

3 / 7 STUART STREET, COLLAROY

SUNNY & JOSH VAN RAAD

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING RESIDENTIAL TOWNHOUSE

DA DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE:	DESCRIPTION:
DA_000	Cover Page & Drawing Schedule	N/A	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_001A	Site Plan- Proposed Amendment	1:200 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_001	Site Plan	1:200 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_100A	Ground Floor General Arrangement Floor Plan- Proposed Amendment	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_100	Ground Floor General Arrangement Floor Plan	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_300A	Elevations Sheet 01- Proposed Amendment	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_300	Elevations Sheet 01	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_301A	Elevations Sheet 02 - Proposed Amendment	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_301	Elevations Sheet 02	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_400A	Section Sheet 01- Proposed Amendment	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_400	Section Sheet 01	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_401	Section Sheet 02	1:100 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_501A	Waste Management Site Plan & Erosion & Sediment Control Plan -- Proposed Amendment	1:200 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_502A	Site Analysis Plan- Proposed Amendment	1:200 @ A3	-	20-07-2021	SECTION 4.55 SUBMISSION
DA_503	Schedule of External Colours & Materials	N/A	-	20-07-2021	SECTION 4.55 SUBMISSION

LEGEND:



DENOTES EXISTING SPOT LEVEL



DENOTES PROPOSED LEVEL



DENOTES EXISTING WALLS TO REMAIN



DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS



DENOTES PROPOSED ADDITION



DENOTES PROPOSED ALTERATIONS



DENOTES PROPOSED AMENDMENTS TO APPROVED DA

PROJECT:
ALTS & ADS TO EXISTING RESIDENTIAL TOWNHOUSE

CLIENT:
SUNNY & JOSH VAN RAAD

LOCATION:
3/7 STUART ST, COLLAROY, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
COVER PAGE & DRAWING SCHEDULE

SCALE:
N/A

DATE OF ISSUE:
20-07-2021

DRAWING NO.
DA-000

REVISION:
-

Renée Blyth

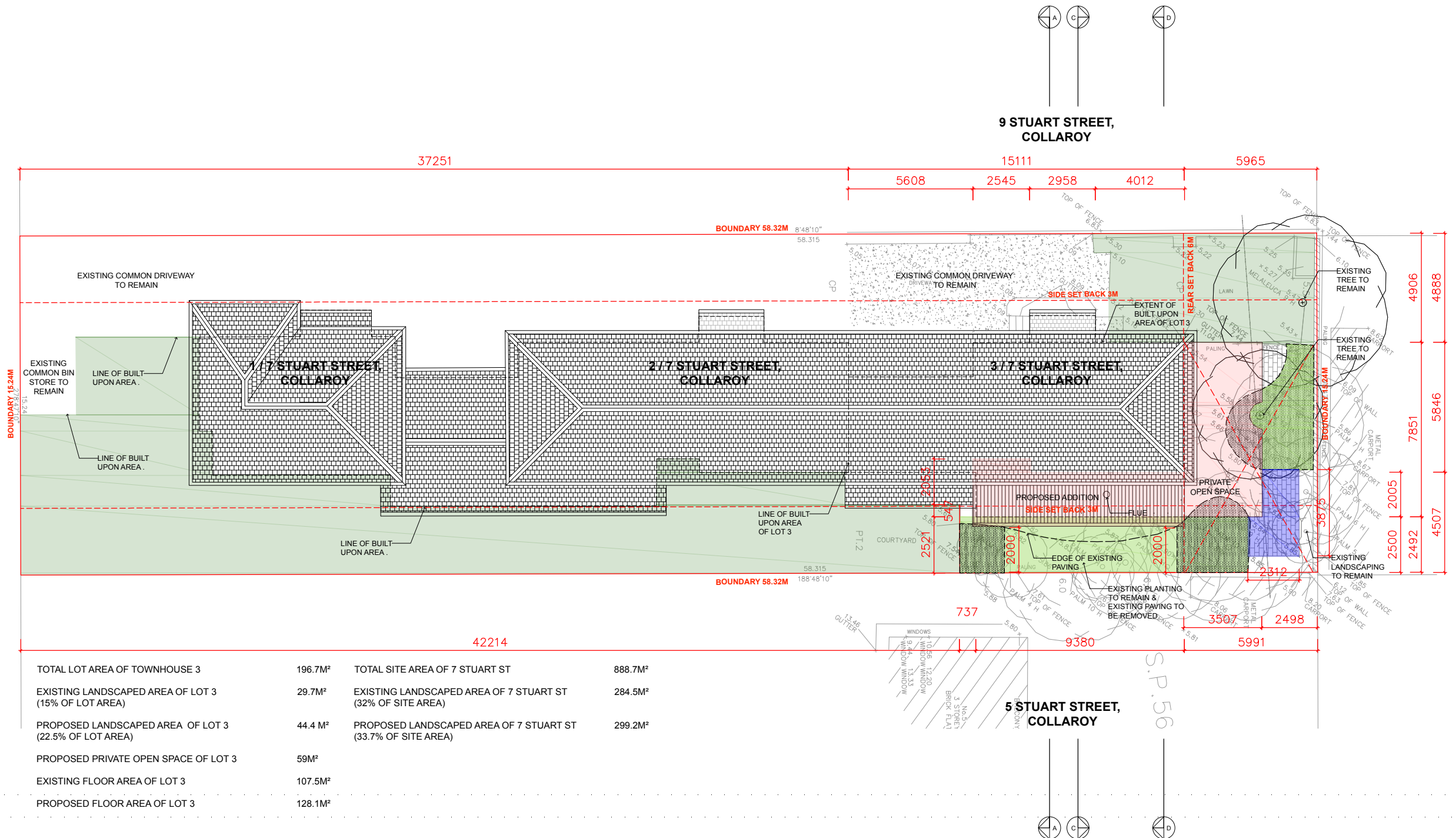
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MA - Architecture - USYD

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STUART STREET



SITE PLAN 1:100 @ A1 OR 1:200 @ A3

LEGEND:

DENOTES EXISTING SPOT LEVEL

DENOTES PROPOSED LEVEL

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DENOTES PROPOSED ADDITION

DENOTES PROPOSED ALTERATIONS

DENOTES PROPOSED AMENDMENTS TO APPROVED DA

DENOTES CALCULATED AREA OF EXISTING LANDSCAPED OPEN SPACE OF LOT 3/ 7 STUART ST

DENOTES CALCULATED AREA OF APPROVED PROPOSED LANDSCAPED OPEN SPACE OF LOT 3/ 7 STUART ST

DENOTES CALCULATED AREA OF LANDSCAPED OPEN SPACE OF 7 STUART ST

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LOCATION:
3/7 STUART ST, COLLARROY, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SITE PLAN - PROPOSED AMENDMENT

SCALE:
1:200 @ A3

DATE OF ISSUE:
20-07-2021

DRAWING NO.
DA-001A

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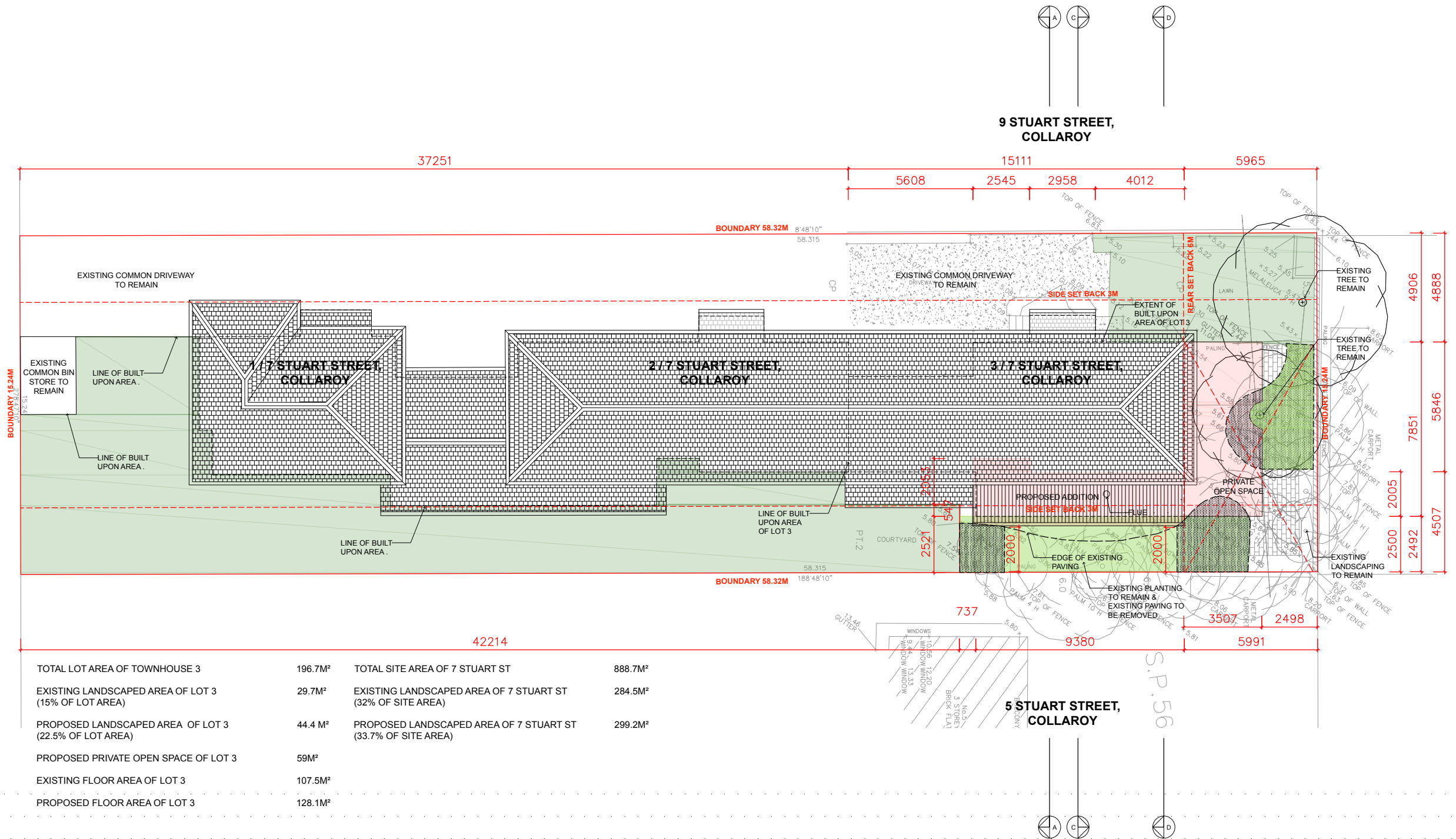
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STUART STREET



SITE PLAN 1:100 @ A1 OR 1:200 @ A3

LEGEND:

7.03 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

— DENOTES EXISTING WALLS TO REMAIN

- - - DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

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■ DENOTES PROPOSED ADDITION

■ DENOTES PROPOSED ALTERATIONS

■ DENOTES CALCULATED AREA OF EXISTING LANDSCAPED OPEN SPACE OF LOT 3/ 7 STUART ST

■ DENOTES CALCULATED AREA OF PROPOSED LANDSCAPED OPEN SPACE OF LOT 3/ 7 STUART ST

■ DENOTES CALCULATED AREA OF LANDSCAPED OPEN SPACE OF 7 STUART ST

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DRAWING TITLE:
SITE PLAN

SCALE:
1:200 @ A3

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DA-001

REVISION:
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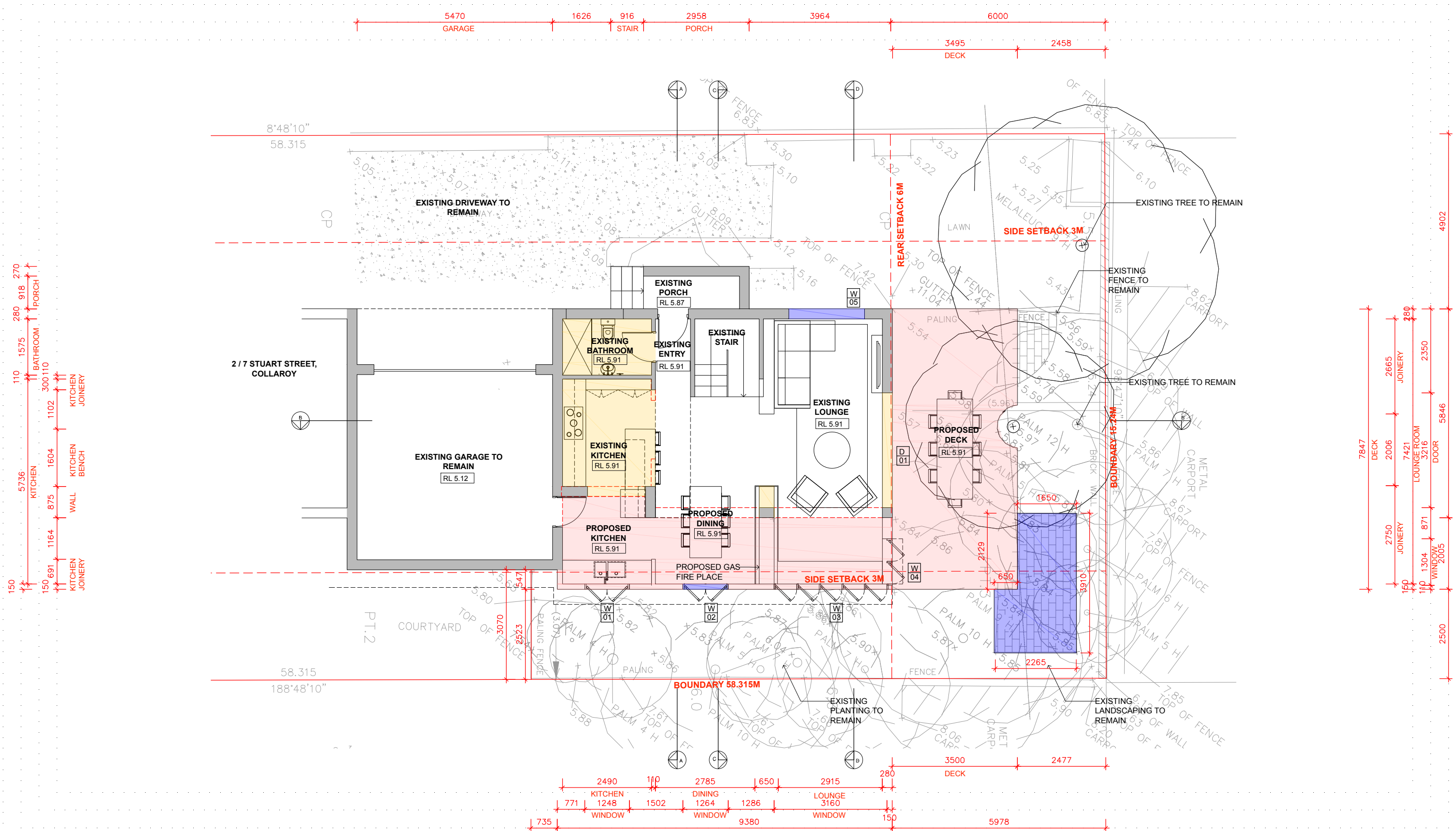
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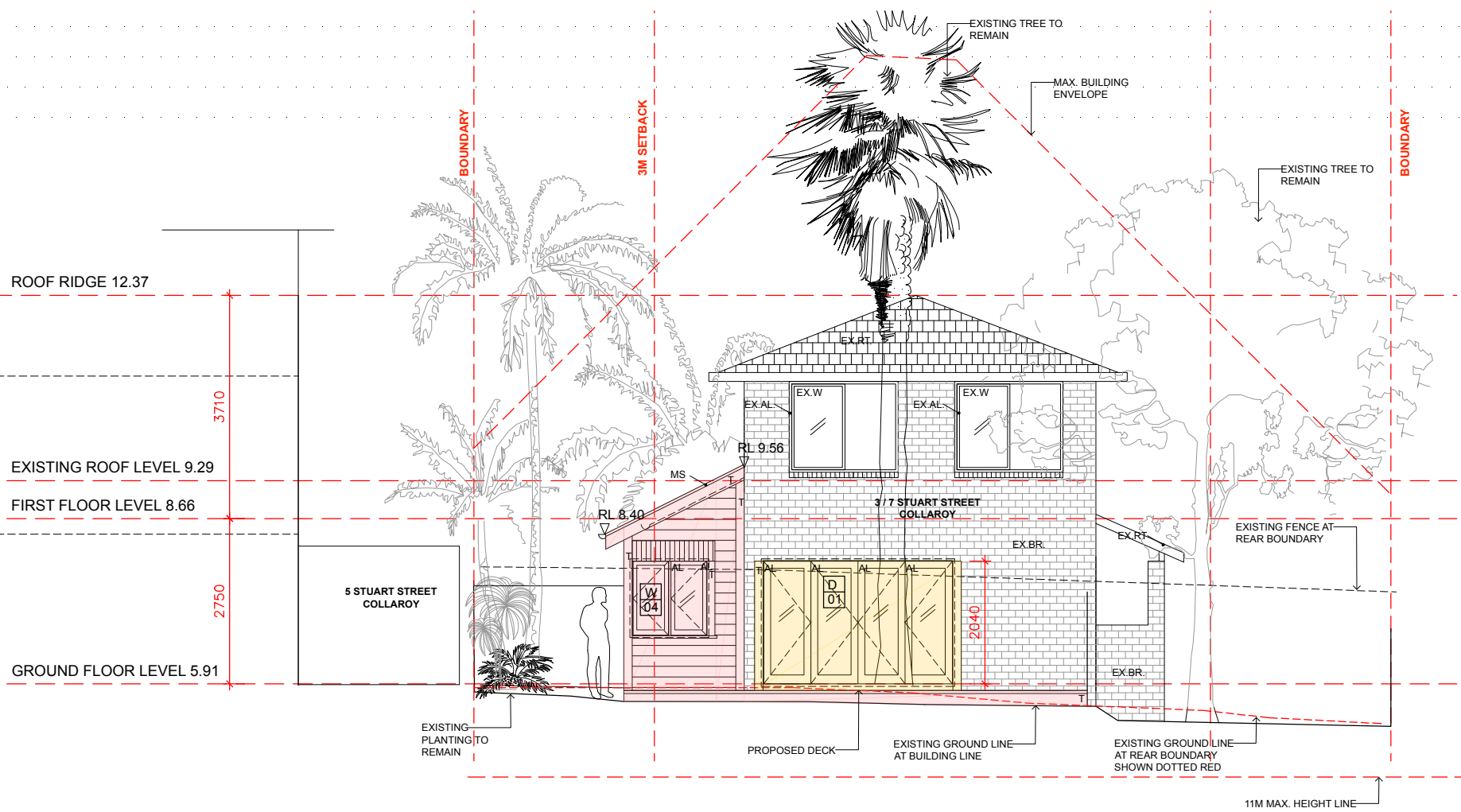
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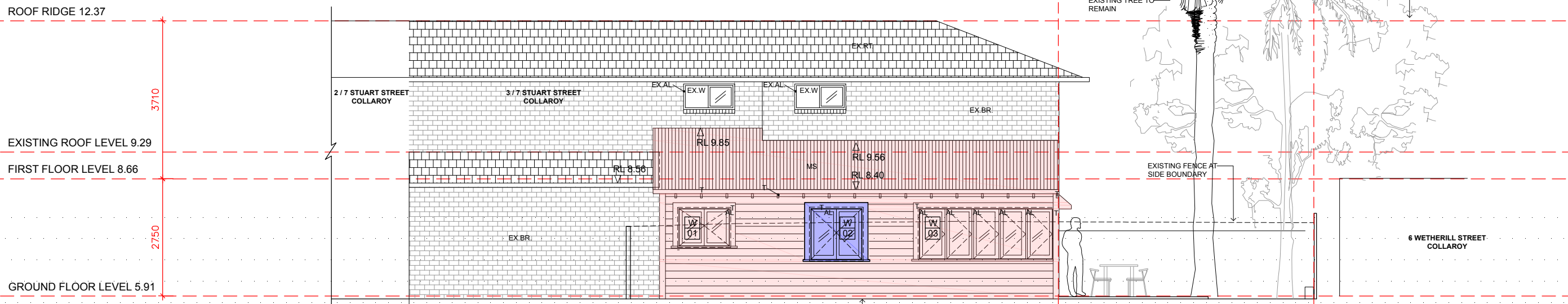


GROUND FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @ A3

	LEGEND: 7.03 DENOTES EXISTING SPOT LEVEL RL 7.10 DENOTES PROPOSED LEVEL — DENOTES EXISTING WALLS TO REMAIN - - - DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS	DENOTES PROPOSED ADDITION DENOTES PROPOSED ALTERATIONS DENOTES PROPOSED AMENDMENTS TO APPROVED DA	PROJECT: ALTS & ADS TO EXISTING RESIDENTIAL TOWNHOUSE	PROJECT STAGE: DA	DATE OF ISSUE: 20-07-2021	Renée Blyth B. Design in Architecture. USYD MA. Architecture. USYD e. renee_blyth@hotmail.com m. 0408 754 830 abr. 99 515 593 785
			CLIENT: SUNNY & JOSH VAN RAAD	DRAWING TITLE: GROUND FLOOR GENERAL ARRANGEMENT PLAN- PROPOSED AMENDMENT	DRAWING NO. DA-100A	
			LOCATION: 3/7 STUART ST, COLLAROY, NSW	SCALE: 1:100 @ A3	REVISION: -	



NORTH ELEVATION



EAST ELEVATION

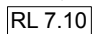
SCHEDULE OF FINISHES:

- AL - ALUMINIUM
- BR - BRICK WORK
- MS - METAL ROOF SHEETING
- RC - REINFORCED CONCRETE
- RT - ROOF TILE
- T - TIMBER
- W - WINDOW
- D - DOOR
- EX - EXISTING

LEGEND:



DENOTES EXISTING SPOT LEVEL



DENOTES PROPOSED LEVEL



DENOTES EXISTING WALLS TO REMAIN



DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

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DENOTES PROPOSED ADDITION



DENOTES PROPOSED ALTERATIONS



DENOTES PROPOSED AMENDMENTS TO APPROVED DA

EXISTING GROUND LINE
AT BOUNDARY &
BUILDING LINE

PROJECT:
ALTS & ADS TO EXISTING RESIDENTIAL
TOWNHOUSE

CLIENT:
SUNNY & JOSH VAN RAAD

LOCATION:
3/7 STUART ST, COLLAROY, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATION SHEET 01-
PROPOSED AMENDMENT

SCALE:
1:100 @ A3

DATE OF ISSUE:
20-07-2021

DRAWING NO.
DA-300A

REVISION:
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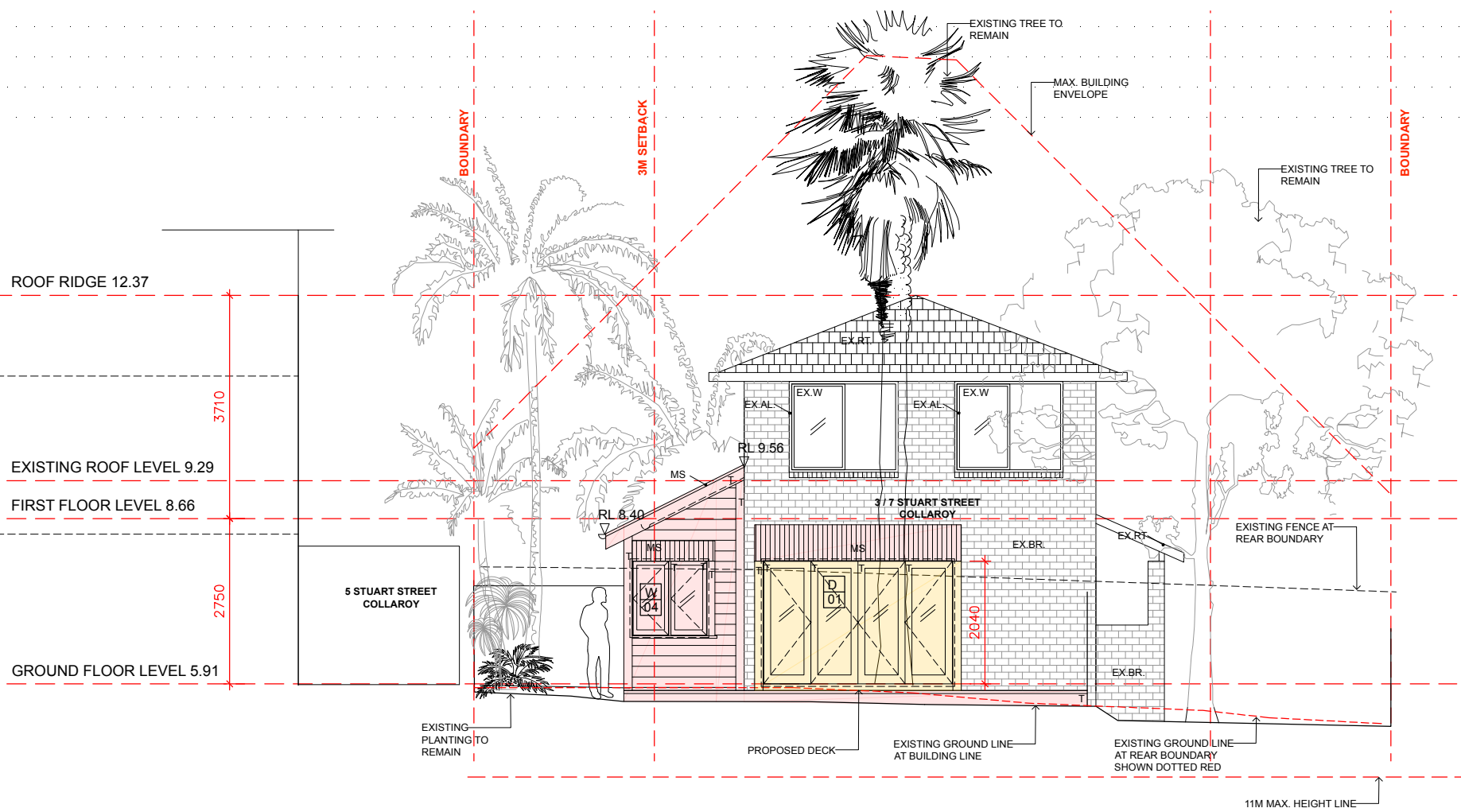
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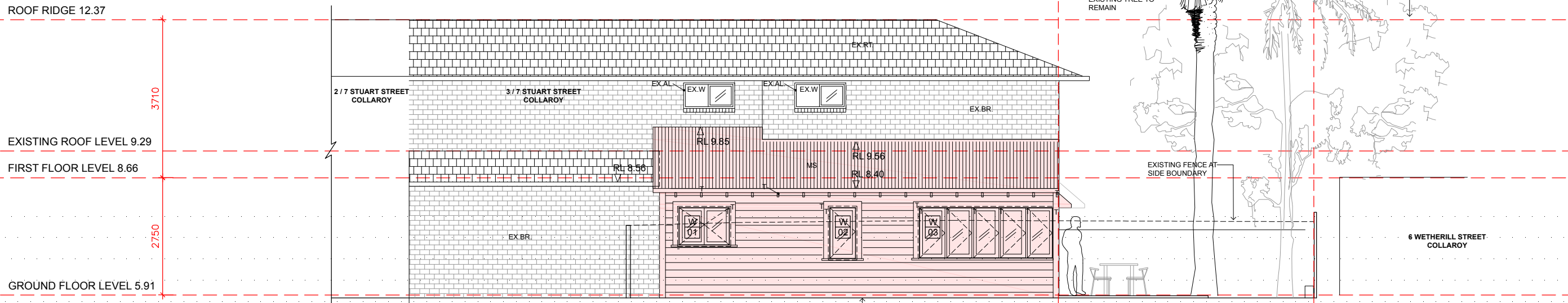
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NORTH ELEVATION



EAST ELEVATION

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- AL - ALUMINIUM
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LEGEND:



DENOTES EXISTING SPOT LEVEL



DENOTES PROPOSED LEVEL



DENOTES EXISTING WALLS TO REMAIN



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DENOTES PROPOSED ALTERATIONS

EXISTING GROUND LINE
AT BOUNDARY &
BUILDING LINE

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TOWNHOUSE

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3/7 STUART ST, COLLAROY, NSW

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DA

DRAWING TITLE:
ELEVATION SHEET 01

SCALE:
1:100 @ A3

DATE OF ISSUE:
20-07-2021

DRAWING NO.
DA-300

REVISION:
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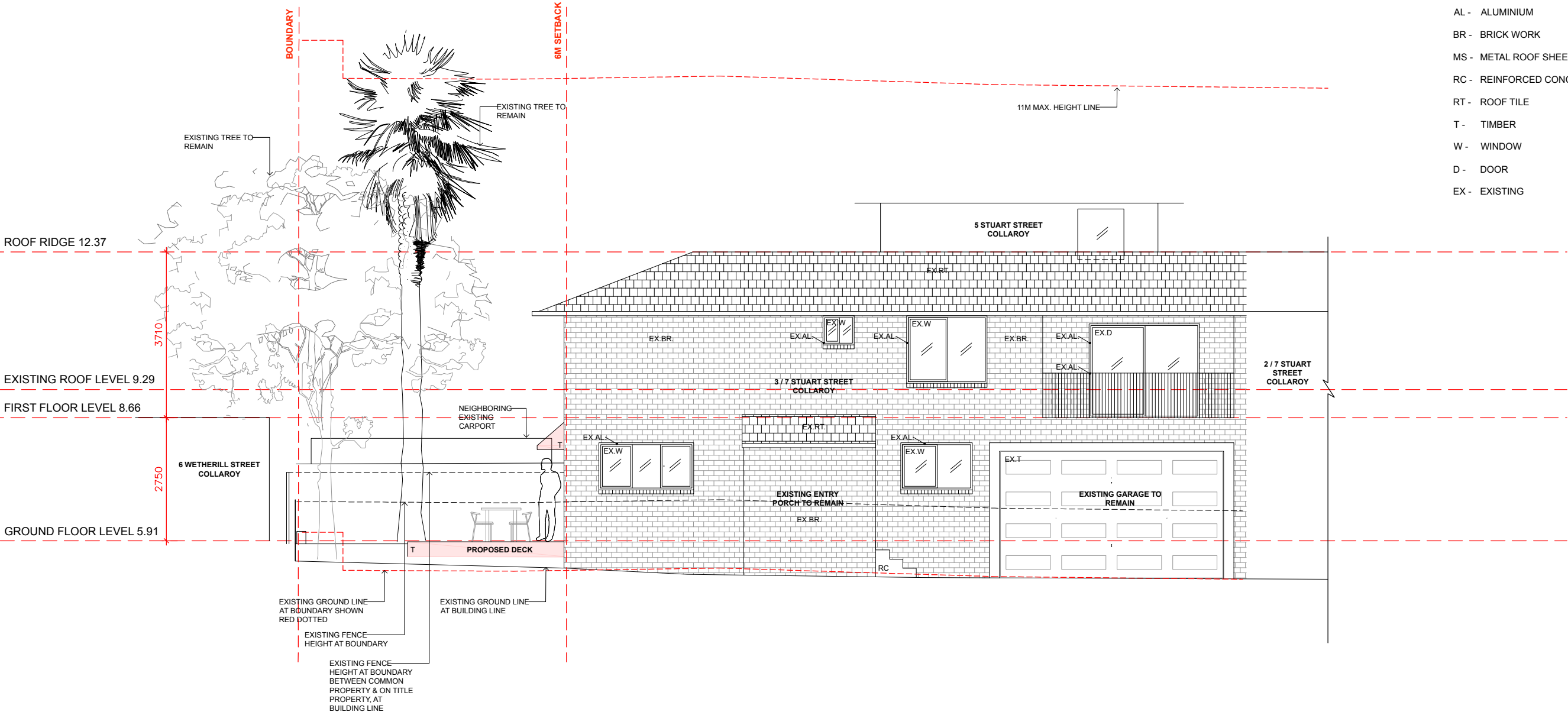
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SCHEDULE OF FINISHES:

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WEST ELEVATION

LEGEND:

- DENOTES EXISTING SPOT LEVEL
- DENOTES PROPOSED LEVEL
- DENOTES EXISTING WALLS TO REMAIN
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LOCATION:
3/7 STUART ST, COLLAROY, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATION SHEET 02

SCALE:
1:100 @ A3

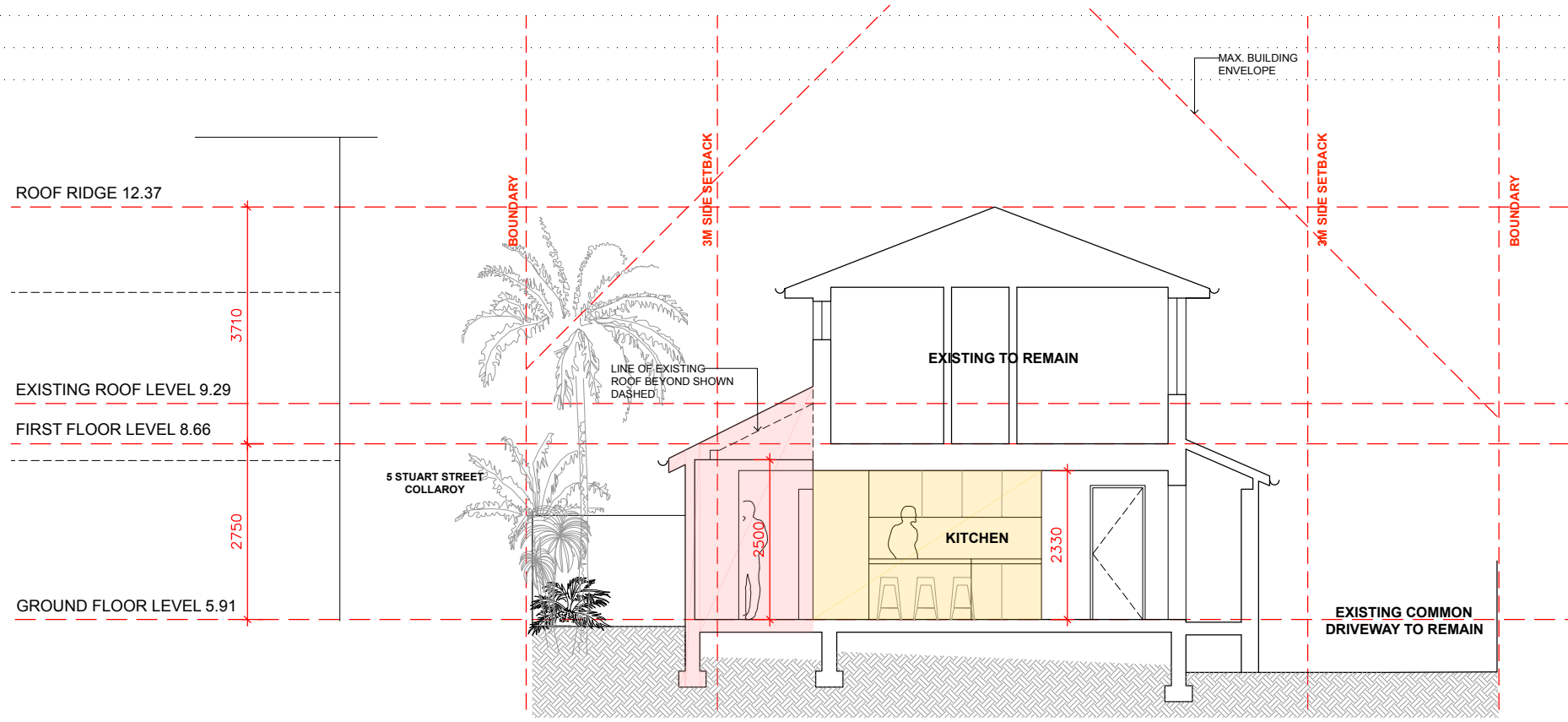
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20-07-2021

DRAWING NO.
DA-301

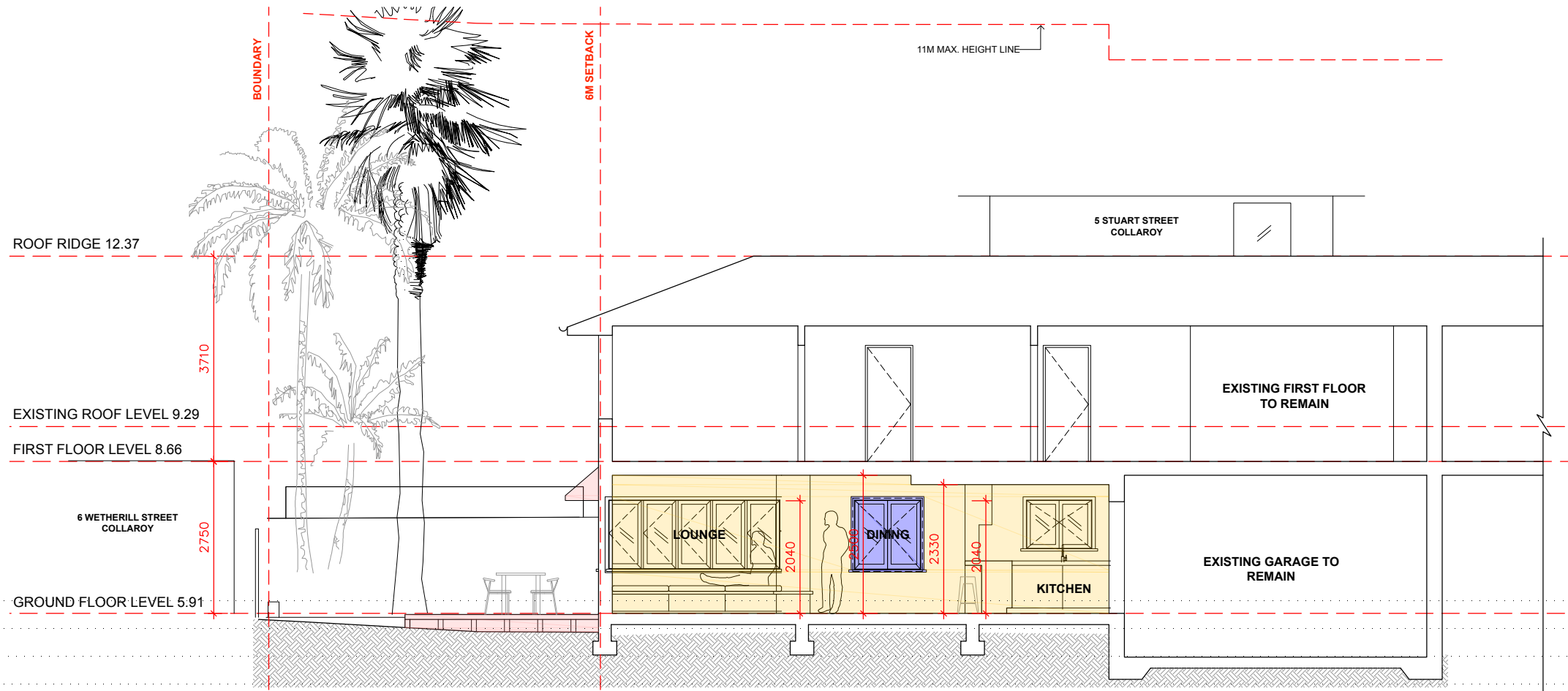
REVISION:
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abr: 59 515 593 785



SECTION A 1:100 @A3



SECTION B 1:100 @A3

LEGEND:

7.03

DENOTES EXISTING SPOT LEVEL

RL 7.10

DENOTES PROPOSED LEVEL

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DENOTES PROPOSED ALTERATIONS



DENOTES PROPOSED AMENDMENTS TO APPROVED DA

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CLIENT:
SUNNY & JOSH VAN RAAD

LOCATION:
3/7 STUART ST, COLLAROY, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SECTION SHEET 01
PROPOSED AMENDMENT

SCALE:
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DATE OF ISSUE:
20-07-2021

DRAWING NO.
DA-400A

REVISION:
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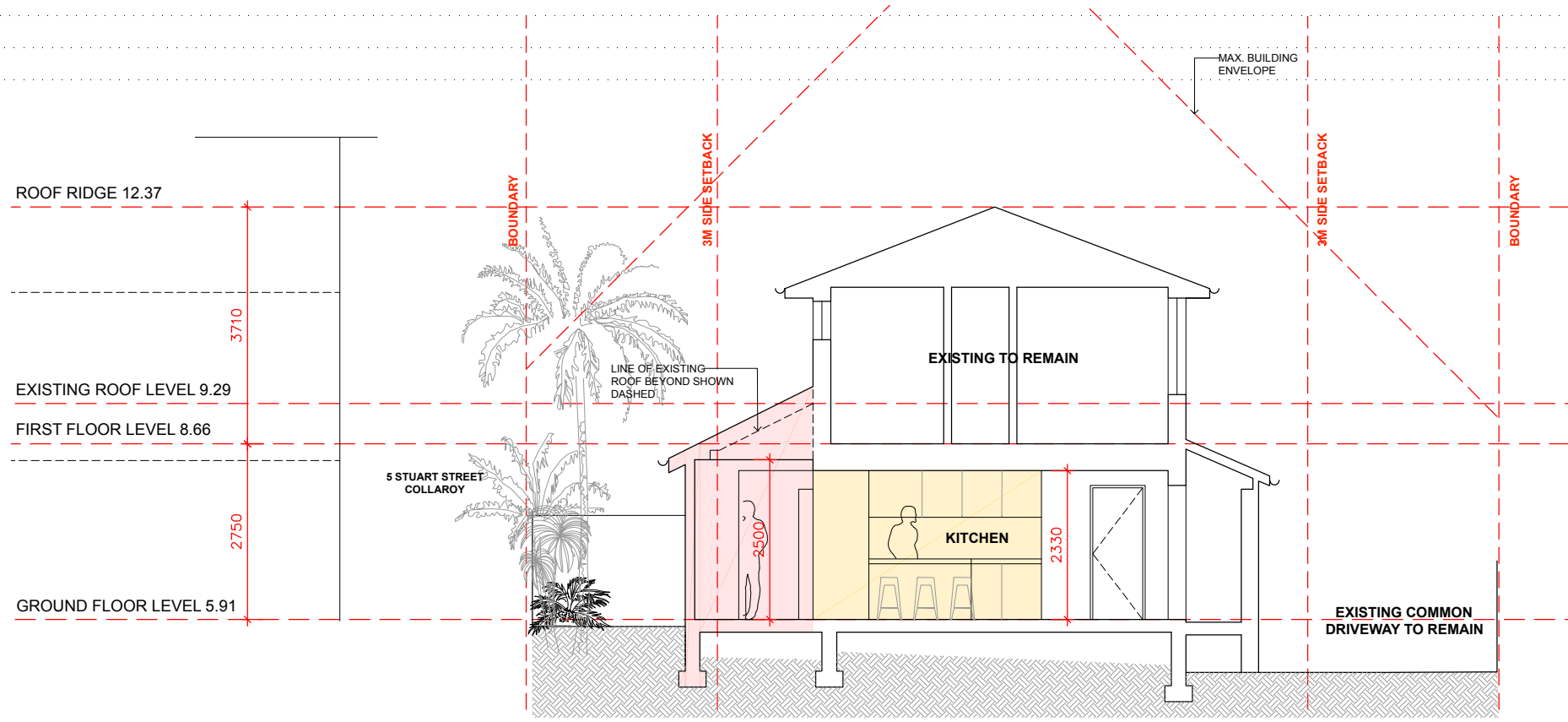
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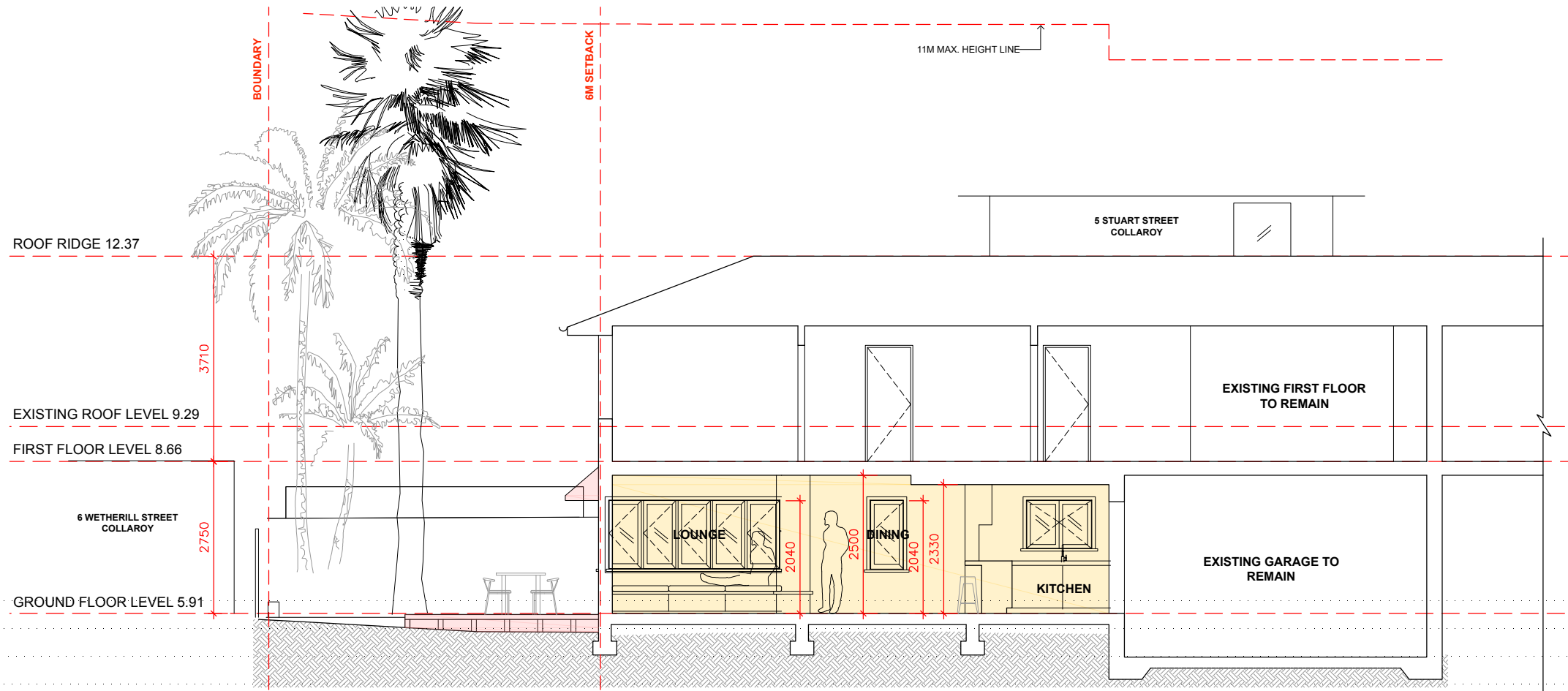
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SECTION A 1:100 @A3



SECTION B 1:100 @A3

LEGEND:

7.03

DENOTES EXISTING SPOT LEVEL

RL 7.10

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DENOTES PROPOSED ALTERATIONS

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SUNNY & JOSH VAN RAAD

LOCATION:
3/7 STUART ST, COLLAROY, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SECTION SHEET 01

SCALE:
1:100 @ A3

DATE OF ISSUE:
20-07-2021

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DA-400

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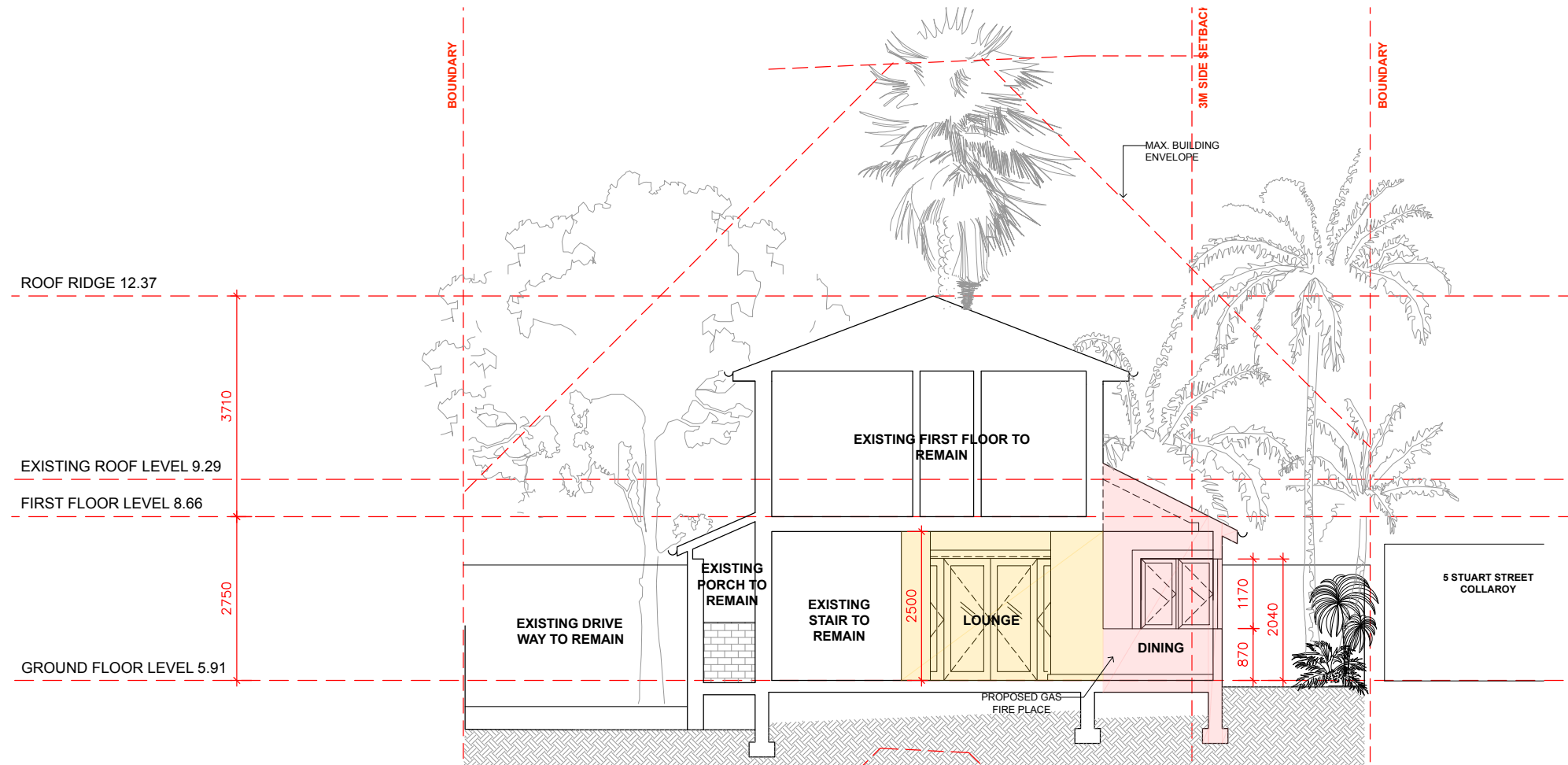
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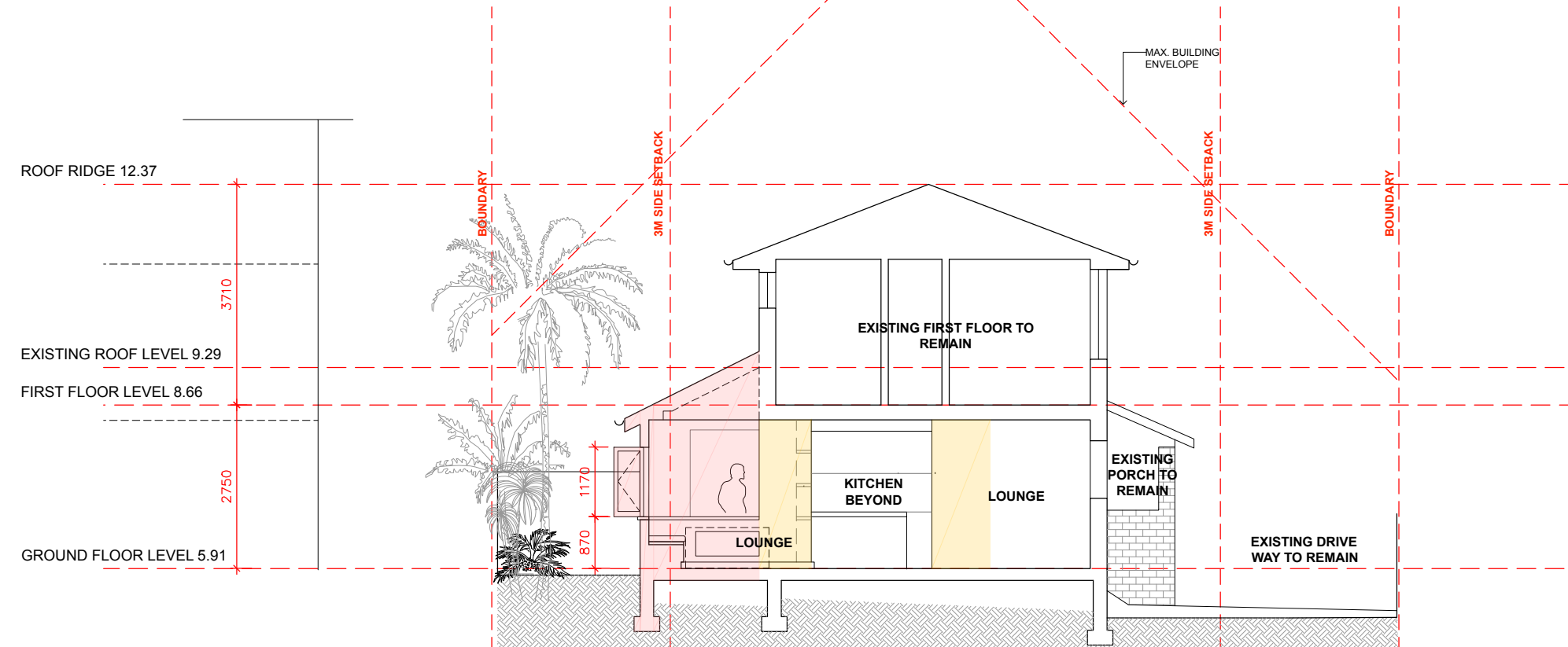
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SECTION C 1:100 @A 3



SECTION D 1:100 @A 3

LEGEND:

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SECTION SHEET 02
PROPOSED AMENDMENT

SCALE:
1:100 @ A3

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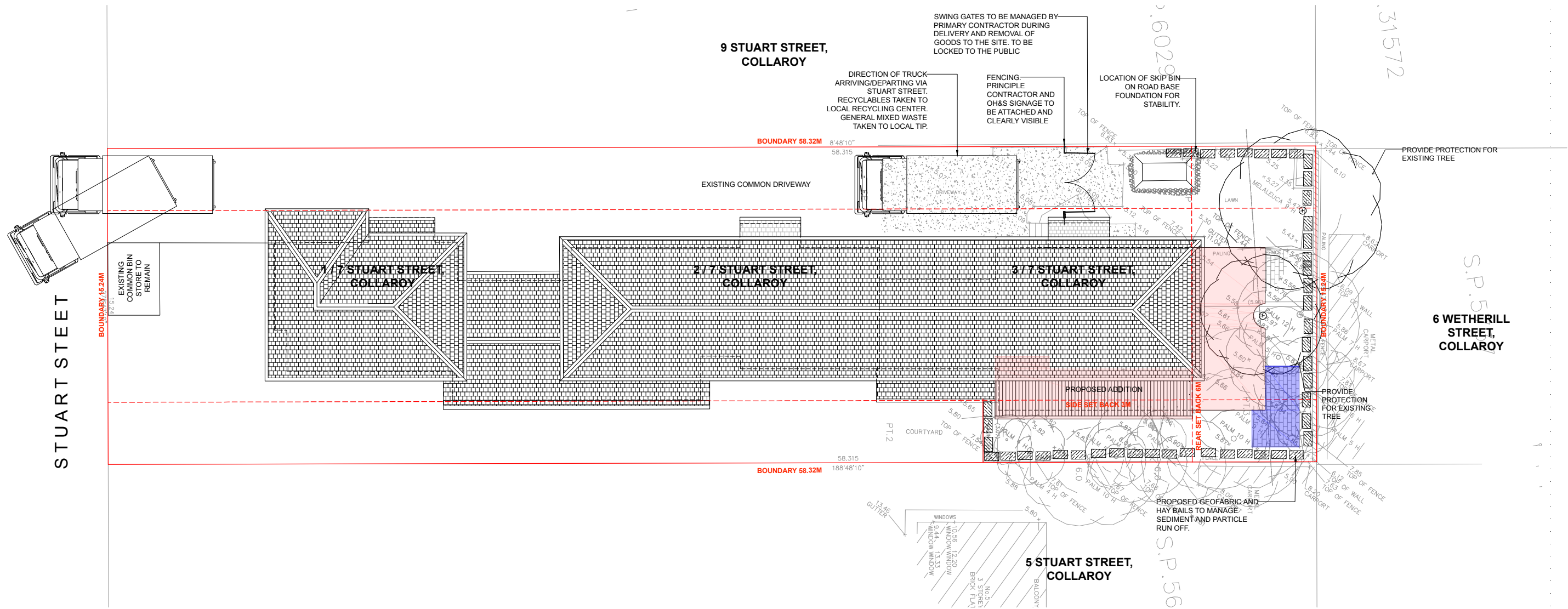
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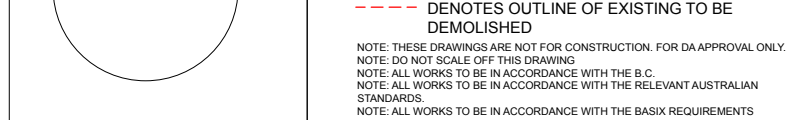
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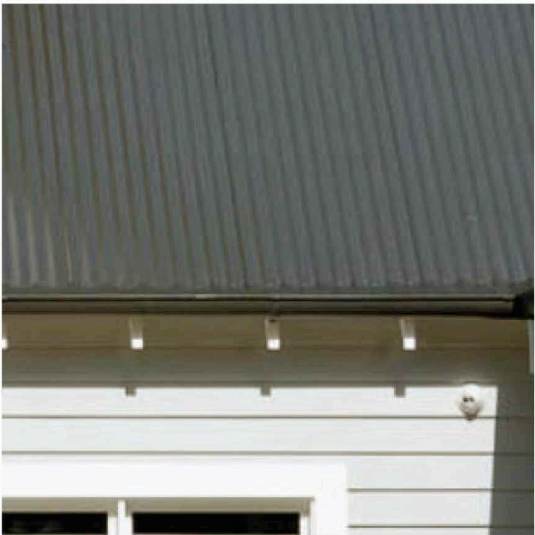
SITE PLAN 1:100 @ A1 OR 1:200 @ A3

	LEGEND: 7.03 DENOTES EXISTING SPOT LEVEL RL 7.10 DENOTES PROPOSED LEVEL DENOTES EXISTING WALLS TO REMAIN DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED DENOTES PROPOSED ADDITION DENOTES PROPOSED ALTERATIONS DENOTES PROPOSED IMPROVEMENTS TO APPROVED DA LANDSCAPED OPEN SPACE NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS	PROJECT: ALTS & ADS TO EXISTING RESIDENTIAL TOWNHOUSE CLIENT: SUNNY & JOSH VAN RAAD LOCATION: 3/7 STUART ST, COLLAROY, NSW	PROJECT STAGE: DA DRAWING TITLE: WASTE MANAGEMENT SITE PLAN & EROSION & SEDIMENT CONTROL PLAN SCALE: 1:200 @ A3	DATE OF ISSUE: 20-07-2021 DRAWING NO. DA- 501A REVISION: -	Renée Blyth B. Design in Architecture . USYD MA. Architecture . USYD e. renee_blyth@hotmail.com m. 0406 754 830 abn. 59 515 593 785
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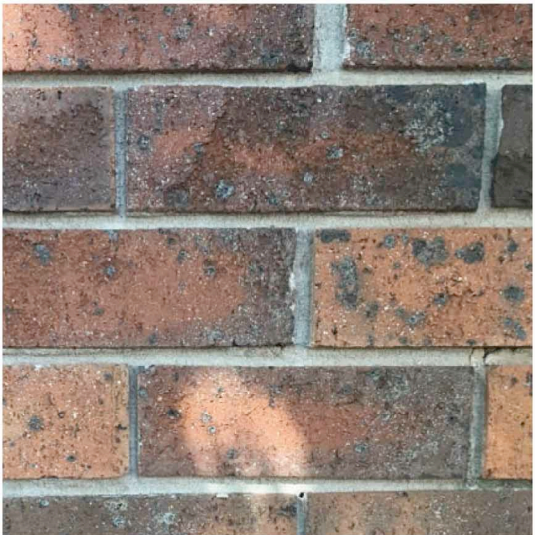




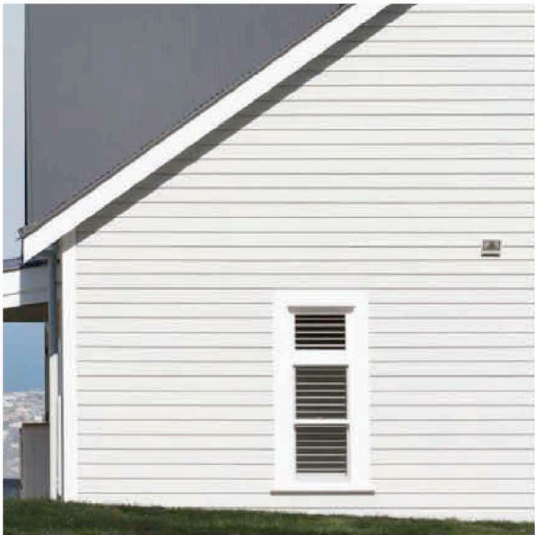
1. Existing roof tile.



2. Proposed colour bond roofing- dark/ mid tone grey & white rafter tails



3. Existing brick work



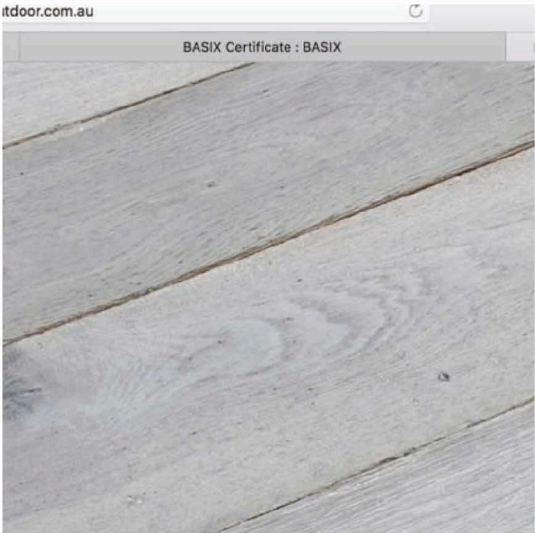
4. Proposed mid grey tone timber weather board cladding. Proposed white external window trims & architraves, barge boards & corner blocks



5. Proposed bronze light fittings.



5. Proposed white external door trims & architraves.



7. Proposed timber decking

		PROJECT: ALTS & ADS TO EXISTING RESIDENTIAL TOWNHOUSE CLIENT: SUNNY & JOSH VAN RAAD LOCATION: 3/7 STUART ST, COLLAROY, NSW	PROJECT STAGE: DA DRAWING TITLE: SCHEDULE OF EXTERNAL COLOURS & MATERIALS SCALE: N/A	DATE OF ISSUE: 20-07-2021 DRAWING NO. DA - 503 REVISION: -	Renée Blyth B Design in Architecture - USYD MA Architecture - USYD e. renee_blyth@hotmail.com m. 0406 754 830 abn. 59 515 593 785
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