



19 Parkview road Fairlight

STATEMENT OF ENVIRONMENTAL EFFECTS FOR
ADDITIONS TO AN EXISTING DWELLING



Report prepared for
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1.0 Introduction

- 1.1 This is a statement of environmental effects for an addition to the existing dwelling at 19 Parkview Road in Fairlight including a new second storey addition.

The report describes how the application addresses and satisfies the objectives and standards of Warringah Council. In preparation of this development application consideration has been given to the following:

- Environmental Planning & Assessment Act, 1979.
- Manly Local Environmental Plan 2013.
- Manly Development Control Plan 2013.

- 1.2 This statement of environmental effects has been prepared with reference to the following:

- Site survey prepared by EMS Surveyors
- Architectural drawings prepared by Robinson Jolly
- BASIX Certificate
- Stormwater Concept Plan prepared by Michal Korecky

- 1.3 This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. It provides an assessment of the proposed development against the heads of consideration as set out in Section 4.15 of the Environmental Planning and Assessment Act 1979. As a result of that assessment, it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council and will be designed following a pre-lodgement meeting with Council.

2.0 The site and its locality

- 2.1 The subject site is located at 19 Parkview Road Fairlight, on the western side of Parkview Road. The lot is legally described as Lot 362 DP700858.
- 2.2 It is a generally rectangular shaped, with a primary road frontage of 6.915 metres to Parkview Road and 36.695 metres north and south side boundaries.
- 2.3 The lot has an area of 254 m² and is currently occupied by a single storey brick semi detached dwelling with terracotta tiled roof. The property has a shared party wall with number 21.
- 2.4 The property has a slight fall from the street frontage (RL54.27 nail in kerb) towards the rear boundary (RL 53.55). The dwelling is located on the right of the site with a timber picket low brick fence and hedging to the front boundary of the site with low side gate.
- 2.5 A paved pathway located on the northern side of the dwelling extends from the front gate to the front door. A side path to the southern side 1100mm wide extends from the front garden to the rear.
- 2.6 The site is characterised by informal gardens and does not comprise any significant vegetation. The site is not heritage listed nor is it located within a heritage conservation area.
- 2.7 The property is surrounded by a mix of residential densities including detached single dwellings, semi-detached dwellings, multi-dwelling housing and residential flat buildings. It is located in close proximity to Manly Oval (approx. 300 metres to the east), Manly Beach (approx. 700 metres to the east) and Manly Wharf (approx. 450 metres to the south east). The site is also in close proximity to the retail and public transport services on Sydney Road and The Corso.



Figure 1. The site and its immediate surrounds

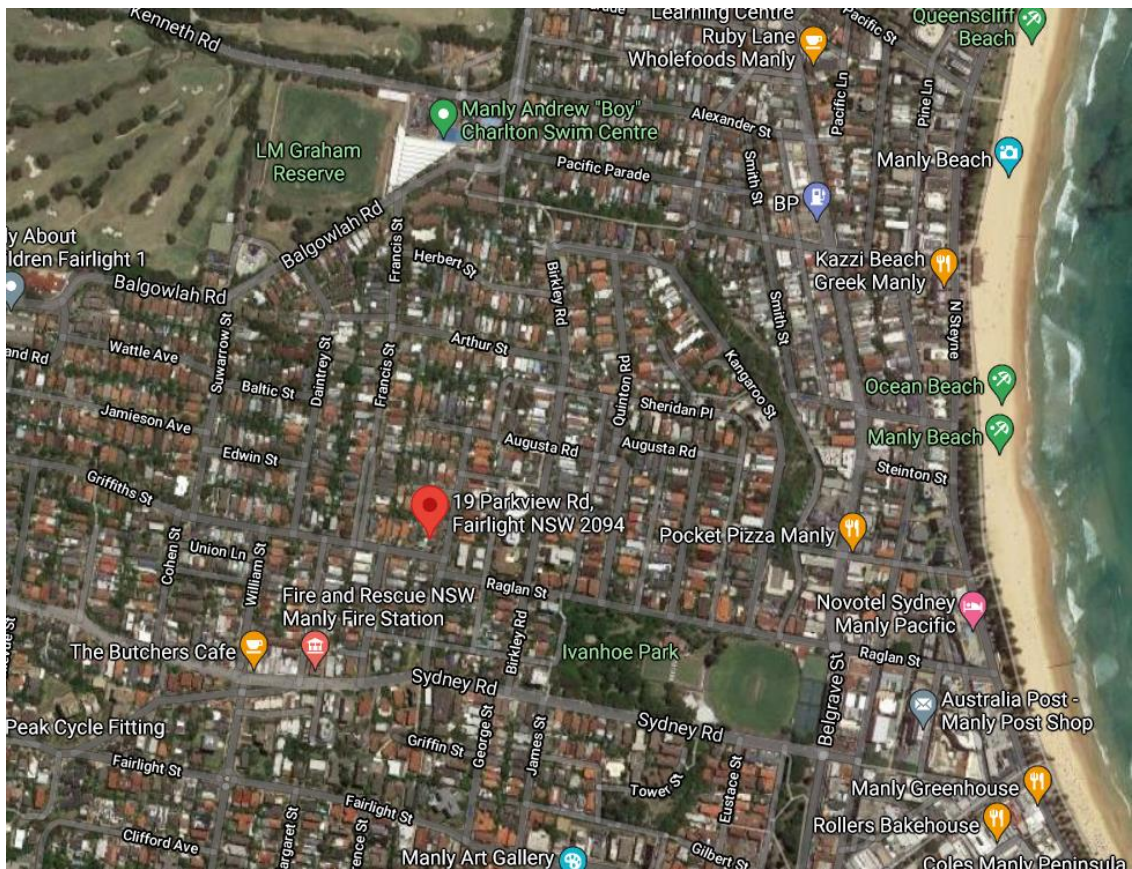


Figure 2. Aerial image of the site within the locality

3. Site Photos



Figure 3. The existing dwelling rear of hedge, #21 exposed looking west from Parkview Road.

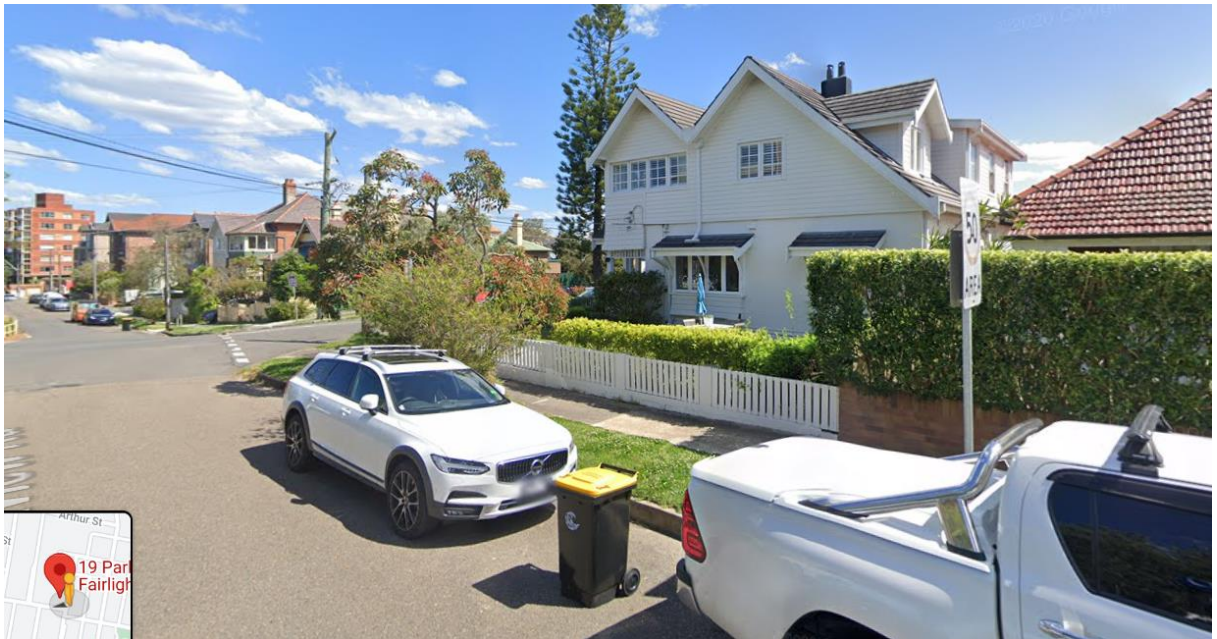


Figure 4. Looking from #19 south to neighbours on the corner #17 understand the mix of housing types and architectural forms



Figure 5: 88 Raglan (corner of Parkview) diagonally opposite 19 Parkview indicating mix of dwellings

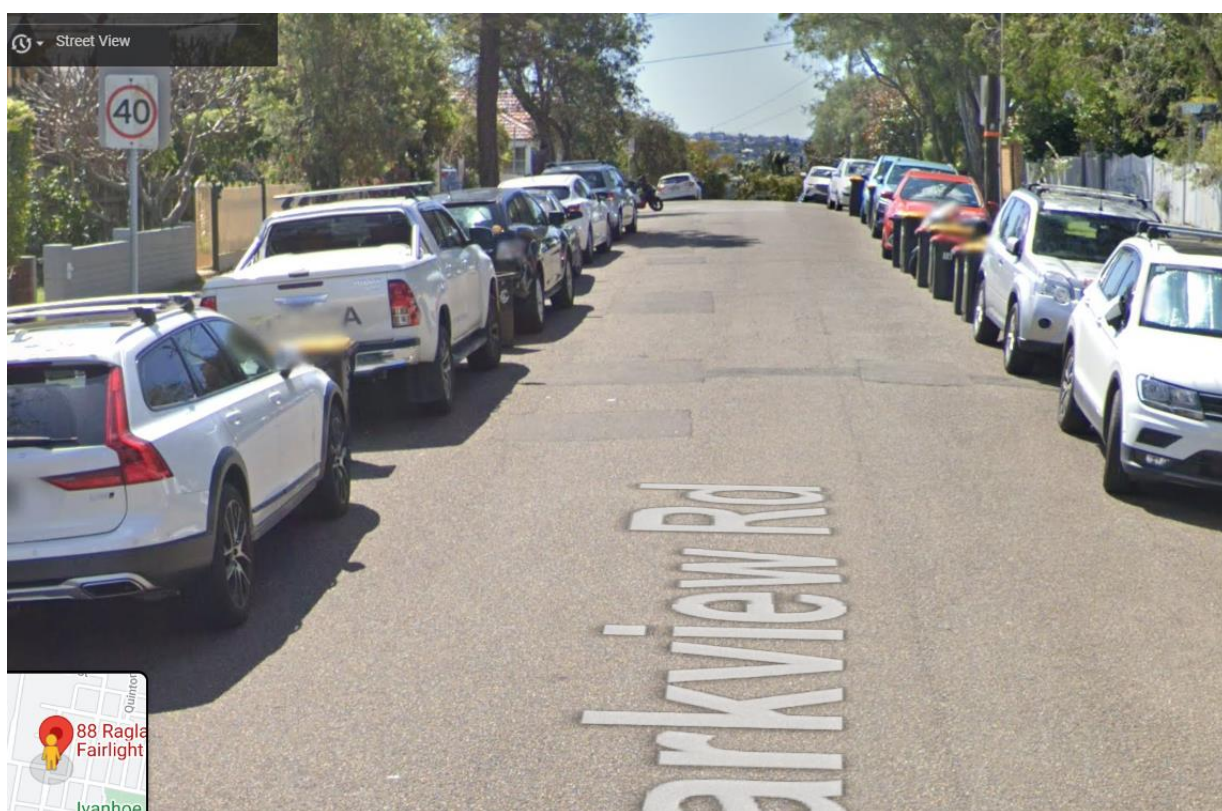


Figure 6: View down Parkview highlighting importance of off street parking

4. Proposed development

4.1 The proposed development is for alterations and additions for a first storey addition and carparking.

4.2 The alterations and additions have been designed to ensure that the appearance of the building remains consistent with the existing streetscape. The proposed additions maintain a scale consistent with buildings in the locality and will provide an attractive addition to Parkview Road. The proposed additions will be constructed of mix of brick and Colourbond cladding and roofing.

The proposal provides for an addition to the rear ground floor level of the dwelling. This requires demolition of a portion of the rear of the dwelling and a new addition to provide a laundry, bathroom, stairwell, kitchen and lounge room.

The new 1st floor level is to accommodate a master bedroom with ensuite, 2 childrens bedrooms plus a bathroom.

The proposal provides for new on site parking space. This parking space will require modification to the front porch and fencing to allow a car to be within the boundary once parked.

The proposal will result in the following numerical indices:

	M2	Ratio/percentage	council
Site Area	254m2		
Existing FSR	105m2	0.41:1	0.6:1 (152m2)
Proposed FSR	179m2	0.7:1	0.6:1
Pre-DA lodgement	189m2	0.74:1	10m2 reduced by being 2m off boundary as recommended
Existing total open space	135m2	53%	55% (139.7m2)
Proposed total open space	132m2	51%	55%
Existing landscaped area	67m2	27%	35% (88.9m2)
Proposed landscaped area	83.4m2	32% increase by adding soft landscaping via side path	35%

4.3 The proposed alterations and additions will be made up as follows:

1st Storey Addition

- 3 bedrooms
- Bathroom and storage
- Timber stairs
- Architectural form to compliment surrounding residences in a sustainable finish

Carparking

- Security sliding gate
- Hardstand and front landscaping including modifications to the front brick porch wall to allow for a full car length within the boundary lines

Ground floor updates

- Improvement of damp and underfloor ventilation
- Lowered living kitchen zone to provide connectivity to the rear garden
- Larger laundry for storage and showering after beach

4.4 The proposed use of the new space is to improve space restrictions for a growing family of four plus a dog.

5. Statutory Framework

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 (1) of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

State Environmental Planning Policies

SEPP Building Sustainability Index: BASIX 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

SEPP Vegetation in Non-Rural Areas 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP and does not include the removal of any trees.

SEPP No. 55 – Remediation of Land

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

SEPP (Sydney Harbour Catchment) 2005 Aims of the Plan

The proposed development is consistent with the aims of the SREP having nil impact on the Sydney Harbour Catchment. It is not visible from the critical and valuable areas and is very minor in nature. The Sydney Harbour Catchment will retain its environmental and cultural significance.

Land to which the plan applies

The subject site falls within the mapped area recognised by the SREP. No Heritage Items nominated in the SREP are in the immediate vicinity of the site.

Consent Authority

Council is the Consent Authority for land based development, as is proposed in this application.

Planning Principles

The proposed development is considerate of the planning principles for the catchment area. The minimal development proposed will be appropriate and has no impact on the significance and retention of the significant environmental and cultural aspects of the Sydney Harbour Catchment.

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Manly LEP and DCP.

5.1 Manly Local Environmental Plan 2013

Zoning

The site is zoned R1 – General Residential, pursuant to the provisions of the Manly Local Environmental Plan 2013. The proposed development is for alterations and additions to the existing dwelling house and dwelling houses are permissible with development consent in the R1 zone.

The objectives of the Zone are as follows:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

It is considered that the proposed development achieves these objectives by:

- Providing alterations to the existing dwelling to support the family needs which are permissible in this zone.
- Retaining the existing amenity to the surrounding residence
- Providing a development that is compatible in terms of bulk, scale and height to surrounding properties.

The proposed alterations and additions have been designed to suit the site and its surrounds, The proposal is appropriate and will have a positive impact by complimenting the existing architecture on adjacent properties.

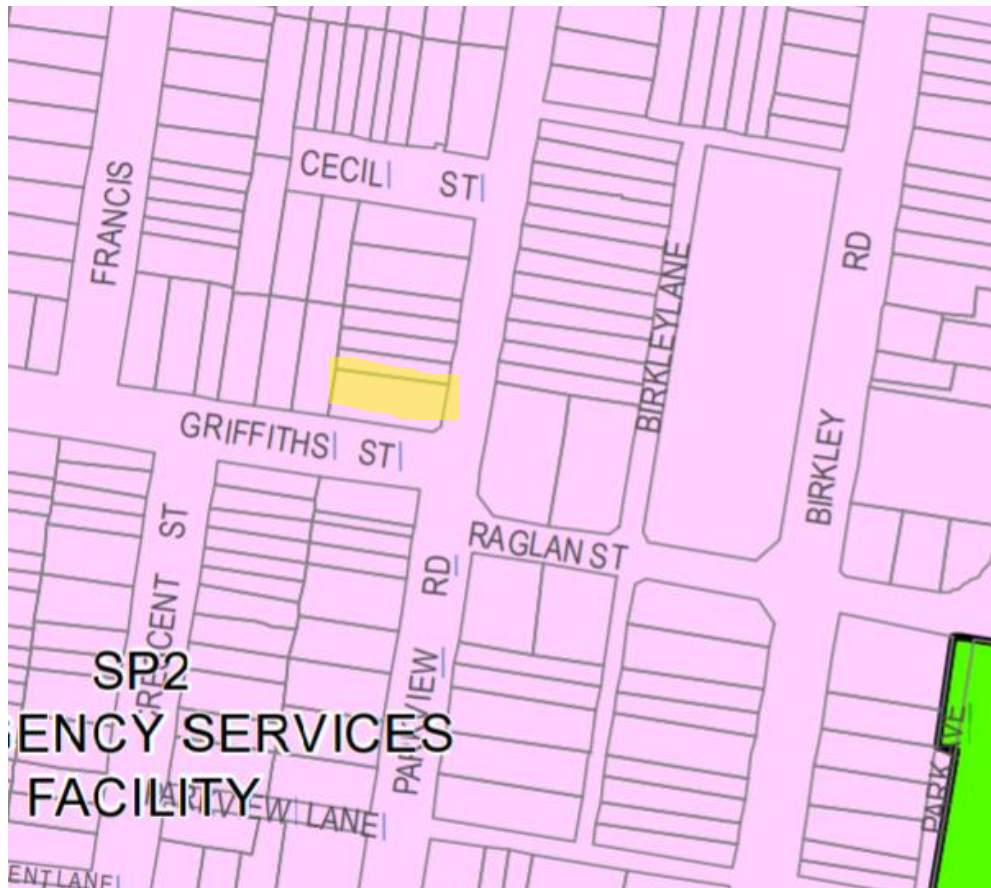


Figure 7. Extract from Manly LEP 2013 zoning map, property highlighted yellow in R1

Objectives of the control:

*To maintain and **enhance the existing streetscape** including the desired spatial proportions of the street, the street edge and the landscape character of the street.*

Comment

The proposed side setbacks remains consistent with the existing dwelling on the subject site. The subject site is narrow and similar side setbacks are prevalent on Parkview Road.

Complementary Design and Visual Improvement

The proposed development remains consistent with the character and streetscape in the locality. The proposed works will be constructed of materials consistent with the residential use and are of an appropriate scale for the location.

The proposed additions are located to the rear of the existing roofline and the front porch modifications sit behind the well-established hedging.

Demolition

Demolition works are proposed, as described and illustrated in the attached DA plan set, to allow for the construction of the proposed alterations and additions.

Minimum Lot Size

The site is mapped with a minimum subdivision lot size of 250m². The subject site comprises an area of 254m² and no subdivision is proposed.

Height

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a compliant maximum building height of 8 metres for new structure. This will be between the height of the top pitch and dormer window at #17.

Floor Space Ratio

The site is mapped in zone F with a maximum FSR of 0.6:1 which equates to a maximum floor area of 152m² for the site area of 254m². The existing FSR is 105m². The proposed gross floor area is 179m² or 0.70:1. Whilst this is not compliant, the newly recently developed semi detached at number 23 Parkview sits at 0.73:1. Across Raglan Street at the end of Parkview, dwellings are allowed to build at 0.75:1.

Whilst the understanding is to comply with area F of the zoning, to create a family home the 0.6:1 ratio needs to be pushed and the precedent of the street aligns with zone I as opposed to F (refer to clause 4.6 variation for further information)



Figure 8. Extract from Manly LEP 2013, property location yellow, zone I across Raglan can build to 0.75:1

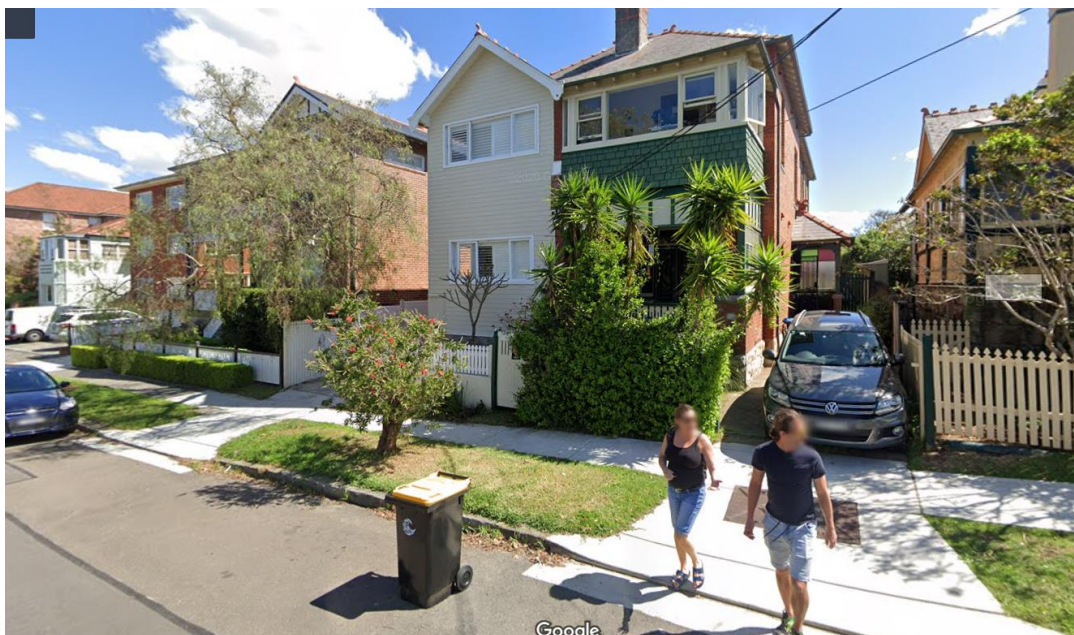


Figure 9. Zone I end of Parkview with FSR of 0.75:1

Heritage

The site is not a heritage item or located within a heritage conservation area or located in proximity to any heritage items.

Acid Sulfate Soils

The site is mapped with class 5 acid sulfate soil map. The proposed works are minor and are not likely to lower the water table below 1 metre AHD on adjacent class 1,2,3 or 4 land. There are no other specific clauses that specifically relate to the proposed development.

Sustainability

A compliant BASIX Certificate is provided with the DA submission.

The proposed alterations and additions provide compliant solar access and ventilation.

Stormwater Management

The subjected land is located Council's Manly Stormwater Zone 1.

The stormwater management plan shall be designed in accordance with Council's Water Management for Development Policy.

All collected stormwater will continue to be connected to the street gutter in accordance with the Stormwater Management Plan (submitted as part of final DA).

It has been noted in the Pre-lodgement meeting notes PLM2021/0200 on 24.07.21, under the 'specialist advice' section – that 'no onsite water detention system is required'.

Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible which will be detailed in the Waste Management Plan.

Essential Services

All essential services are existing on the site.

5.2**Manly Development Control Plan 2013**

The relevant sections of the DCP are addressed below.

General Principles of Development -

The subject site has frontage to and is visible from Parkview Road.

The streetscape in Parkview Road is varied.



Figure 10. Number 17 overlooking proposed at number 19



Figure 12. 23 Parkview, semi detached with new 1st storey addition

Streetscape (Residential Areas)

Objectives of the control:

To promote flexibility in the siting of buildings.

Comment

The design is consistent with the streetscape, not of excessive scale sitting to the rear of the roof line. The proposal will not unreasonably impact upon any neighbouring properties and is appropriate for the site.

Setback (front, side and rear) and Building Separation

Street Front setbacks

A primary front setback, consistent with the prevailing setback, or a minimum 6 metres, is required on the site and a secondary front setback, consistent with the prevailing setback or the equivalent of the side setback control is required on the site.

No change is proposed to the existing primary front setback to Parkview Road, the 1st storey addition sits to the rear of the existing roof ridge.

Side setbacks and secondary street frontages

A side boundary setback equivalent of 1/3 of the wall height is required on the site which equates to 2 metres.

The proposed side setbacks of the new first floor is 2metres (south) and 0 (north) due to the party wall.

The Pre-DA lodgement did not comply with side setback to the South. The revised proposal sets the 1st storey 2m from the boundary as advised. This in turn reduces the original FSR. The proposed setbacks are consistent with setbacks to other similar structures along Parkview road and do not unreasonably impact upon the amenity of neighbouring properties nor to the quality of the streetscape. The proposal ensures windows are staggered, not direct facing and those opposite will have obscure glass.

Rear Setback

The proposal aligns with controls and provides for a setback of 9.8m to the rear boundary, distance to the rear deck is 6.8m which is as per existing site conditions

Amenity (Views, Overshadowing, Overlooking/Privacy, Noise)

Objectives of the control:

To ensure and enhance local amenity by:

- *providing privacy;*
- *providing equitable access to light, sunshine and air movement; and*
- *facilitating view sharing and maintaining adequate space between buildings to limit impacts on views and vistas from private and public spaces.*
- *defining and adding character to the streetscape including the provision of adequate space between buildings to create a rhythm or pattern of spaces; and*
- *facilitating safe and adequate traffic conditions including levels of visibility around corner lots at the street intersection.*

Overshadowing

The DCP requires that new development not eliminate more than 1/3 of existing sunlight to the private open space of adjoining properties between 9am and 3pm on 21 June.

In addition, as the subject site and adjoining lots have an east-west orientation, the DCP requires a minimum 2 hours solar access be maintained to the glazing in living rooms of adjacent properties, between 9am and 3pm on 21 June.

It is suggested that the works will achieve these objectives as:

- The proposal provides for additions to the rear of the existing dwelling to minimise impact on the streetscape.
- The proposal provides for setbacks to the side and rear boundaries that are compatible with the existing surrounding development. The revised 2m side 1st storey reduces overshadowing.
- The proposed additions do not reduce the level of privacy currently enjoyed by the adjoining properties. In this regard the new upper level windows are staggered to avoid direct facing of the neighbours windows: any direct facing windows will be in obscured glass.
- The proposed additions will not obstruct any existing views.
- The proposal continues to ensure 3 hours of solar access to at least 50% of the rear private open space on the winter solstice.

Acoustical Privacy (Noise Nuisance)

The development is appropriate and will not result in noise levels inappropriate to a residential area. The site is not located in proximity to a noise generating activity.

Maintenance of Views

A site visit has been undertaken and it is considered the proposed development will have no impact on views from the subject site or adjoining properties.

Privacy and Security

Privacy will be retained for neighbours with appropriate setbacks and no direct overlooking into any key living areas. Privacy measures are incorporated into the design of the proposed 1st storey, with windows staggered, narrow or obscured pending their location, ensuring privacy is maintained for the subject site and surrounding properties. The balcony to the rear has been reduced to a small Juliet Balcony as recommended from the Pre-DA lodgement meeting.

5.4 Front Fences and Gates

To support the onsite carparking, a secure sliding gate within the boundary lines is proposed. It is maximum 1.5m with 30% open area in a powdercoated metal.

5.5 Garbage Areas

The existing dwelling conceals bins behind the well established hedges to the front of the property and no change is proposed for the premises where bins are collected from Parkview Road.

5.6 Roofs and Dormer Windows

The new roof proposes a contemporary roof line which complements roof styles in the locality. No dormer windows are proposed.

The style of the proposed first floor above the existing dwelling is consistent with the scale and character of the area and follows the pitched roof of number 17. The proposed development will not degrade the amenity of surrounding residences or the aesthetic quality of the neighbourhood.

5.7 Garages, Carports and Hardstand Areas

The development proposes to construct a hardstand to the front of the dwelling, providing suitable vehicular access and carparking for the residents on the subject site.

The proposal includes the new vehicular access (driveway) from Parkview road and motorised sliding gate. This will provide adequate parking for the residents of the dwelling and reduce pressure of on-street parking.

5.8 Heritage Considerations

As already noted, the site is not located in proximity to any of heritage items.

5.9 Landscaping

To enhance and maintain natural features by:

- *accommodating planting, including deep soil zones, vegetation consolidated across sites, native vegetation and native trees;*
- *ensuring the nature of development does not unduly detract from the context of the site and particularly in relation to the nature of any adjoining Open Space lands and National Parks; and*
- *ensuring the provisions of State Environmental Planning Policy No 19 - Urban Bushland are satisfied.*

Comment

The proposed will have no significant impact on the existing landscaped areas on the lot.

The site contains existing landscaping to the primary front setback which will be mostly retained although relocated and replanted to suit the new hardstand design. The proposal does not require the disposal of any vegetation, only modification of replanting the front hedges and slight reduction of the front grassed area.

The side path will having new planting, mondo grasses and stepping stone to increase the open landscaped area.

The rear yard remains as existing and provides sufficient landscaped area for the residents of the dwelling. The lowering of the living space and deck provides more connectivity to the garden for the owners.

Open Space and Landscaping

Minimum Residential Total Open Space Requirements

The DCP requires a total of 55% of the site to be open space with a minimum 35% of that open space to be landscaped area. This equates to 139.7m² of open space for the site area of 254m² and 88.9m² landscaped area.

The proposal allows for 132m² of open space and 83.4m² for landscape area which is a minor adjustment to the existing small site. This is appropriate and reasonable to allow for improved parking and storage on the site. Ample and usable open space is available in both the front and rear yards and the site will be compatible with those neighbouring with the development as proposed.

The DCP requires a minimum 18m² of principal private open space. The proposal nominates a compliant area in the rear yard.

5.10 Height of Buildings (incorporating wall height, number of storeys and roof height)

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a compliant maximum building height of 8metres.

The DCP permits a maximum of 2 storeys plus basement on the subject site and the development proposes a compliant design proposal.



Figure 13. Raglan street on opposite corner, large multi dwelling structures of varied architectural style

5.11

Overshadowing Solar Collector Systems

The proposed development will not overshadow neighbouring solar collector systems.

Overshadowing Clothes Drying Areas

The proposed development will not overshadow neighbouring clothes drying areas.

Excessive Glare or Reflectivity Nuisance

All external material and finishes will be constructed of low-reflective materials in keeping with this clause.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur

No conflict or issues will arise as a result of the proposed development. The proposal allows for improved on-site car parking for the residents and reduce pressure of on-street parking.

Public domain

There will be no impact.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

Front hedge to be replanted to suit the proposed carport.

Waste

There will be no impact.

Natural hazards

The site is not constrained by natural hazards.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

5.12

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*

The proposed development is highly appropriate to the site with regards to all of the above factors. The proposed development fits well within the context of the surrounds and is of an appropriate scale.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia and all relevant Council controls.

5.13

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

6. Control Summary Table

Summary of development controls as outlined as part of the submission.

Clause/ Design Element	DCP Requirement	Compliance/Comments
Residential Density & Subdivision	Density Area D3 – 1 dwelling per 250m ²	Yes Site area is 254.0m ² and the proposal does not increase density.
Floor Space Ratio	Refer to LEP 0.6:1	Not compliant at 0.7:1 Refer to clause 4.6 variation – FSR has been reduced by 10m² from pre-DA lodgement by altering the side setback to 2m to be compliant
Wall Height	Height – 6.5m	The proposal provides for a maximum wall height of 6.4m. The proposal maintains privacy, solar access and appropriate view sharing.
Number of Storeys	Two Storeys	Yes
Roof Height	2.5m above wall height	Compliant at 1.4m
Parapet Height: 600mm above wall height.	600mm above wall height	N/A
Maximum Roof Pitch	35°	Yes at 27°
Building Setbacks	Front Setback – Min. 6.0 metres or consistent with neighbouring.	Yes
	Secondary setback – same as side boundary setback	N/A
	Side Setback – 1/3 of the height of wall.	Yes, setback 2m
	Walls without windows may be constructed to one side boundary only, providing the objectives of this part can be met	Yes A nil setback is provided to the northern boundary consistent with the existing party wall. The first floor does not extend beyond the existing

	and the applicant can demonstrate no disadvantage to the adjacent allotment through increased overshadowing, or loss of view and no impediment to property maintenance.	footprint of the adjoining dwelling.
	Rear Setback – Minimum 8.0 metres	Compliant
Landscaping/Open Space	Open Space Area 3: Minimum total open space: 55% of site area. Minimum soft open space as 35% of total open space	As existing for total open space at 132m ² - 52% Total soft landscaping has increased to 32% due to the soft planting and pavers along the side passage
	Private open space to be directly accessible from living areas. Minimum dimension 3m. Minimum area of 18m ² .	Yes The proposal retains sufficient private open space in the rear yard (maintains existing).
Parking and Access	Minimum 2 Spaces per Dwelling. Garages/carports shall be sited so as to not dominate the street frontage through the use of appropriate materials.	This application seeks to provide parking space on site to reduce the pressure for on street parking.
	Carports forward of the building line shall be open on all sides. Maximum width of structures forward of the building line is 6.2m or 50% of site width, whichever is the greater	NA
First Floor Additions	Additions may follow the existing ground floor wall setbacks providing adjoining properties are not adversely impacted by overshadowing, view loss or privacy issues.	Pre-DA lodgement proposed the existing setback were maintained however due to impact and overshadowing the side setback is adjusted to 2m.

	Must retain the existing scale and character of the street and should not degrade the amenity of surrounding residences	Shadow diagrams have been submitted which depict that the adjoining property will receive 3hours of solar access to 50% of the private open space. The existing dwelling currently overshadowing windows on the northern elevation of the adjoining dwelling at No. 17 Parkview.
Fences	Maximum height 1.0m for solid fencing Maximum height 1.5m where at least 30% is transparent.	Compliant

There are no other provisions of the Manly DCP that apply to the proposed development.

7. Conclusion

As demonstrated in this report, the proposed development for alterations and additions to the existing dwelling are consistent with the aims and objectives of the Manly Local Environmental Plan 2013 and the Manly DCP 2013. The proposal does not have any detrimental impact on the amenity of the adjoining properties or the character of the locality.

When assessed under the relevant heads of consideration of S4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and therefore should be approved.

It is therefore considered that the proposed of alterations/additions to an existing semi-detached dwelling upon land at **No. 19 Parkview Road, Fairlight** is worthy of Council's consent.