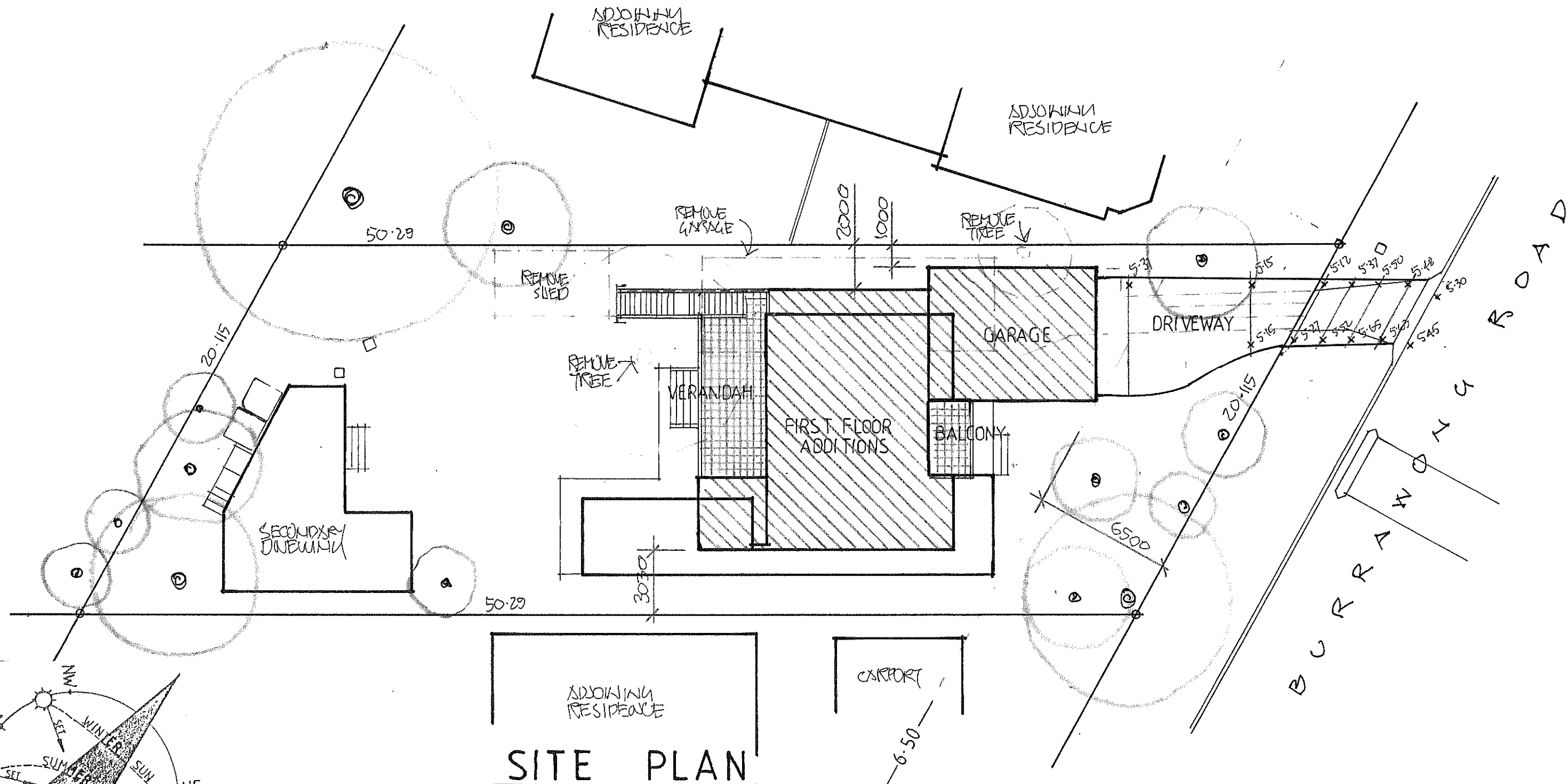




ADJOINING RESIDENCE

SITE PLAN

VOT 68 IN D.P. 9519

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0013

DEVELOPMENT CALCULATIONS		
SITE AREA	885.30 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE FLOOR	129.72	238.30
RESIDENCE ROOF	129.72	156.72
SECONDARY DWELLING	60.00	60.00
VERANDAH & STAIRS	—	34.50
DRIVEWAY	37.20	46.00
GARAGE	63.00	52.00
PORCH	19.20	11.52
SHED	17.60	—
DECK	30.48	—
TOTAL HARD SURFACE	357.20 (40.35%)	360.74 (40.75%)

- NOTES:
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 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

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4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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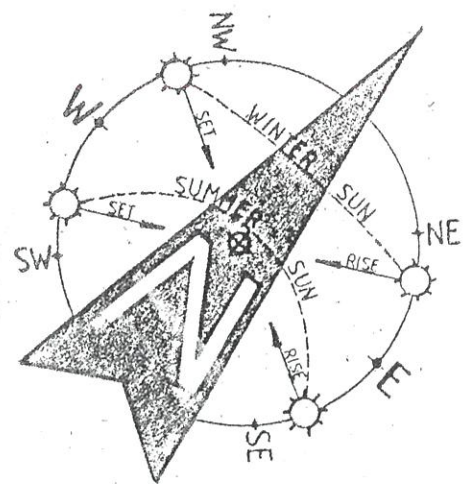
No.	AMENDMENT	DATE

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PHONE 9999 4566 MOBILE 0418 976 596
www.jdeco.com.au

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 30 BURRAWONG ROAD
AVALON BEACH N.S.W. 2107
CLIENT
JOHN & CAROL HIRT

DATE **15/05/2022** SCALE 1:100, 1:200
DRAWN **JDE** CHECKED
DRAWING No. **2070-1** ISSUE

1. LIGHTING OF BATHROOM AND WC TO BE IN ACCORDANCE WITH NCC VOL. 2 PART 3.8.4.2 AND AS/NZS 1660.0 1768.
2. VENTILATION OF BATHROOM AND WC TO BE IN ACCORDANCE WITH PART 3.8.5.2 OF THE BUILDING CODE OF AUSTRALIA AS / NZS 1680.2.
3. THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA PART 3.8.3.3
(TO EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
4. FIRE / SMOKE ALARMS TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE NCC VOL. 2 PART 3.7.2. AND AS 3786.
5. TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH VOL. 2 PART 3.1.4 OR VOL. 1 PART B1.4 (I) AND INSTALLED IN ACCORDANCE WITH AS 3660.
6. SOUND INSULATION TO BE IN ACCORDANCE WITH PART 3.8.6.2 CLAUSES (a), (b) & (c) AND PART 3.8.6.3. OF THE NCC.
7. ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.
8. ALL GLAZED ASSEMBLIES TO COMPLY WITH AS. 2047 AND AS. 1288.
9. WATERPROOFING OF ALL WET AREAS TO COMPLY WITH NCC VOL. 2 PART F1 & VOL. 2 PART 3.8.1 & CONSTRUCTED IN ACCORDANCE WITH AS 3740.
10. AN APPROVED NON-VENTILATED COVER OR SHIELD WHICH ALLOWS FOR THE INSULATION TO BE CLOSELY INSTALLED TO THE SIDES & TOP TO ALL DOWNLIGHTS.
11. STAIRS, HANDRAILS & BALUSTRADES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCC VOL. 2 PARTS 3.9.1 & 3.9.2 IN AS1657.
12. PROTECTION OF OPEN-ABLE WINDOWS MUST COMPLY WITH NCC VOL. 2 PART 3.9.2.5 (a) & (b) AND NCC VOL. 2 PART 3.9.5 (c) & (d).



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- 6 Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
- 7 All electrical power & light outlets to be installed by a licensed electrician.
- 8 Make good and repair all existing fixtures damaged by new work. Reuse existing materials where possible.

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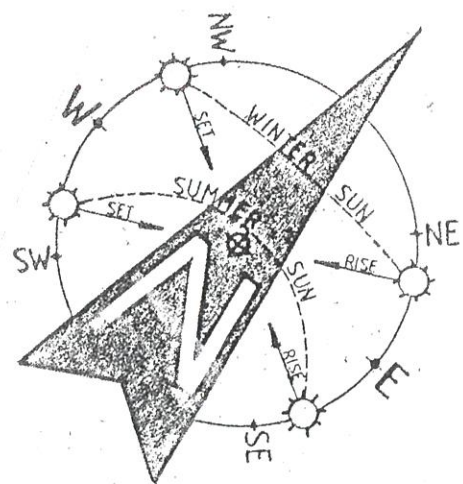
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DRAWING No.	ISSUE
2070-2	



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DA2023/0013



SELECT TILES ON AN APPROVED
WATERPROOF MEMBRANE OVER CFC SHEET
ON VERANDAH BATTEN

VERANDAH
FL 8.85
(ELEV)

SELECT FLOORING OVER YELLOW
TOWEL ON TWO JOISTS TO
ENGINEER'S DETAILS

RUMPUS ROOM

SKYLIGHTS TO STICUS CORNER

BATHROOM

SELECT
BALUSTRADES

BALCONY

BEDROOM 3

STUDY

BEDROOM 4
FL 8.93

WIR

W17

W16

W15

W14

W13

W12

W11

W10

W9

W8

W7

W6

W5

W4

W3

W2

W1

FIRST FLOOR PLAN

NOTES:

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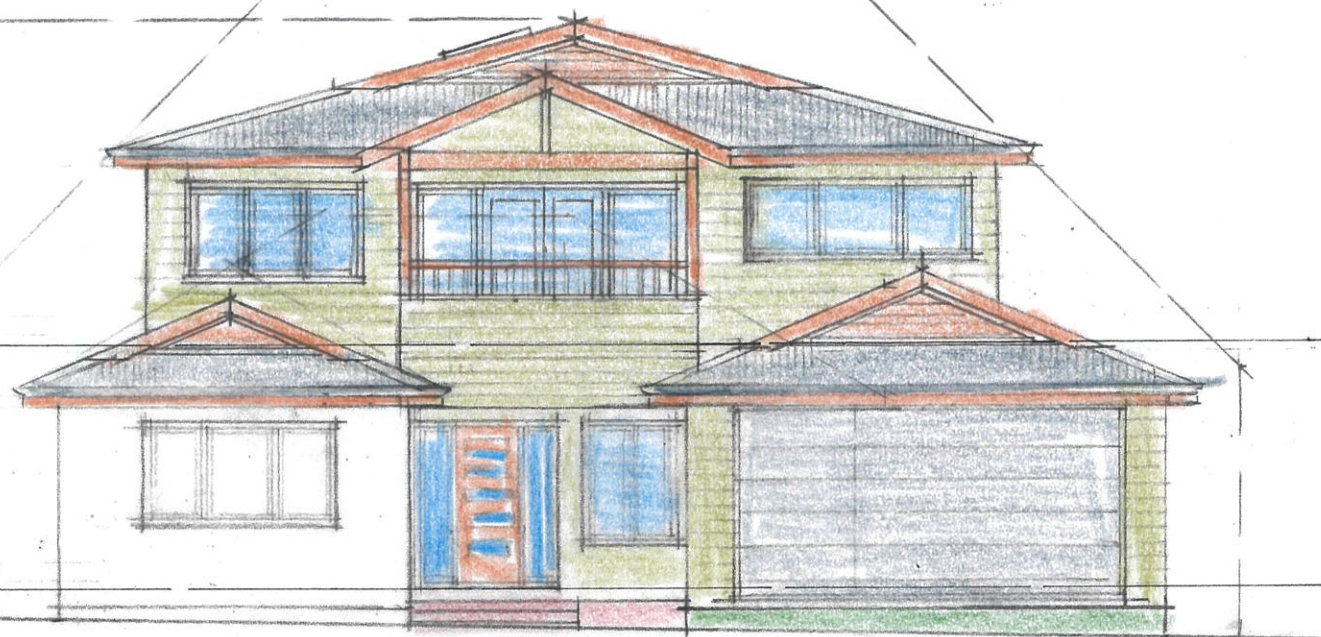
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CLIENT
JOHN & CAROL HIRT

DATE 10/05/2022 SCALE 1:100, 1:200
DRAWN JDE CHECKED
DRAWING No. 2070-3 ISSUE

RIDGE RL 13.20

FIRST FLOOR RL 8.93

GROUND FLOOR RL 5.72



NORTH - EAST ELEVATION



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DA2023/0013

FIRST FLOOR RL 8.93

GROUND FLOOR RL 5.72



SOUTH - WEST ELEVATION

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A458376

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 04 May 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	John & Carol Hirt
Project name	30 Burrawong Road Avalon Beach 2107
Street address	Pittwater Council
Local Government Area	Deposited Plan 9519
Plan type and number	68
Lot number	
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: J.D. Evans & Co Pty Ltd
ABN (if applicable): 72 001 636 693

Fixtures and systems	Show on DA Plans	Show on CC/CD Plans & specs	Certifier Check
Hot water The applicant must install the following hot water system in the development: gas instantaneous.	☒	☒	☒
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	☒	☒	☒
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	☒	☒	☒
Construction The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	☒	☒	☒
Insulation requirements			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)		
suspended floor above garage: framed (R0.7)	nil		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: plasterboard (R0.36)	nil		
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	dark (solar absorbance > 0.70)	

Glazing requirements

Show on DA Plans Show on CC/CD Plans & specs Certified check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door	Orientation	Area of glass (m ²)	Overhead shading device (m ²)	Shading device (m ²)	Frame and glass type
W1	NW	1.62	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	NW	1.62	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	NE	1.8	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	NE	1.68	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	1.08	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.08	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	SW	0.36	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	SW	1.08	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	SW	2.16	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	SW	7.56	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	NW	1.08	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W12	NW	1.08	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W13	NE	2.7	0	0	eave/verandah/pergola/balcony >=450 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	NE	7.14	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	NE	2.88	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W16	SE	1.8	0	0	eave/verandah/pergola/balcony >=600 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	SW	3.6	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	NW	6.48	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W19	SW	1.35	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W20	SW	6.3	0	0	eave/verandah/pergola/balcony >=900 mm improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

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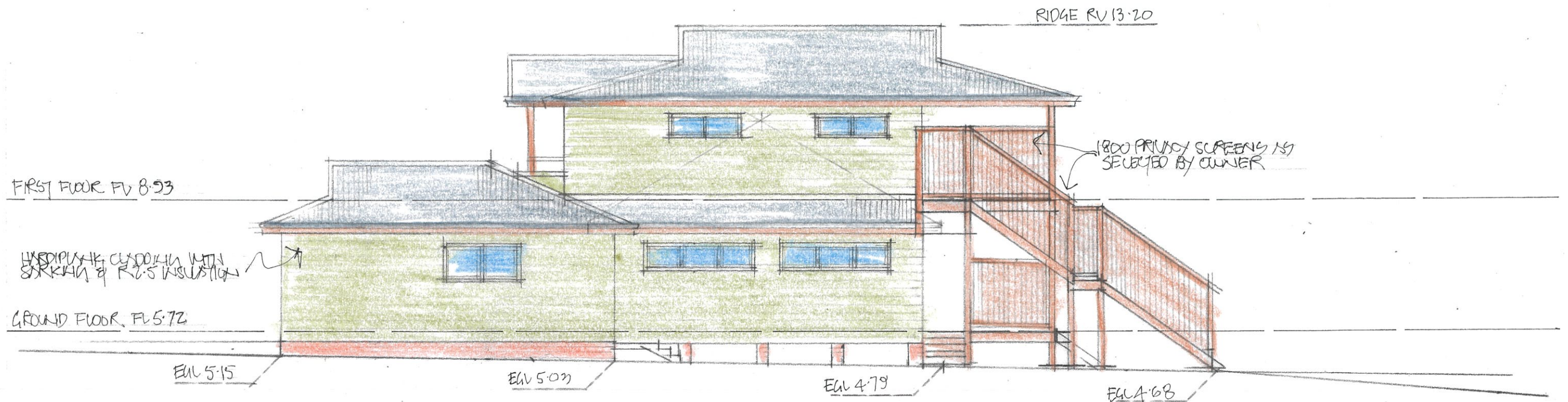
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JOHN & CAROL HIRT

DATE 05/05/2022	SCALE 1:100, 1:200
DRAWN JOE	CHECKED
DRAWING No. 2070-4	ISSUE

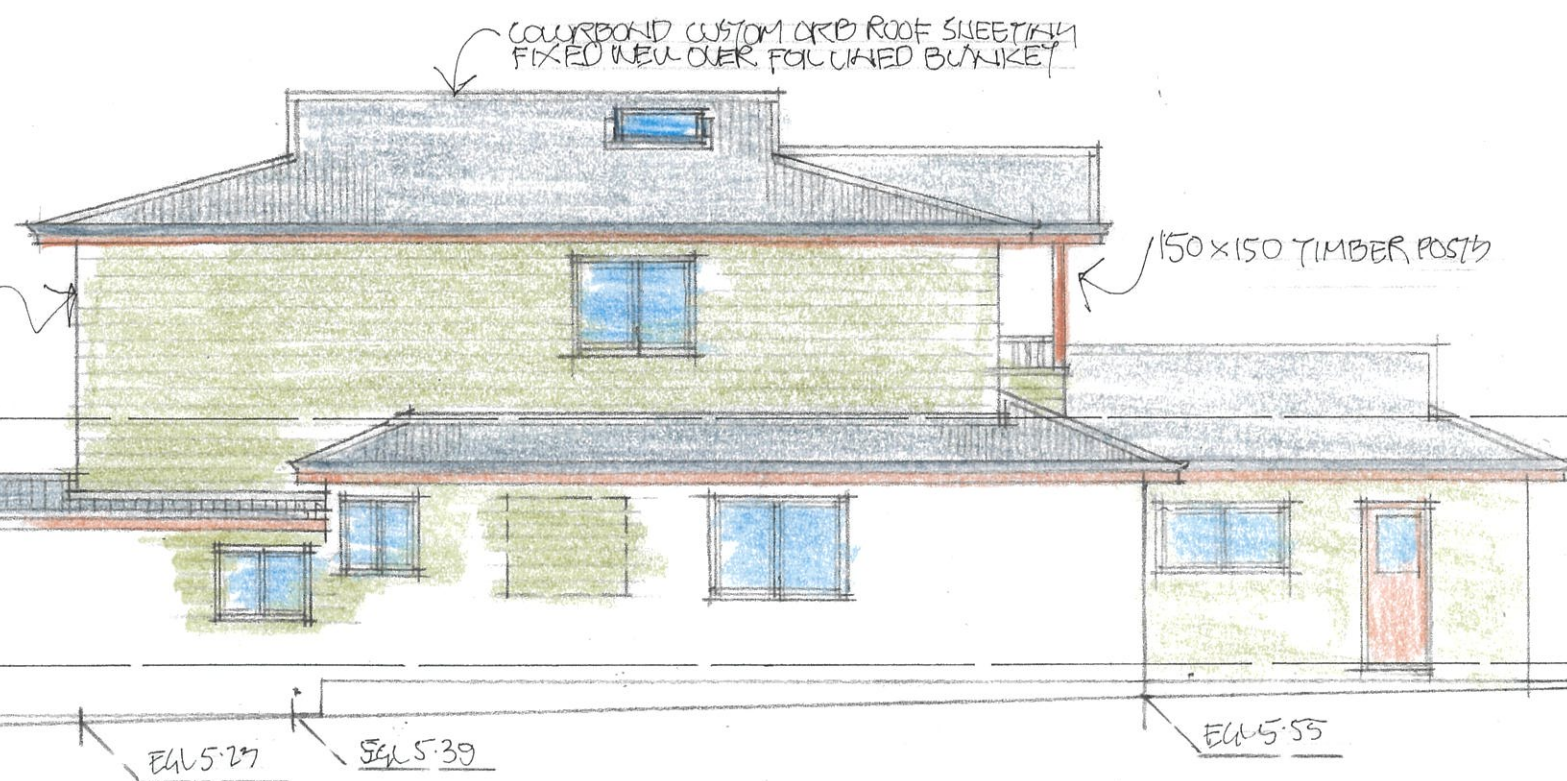


NORTH-WEST ELEVATION

 northern
beaches
council

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DA2023/0013



SOUTH-EAST ELEVATION

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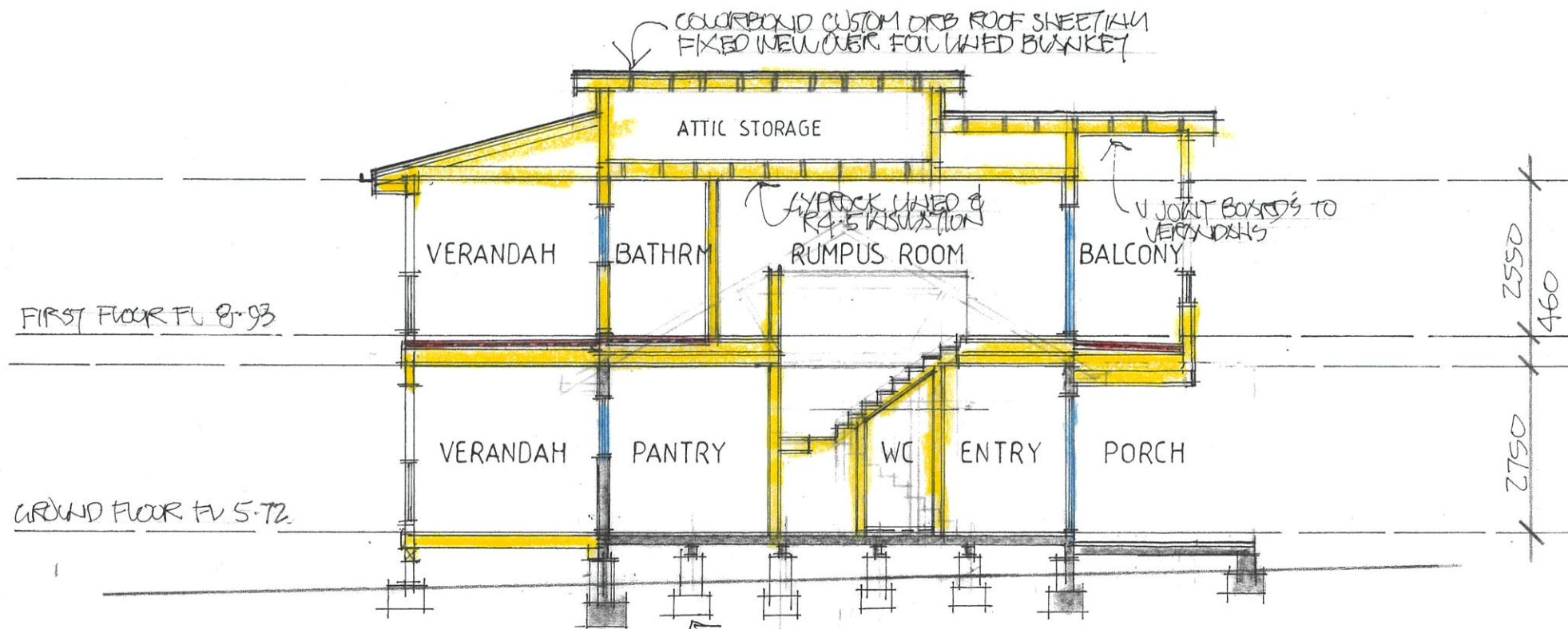
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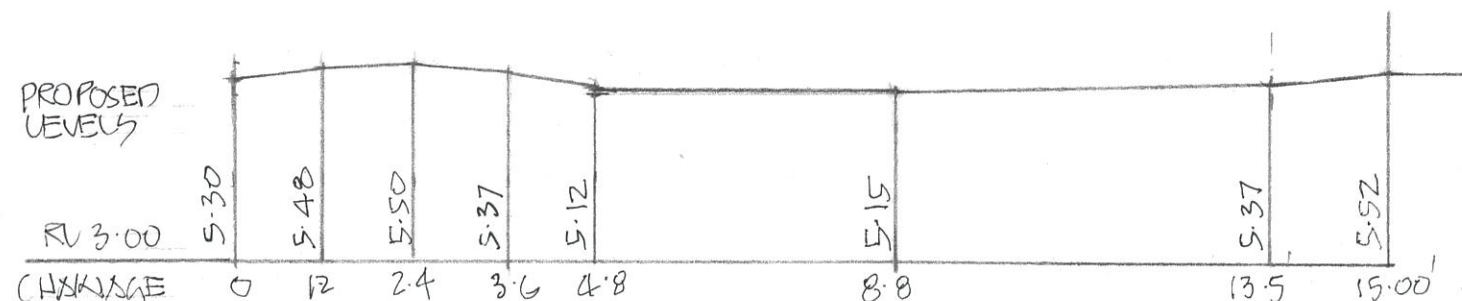
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LONGITUDINAL SECTION THROUGH DRIVEWAY

WINDOW & GLAZED DOOR SCHEDULE

No.	HEIGHT	WIDTH	AREA
W1*	0.60	2.70	1.62
W2*	0.60	2.70	1.62
W3	1.50	1.20	1.80
W4	2.10	0.80	1.68
W5	0.90	1.20	1.08
W6	0.90	1.20	1.08
W7	0.90	0.40	0.36
W8	0.90	1.20	1.08
W9	1.20	1.80	2.16
W10	2.10	3.60	7.56
W11*	0.60	1.80	1.08
W12*	0.60	1.80	1.08
W13*	1.00	2.70	2.70
W14	2.10	3.40	7.14
W15*	1.20	2.40	2.88
W16	1.20	1.50	1.80
W17	1.50	2.40	3.60
W18	2.70	2.40	6.48
W19	0.90	1.50	1.35
W20	2.10	3.00	6.30

NOTE:

- ALL WINDOWS & GLAZED DOORS TO BE IMPROVED ALUMINIUM
- WINDOWS & GLAZED DOORS TO BE FITTED WITH, SINGLE CLEAR GLAZED (U - VALUE: 6.44, SHGC: 0.75).
- WINDOWS & GLAZED DOORS DENOTED THUS * TO BE FITTED WITH SINGLE PROLYTIC LOW - E GLAZING (U - VALUE: 4.48, SHGC: 0.46).

SKYLIGHT / ROOF WINDOW SCHEDULE

No.	HEIGHT	WIDTH	AREA
S1	1.14	1.18	1.35

NOTES:

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