN No.24956-C2 PREPARED BY NASTASI & ASSOCIATES

NOTE:
 MINIMAL ADDITIONAL STORMWATER LOADING. STORMWATER TO BE DIRECTED TO EXISTING AND WORKING DISCHARGE POINT

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	DRAWING STATUS
PROPOSED SITE PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	22/03/2021
	SCALE
	1:200
	DWG NO
	DA02
	JOB NUMBER
	20127
	ISSUE
	06

DATE	AMENDMENTS	NO	BY	ADDRESS
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16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

Legend

-  TREE TO BE REMOVED
-  PAVED AREA
-  SEDIMENT CONTROL FENCE
-  BUILDING LINE
-  MINIMUM SETBACK REQUIREMENT

Total Build area

Carport = 37.01m²
 Suspended Driveway = 28.53m²

Level 3 Floor = 177.50m²
 Level 3 Balcony = 9.70m²
 Level 3 Front Path = 35.68m²

Level 2 Floor = 182.88m²
 Level 2 Balcony = 165.49m²

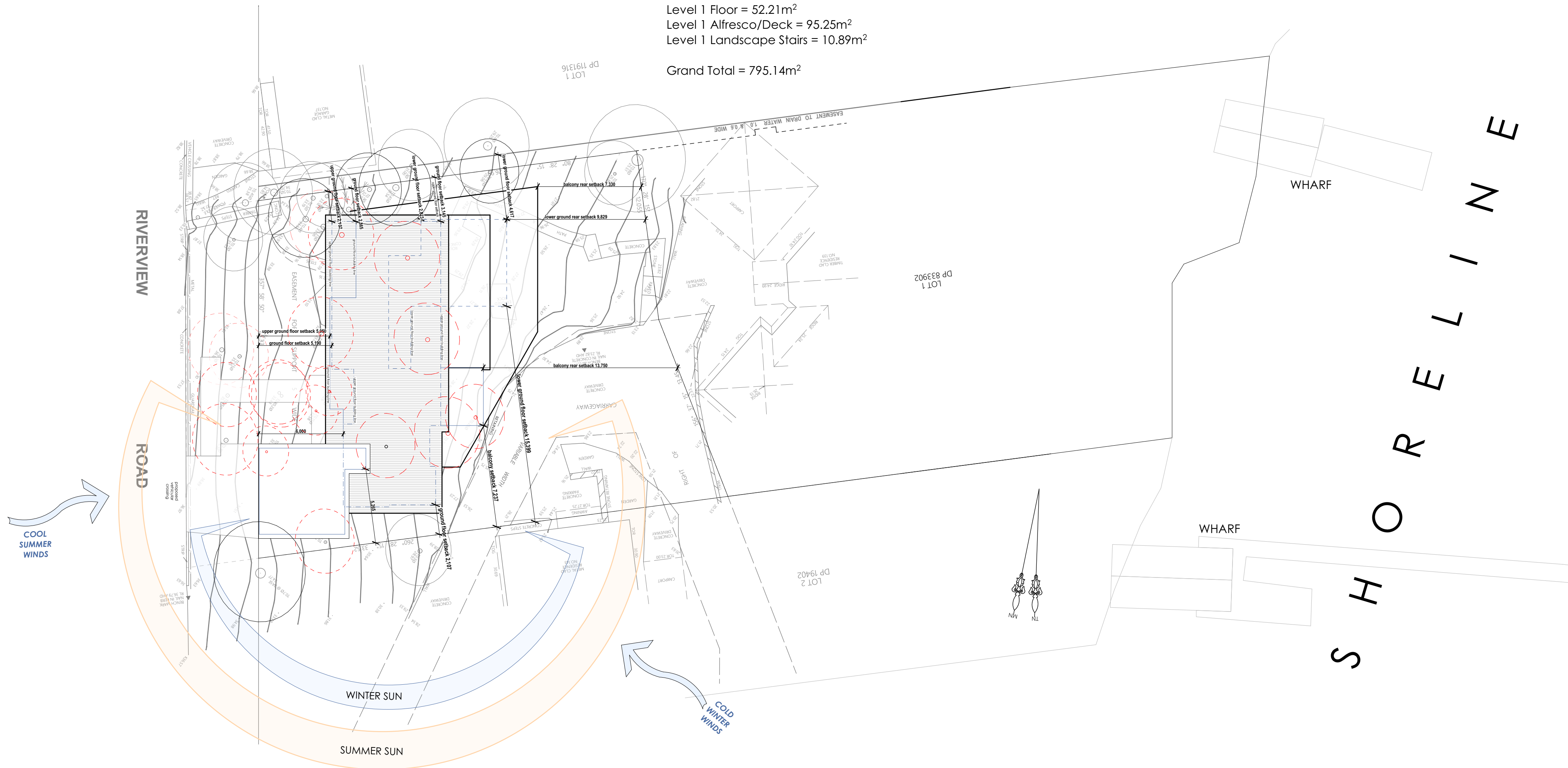
Level 1 Floor = 52.21m²
 Level 1 Alfresco/Deck = 95.25m²
 Level 1 Landscape Stairs = 10.89m²

Grand Total = 795.14m²

DA Calculations

Site Area = 557.20m²
 Carraigeway = 133.55m²
 Allowable FSR - N/A

Level 1 GFA = 46.04m²
 Level 2 GFA = 165.49m²
 Level 3 GFA = 115.02m²
 Total GFA = 326.55m²



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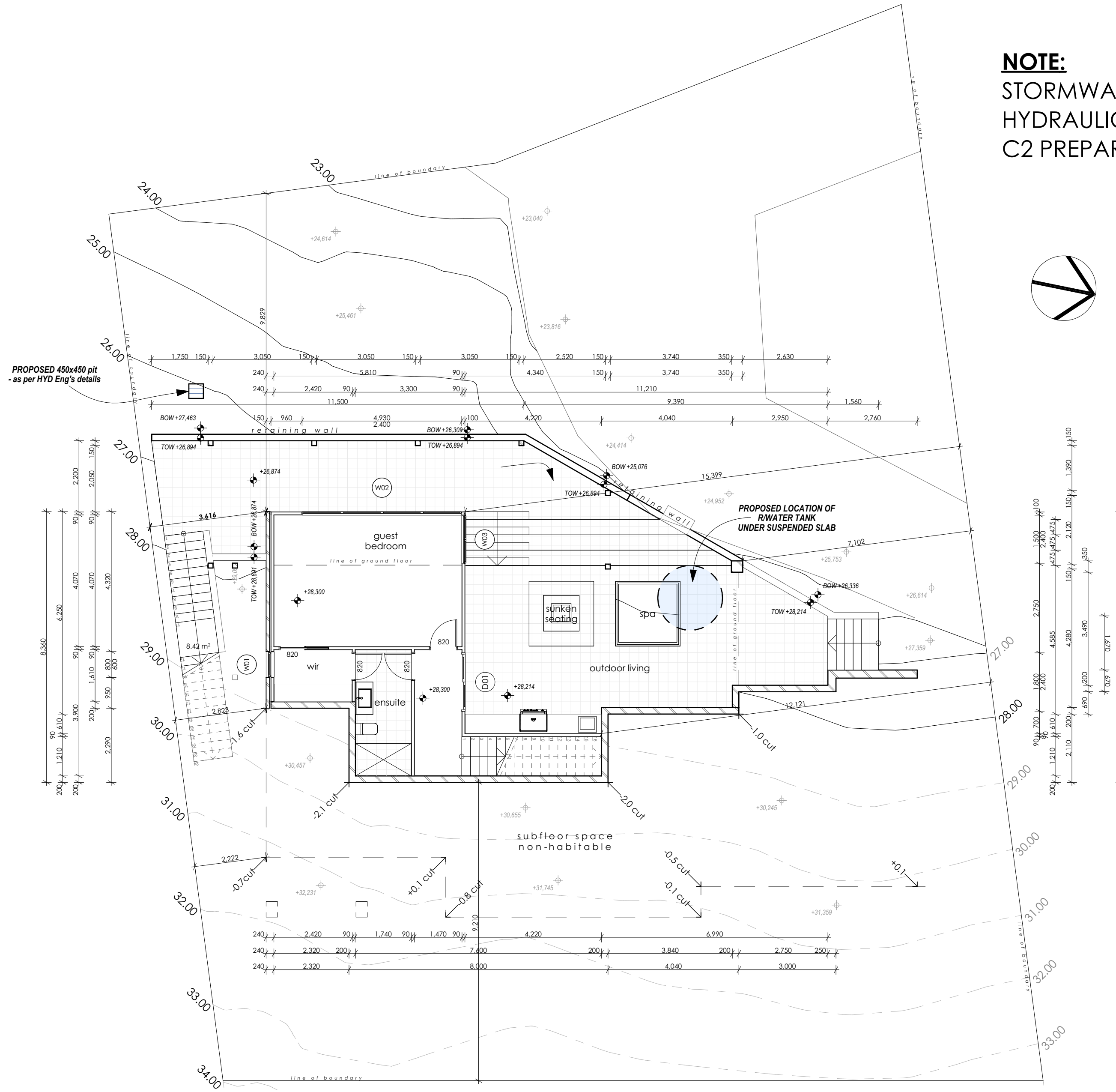
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15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	DRAWING STATUS
SITE ANALYSIS PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	22/03/2021
	SCALE
	1:200
	DWG NO
	DA03
	JOB NUMBER
	20127
	ISSUE
	06

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach
16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

NOTE:
 STORMWATER DISPOSAL AS PER
 HYDRAULICS ENGINEER'S DESIGN No.24956-
 C2 PREPARED BY NASTASI & ASSOCIATES



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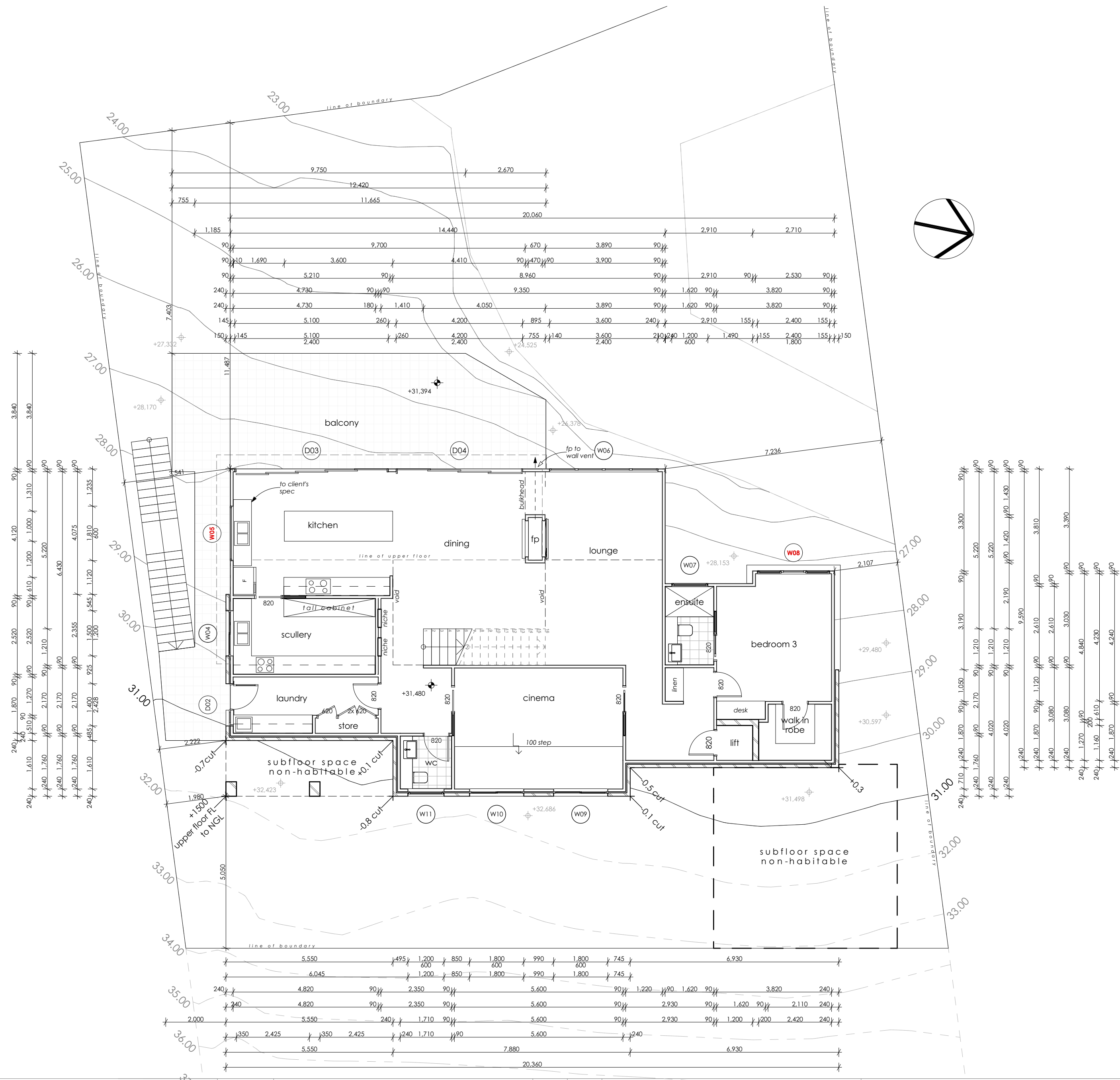
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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	LOWER GROUND FLOOR PLAN
PROJECT	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	22/03/2021	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA04	20127	06

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



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DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	GROUND FLOOR PLAN	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 22/03/2021	SCALE 1:100
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DWG NO DA05	JOB NUMBER 20127	ISSUE 06
18/03/2021	development application plans	6	PC					

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



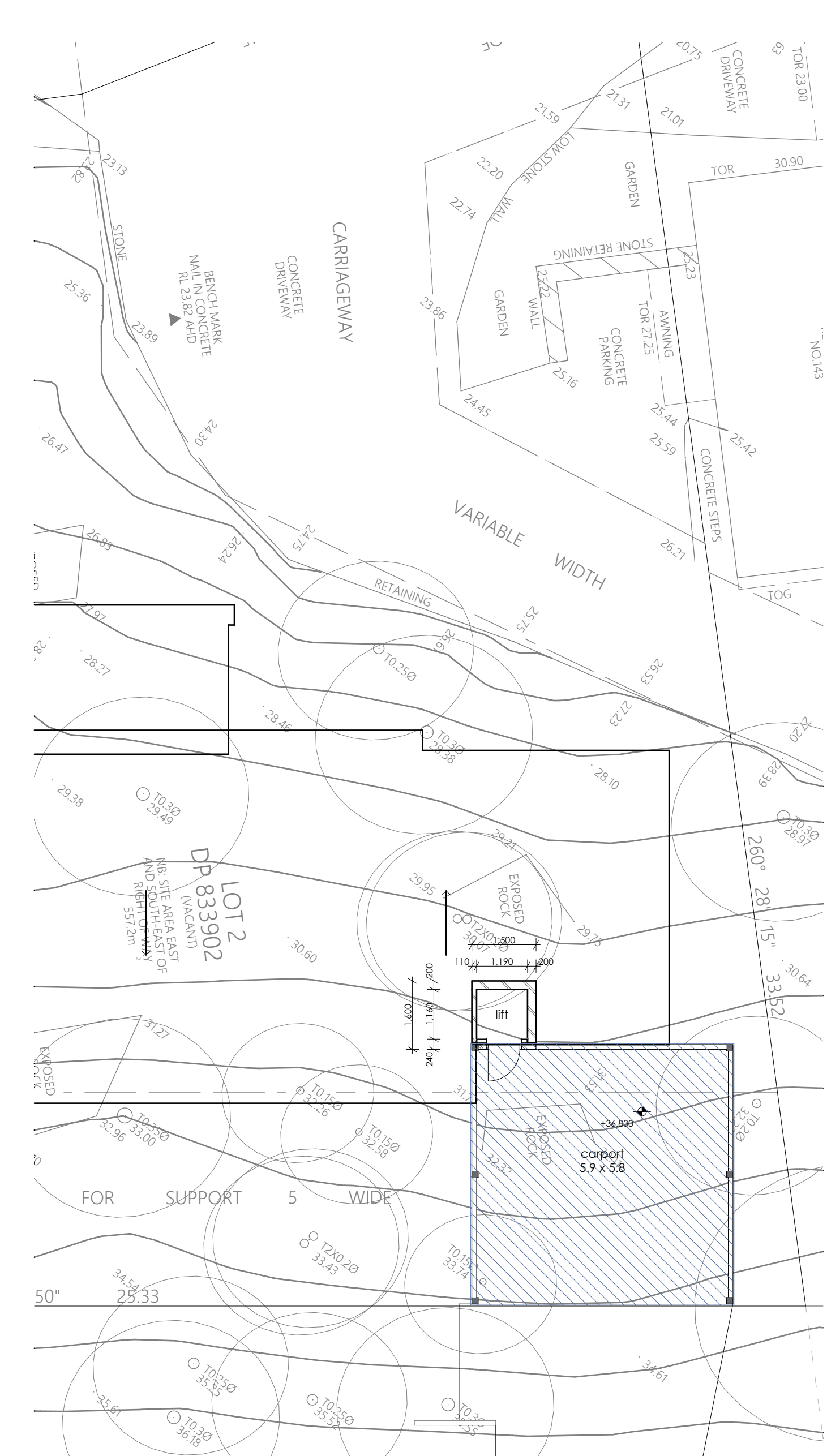
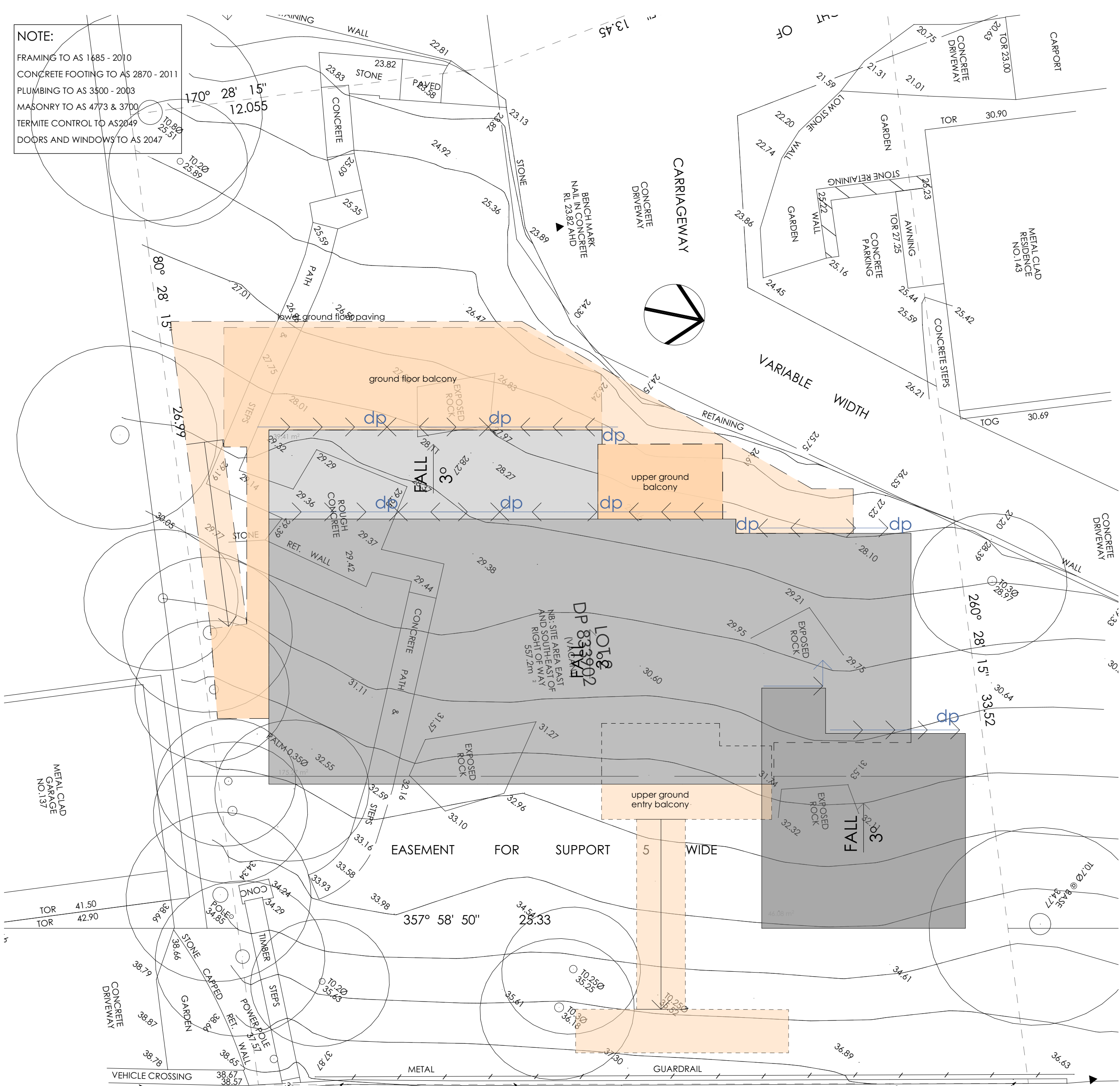
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DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	UPPER GROUND FLOOR PLAN	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 22/03/2021	SCALE 1:100 @ A2
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DWG NO DA06	JOB NUMBER 20127	ISSUE 06
18/03/2021	development application plans	6	PC					

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



CARPORT PLAN

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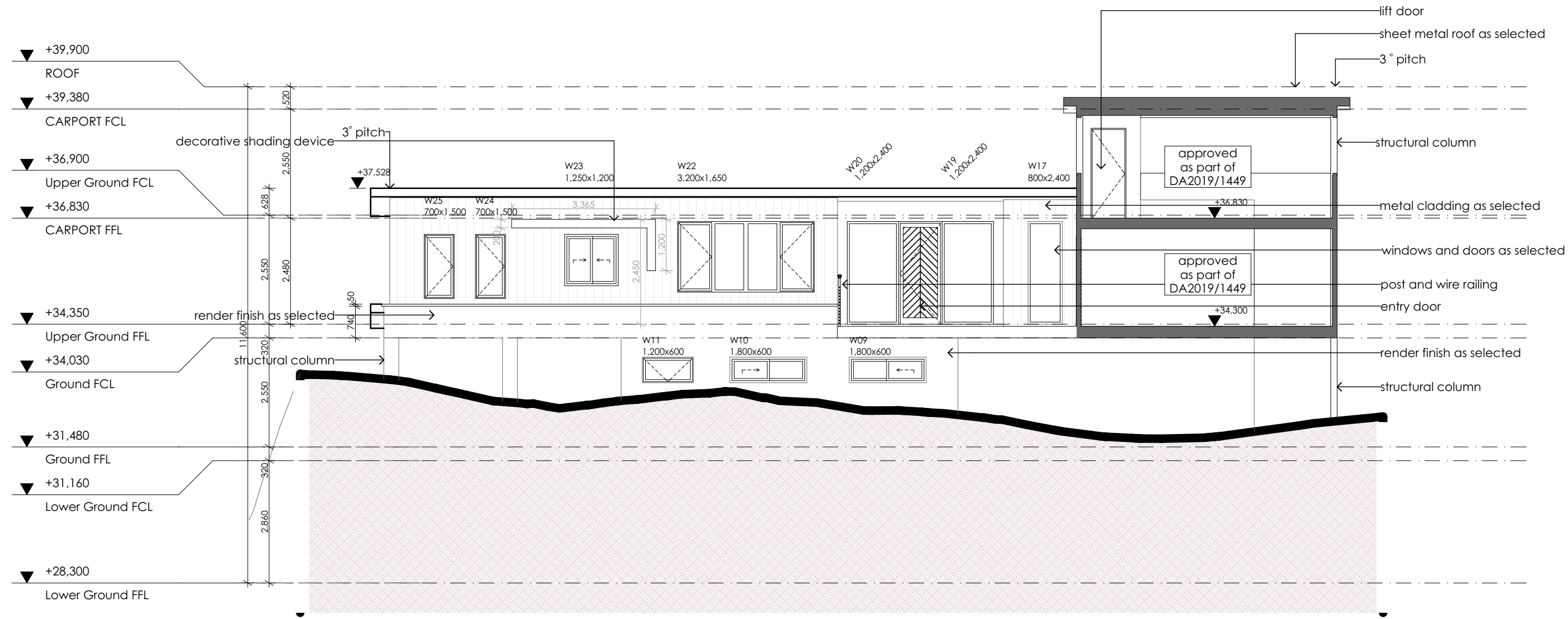
bda Full Member
 No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
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16/02/2021	working drawings	4	AW	Lot 2/-/DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

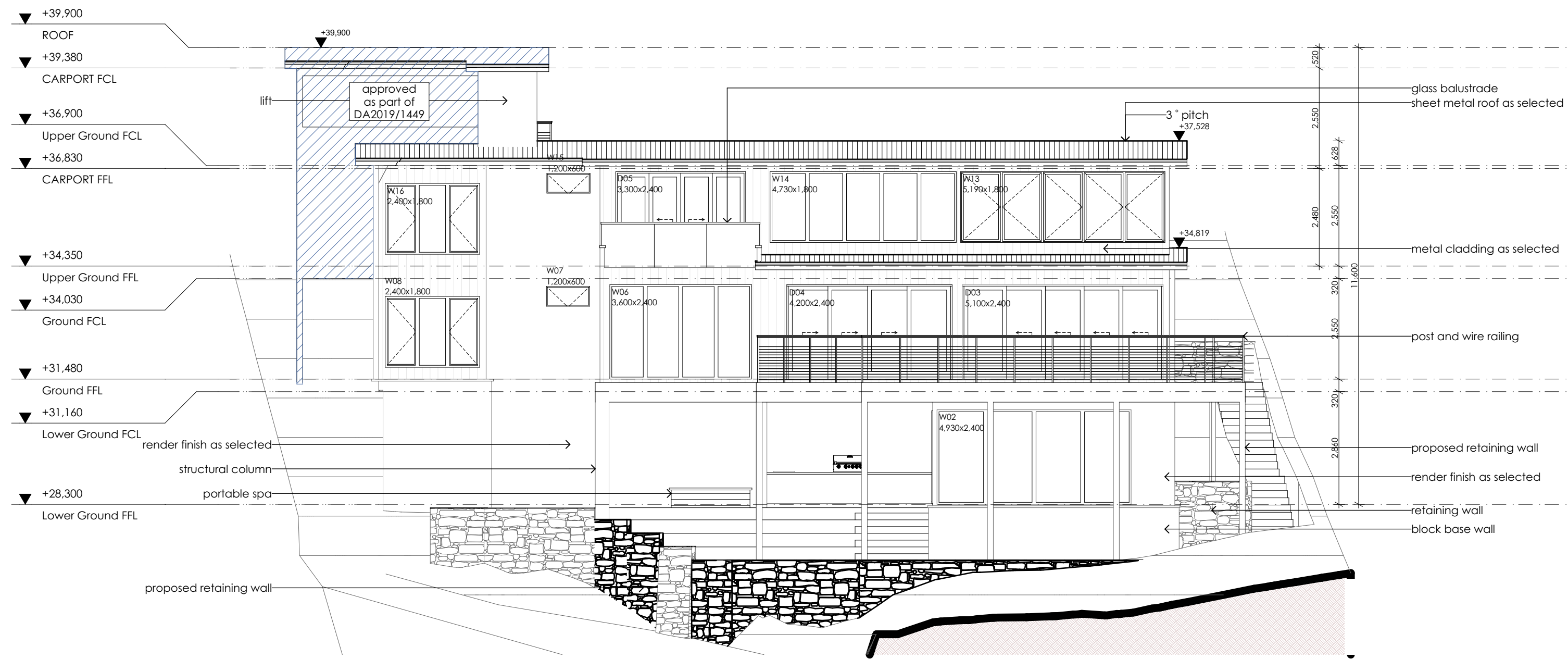
DRAWING TITLE	ROOF PLAN
PROJECT	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	22/03/2021	1:100
DWG NO	JOB NUMBER	ISSUE
DA07	20127	06

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION

NOTE:
 W06 and STUDY WINDOW TO BE 45% OPANABLE AS PER NatHers REQUIREMENTS

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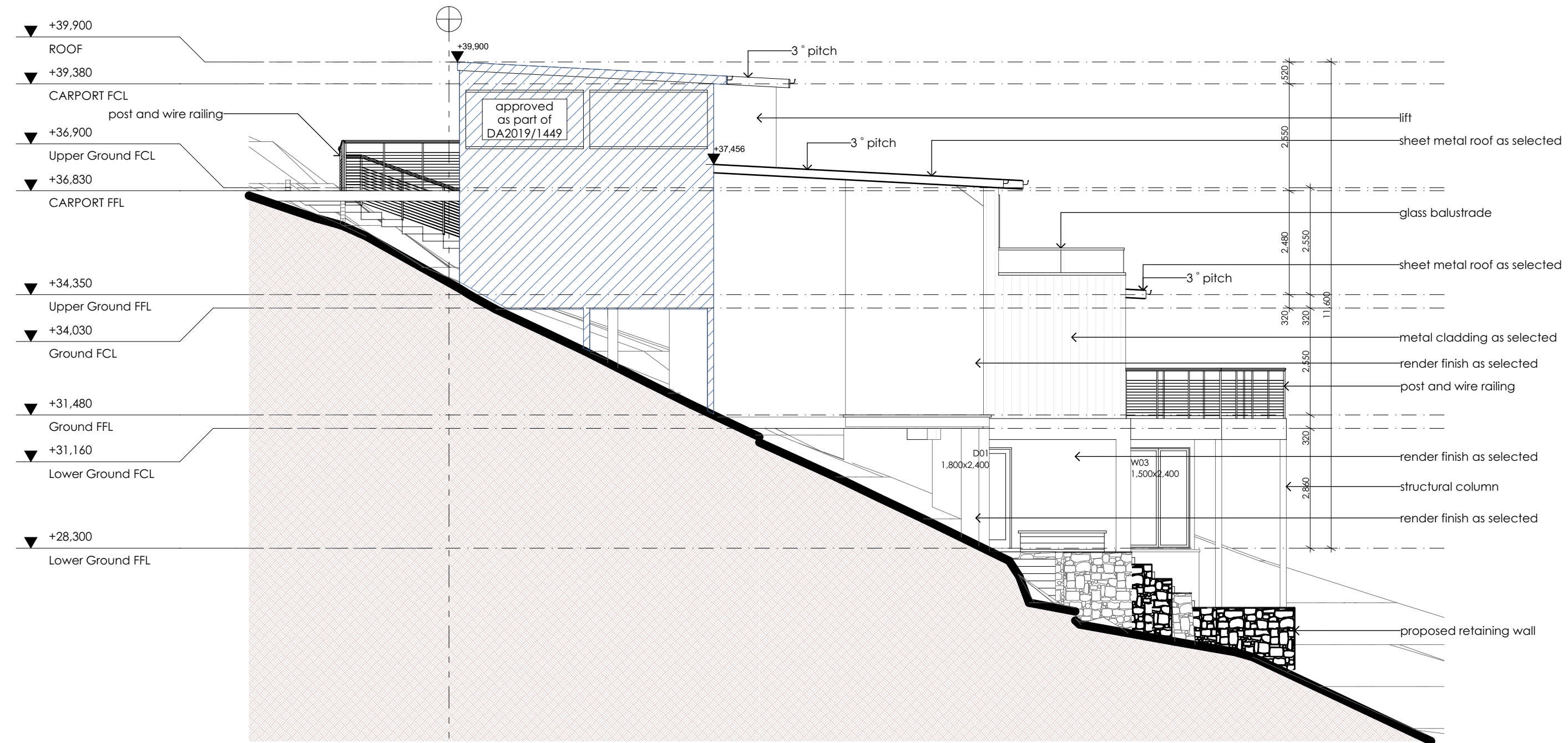
bda Full Member No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
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15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	
18/03/2021	development application plans	6	PC	

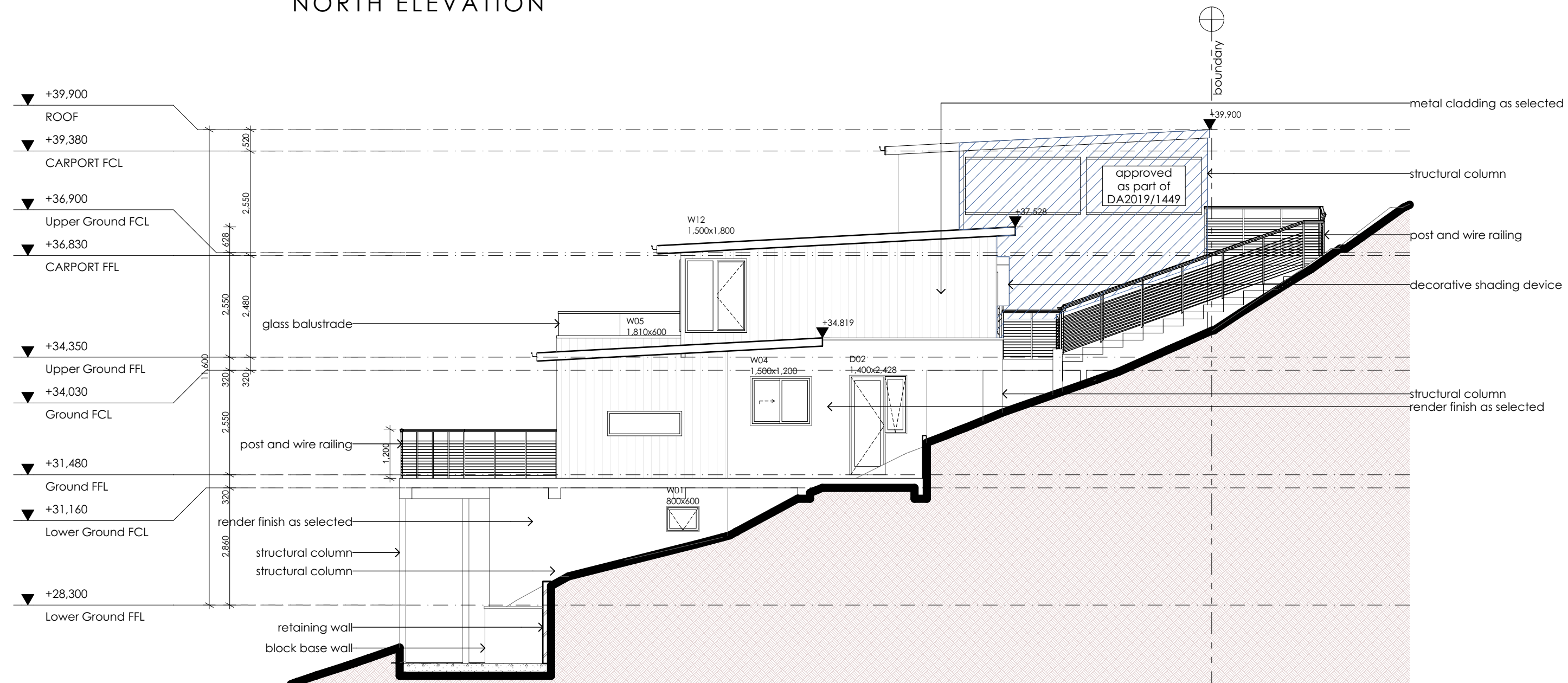
DRAWING TITLE	PROJECT
EAST & WEST PLAN	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	22/03/2021	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA08	20127	06

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
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 DOORS AND WINDOWS TO AS 2047



NORTH ELEVATION



SOUTH ELEVATION

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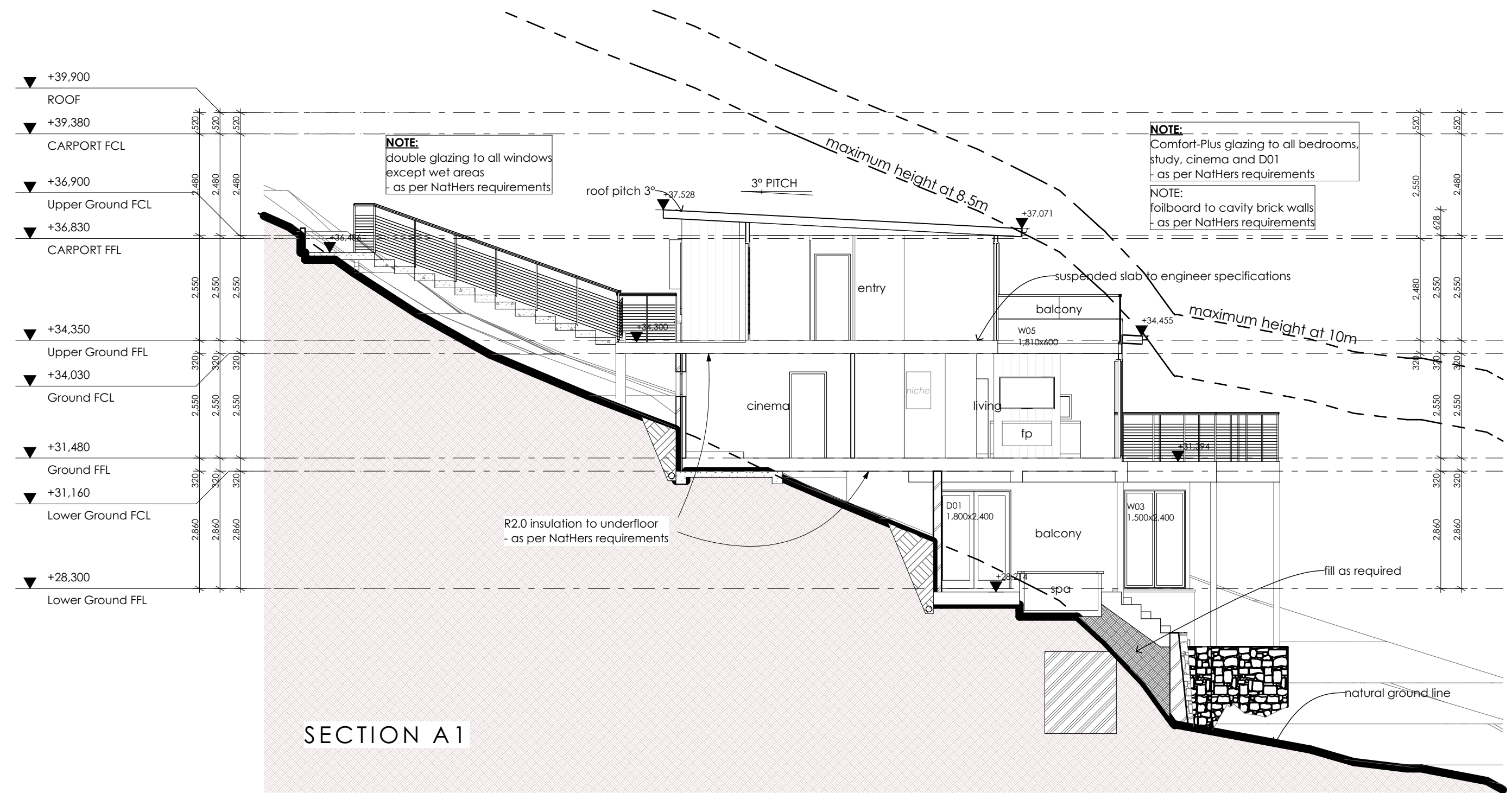
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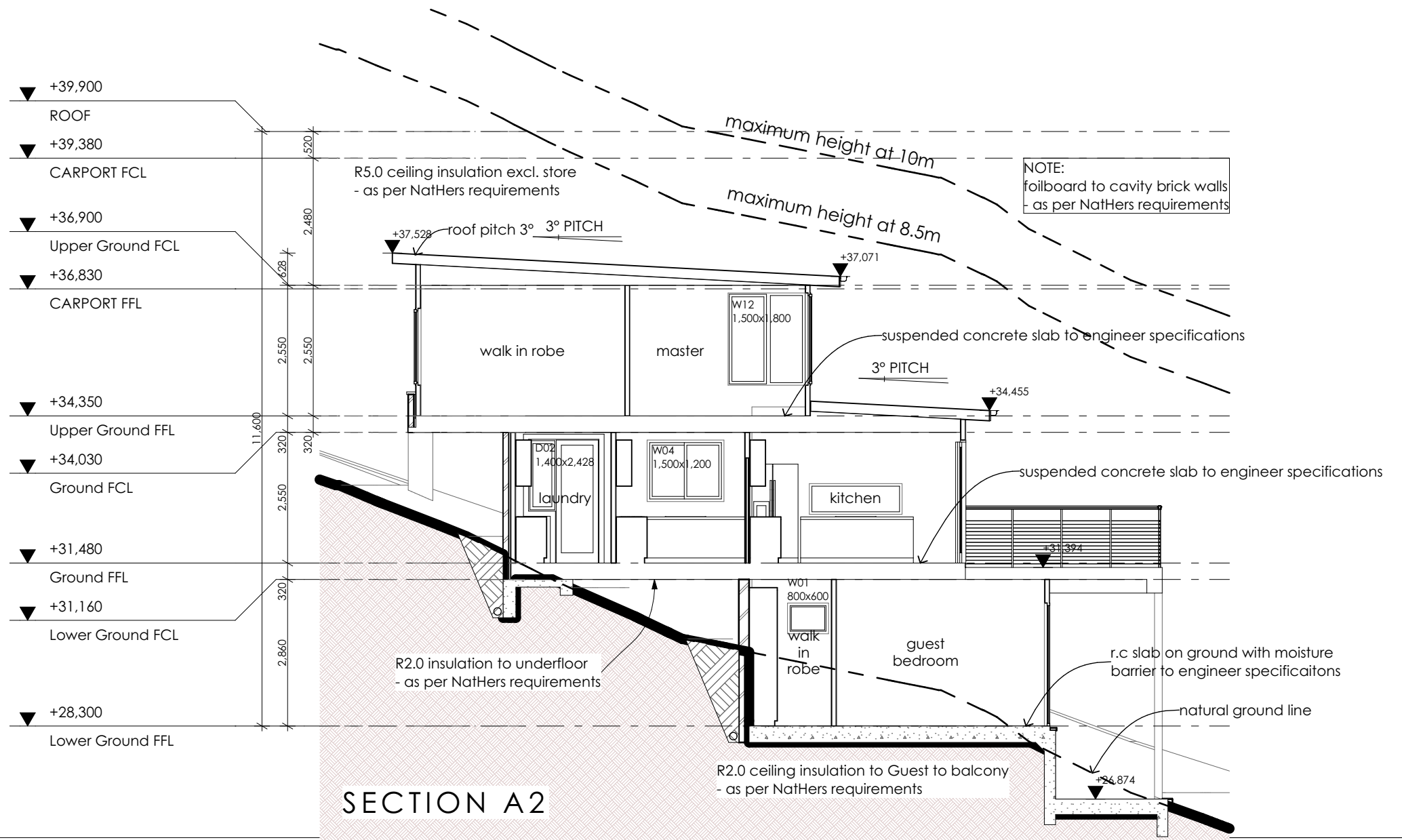
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16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	DRAWING STATUS
NORTH & SOUTH ELEVATION PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
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	SCALE
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	DA09
	JOB NUMBER
	20127
	ISSUE
	06

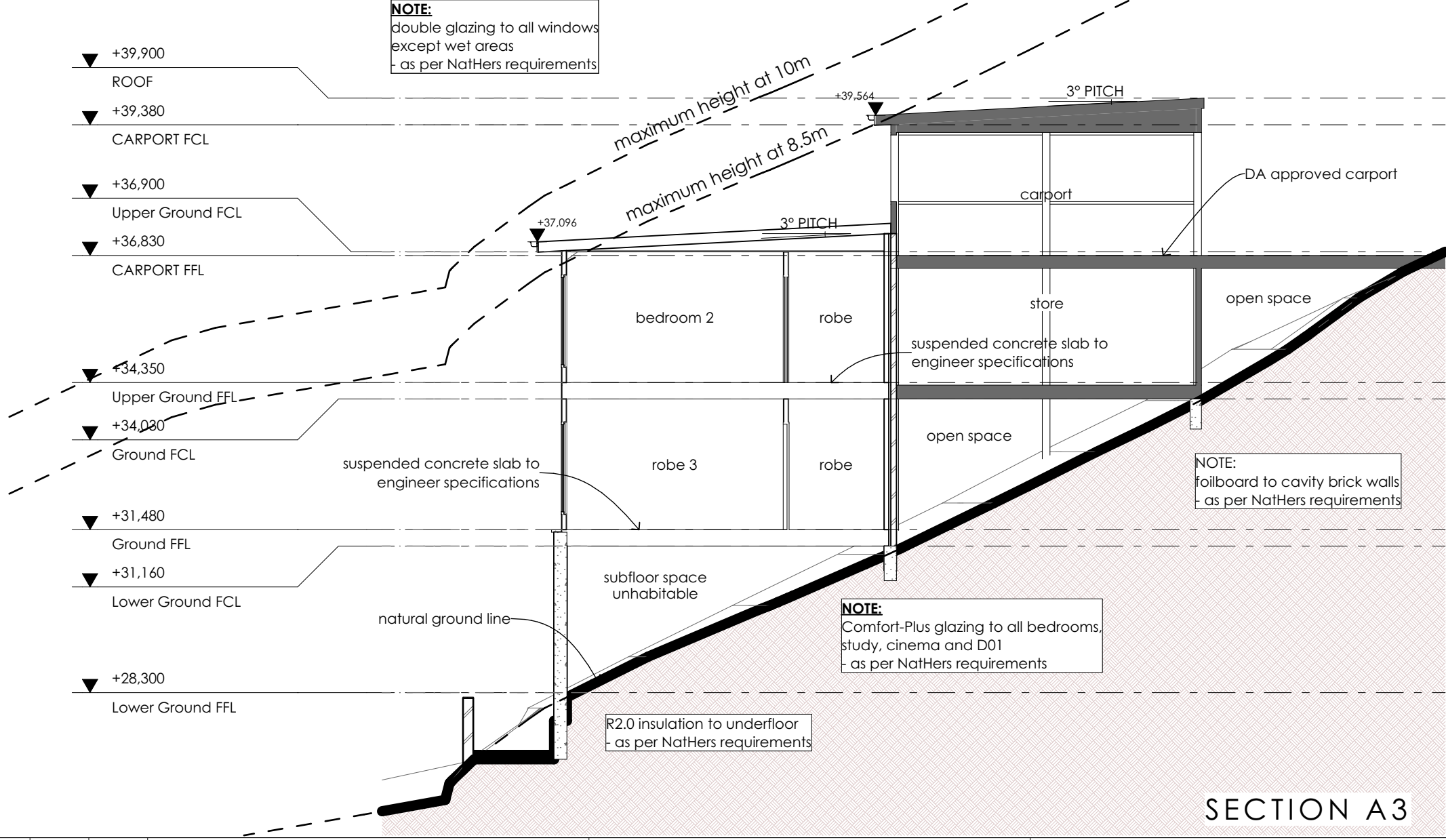
NOTE:
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 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047



SECTION A1



SECTION A2



SECTION A3



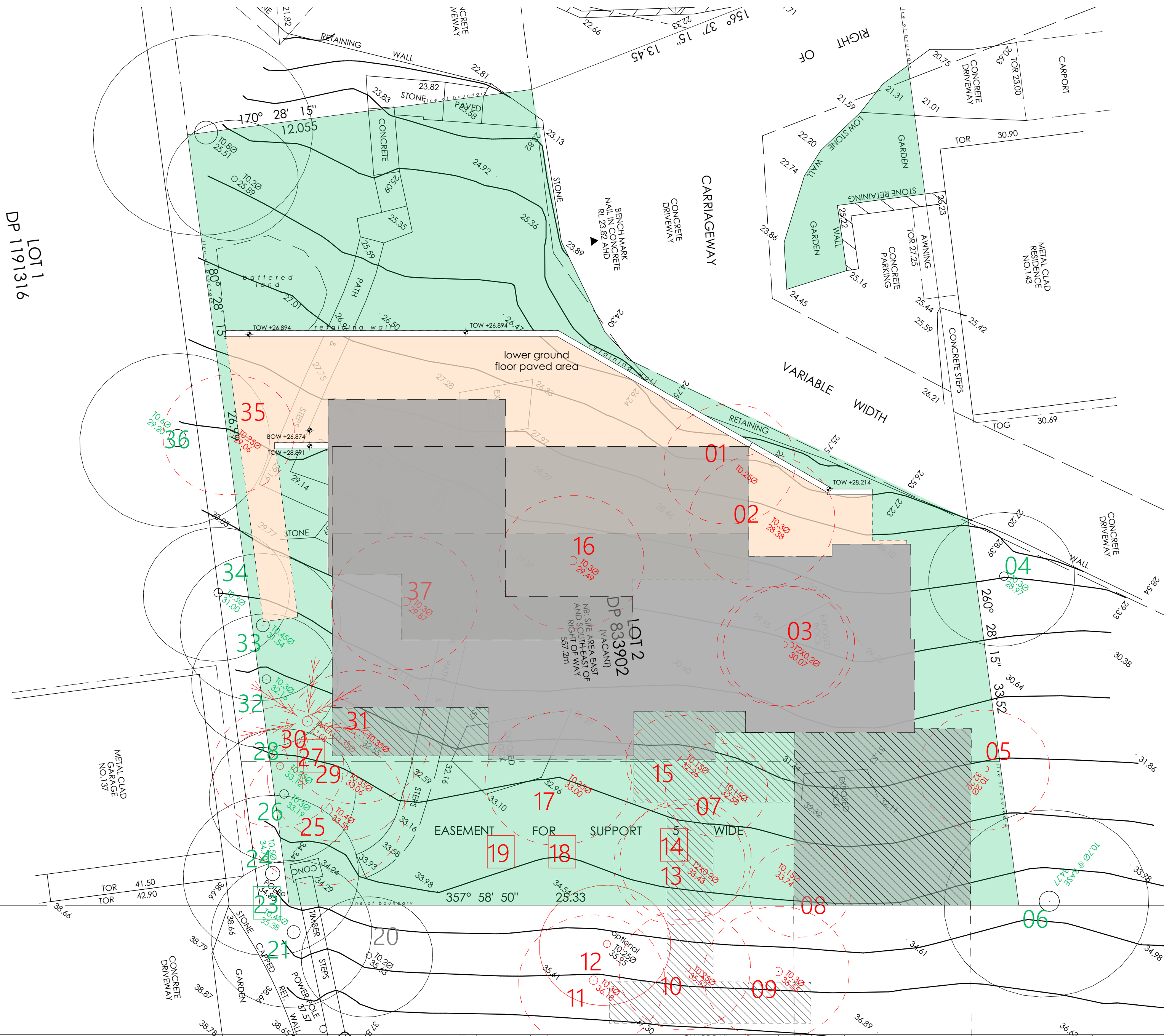
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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	A SECTION PLAN
PROJECT	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	22/03/2021	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA10	20127	06



Landscape Calculations

Site Area = 557.20m²
 Total Site Area (calculated) = 740.66m²
 Carraigeway = 133.55m²
 Allowable FSR - N/A
 Deep soil area = 321.22m²
 Total Area of deep soil under built structure = 82.53m²
 Total Building Footprint = 255.46m²

NOTE:
 WITH EXCEPTION TO THE REMOVAL OF TREES, THE LANDSCAPED AREA IS TO REMAIN AS EXISTING

NOTE:
 Landscape plan to be used in conjunction with Abacus Tree Services Arborist Report dated 16 February 2021

- LEGEND**
- tree to be removed
 - tree to be retained/protected
 - tree not shown on detailed survey
 - paved area
 - above ground built structure
 - building footprint
 - retaining walls



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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	CONCRETE design development	3	HH	141 Riverview Road, Avalon Beach NSW
16/02/2021	working drawings	4	AW	Lot 2/-DP833902
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	LANDSCAPE PLAN
DRAWING STATUS	DA SUBMISSION
DRAWN BY	AW
DATE	22/03/2021
SCALE	1:100 @ A2
DWG NO	DA11
JOB NUMBER	20127
ISSUE	06

Disclaimer

The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.



SHADOW DIAGRAM
9AM 21ST JUNE

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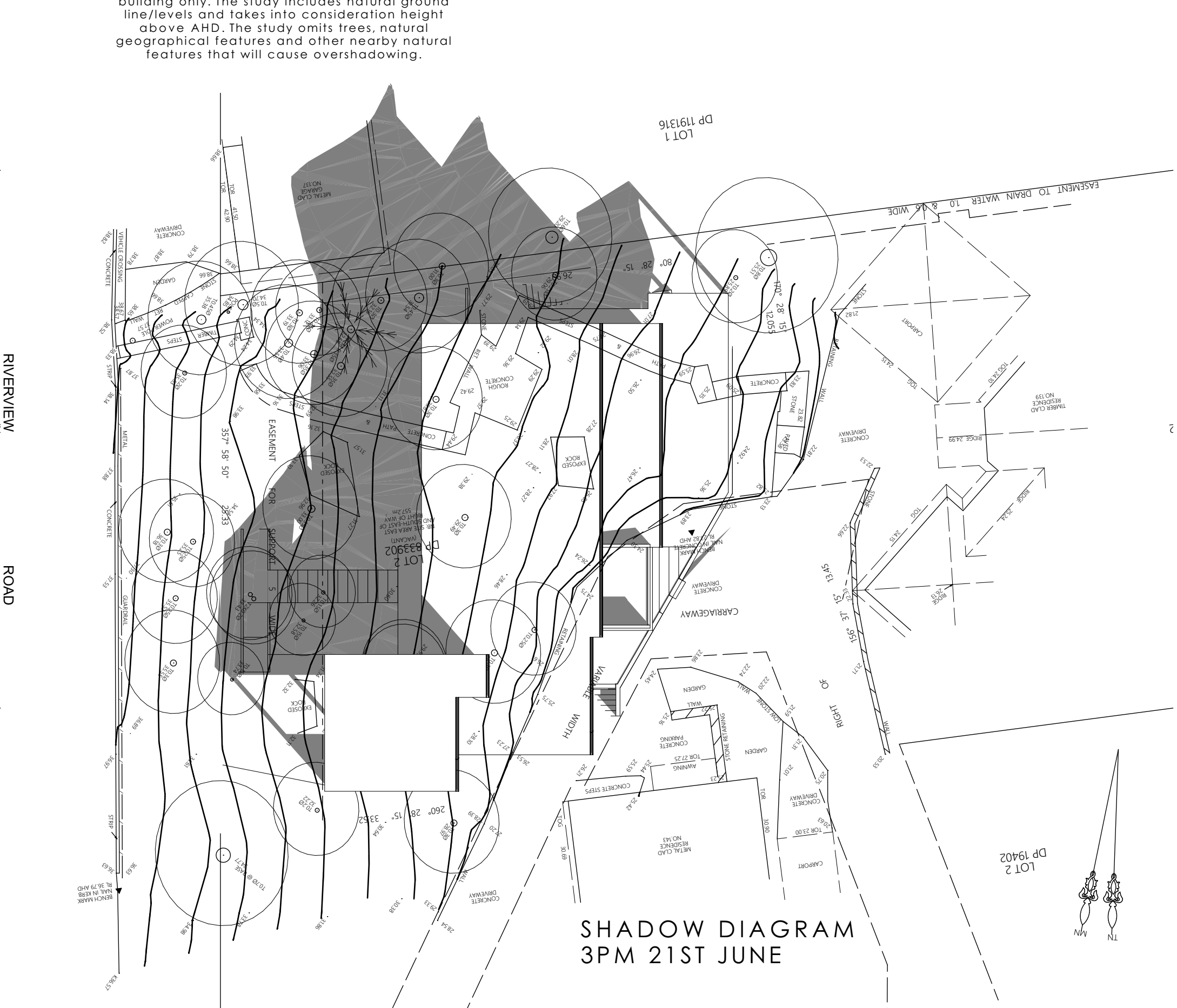
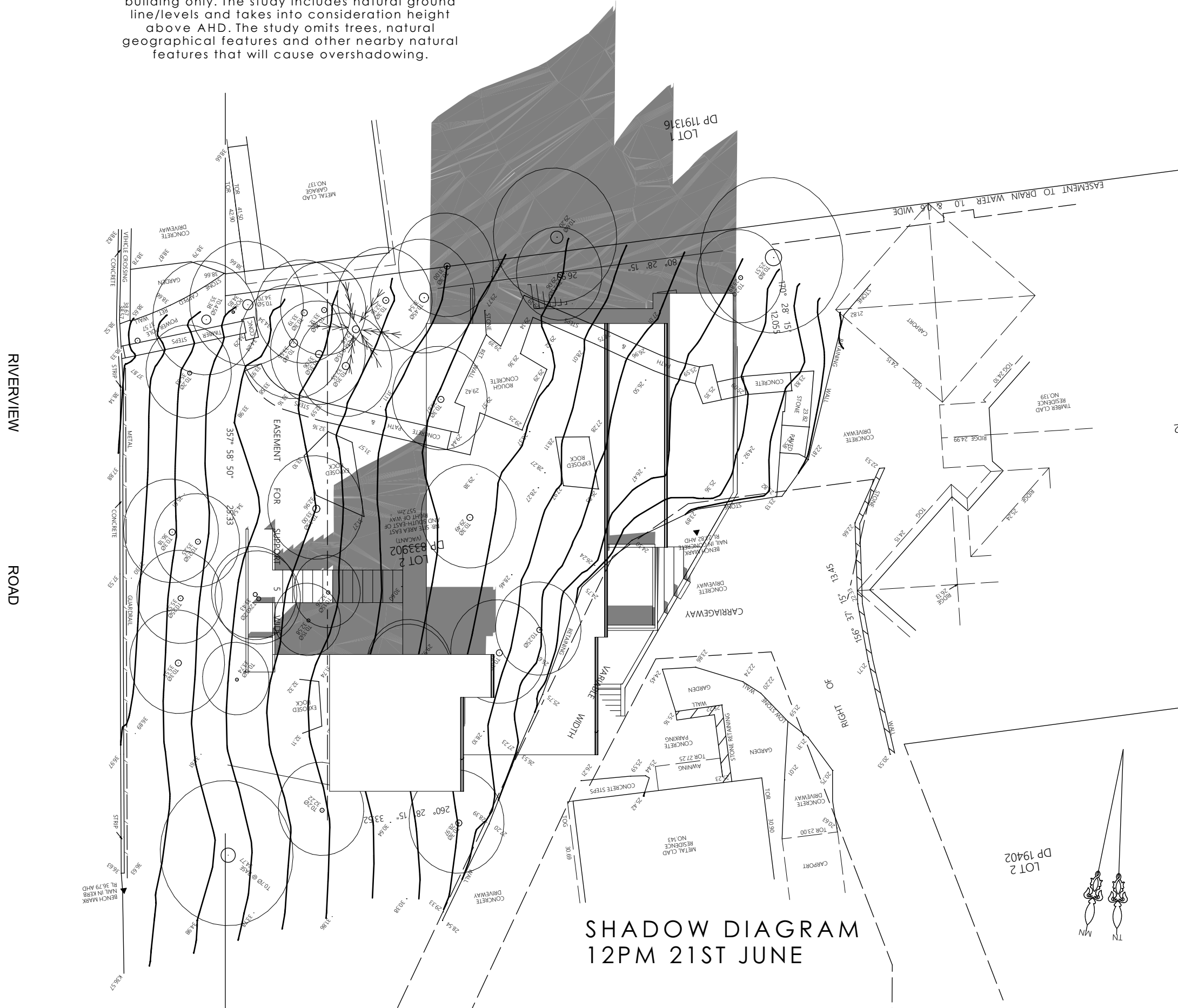
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21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	SHADOW DIAGRAM 9AM	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 22/03/2021	SCALE 1:200 @ A2
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DWG NO DA12	JOB NUMBER 20127	ISSUE 06
18/03/2021	development application plans	6	PC					

disclaimer

The shadows shown are of the proposed building only. The study includes natural ground line/levels and takes into consideration height above AHD. The study omits trees, natural geographical features and other nearby natural features that will cause overshadowing.

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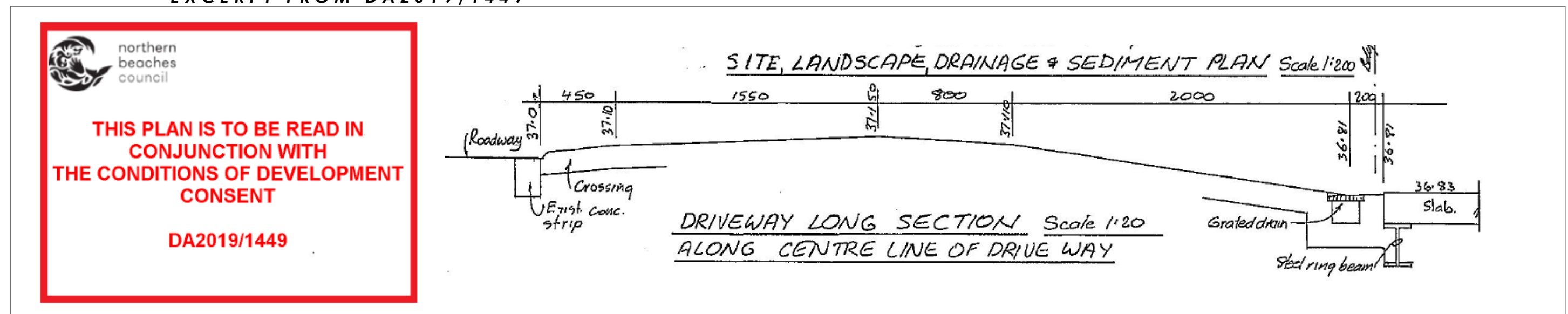
DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	SHADOW DIAGRAM 12PM & 3PM	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 22/03/2021	SCALE 1:200
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DWG NO DA13	JOB NUMBER 20127	ISSUE 06
18/03/2021	development application plans	6	PC					

WINDOW LIST							
ID	D01	D02	D03	D04	D05	W01	W02
W x H	1,800x2,400	820x2,400	5,100x2,400	4,200x2,400	3,300x2,400	800x600	4,930x2,400
NOTES							
Elevation							
WINDOW LIST							
ID	W03	W04	W05	W06	W07	W08	W09
W x H	1,500x2,400	1,500x1,200	1,810x600	3,600x2,400	1,200x600	2,400x1,800	1,800x600
NOTES							
Elevation							
WINDOW LIST							
ID	W10	W11	W12	W13	W14	W15	W16
W x H	1,800x600	1,200x600	1,500x1,800	5,190x1,800	4,730x1,800	1,200x600	2,400x1,800
NOTES							
Elevation							
WINDOW LIST							
ID	W17	W19	W20	W22	W23	W24	W25
W x H	800x2,400	1,200x2,400	1,200x2,400	3,200x1,650	1,250x1,200	700x1,500	700x1,500
NOTES							
Elevation							

EXTERIOR WINDOW AND DOOR SCHEDULE

DOOR LIST	
ID	D07
W x H	1,020x2,400
NOTES	
Elevation	

EXCERPT FROM DA2019/1449



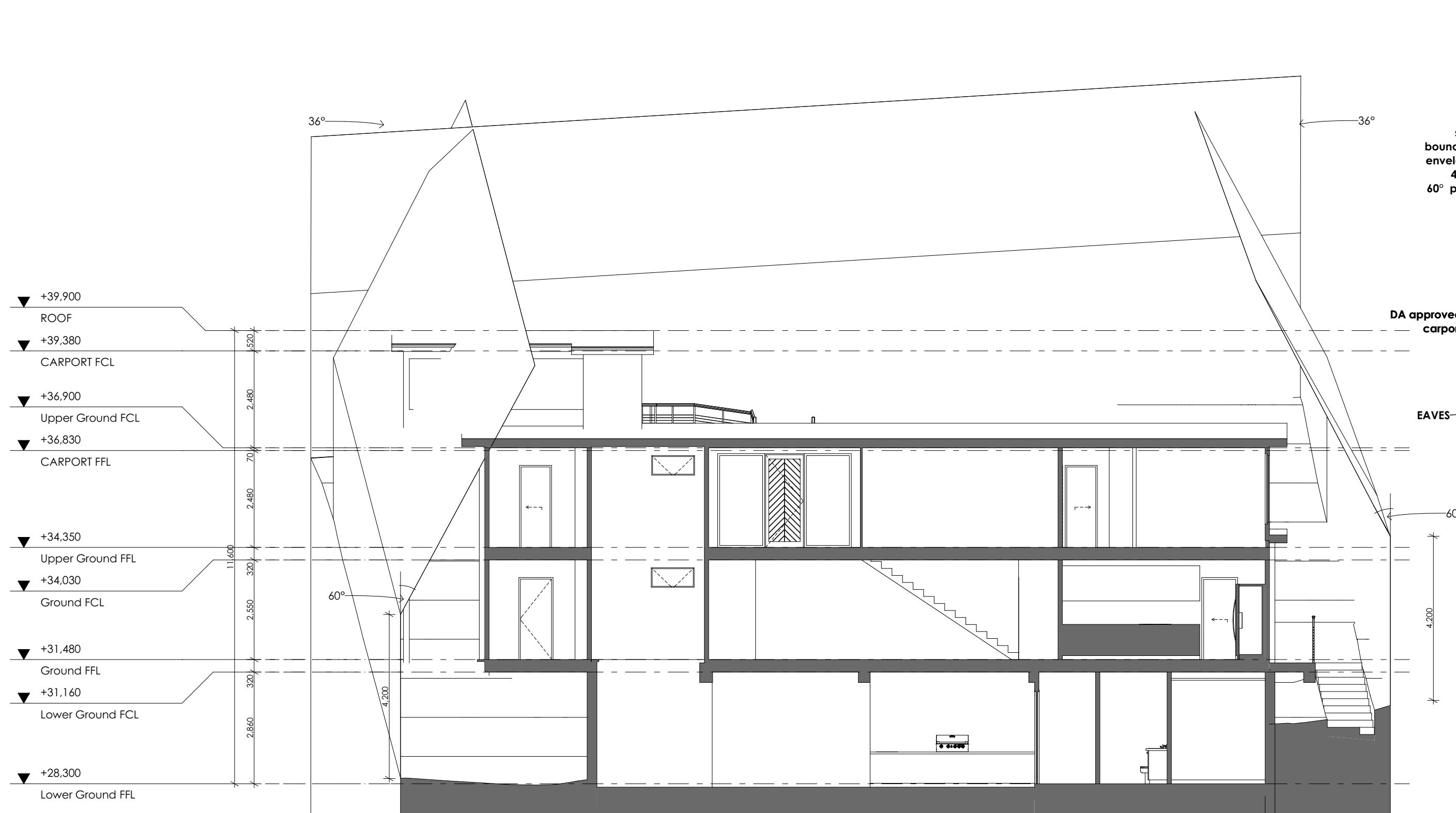
DRIVEWAY LONG SECTION

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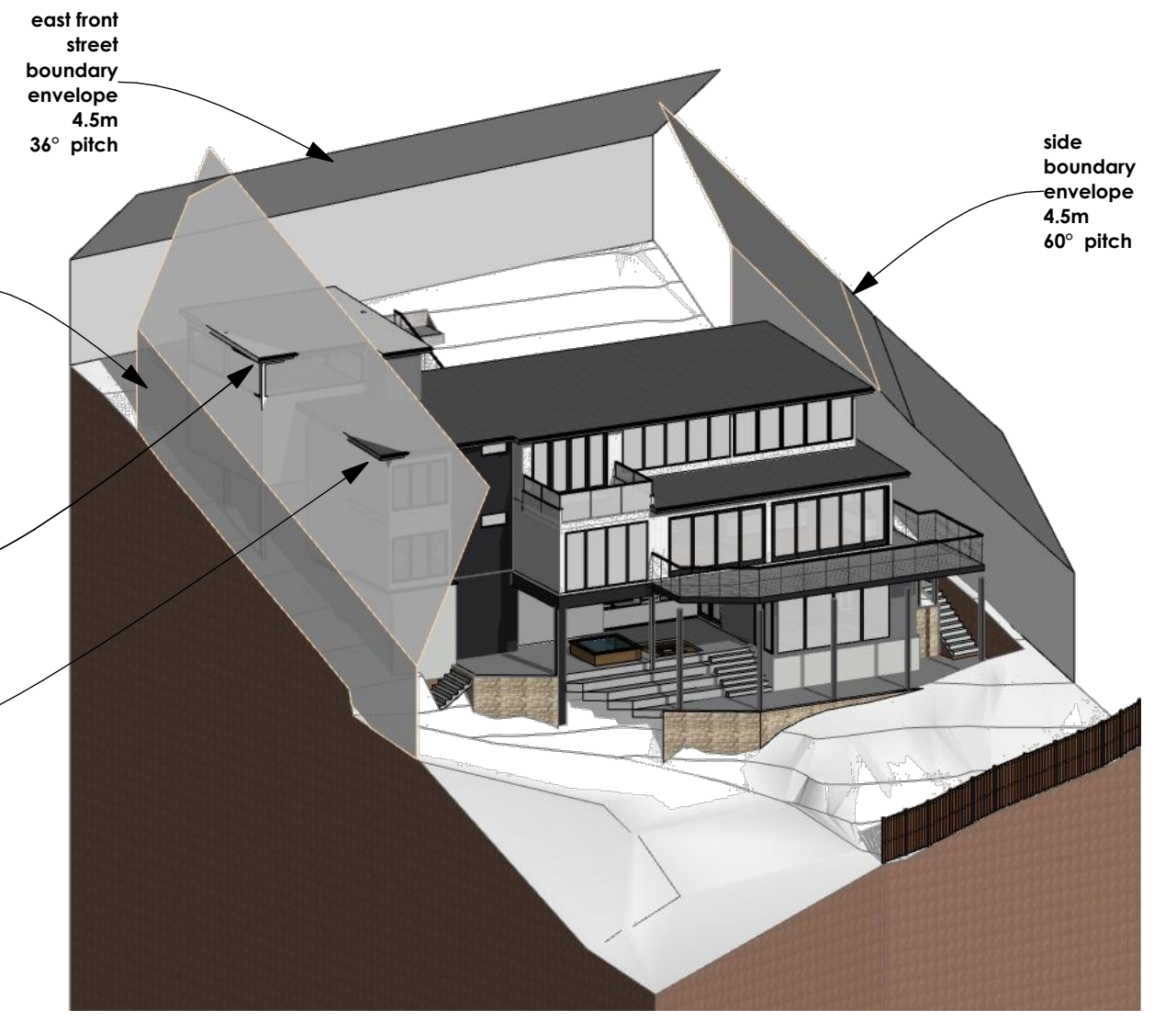
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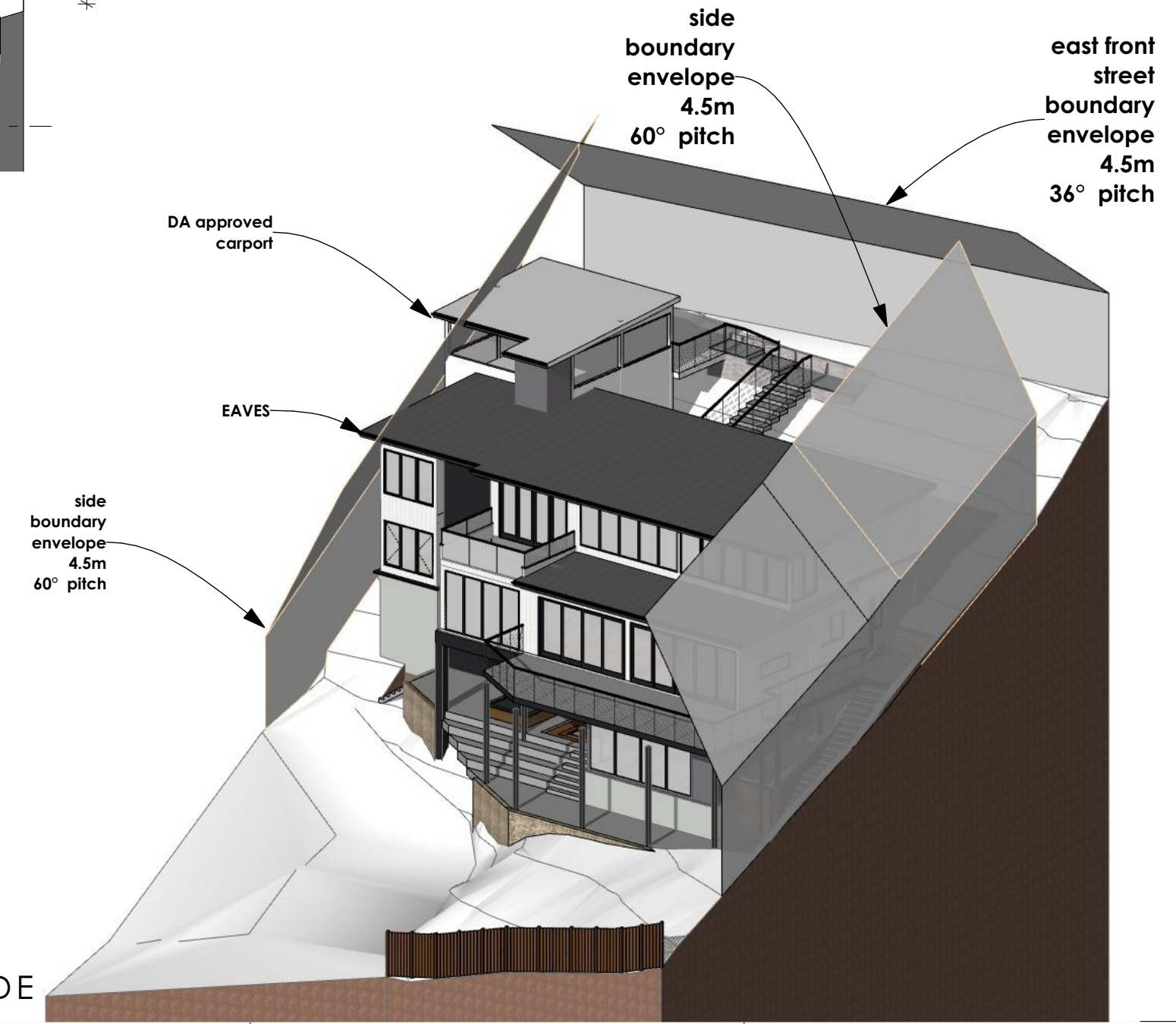
DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	DRIVEWAY SECTION AND WINDOW/ DOOR SCHEDULE	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY	DATE	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC			AW	22/03/2021	1:1
18/03/2021	development application plans	6	PC			DWG NO	JOB NUMBER	ISSUE
				CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	DA14	20127	06



SECTION AT MAX ENVELOP PROTRUSION



3D ENVELOP PROTRUSION - NORTH SIDE



3D ENVELOP PROTRUSION - SOUTH SIDE

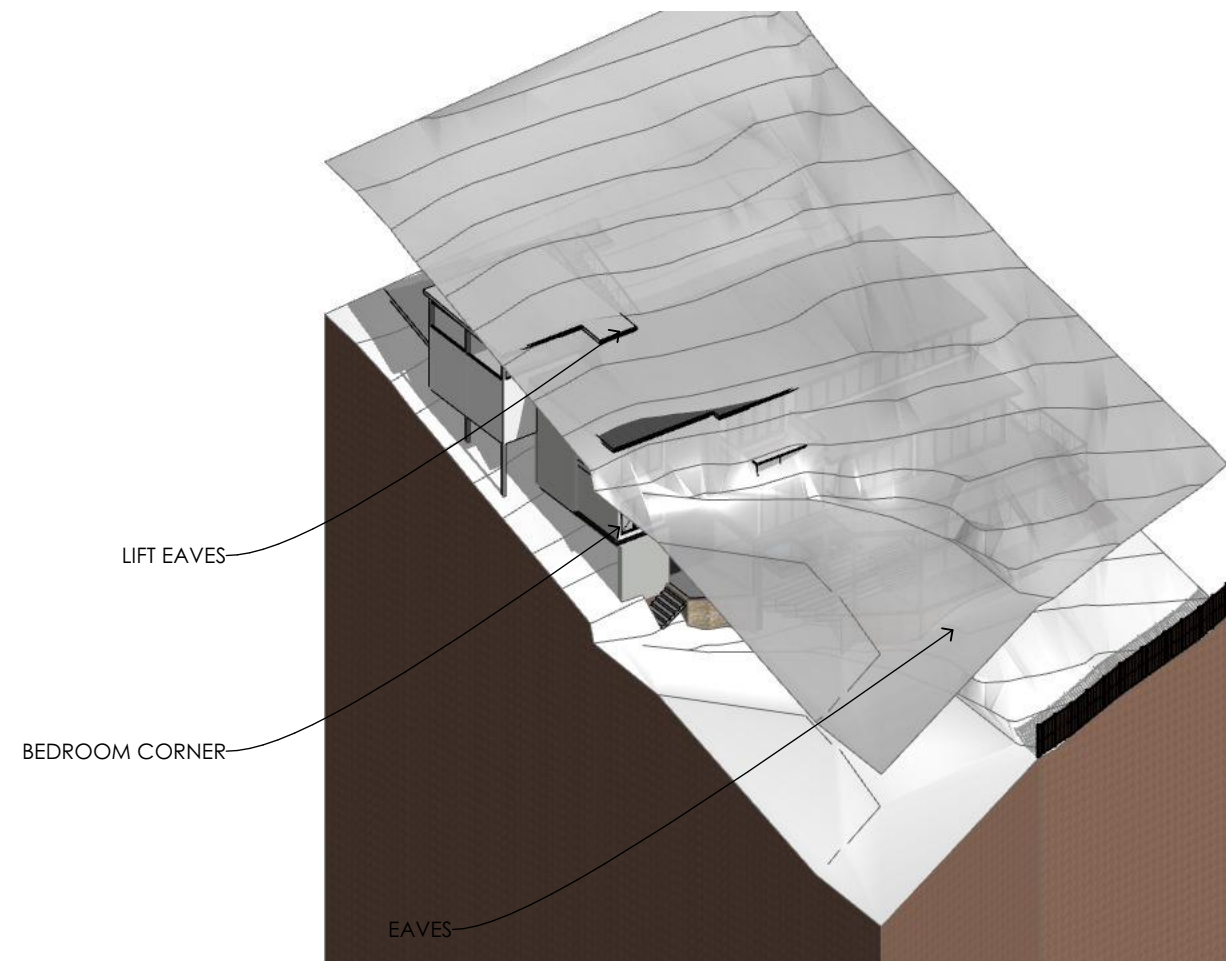
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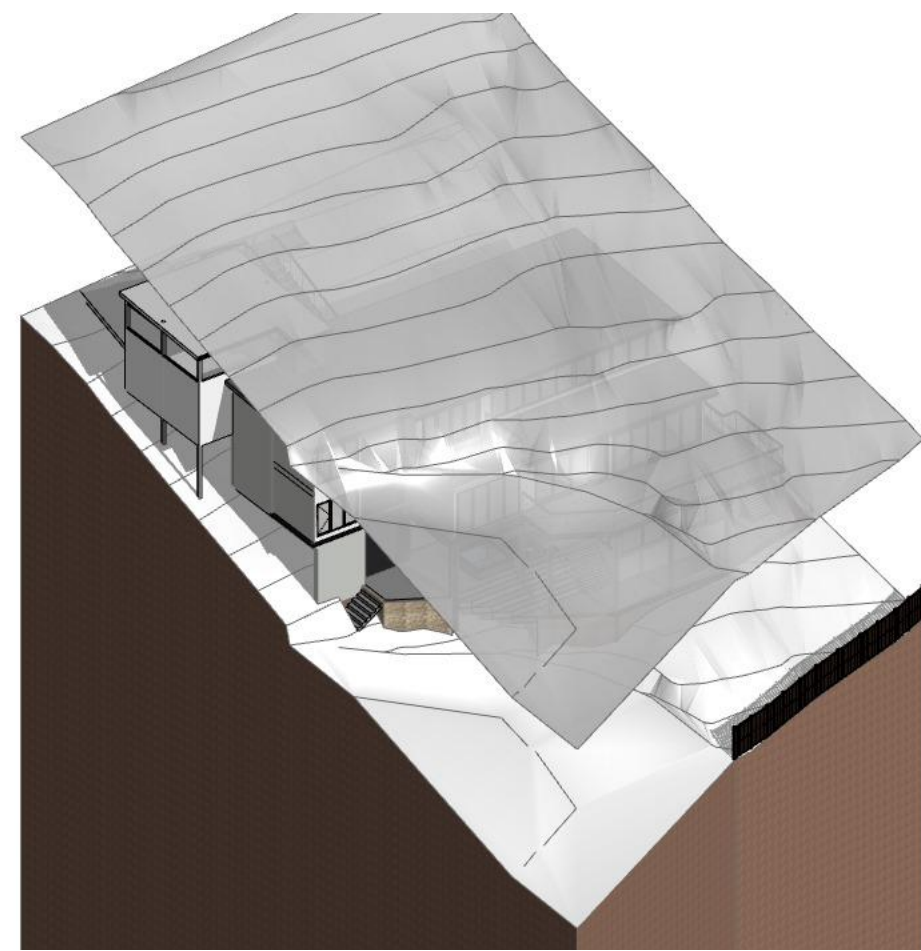
DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu

DRAWING TITLE	DRAWING STATUS
MAX BUILDING ENVELOP DIAGRAM	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	22/03/2021
	SCALE
	1:100 @ A2
	DWG NO
	DA15
	JOB NUMBER
	20127
	ISSUE
	06



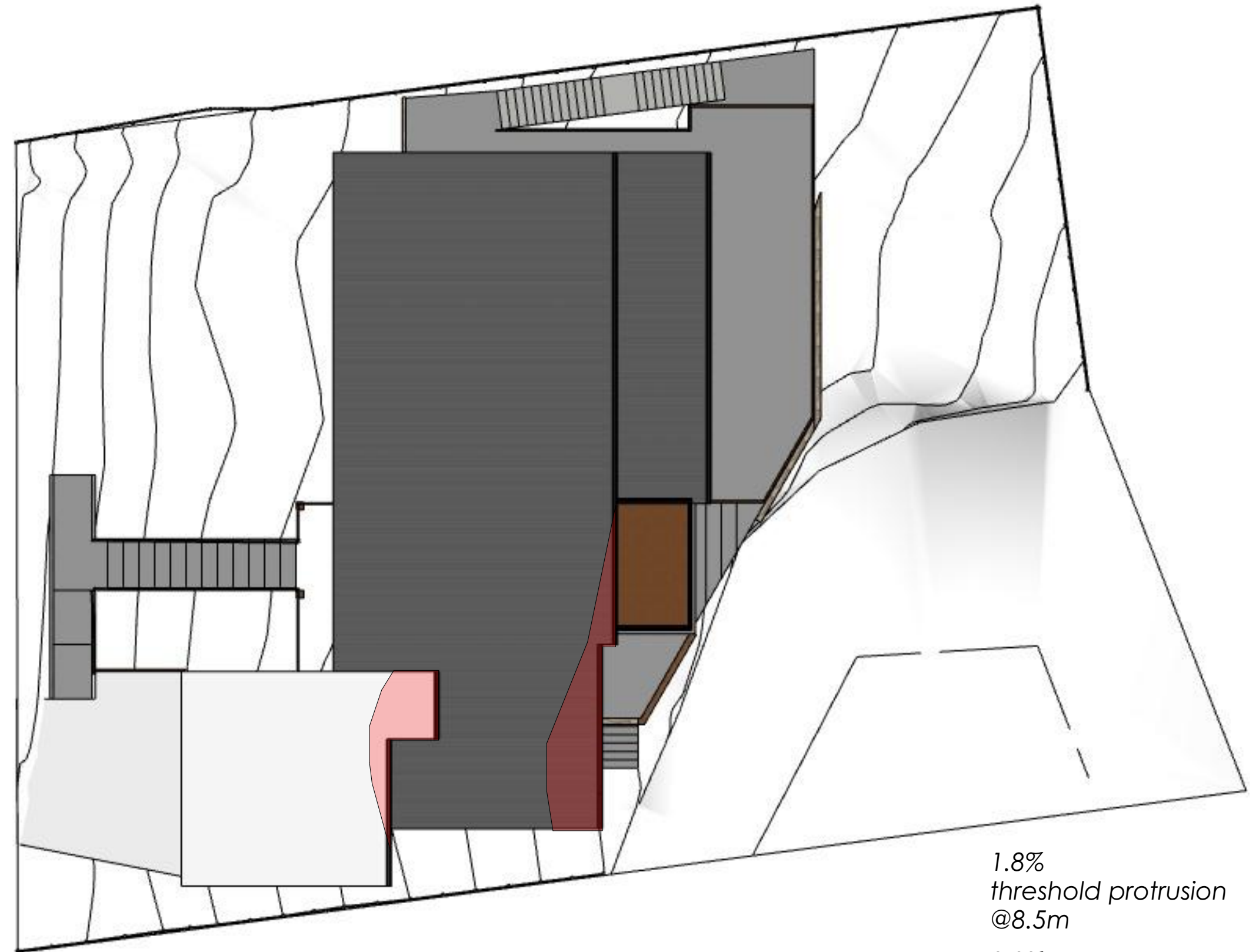
max height @8.5m

3D MAX 8.5m HEIGHT - NORTH SIDE



max height @10.0m

3D MAX 10.0m HEIGHT - NORTH SIDE



MAX 8.5 HEIGHT PLAN - ROOF PLAN

1.8%
threshold protrusion
@8.5m

0.0%
threshold protrusion
@10.0m

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DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	MAX HEIGHT THRESHOLD DIAGRAM	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 22/03/2021	SCALE 1:2
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC			DWG NO DA16	JOB NUMBER 20127	ISSUE 06
18/03/2021	development application plans	6	PC			PROJECT PROPOSED NEW DWELLING		
				CLIENT Uday and Kavita Bonu				



internal alfresco walls
 rendered blockwork
 dulux whitehaven
 or similiar



external walls
 selected brick walls
 dulux shale grey
 or similiar



external walls
 selected brick walls
 dulux basalt
 or similar



external selected surfaces
 rendered brick/selected
 surfaces
 dulux monument
 or similar



light weight walls
 white vertical
 aluminium cladding



roof gutter
 rendered blockwork
 astro metal sheet



all balustrades
 rendered blockwork
 steel wire balustrade



decking
 timber deck
 or similiar



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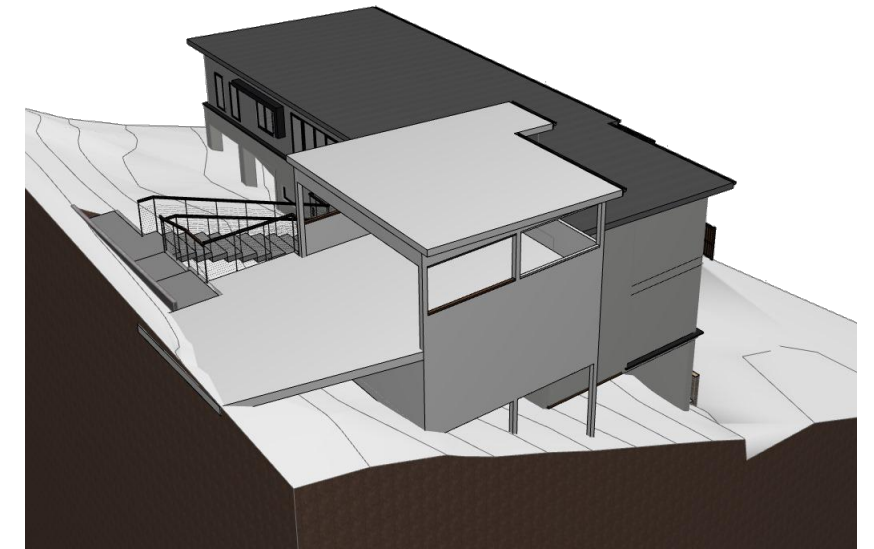
DATE	AMENDMENTS	NO	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS		
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	INDICATIVE MATERIALS SCHEDULE	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY AW	DATE 22/03/2021	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT	PROJECT PROPOSED NEW DWELLING	DWG NO	JOB NUMBER	ISSUE
18/03/2021	development application plans	6	PC	Uday and Kavita Bonu		DA17	20127	06



Perspective-1



Perspective-2



Perspective-3



Perspective-4



Perspective-5



Perspective-6

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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu
18/03/2021	development application plans	6	PC	

DRAWING TITLE	DRAWING STATUS
3D - Artist Impressions	DA SUBMISSION
PROJECT PROPOSED NEW DWELLING	DRAWN BY AW
	DATE 22/03/2021
	SCALE 1:333.33
	DWG NO 20127
	JOB NUMBER 20127
	ISSUE 06

DRAWING STATUS	DRAWN BY	DATE	SCALE
DA SUBMISSION	AW	22/03/2021	1:333.33
	DWG NO	JOB NUMBER	ISSUE
	20127	20127	06