

~~11-11-2003~~
COUNCIL COPY

RMIC

Bernie Cohen & Associates Pty Ltd Trading as

ESSENTIAL CERTIFIERS LIVERPOOL

ACN : 100386650
ABN : 84100386650

PO Box 5387 Prestons NSW 2170 Ψ 6/387-393 Hume Hwy, Liverpool 2170
Telephone: (02) 9824-1545 Ψ Facsimile: (02) 9824-1754



C.C. No:

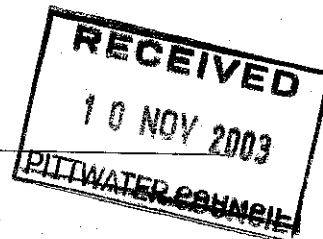
CONSTRUCTION CERTIFICATE

CC2004-00647

This certificate is issued by a Private Certifying Authority and verifies that, if the applicant carries out the proposed work in accordance with the plans and specifications that are approved, the work will comply with the Environmental Planning and Assessment Regulation 2000.

COUNCIL:

PITTWATER



APPLICANT

Name MASTERTON HOMES Moorebank PTY LTD
Address 76 Heathcote Road, MOOREBANK 2170
Contact no (telephone/fax) (02) 9601-4066

OWNER

Name MASTERTON HOMES Moorebank PTY LTD
Address 76 Heathcote Road, MOOREBANK
Contact no (telephone/fax)

SUBJECT LAND

Address 6 Acacia Circuit, WARRIEWOOD 2102
Lot No 1008
DP - 1043972

DESCRIPTION OF DEVELOPMENT

Type of Work



Building work



Subdivision work

Description

2 Storey Dwelling

Essential Certifiers Liverpool Certificate No. CC2004-00647

COUNCIL'S D/A CONSENT

Development Consent No N0048/03
D.A Approval Date 3/03/2003

**BUILDING CODE OF AUSTRALIA
BUILDING CLASSIFICATION**

1a

BUILDER or OWNER/BUILDER

Name MASTERTON HOMES Moorebank PTY LTD
Contractor Licence No/Permit
No in case of Owner Builder 35558C

\$ VALUE OF WORK

Building/Subdivision \$290,000.00

DATE C.C. APPLICATION RECEIVED

Date Received 2/09/2003

DETERMINATION

Decision Approved
Date of Decision 7/11/2003

ATTACHMENTS

1. Complying Component Certificate for Landscaping.
 2. Complying Component Certificate for Hydraulics.
 3. \$30.00 Council submission cheque.
-

Essential Certifiers Liverpool Certificate No. CC2004-00647

**PLANS AND SPECIFICATIONS
APPROVED/REFUSED**

List plan no(s) and specifications
reference

JN 63290 - Sheet No. 1/8 to 8/8, Structural Engineers Details

RIGHT OF APPEAL

*under S109K where the Certifying Authority is a Council an applicant
may appeal to the Land and Environmental Court against the refusal to
issue a Construction Certificate or imposition of conditions on the
consent within 12 months from the date of the decision.*

ACCREDITATION BODY

Planning N.S.W. 20 Lee Street, Sydney 2000

CERTIFICATE

Certificate Final

I certify that the work if completed in accordance with these plans and
specifications (with such modifications verified by the Certifying
Authority as may be shown on that documentation) will comply with the
requirements of the Environmental Planning and Assessment Regulation
2000 as referred to in Section 81A(5) of the Environmental Planning
and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority

Essential Certifiers Liverpool

Name of Accredited Certifier

Brad Holmes

Accreditation No

P0009

Contact No

(02) 9824-1545

Address

The Reilly Centre, Suite 6, 387-393 Hume Hwy, Liverpool 2170

SIGNED



DATED

7/11/2003

Essential Certifiers Liverpool Certificate No. CC2004-00647

Plumtree Council
ABN: 61540937871

TAX INVOICE OFFICIAL RECEIPT

10/11/2003 Receipt No 128759

TO BERNIE COHEN & ASSOC PTY LTD

PO BOX 5387
PRESTONS
NSW 2170

Qty/
Apply Reference
Amount

\$27.27
GL REC 1 X DA 00048/03
RMIC-RORO
GST

GL REC
To GL Receipts

\$30.00
Total Amount
Includes GST of:
\$2.73

Amount tendered

\$30.00
Cheques
\$30.00
Total
\$0.00
Rounding
Change
\$0.00
Vat

Printed 10/11/2003 1:55:51 PM
Cashier BKJ/100

Masterton Homes Schedule of External Finishes

COUNCIL COPY

quarry

DATE: 5.11.03

JOB No. 63290

CLIENT: Masterton

BUILDING ADDRESS: Lot 1008 Acacia Circuit
Warriewood

BRICKS-MANUFACTURER: PGH

RANGE:

COLOUR: Mocha

MORTAR COLOUR:

FINISH REQUIRED:

PAINTED MASONRY-FINISH TYPE: Tawbman's

COLOUR: Tillawood Moroka

Cambridge

Seersucker

ROOF TILES: Monier

RANGE: PROFILE: Bolero

COLOUR: Chocolate

GARAGE DOOR TYPE:

COLOUR: Wheat

WINDOW FRAMES COLOUR: Wheat

PLEASE COMPLETE THIS FORM AND RETURN BACK TO OUR WARWICK
FARM OFFICE 3 WEEKS AFTER PAYING DEPOSIT.

Westerlton Homes
Schedule of External Finishes

FOR OFFICE USE ONLY

UTTERING - COLOUR: *Wheat*

Wheat

FASCIA - COLOUR: *Wheat*

BARGE BOARD - COLOUR:

DRIVEWAYS - TYPE:

- COLOUR:

FENCING

- TYPE:

- COLOUR:

RETAINING WALLS - TYPE:

- COLOUR:

Owners Signature.....

PLEASE COMPLETE THIS FORM AND RETURN BACK TO OUR WARWICK
FORM OF 2 WEEKS AFTER PAYING DEPOSIT.



COUNCIL COPY

CONSENT OF OWNER

I/We Masterton Homes
(Print Full Name or Names if Joint Owners)

Of 76 Heathcote Rd
(Residential Street Address)
Moorebank 2170
(Suburb) (Post Code)

Being the owner/s of the property detailed hereunder:-

Lot 1008 Acacia Circuit
(Print full address of affected property)
Warrivood

Hereby give consent to Masterton Homes Pty Limited to lodge Development and/or Construction Certificate Application on my/our behalf for the above property.

A Bishop
(Signature of Owner)

Amanda Bishop
(Please Print full Name)

.....
(Signature of Owner)

.....
(Please Print Full Name)

[Signature]
(Witness Signature)

Paul Pham
(Please Print Name of Witness)

DATED THIS 15th DAY OF September 2003



12th September 2003

Essential Certifiers
PO Box 5387
Prestons
NSW 2170

To whom it may concern,

RE: Lot 1008 Acacia Circuit, Warriewood

Re: Landscape Maintenance

This is to certify that the following will be carried out over the next twelve months.

- Gardens will be watered.
- 1 load of mulch will be supplied.
- Any dead trees will be replaced.
- Lawns will be mowed.

Regards,
MASTERTON HOMES PTY LTD

Amanda Bishop
MAJOR PROJECTS DIVISION

COUNCIL COPY

Pittwater Council

ABN: 61340837871

TAX INVOICE
OFFICIAL RECEIPT

23/01/2003 Receipt No 106620

To PASTERTON HOMES COUNCIL

76 HEATHCOTE ROAD
MOOREBANK 21/

Qty/ Applic	Reference	Amount
	TDEV-DA F	\$1,262.04
GL Rec	N0048/03	
1	TADV-T/P1	\$51.00
GL Rec	1 X N0048/03	
	GST	\$5.10
GL Rec		
1	RMIC-Rerd	\$25.00
GL Rec	1 X N0048/03	
	GST	\$2.50
GL Rec		
	QLBL-Buil	\$587.21
GL Rec	N0048/03	
	HKER-RR A	\$165.00
GL Rec	N0048/03	
1	NDDF-Noti	\$18.18
GL Rec	1 X N0048/03	
	GST	\$1.82
GL Rec		
To GL Receipt:		

Total Amount: \$2,117.85

Includes GST of: \$9.42

Amounts Tendered

Cheque	\$2,117.85
Total	\$2,117.85
Rounding	\$0.00
Change	\$0.00
Nett	\$2,117.85

Printed 23/01/2003 12:25:06

Cashier arichards

- 02693
33782



COUNCIL COPY

**Bernie Cohen & Associates Pty Ltd Trading as
ESSENTIAL CERTIFIERS LIVERPOOL**

ACN 100386650 ABN 84100386650

Suite 6,387-393 HUME HIGHWAY LIVERPOOL N.S.W. 2170

Postal Address: PO Box 5387 Prestons N.S.W. 2170

PH: (02) 9824-1545 FAX: (02) 9824-1754

BUILDING CONSULTANCY: INSPECTIONS: CERTIFICATION OF ESSENTIAL SERVICES: TOWN PLANNING

CONSTRUCTION CERTIFICATE

Issued under the Environmental Planning & Assessment Act 1979
Sections 109C(1)(b), 81A(2) and 81A(4)

APPLICATION FORM

PART A: Description of land to be developed

LOT NO:

1008

STREET NO:

6

DP NO:

1043972

STREET & SUBURB:

Acacia Circuit, Warriewood Valley

PART B: Agreement of Owner/s (all Owners must sign)

MR/MRS/MS:

SURNAME:

FIRST NAME/S:

FULL ADDRESS:

PHONE HOME:

FAX:

MOBILE:

I/We own the land & consent to this application:

Dated:

SIGNATURE OF OWNER/S:

PART C: Builder or Owner/Builder details

FULL NAME DETAILS:

Masterton Homes Pty Ltd

FULL ADDRESS DETAILS:

76 Heathcote Road, Moorebank

BUILDER'S LICENCE NO:

or OWNER/BUILDER PERMIT NO:

PHONE: 9601 9066

FAX: 9601 5793

MOBILE:

PART D: Applicant details & Billing details

MR/MRS/MS:

SURNAME:

FIRST NAME/S:

or COMPANY NAME:

Masterton Homes Pty Ltd

FULL ADDRESS:

76 Heathcote Road, Moorebank

PHONE: 9601 9066

FAX: 9601 5793

MOBILE:

SIGNATURE OF APPLICANT:

A Bpnp

Dated:

1-9-03

IMPORTANT: If BILLING name & address are same as above, write "As Above". If not, please complete details below:-

BILLING NAME:

BILLING ADDRESS:

AS ABOVE

PART E: Description of works requiring Construction Approval

FULL DESCRIPTION OF PROPOSAL:

2 storey dwelling
VALUE OF WORK: \$ 290,000 YOUR JOB/REFERENCE NO: 63290
NO. OF STOREYS: 2 NO. OF STRUCTURES: 1

PART F: Relevant Local Council details

COUNCIL AREA SUBJECT SITE IS LOCATED WITHIN: Pittwater
COUNCIL'S DEVELOPMENT CONSENT NO: 0048/03 DATE OF DETERMINATION: 3.3.03
BUILDING CLASSIFICATION/S NOMINATED ON DEVELOPMENT CONSENT: 1A

PART G: Plans & Specifications for approval

List all plan number/s & specification reference details requiring approval:

AS ATTACHED

PART H: Applicant's Declaration

I certify that the work will be completed in accordance with the plans & specification, & will comply with the relevant requirements of Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signature/s: A Bishop

Date of Endorsement: 1-9-03

RIGHT OF APPEAL

Under Section 109K where the Certifying Authority is a Council, an applicant may appeal to the Land & Environment Court against the refusal to issue a Construction Certificate within twelve (12) months from the date of decision.

PLEASE NOTE:

You may be required to pay a Long Service Levy under Section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such levy is payable by installments, the first installment of the levy), before the Certifying Authority can issue a certificate to you.

SCHEDULE OF DETAILS FOR THE AUSTRALIAN BUREAU OF STATISTICS

Construction Certificate No: 04/647

Council's D/A Consent No: 0048/03

Particulars of the Proposal

Area of subject site in m²:

Does the site contain a Dual Occupancy? **no**

Current use of existing building/s on subject site (if vacant, please state "vacant"):

Vacant

Floor area of existing building/s in m² except if being demolished:

Gross floor area in m² of proposed addition/s or new building/s. If multiple buildings, please itemise:

256.63

Proposed use of all parts of the addition/s or new building/s:

Residential

This Section for Residential Dwellings only

Number of pre-existing dwellings:

Number of dwellings to be demolished:

Number of proposed new dwellings: 1

Number of storeys of proposed dwelling: 2

Building Materials to be used

Tick the box alongside which best describes the material/s to be used in the construction of the proposed new work/s.

WALLS		ROOF		FRAME		FLOOR	
Brick Veneer	☒	Aluminium	☐	Timber	☒	Concrete	☒
Full Brick	☐	Concrete	☐	Steel	☐	Timber	☐
Single Brick	☐	Concrete Tiles	☐	Other (describe below)	☐	Other (describe below)	☐
Concrete Block	☐	Fibrous Cement	☐		☐		☐
Concrete/Masonry	☐	Fibreglass	☐		☐		☐
Concrete	☐	Masonry Shingle	☐		☐		☐
Steel	☐	Terracotta Shingle	☐		☐		☐
Fibrous Cement	☐	Tiles - other	☒		☐		☐
Hardiplank	☐	Slate	☐		☐		☐
Timber/Weatherboard	☐	Steel	☐		☐		☐
Cladding/Aluminium	☐	Terracotta Tiles	☐		☐		☐
Curtain Glass	☐	Other (describe below)	☐		☐		☐
Other (describe below)	☐		☐		☐		☐

CHECKLIST REQUIREMENTS FOR SUBMITTING THIS CONSTRUCTION CERTIFICATE APPLICATION

If you do not have Council Development Consent for the proposed building works at this stage, please only supply the following with this application for assessment, pending receipt of the D/A approval by Council:-

1. One (1) set of plans (the same as those submitted to Council with your Development Application).
2. At least 3 copies of the specification.
3. A copy of the Home Owner's Warranty/Building Insurance Contract is required if;

- ☐ work is valued at \$12,000 & over &
- ☐ a Licensed Builder is doing the work

or alternatively, an Owner/Builder's Permit is required if;

- ☐ work is valued at \$5,000 & over &
- ☐ work is not by a Licensed Builder

4. A signed Notification of Commencement of Work form.
5. Evidence of payment of the Long Service Levy (if work is valued over \$25,000) & any other applicable Council bonds or charges

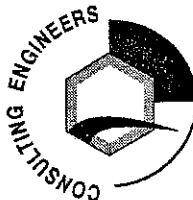
Please ensure all relevant information and signatures are included/completed on these forms.

WHEN YOU HAVE RECEIVED COUNCIL'S D/A CONSENT CONDITIONS & THE STAMPED PLANS, THE FOLLOWING IS REQUIRED TO ENABLE US TO RELEASE THE CONSTRUCTION CERTIFICATE.

1. One (1) copy of the relevant Council's Development Consent Conditions.
2. Three (3) copies of Council's stamped plans for the proposed work being for:-

We will notify you immediately to avoid any unnecessary delay, by either phone or fax, if we find there may be additional items other than those listed above, that may be required to release your stamped/approved Plans, Specification & Construction Certificate.

RAFELETOS

ZANUTTINI
Pty LtdLevel 2, 103 Vanessa St.
Kingsgrove NSW 2208Telephone: (02) 9554 9311
Facsimile: (02) 9554 9764

Complying Component Certificate

Site Address: NO 6 ACACIA CIRCUIT WARRIEWOODVALLEYDevelopment Consent Number: N0048/03Council/Shire: PITTWATEROur Reference: M9545Does this supersede a previously issued Certificate: NOReasons for revision: N/A

Condition/s have been complied with:

1) Hydraulic Detail Plan compiled by our office, Issue B
detailing the stormwater design for the above mentioned site complies with the
objectives of the Development Consent condition(s). 823

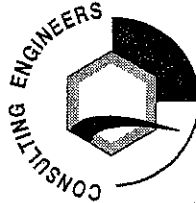
I John Rafeletos certify that the above condition/s have been complied with

Signature

Dated:

4/4/03

RAFELETOS



ZANUTTINI

Pty Ltd

Level 2, 103 Vanessa St.
Kingsgrove NSW 2208

Telephone: (02) 9554 9311
Facsimile: (02) 9554 9764

Supervising Engineers Checklist

Site Address: NO 6 ARACUA CIRCUIT WARRIEWOOD VALLEY

Our Job No: M9545

The following items that have been ticked will be required to be inspected by an engineer from this office in order to allow us to certify that component of the works. The owner is to contact our office to organize these inspections with at least one days notice and then confirm our approval prior to pouring concrete if applicable.

All site inspections including any re-inspections required will generally be charged to the owner.

ITEM	INSPECTION TIMMING	REQUIRED
Internal driveway	Prior to pouring with reinforcement laid and crack control joints placed	✓
Frontage works including driveway, kerb & gutter & path	Prior to pouring with reinforcement laid and crack control joints placed	BY CEORXIC
Retaining wall footings as per design if site conditions require	Prior to pouring with reinforcement laid. Or Post holes bored for log retaining walls	✓
Retaining wall structure as per design if site conditions require	If blockwork or brickwork prior to backfilling If timber then on completion	✓
Interlotment drainage system	Prior to backfilling stormwater lines with any designed pits constructed	N/A
Work as executed plan	On completion of all driveway and final landscaping works	✓
Overland flowpath construction	On completion of final landscaping works	N/A
Absorption trenching or bed	Prior to backfilling trench with geotextile fabric installed if applicable	N/A
Other		

Masterton Homes
76 Heathcote Road
MOOREBANK NSW 2170

11 May, 2001

RE: Nominated Engineers Requirements

Rafeletos Zanuttini Pty Ltd have accepted Masterton Homes nomination as the accredited certifier in civil engineering to supervise civil and drainage construction works required during the construction of your dwelling. On completion of the works, certification is required to confirm that construction has taken place in compliance with the approved plans and specifications, and in most cases a Work As Executed plan is also required to show how the drainage system has been constructed.

If a Work As Executed plan has been requested by council, we will provide a "Work In Progress" plan to Masterton Homes on completion of drainage works that they are responsible for. This will document and ensure that their part of the works, have been completed and constructed in accordance with the approved plans. Since a "Work As Executed" plan can only be compiled once the development has been completed (i.e. after landscaping and driveways etc have been finalised). It is the owner's responsibility to contact our office to arrange the Work As Executed plan, which will normally be required prior to the issue of an occupation certificate.

Part of the role of the certifying engineer is to ensure that all engineering works have been carried out in accordance with the approved engineering drawings, and in some instances the terms of the Development Consent. It is thus essential that sufficient inspections are undertaken by our firm during the construction works, in addition to those requested by Masterton Homes. The Supervising Engineers Checklist will detail the engineering inspections that are required to be organized during construction.

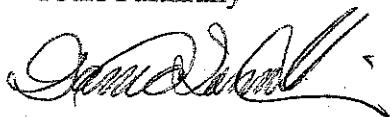
If engineering certification of the driveway, footpath, or kerb and gutter is required, it is essential that the concrete contractor is supplied and complies with the council requested driveway access levels and widths, structural specifications and surface finish. The Owner must contact our office to organise these inspections with at least 1 day's notice and then confirm our approval prior to pouring concrete.

It should also be noted that if the owner has elected to organise his own sub-contractors for internal drainage works or on-site detention tank construction etc, then they should contact David Zanuttini from our office for details of additional inspections that will be required during construction of these items.

Furthermore, if a pre commencement site inspection with Council was required as a condition of consent then it is the owner's responsibility to organise this with ourselves and Council's Assessment Officer prior to any site or demolition works.

All site inspections as noted above will generally be charged to the owner at \$150.00 plus GST per site visit, with the exception of the final Work As Executed plans, which will be quoted individually. The Work As Executed plans will be released upon receipt of final payment.

Yours Faithfully

A handwritten signature in dark ink, appearing to read 'David Zanuttini', with a stylized flourish at the end.

David Zanuttini
B.E. M.I.E. Grad Aust

certificate

of insurance

Masterton Homes Pty Limited
76 Heathcote Road
MOOREBANK NSW 2170

FORM 1

HOME BUILDING ACT 1989

Section 96

Certificate in respect of insurance

WORK BY DEVELOPERS AND OTHERS

A contract of insurance complying with Section 96 of the Home Building Act 1989
has been issued by: Royal & Sun Alliance Insurance Australia ACN 005 297 807

In Respect Of: Single Dwelling

At: Lot No: 1008 Unit No: House No:
Acacia Circuit
Job Number 63290
Warriewood NSW 2102

Carried Out By: Masterton Homes Pty Limited
ABN: 52 002 873 047

Subject to the Act and the Home Building Regulation 1997 and the
conditions of the insurance contract, cover will be provided to the
immediate successor in title to the contractor or developer who
did the work and subsequent successors in title.

Signed for and on behalf of the insurer:

AON  

HIA INSURANCE SERVICES P/L
ABN 84 076 460 967

An associated company of
Aon Risk Services Australia Ltd
PO Box 241

Ryde NSW 2112

Telephone (02) 9808 7222

Facsimile (02) 9808 7233

CLAIMS ENQUIRY LINE

1800 554 255

Certificate No: 284315

Local Authority Copy

Issue Date 02/09/2003

Please note that Aon Risk Services
Australia Ltd ABN 17 000 434 720
is arranging the insurance policy as
agent of the insurer below.

They also act as agent of the insurer
below and not as agent of the insured
in dealing with or settling any claim.

Insurer:

- Royal & Sun Alliance Insurance
Australia Ltd

Fencing

It is very important that the fencing as you enter be uniform.

It is suggested to build a uniform boundary fence around the central park. This becomes a feature of the development.

The continuous brick fence to be painted a sandstone colour.

Column spacing to be every 2 metres approximately, (depending on the block size and the house size) with black metal fencing to the planter boxes.

Plants to be grown in planter boxes to enhance the streetscape.

Colour Specification Guidelines

We have based our colour schemes upon 4 concepts.

BILLABONG THEME - Subdued tones of blue

FERN THEME - Subdued grey/greens

QUARRY THEME - Sandstone colours

STORM THEME - Charcoals and greys

The emphasis is based on the concept of tranquil, cool and sophisticated colours. Definitely no bright colours. Subdued and restful. No bright heritage colours. Colours chosen are representative of colour schemes selected.

COLOURS OF A SIMILAR TONE OR LIKE CAN BE SUBSTITUTED. SAMPLES MUST BE PROVIDED FOR APPROVAL PRIOR TO CONSTRUCTION.

**Colour Specification Guide -
The Quarry Theme**

- Lot 1008

PAINT COLOURS FOR OUTSIDE

The colours associated with the quarry theme are colours found in the tonal range of "sand":

Riviera sand - 47c-2t watty

Light coffee - 38c-2t watty

Ceylon ivory - 47c-1p watty

Porcelain - 38a-2p watty

Timber windows - Canadian maple or similar colour powder coat colours below:

Anotec xt off white:

51271 - dulux

Magnolia:

32658 - dulux

Pottery:

33662 - dulux

Roofing

Tiles or colorbond.

Chocolate tiles.

Colourbond - riversand / beige.

Bricks and Render

Bricks - Tan or sand colour bricks

- Render to be off white or to match chosen brick.

Gutters / Downpipes

Pottery-33662 dulux

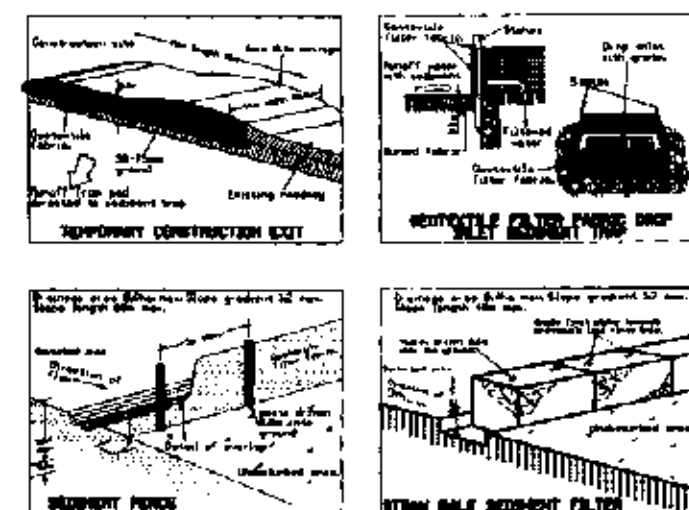
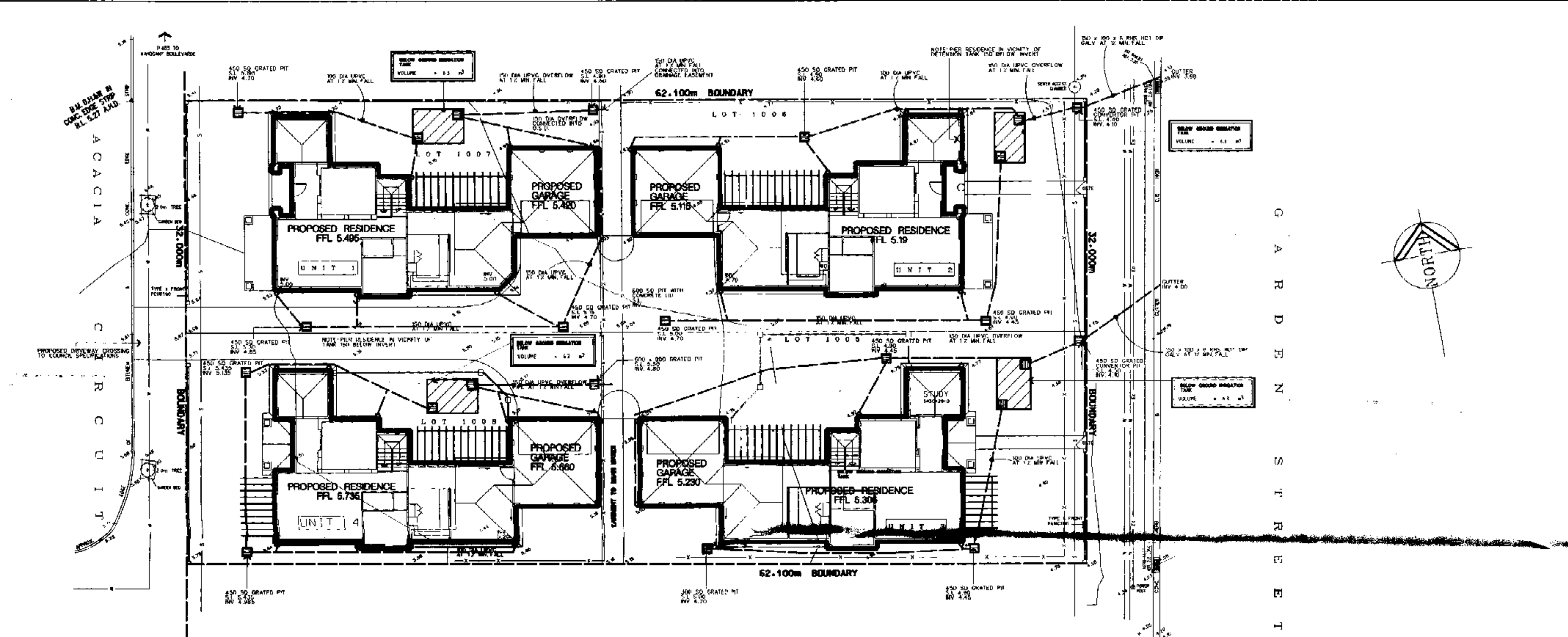
Magnolia - 32658 dulux

Anotec xt off white - 51271 dulux

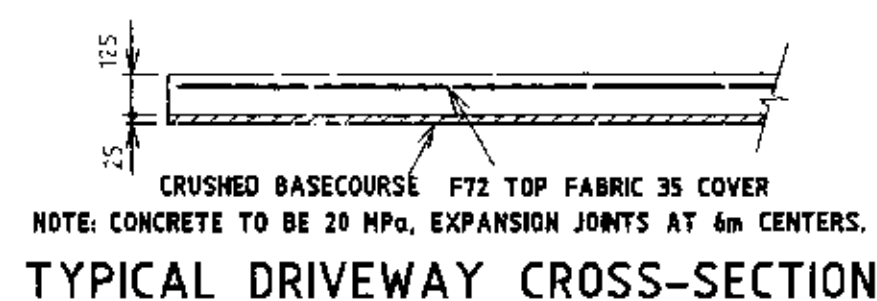
All powder coat colours.

Driveways

Sandstone shades.



CONSTRUCTION NOTES:
 1. ALL NEW CONSTRUCTION SHALL BE TO THE STANDARD OF THE LOCAL COUNCIL.
 2. ALL EXISTING WORK SHALL BE TO THE STANDARD OF THE LOCAL COUNCIL.
 3. ALL WORK SHALL BE TO THE STANDARD OF THE LOCAL COUNCIL.
 4. ALL WORK SHALL BE TO THE STANDARD OF THE LOCAL COUNCIL.
 5. ALL WORK SHALL BE TO THE STANDARD OF THE LOCAL COUNCIL.



TYPICAL DRIVEWAY CROSS-SECTION

SYMBOLS & NOTATIONS

- S — STORMWATER LINES
- DOWNPIPE
- INV INVERT LEVEL (PIPE / PIT)
- NS NATURAL SURFACE LEVEL
- SL FINISHED SURFACE LEVEL
- FPL FINISHED PLATFORM LEVEL
- FFL FINISHED FLOOR LEVEL
- P — PROPOSED BOUNDARY
- S — SEWER
- 150mm dia. x 100mm deep GRATED BOX DRAIN
- X — SELECTED SEDIMENT AND FROST BARRIER

ESSENTIAL CERTIFIERS LIVERPOOL

Hydraulic Details C.C. No. 04/67

These Plans have been certified

by B. Holmes

& refer to the Complying Component

Certificate No. M9200

NOTES:

ALL STORMWATER PIPES TO BE 100 DIA UPVC AT 1% MIN GRADE UNLESS NOTED OTHERWISE.

ALL SURFACE RUN OFF TO BE DIRECTED TOWARDS SUMPS BY SITE REGRADE.

DEPTH AND LOCATION OF SERVICES TO BE ESTABLISHED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.

CONTOUR SUPPLIED BY OTHERS.

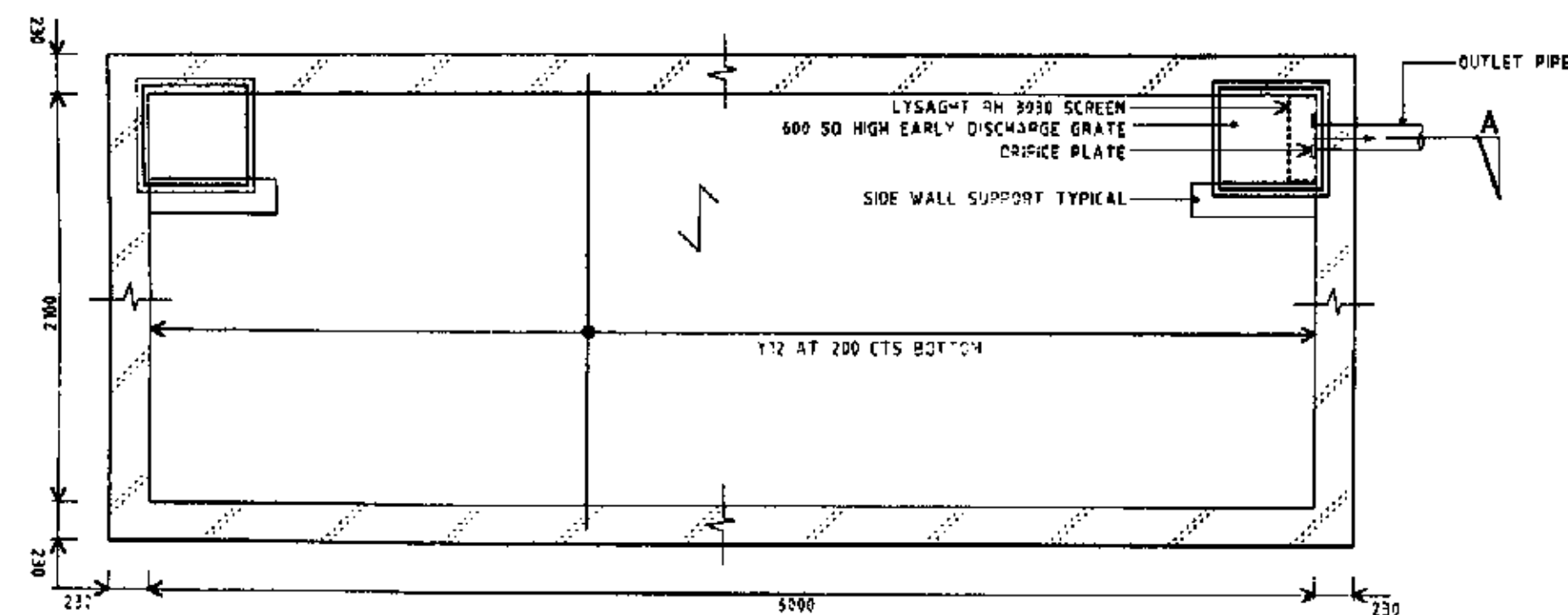
ALL STORMWATER PIPES IN TRAFFICABLE AREAS TO BE UPVC SEWER GRADE.

HYDRAULIC DETAIL PLAN

CLIENT	MASTERTON HOMES P/L		
LOCATION	1005-1008 ACACIA CIRCUIT, WARRILWOOD VALLEY		
	COUNCIL: PITTWATER	SHEET No.	1
	SCALE: 1:200	JOB No.	M9200
A ORIGINAL ISSUE	03 / 12 / 02		
B AMENDED TO CONSENT	07 / 04 / 03		

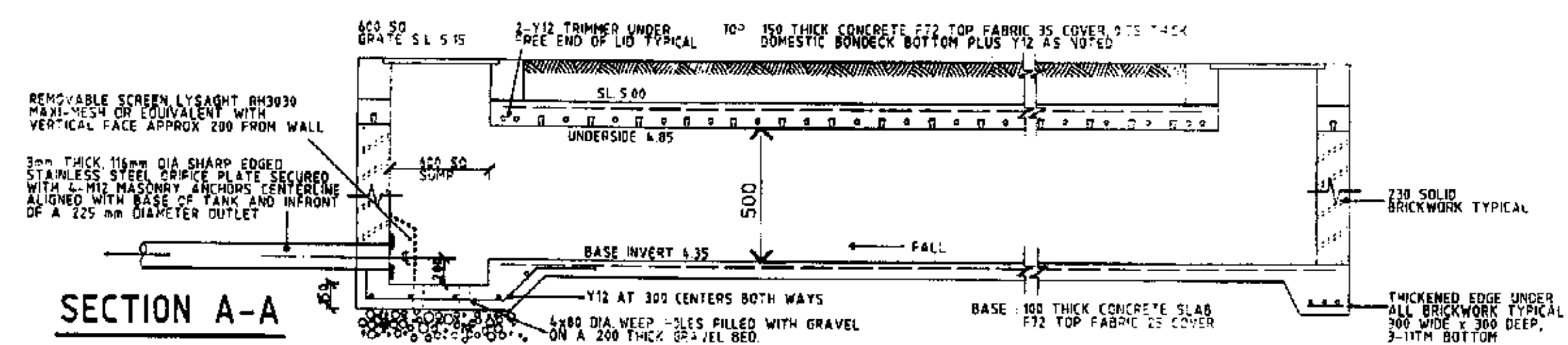
RAFELETOS  **ZANUTTINI**
 Pty Ltd
 17/171, 2/103 VANESSA STREET
 KIRKLAND/NEW 2208
 PO BOX 461 KIRKLAND NSW 2208

TELEPHONE 181 9554 1811
 FACSIMILE 181 9554 1814
 DX 1812 WARRILWOOD NSW



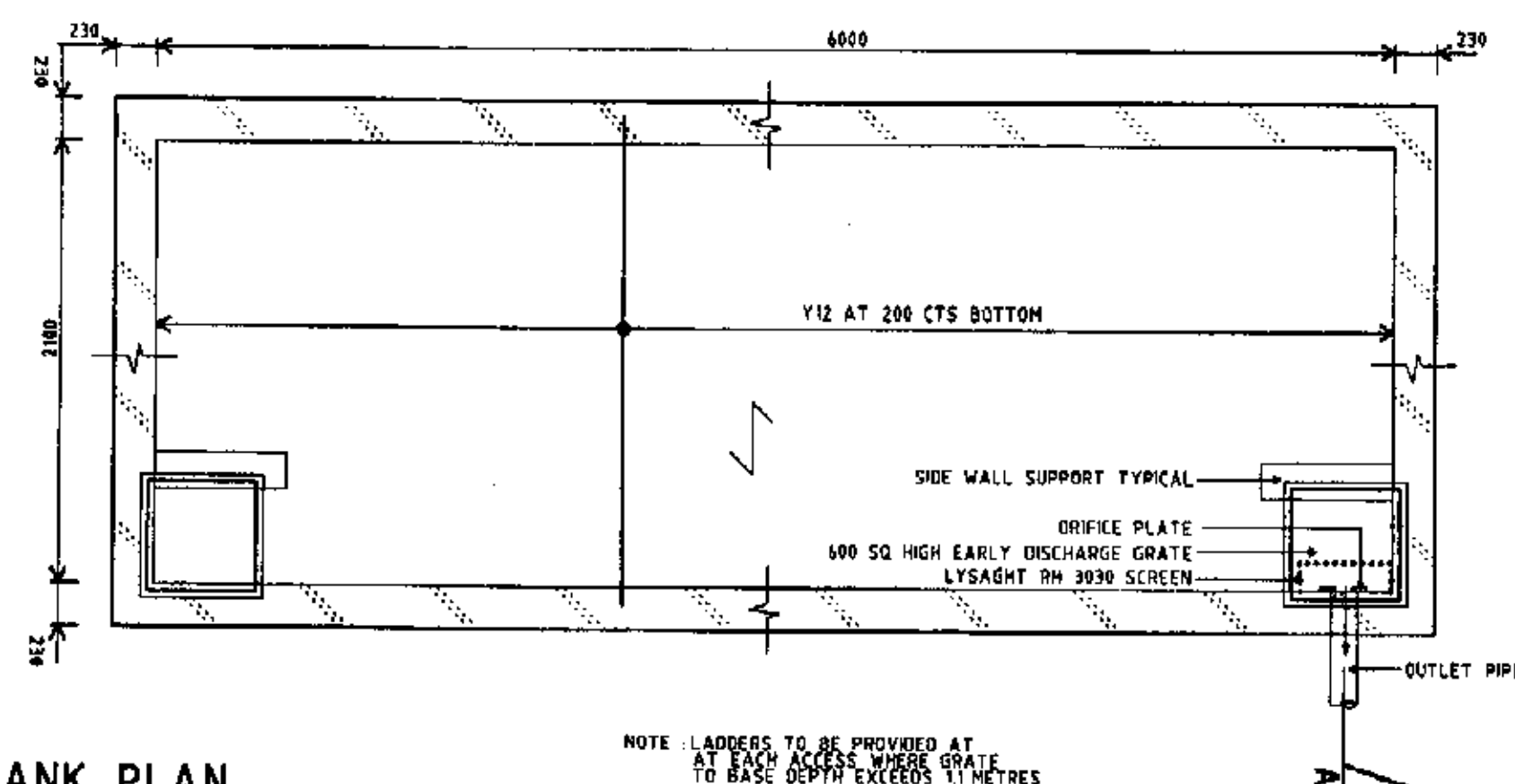
DETENTION TANK PLAN

NOTE: LADDERS TO BE PROVIDED AT
AT EACH ACCESS WHERE GRATE
TO BASE DEPTH EXCEEDS 11 METRES



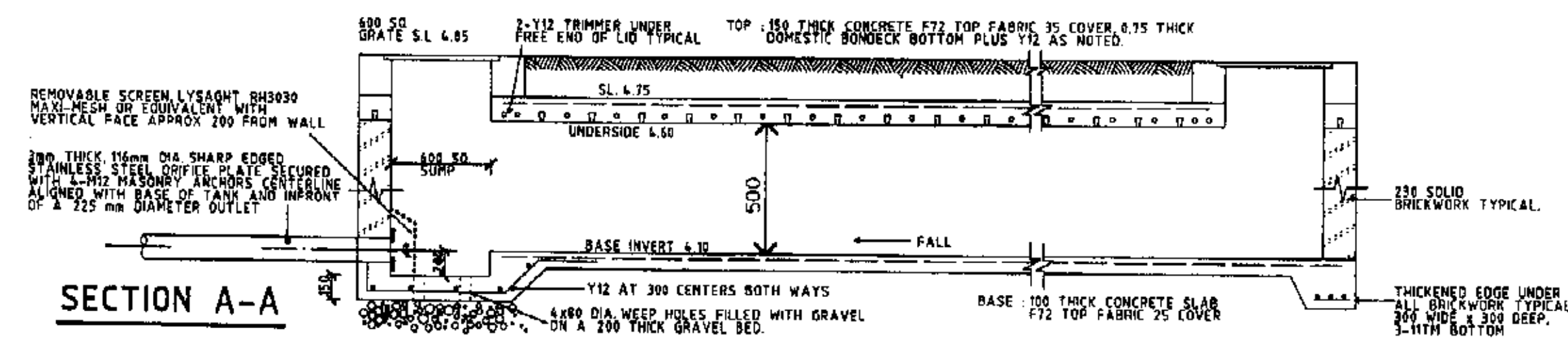
SECTION A-A

UNIT 1



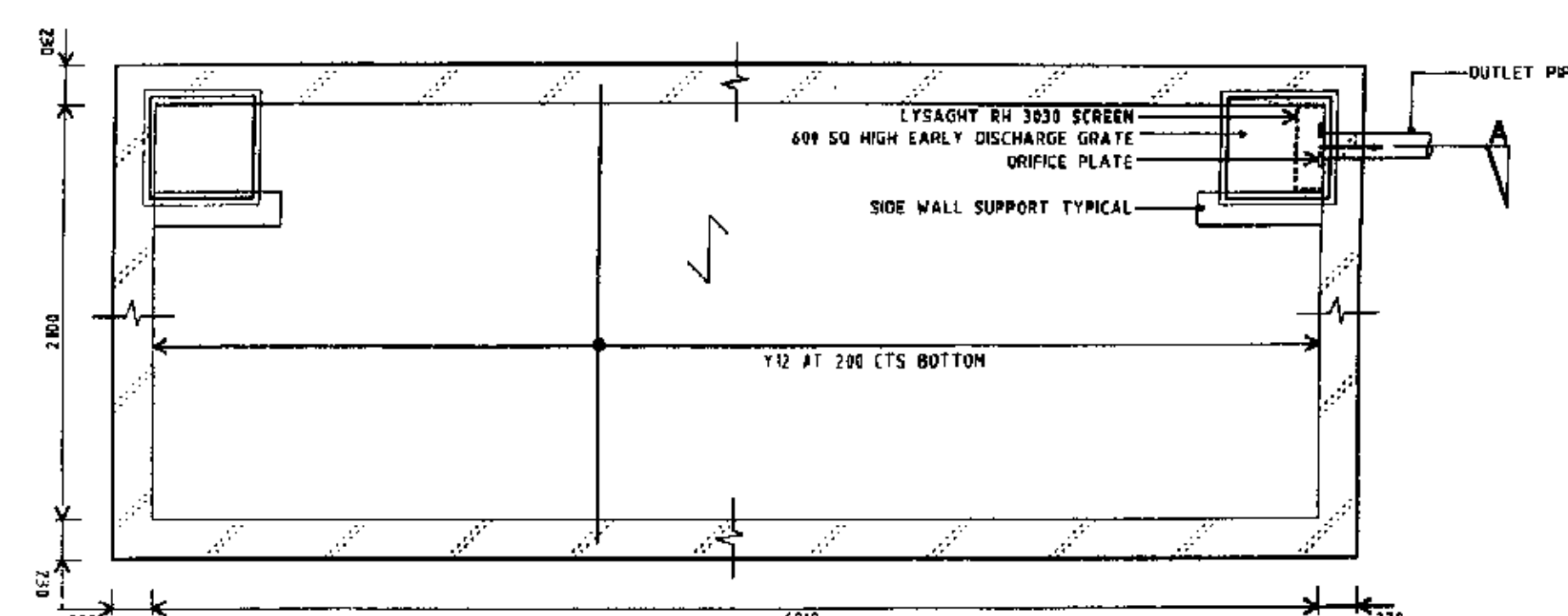
DETENTION TANK PLAN

NOTE: LADDERS TO BE PROVIDED AT
AT EACH ACCESS WHERE GRATE
TO BASE DEPTH EXCEEDS 11 METRES



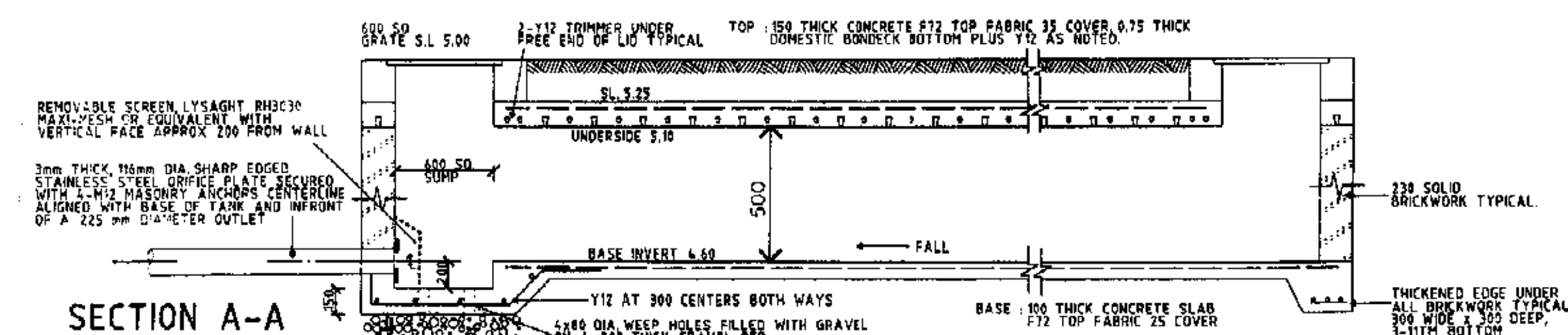
SECTION A-A

UNIT 2



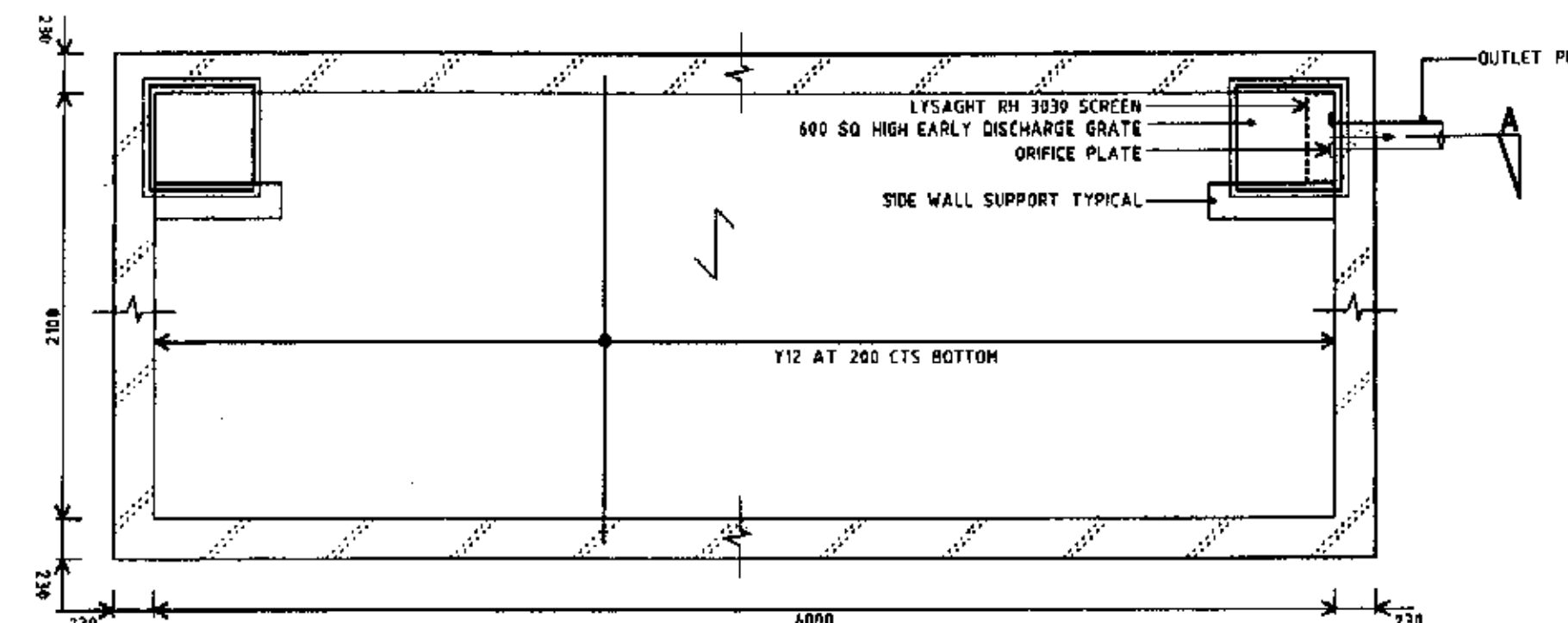
DETENTION TANK PLAN

NOTE: LADDERS TO BE PROVIDED AT
AT EACH ACCESS WHERE GRATE
TO BASE DEPTH EXCEEDS 11 METRES



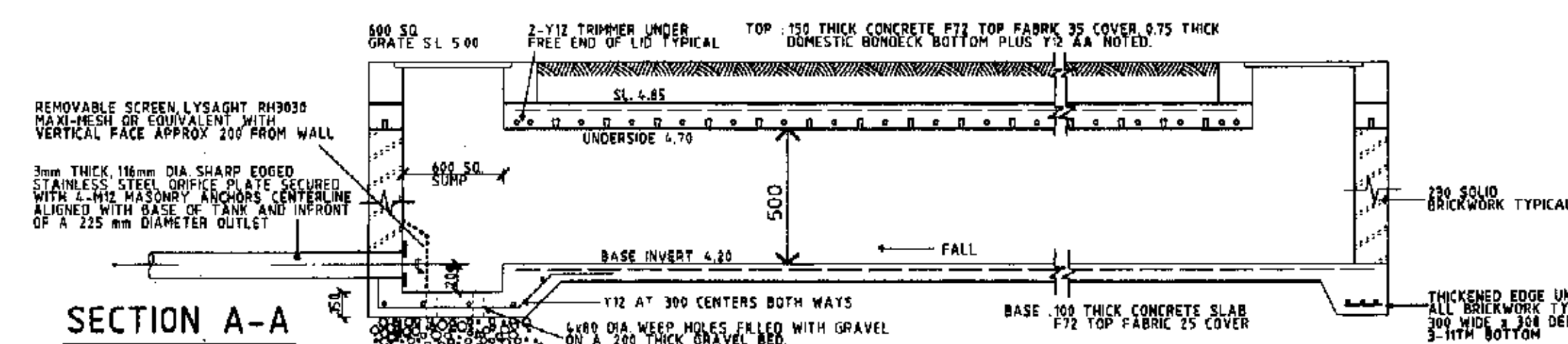
SECTION A-A

UNIT 3



DETENTION TANK PLAN

NOTE: LADDERS TO BE PROVIDED AT
AT EACH ACCESS WHERE GRATE
TO BASE DEPTH EXCEEDS 11 METRES



SECTION A-A

UNIT 4

HYDRAULIC DETAIL PLAN

CLIENT	MASTERTON HOMES P/L		
LOCATION	1005-1008 ACAIA CIRCUIT, WARREWOOD VALLEY		
<i>David Hall</i>	COUNCIL: PITTWATER	SHEET No.	2
	SCALE: 1:200	JOB No.	M9200
A. ORIGINAL ISSUE			03/12/02

COUNCIL COPY

CONSTRUCTION NOTES

- GENERAL
- G1 THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
- G2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTS FINAL DRAWINGS.
- G3 BUILDER TO CHECK ALL RELEVANT DIMENSIONS ON SITE.
- G4 ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY.
- G5 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER STRESSED. THE BUILDER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE WORKS DURING CONSTRUCTION.

CONCRETE

C1 CONCRETE SPECIFICATION (IF < 28 DAYS) TO BE AS FOLLOWS:

LOCATION	CEMENT	F.C.	MAX. AGG. SIZE	SUMP
PIERS	TYPE 'A'	15 MPa	20	80
SLAB	TYPE 'A'	20 MPa	20	80

C2 CLEAR COVER TO REINFORCEMENT, UNLESS NOTED OTHERWISE, TO BE AS FOLLOWS:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	65

C3 REINFORCEMENT SYMBOLS ARE AS FOLLOWS:

- R STRUCTURAL GRADE ROUND BARS (250 R)
- Y HOT ROLLED DEFORMED BARS (400 Y)
- F HARD-DRAWN WIRE REINFORCING FABRIC (450 F)
- S STRUCTURAL GRADE DEFORMED BARS
- C4 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- C6 BEAM DEPTHS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.
- C7 ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE.
- C8 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER
- C9 ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK
- C10 ALL CONCRETE SHALL BE CURED BY MOST CURING BY CONTINUAL WETTING FOR AT LEAST 7 DAYS OR THE USE OF AN APPROVED CURING COMPOUND.

FOUNDATIONS

- F1 FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100 kPa
- F2 PIER HOLES ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 300 kPa
- F3 FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION

ADDITIONAL

- A1 SITE TO BE STRIPPED OF ALL ORGANIC MATTER AND ASSOCIATED TOPSOIL.
- A2 ALL SITE FILLING PLACED BENEATH EDGE BEAMS TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.12 OF AS 2870.1 - 1996
- A3 A 1METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB.
- A4 RAFT SLAB TO BE LAID ON MIN50 THICKNESS OF CONSOLIDATED SAND COVERED WITH 0.2 mm THICK POLYTHENE VAPOUR BARRIER WITH ALL JOINTS PROPERLY LAPPED AND TAPED AT PENETRATIONS.

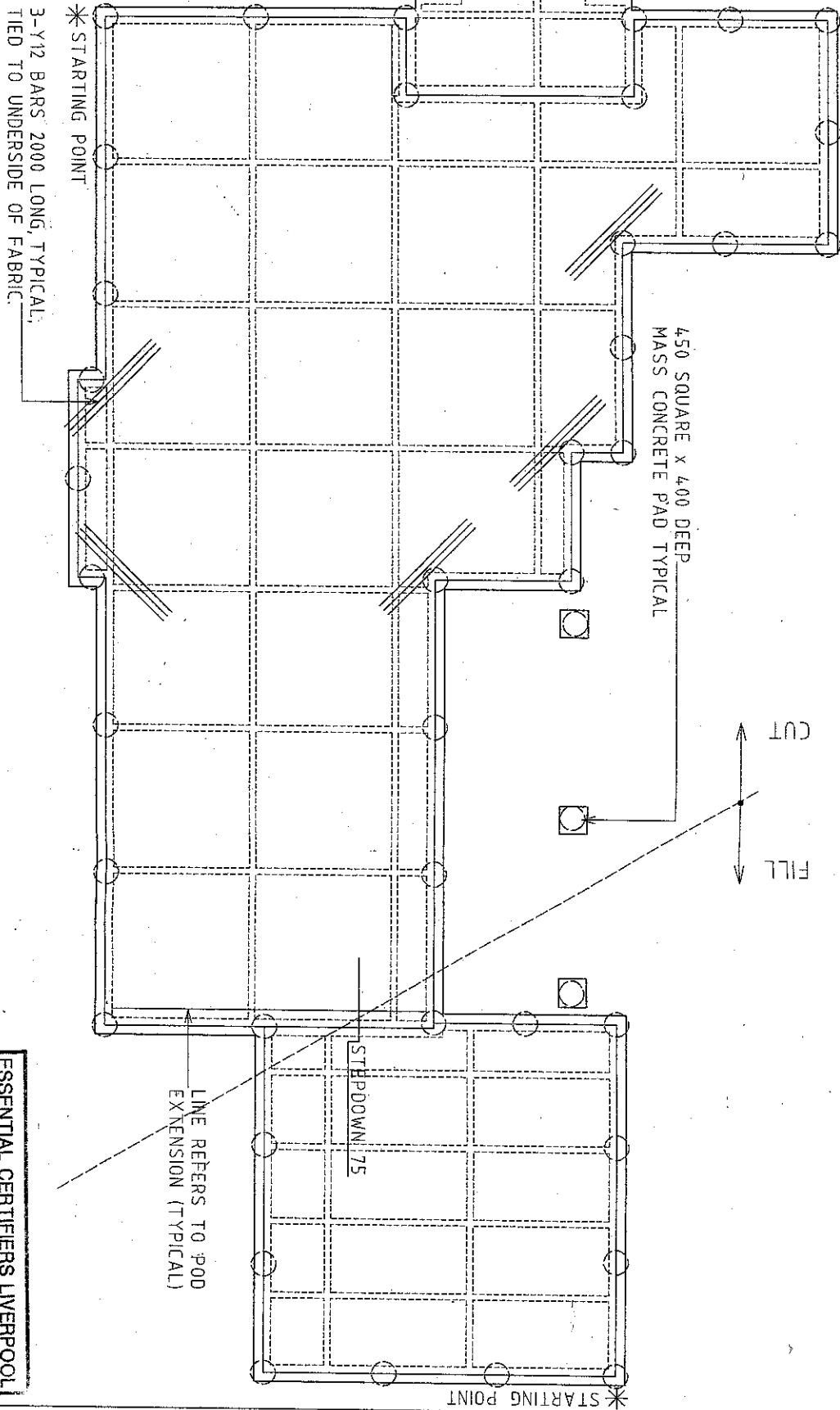
DESIGNED TO AS 2870

CONCRETE SLAB DETAIL PLAN

ESSENTIAL CERTIFIERS LIVERPOOL

Structural Details C.C. No. **04/67**

WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

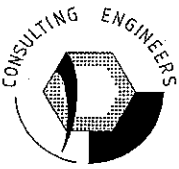


RIB RAFT SLAB PLAN

UNIT 4

RAFFLETTOS

ACN 079047466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208



ZANUTTINI

PTY LTD
TELEPHONE : (02) 9554 9311
FACSIMILE : (02) 9554 9764
DX 11992 HURSTVILLE NSW

BE, MLE, AUST.



CUSTOM
MAST No. 63290

CLIENT MASTERTON HOMES PTY / LTD
LOCATION LOT 1008 ACAIA CIRCUIT, WARRIEWOOD VALLEY

DRAWN BY : P.K SCALE 1:100 SHEET No. 1

ISSUE A DATE 24/03/03 JOB No. M 9545

310

100

1-1/2 x 8mm

385

150

235

150

270

2200

100

2200

270

1100

270

0.2 THICK POLYTHENE MEMBRANE

50 THICK CONSOLIDATED SAND (IF REQUIRED)

300 PODS

225 PODS

1-1/2 x 8mm

3-1/2 x 8mm

ADDITIONAL 1-1/2 TOP (IF REQUIRED)

ADDITIONAL 1-1/2 TOP

45mm CHAIRS AT 800 CTS.

85

75

85

120

F72 FABRIC TOP, 20 COVER LAPPED ONE PANEL PLUS 25mm.

GARAGE EDGE BEAM

- BEAMS TO BE PIERED TO AN EVEN BEARING.
- SPACE PIERS AT 2400 CTS AS SHOWN EXTERNALLY, 4000 TO CLAY & SAND, OR 3000 TO ROCK OR SHALE.
- PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, AS SHOWN.
- PROVIDE ADDITIONAL 1-Y12 BAR TOP OVER PIERED INTERNAL BEAMS AND RIBS IN LONG DIRECTION OF SLAB.

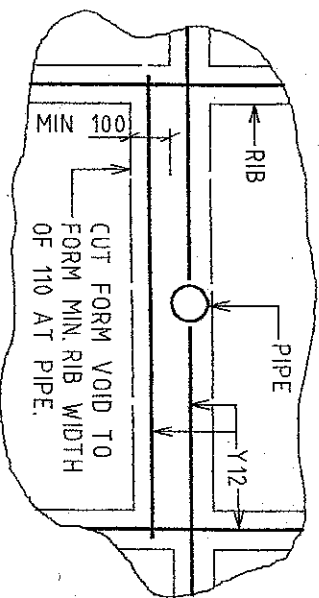
PROVIDE 2Y12 CORNER LAP
BARS BTM 1200 LONG, OR
BEND Y12 BARS TO COG 6000

INTERNAL RIB BEAMS PIERED
AT 2400 x 2400

1-Y12 TOP BAR EXTENDED
2000 BEYOND LAST PIER
LENGTH WAYS OF SLAB

EXTERNAL LOAD BEARING
BEAM PIERED AT 2400

REINFORCEMENT FOR RIBS AND BEAMS		
WIDTH	TOP STEEL	BTM STEEL
271-330	1-Y12	3-Y12
331-440	2-Y12	4-Y12
441-550	3-Y12	5-Y12
551-660	4-Y12	6-Y12

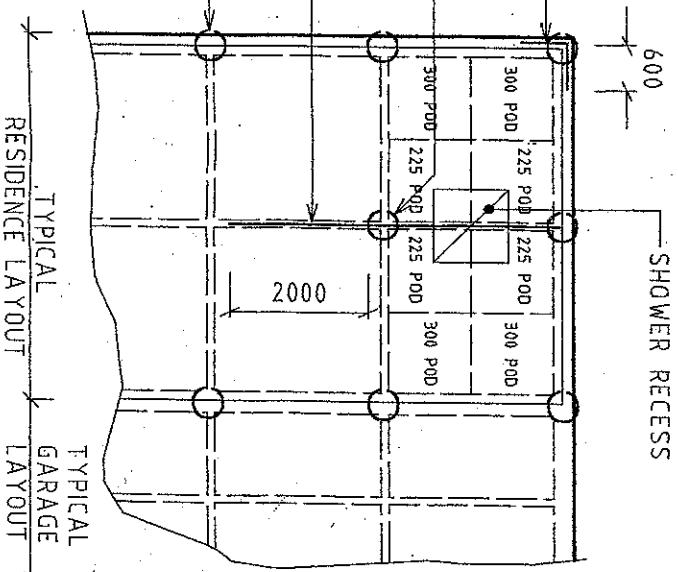


PIPE PENETRATION THROUGH RIB

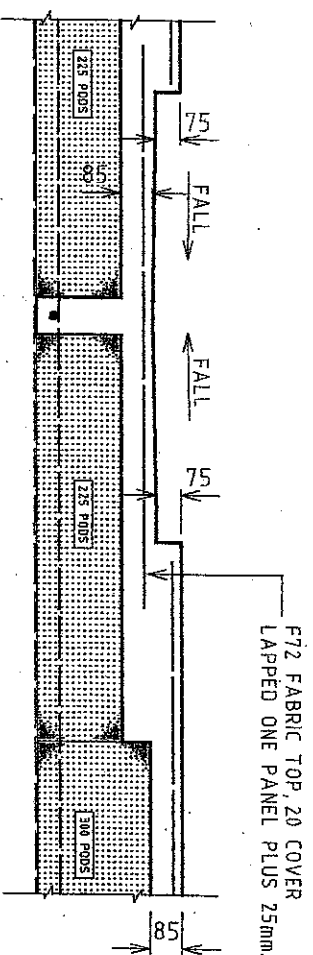
ESSENTIAL CERTIFIERS LIVE LOADS

Structural Details C.C. No. 04/647

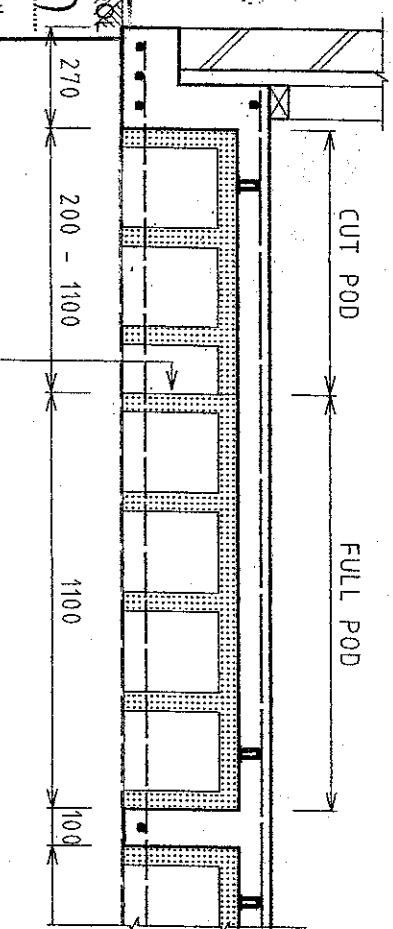
WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.



SHOWER RECESS DETAIL



EXTERNAL CUT POD DETAIL



CUT POD FACE TOWARDS INSIDE

STRUCTURAL DETAIL PLAN

CLIENT

MA3260200808D1



MASTERTON
HOMES

LOCATION

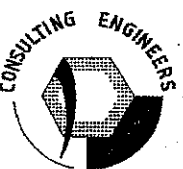
36

○

22

3

RAFFLETTOS
ACN 079047466
LEVEL 2, 103 VANESSA STREET
KINGSROVE NSW 2208
PO BOX 161 KINGSROVE NSW 2208



ZAPUTINI

TELEPHONE : (02) 9554 9311
FASCLIMILE : (02) 9554 9766
DX 11392 HURSTVILLE NSW

BE, M.I.E. AUST.

M-72-25T

100

1501

4

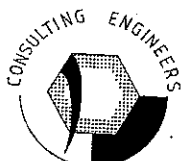
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011/2/02

IOB No

054291

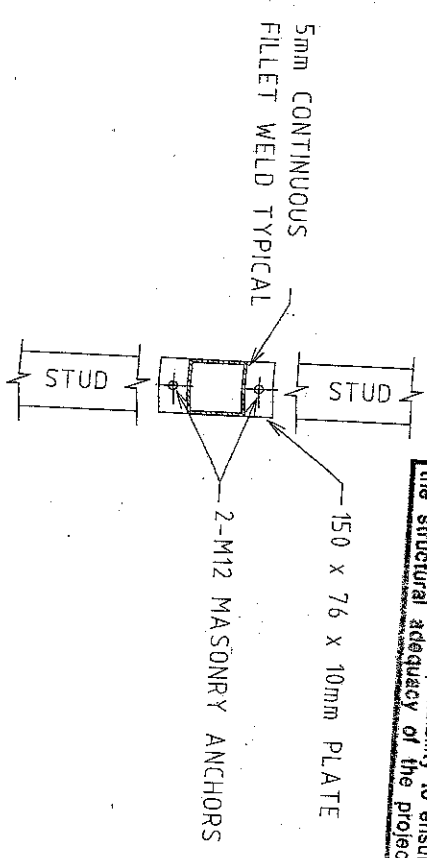
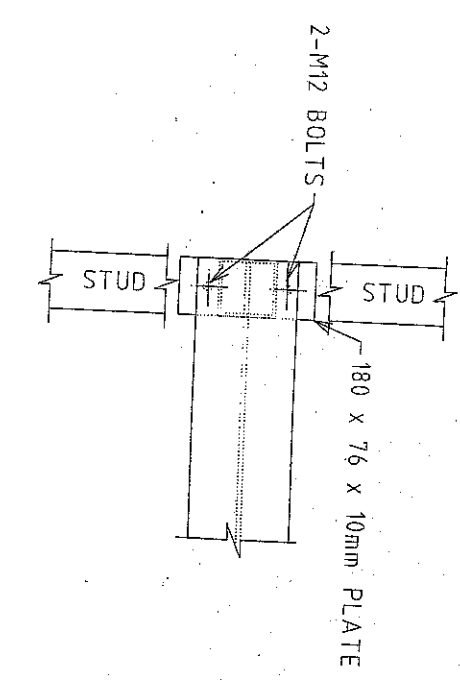
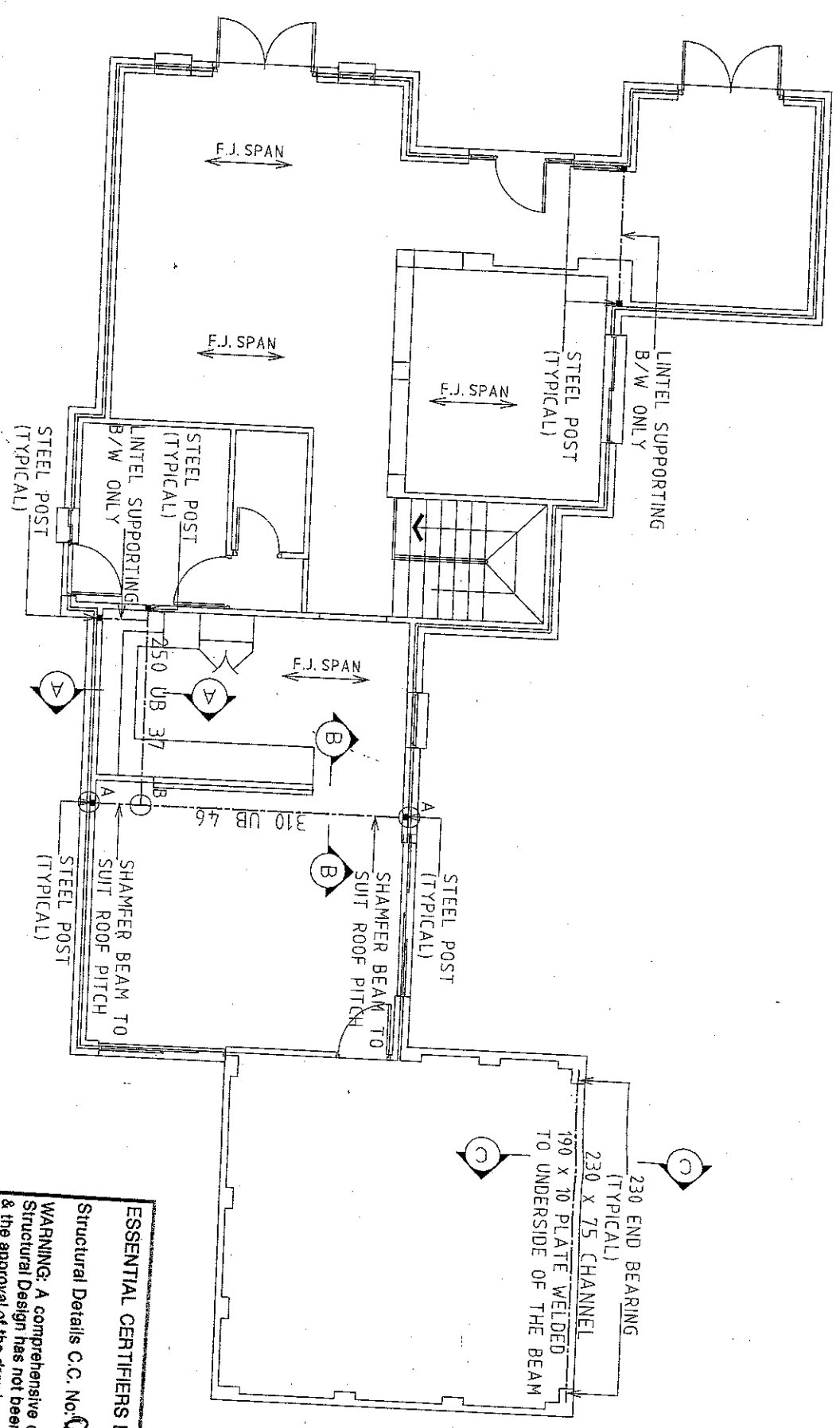
RAFELETOS
ACN 079047446
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208



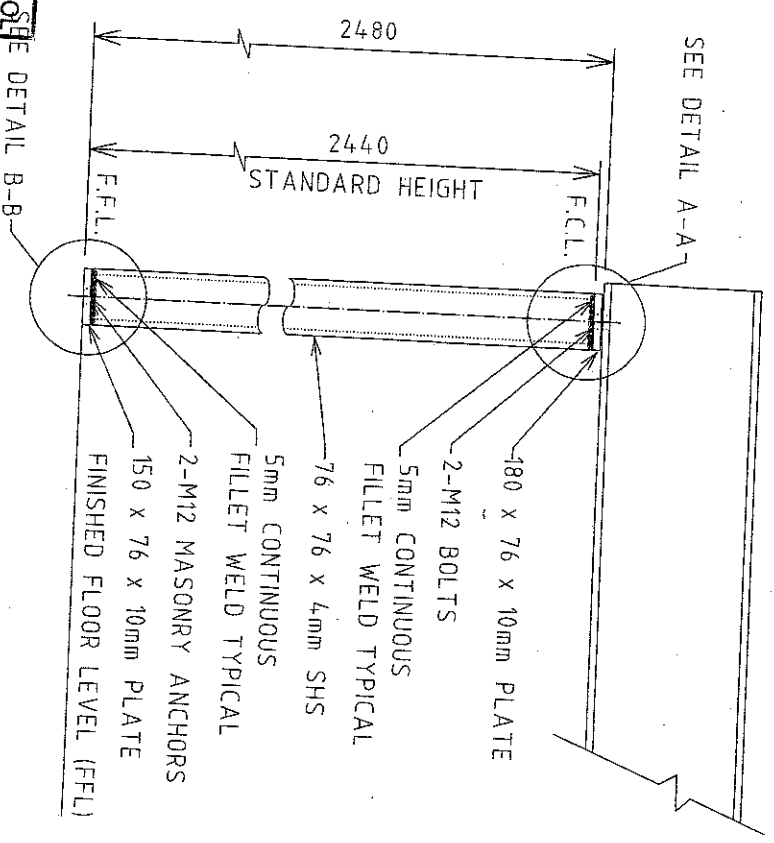
ZANUTTINI
Pty Ltd
TELEPHONE : (02) 9554 9311
FACSIMILE : (02) 9554 9764
DX 1392 HURSTVILLE NSW

PLAN VIEW DETAIL A-A

PLAN VIEW DETAIL B-B



ESSENTIAL CERTIFIERS LIVERPOOL
Structural Details C.C. No. 04164
WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.



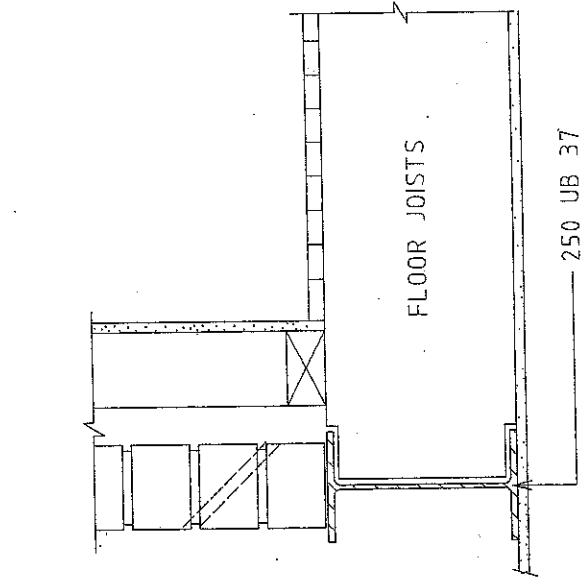
STEEL BEAM PLAN

NOTES

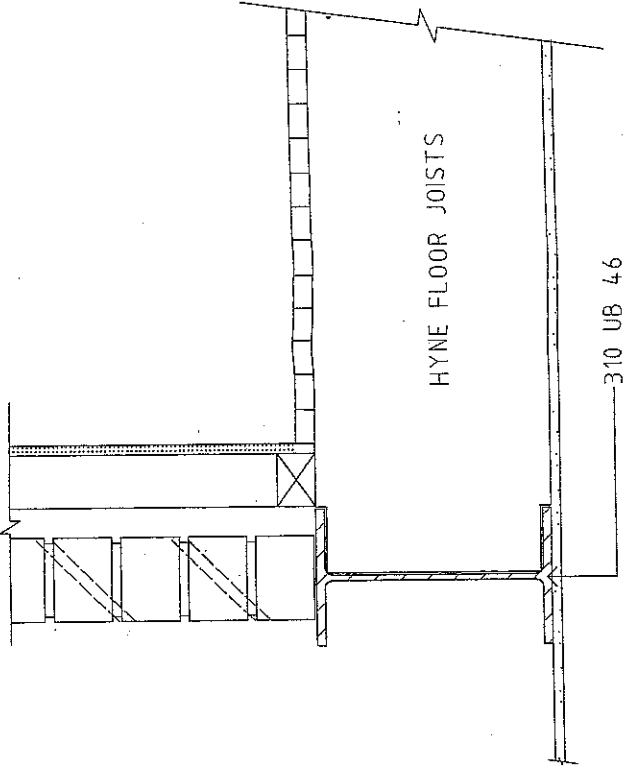
- ALL STEELWORK TO BE PAINTED WITH AN APPROVED CORROSIVE RESISTANT PRIMER
- DYNA BOLT COLUMNS TO SLAB WITH 2M12 MASONRY ANCHORS TYPICAL.
- ALL POSTS TO BE 76 x 76 x 4.0 SHS, BUILT POSTS INTO STUD FRAMEWORK.



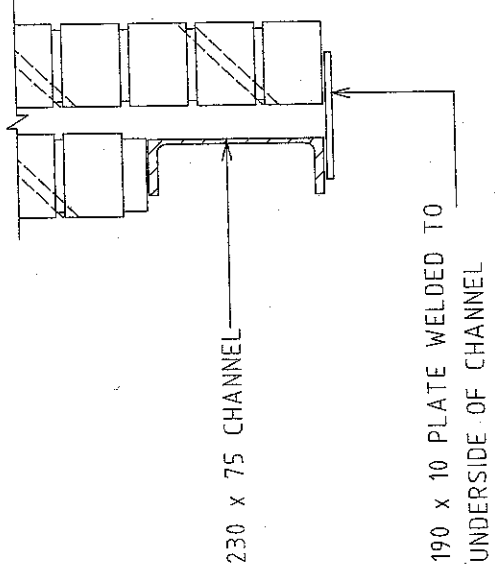
MASTERTON HOMES				CLIENT LOCATION			
CUSTOM				MASTERTON HOMES PTY / LTD			
MAST No. 63290				LOT 1008 ACAIA CIRCUIT, WARRIEWOOD VALLEY			
ISSUE				SCALE			
A				1:100			
DATE				SHEET No.			
24/03/03				3			
JOB No.				M 9545			



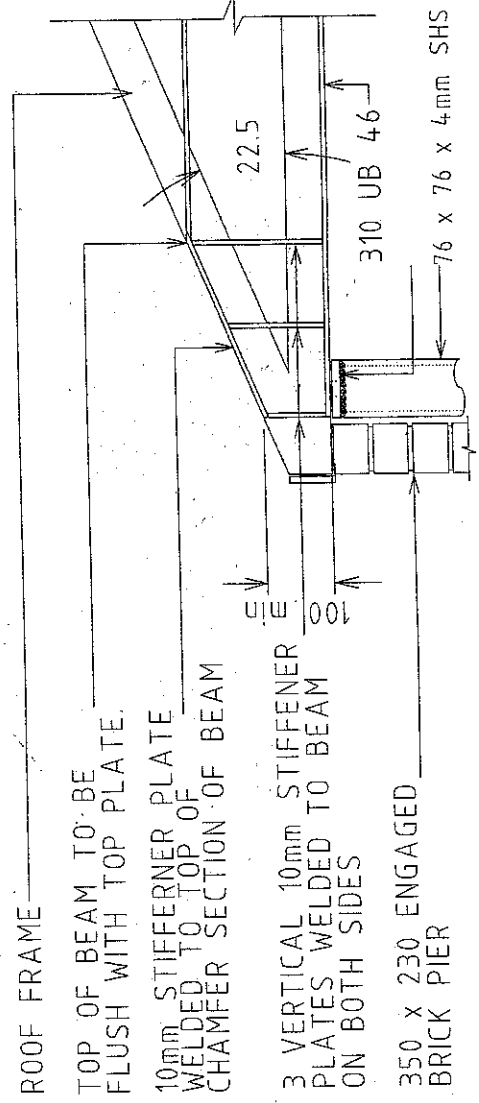
SECTION A-A
• SCALE 1:10



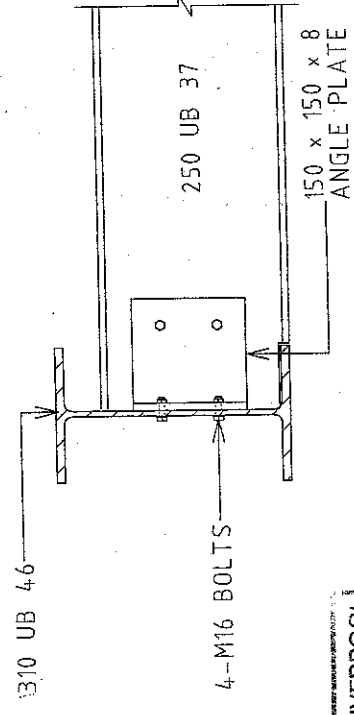
SECTION B-B
• SCALE 1:10



SECTION C-C
• SCALE 1:10

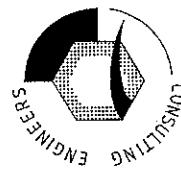


DETAIL A
• SCALE 1:10



DETAIL B
• SCALE 1:10

ESSENTIAL CERTIFIERS LIVERPOOL
Structural Details C.C. No. 04(64)
WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

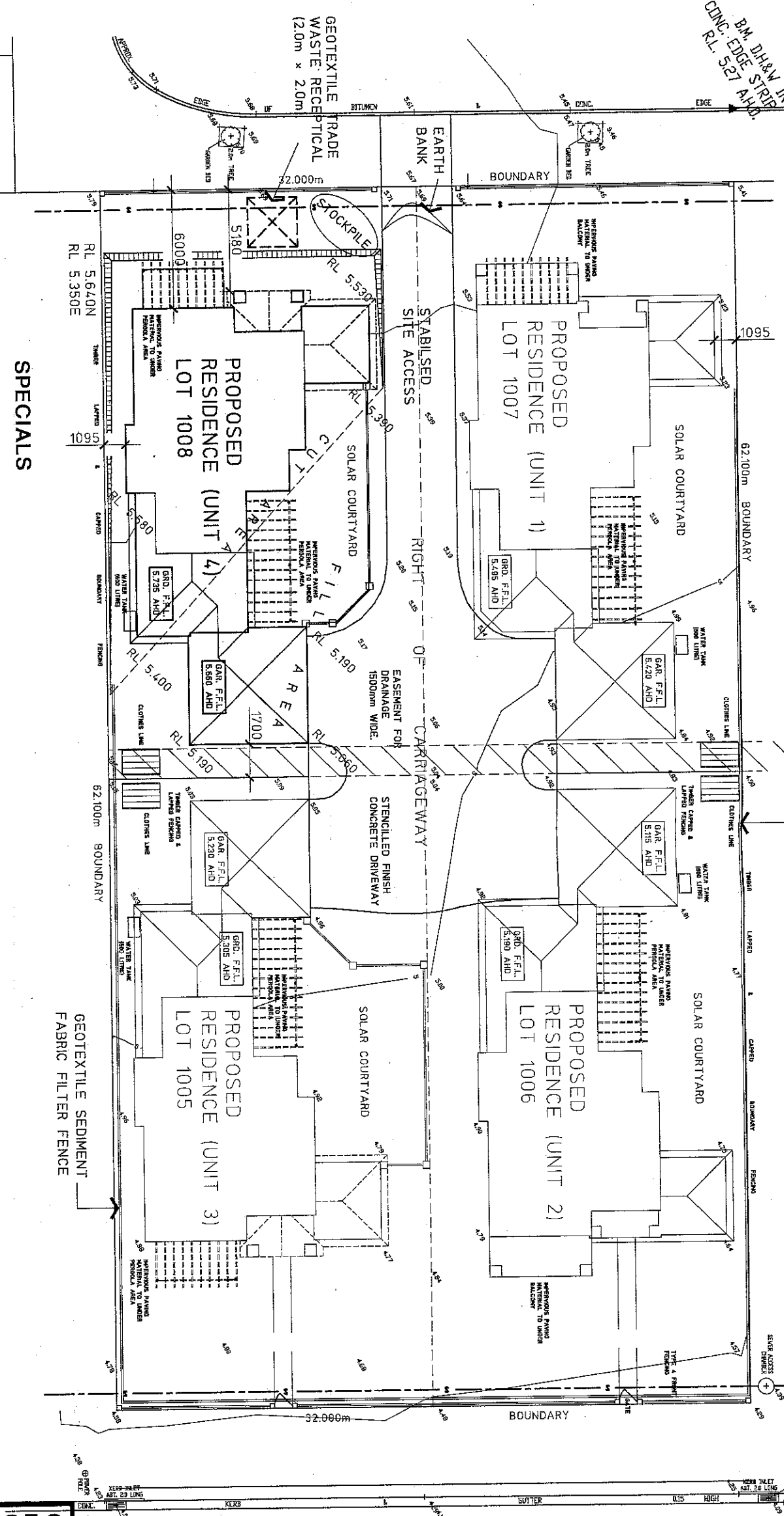
STRUCTURAL STEEL DETAILS					
 ZANUTTINI Pty Ltd TELEPHONE : (02) 9554 9311 FACSIMILE : (02) 9554 9794 DX 1392 HURSTVILLE NSW	 MASTERTON HOMES CUSTOM		CLIENT MASTERTON HOMES PTY / LTD LOCATION LOT 1008 ACAIA CIRCUIT, WARRIWOOD VALLEY		
	DRAWN BY : P.K ISSUE		SCALE 1:10	SHEET No. 4	
	MAST No. 63290		DATE 24/03/03	JOB No. M 9545	

RAFELETOS
ACN 079047466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

GEOTEXTILE SEDIMENT
FABRIC FILTER FENCE

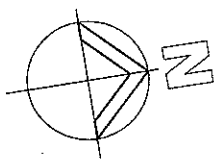
BM. DA&W IN STRIP
CONC. EDGE STRIP
RL. 5.521 AHD

ACACIA CIRCUIT



GARDEN STREET

1:250



This is the plan/price-referred to
in Essential Certifier's Certificate.
Cert. No. 04/64

Officer B. HOLMES
Accreditation No. P0009

CAUTION:
DO NOT WORK OUTSIDE OF APPROVED
COUNCIL HOURS 7.00am TO 5.00pm
MONDAY TO FRIDAY AND
SATURDAY 7.00am TO 10.00pm.
NO WORK IS PERMITTED ON SUNDAYS
OR PUBLIC HOLIDAYS, UNLESS APPROVED
BY COUNCIL.

SEWER CONNECTION TO
AUTHORITIES' REQUIREMENTS.
STORMWATER TO STREET
VIA A DETENTION SYSTEM
EXISTING TREES, STUMPS, CONC
PATHS ETC & BUILDINGS TO
BE REMOVED FROM BUILDING AREA,
PRIOR TO SIGNING CONTRACTS,
BY OWNER
DISH DRAINS (IF NEEDED)
TO AUTHORITIES' REQUIREMENTS
BY OWNER
WATER SERVICE CONNECTION

CUSTOM DESIGN CIP: 63290.dwg 29-08-2003/11.16 1:100 - MICHAEL V

PROPOSED RAFT

AREA:-UNIT 4
GRD. FL: 130.36m2
1ST. FL: 90.97m2
GARAGE: 35.30m2
TOTAL: 256.63m2

SITE:
LOT 1008
DP
AREA
F.S.R.
UBD REF.

RIB RAFT CONC. ON GROUND SLAB CLASS "M"
IN ACCORDANCE WITH AS 2870.1
GARAGE FLOOR STEP-DOWN (75 mm)
EDGE BEAM TO HABITABLE AREAS STEPPED
DOWN (1235 mm)
EDGE BEAM TO GARAGE FLOOR STEPPED
DOWN (160 mm)
STEEL BEAM AS PER PLAN

SPECIALS

25.08.2003 - FIRST DRAWN PLAN - CR.

1. PROVIDE FACADE AS PER PLAN
2. PROVIDE UNDERGROUND ELECTRICAL CONNECTION ONLY.
3. PROVIDE 'REHAU' PLUMBING SYSTEM.
4. PROVIDE SEDIMENT CONTROL FENCING INCLUDING TRADE WASTE RECEPTACLE.
5. PROVIDE HOT WATER TEMPERATURE LIMITING IN ACCORDANCE WITH STATUTORY REQUIREMENTS.
6. PROVIDE 3 SAFETY SWITCHES FOR LIGHT, POWER AND SEPARATE REFRIGERATOR CIRCUIT, ISOLATING SWITCHES TO COOKING APPLIANCES AND WATERPROOF LIGHT SWITCHES TO WEI AREAS, TO COMPLY WITH NEW WIRING REGULATIONS.
7. PROVIDE AN EDGE PROTECTION SYSTEM AS REQUIRED TO THE PERIMETER OF THE ROOF AREA.
8. PROVIDE TERM-GUARD RETICULATED TERMITE SYSTEM-PART B, TREATMENT POINT UNDER METERBOX, POSITION OF METERBOX DETERMINED ON SITE.
9. PROVIDE AN ALL WEATHER CONSTRUCTION ACCESS DRIVEWAY.
10. PROVIDE A CHECK SURVEY TO CERTIFY COUNCIL APPROVED F.F.L.
11. PROVIDE CONSTRUCTION SCAFFOLDING TO SUIT YOUR SITE FOR USE BY TRADES DURING CONSTRUCTION OF HOME.
12. PROVIDE AN 1800mm HIGH TEMPORARY CONSTRUCTION FENCE TO FRONT BOUNDARY FOR SECURITY AND SAFETY OF BUILDING SITE.
13. MAKE PROVISION FOR DOUBLE HANDLING OF MATERIALS ON SITE DUE TO RESTRICTED ACCESS

CONTINUED ON PAGE 4

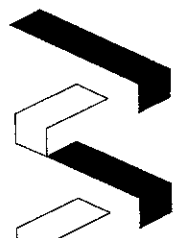
General Notes

All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Nominal.
Copyright in and to these plans remains at all times with Masterston Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterston Homes Pty Ltd.

Project Details

Design: CUSTOM
Style : CUSTOM
Edition: SPACEMAKER

DRAWN BY: C.R.
JOB NO. 63290
DATE: 09-08-03
SHEET TITLE: SITE PLAN
SCALE: 1:100
FINAL PLAN
ISSUE: DATE:



MASTERSTON HOMES
76 HEATHCOTE RD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066
LIC. No. 36559C ACN 002 873 047

Project Details

Design: CUSTOM
Style : CUSTOM
Edition: SPACEMAKER

DRAWN BY:	JOB No.	DATE:
C.R.	63290	09-08-03
SHEET TITLE:	SHEET No.	
FLOOR PLAN	2/8	
SCALE:	FINAL PLAN	FINAL PLAN
1:100	ISSUE:	DATE:

MASTERTON
HOMES

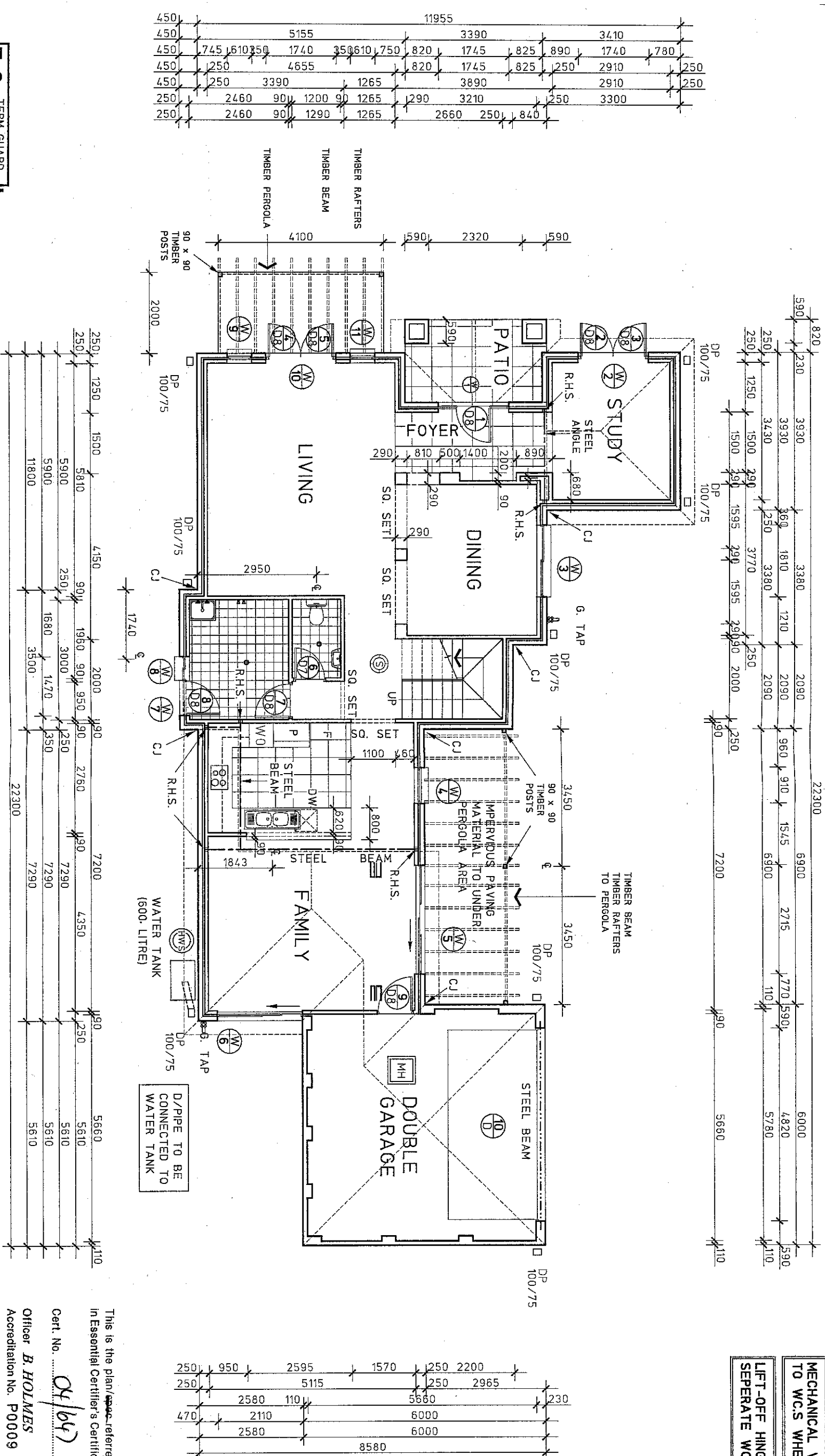
MASTERTON HOMES PTY LTD
76 HEALTHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066

Lit. No. 365586C ACN 002 873 94

All permanent bracing in accordance with AS 1684 - Timber Framing Code. Wind velocity W33N

CID: 63290.dwg 29-08-2003/11.16 1:100 - MICHAEL V

T.G. TERM-GUARD
PEST SYSTEM



**MECHANICAL VENTILATION
TO W.C.S WHERE REQUIRED**

This is the plan/~~spec~~ referred to in Essential Certifier's Certificate.

Cert. No. 071041

Officer *B. HOLMES*
Accreditation No. P0009

Proposed Residence
For
Lot No.
Suburb
Council

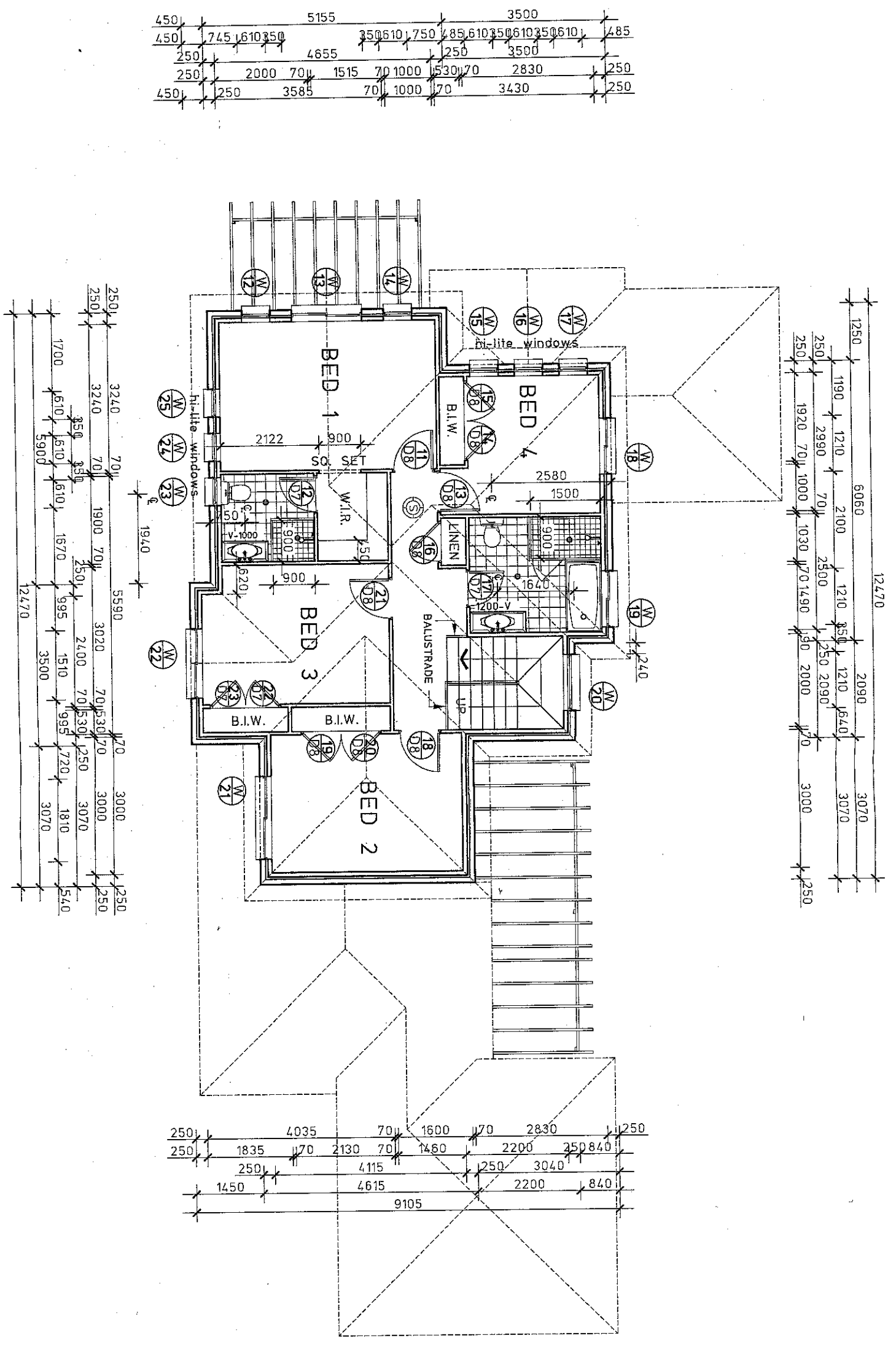
General Notes
All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Nominal.
Copyright in and to these plans remains at all times with Masterston Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterston Homes Pty Ltd.

Project Details
Design: **CUSTOM**
Style : **CUSTOM**
Edition: **SPACEMAKER**

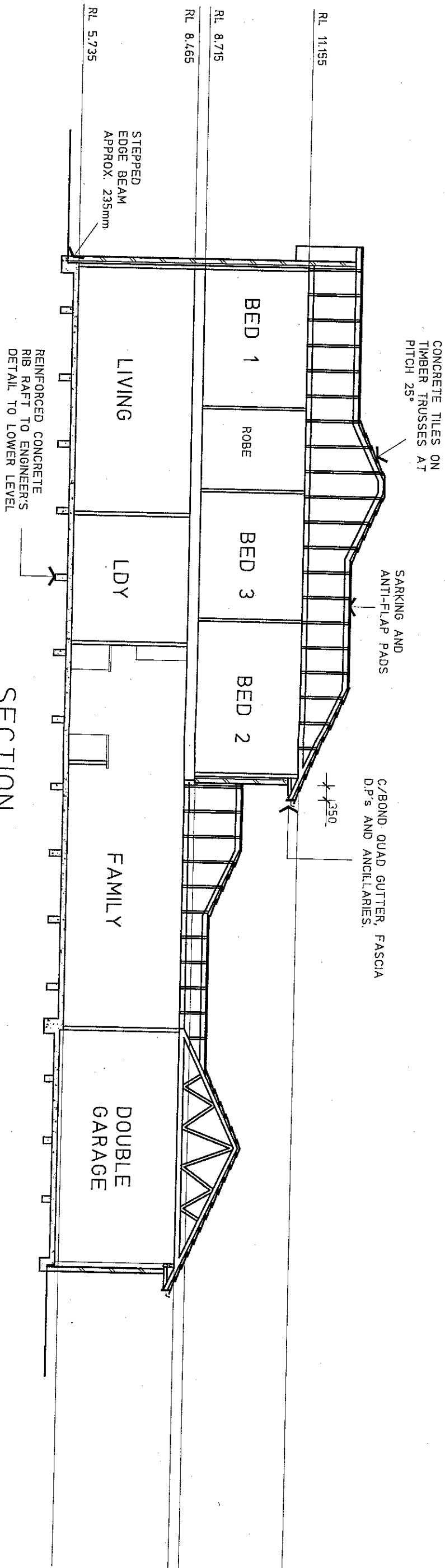
DRAWN BY: **C.R.** JOB NO. **63290** DATE: **09-08-03**
SHEET TITLE: **FLOOR PLAN** SHEET No. **3/8**
SCALE: **1:100** FINAL PLAN

MASTERSTON HOMES
MASTERSTON HOMES PTY LTD
76 HEATHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066
Lic. No. 38556C ACN 002 873 047

All permanent bracing in accordance with AS 1684 - Timber Framing Code. Wind velocity W33N
CID: 63290.dwg 29-08-2003/11.16 1:100 - MICHAEL V



This is the plan/spec referred to in Essential Certifier's Certificate.
Cert. No. **04/647**
Officer **B. HOLMES**
Accreditation No. **P0009**



PROVIDE FLYSCREENS TO ALL WINDOWS.
ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.

WINDOW SCHEDULE			
No	TYPE	HEIGHT	WIDTH
1	ME4	2110	1745
2	ME6	2090	1740
3	SF1818	1800	1810
4	F1809	1800	910
5	FXF212(3)R	2100	2725
6	FX2121	2100	2110
7	DF1	2090	890
8	SF1206-S	1190	585
9	F1206	1200	610
10	ME6	2090	1740
11	F1206	1200	610
12	F1206	1200	610
13	SF1515	1500	1510
14	F1206	1200	610
15	A0606	600	610
16	A0606	600	610
17	A0606	600	610
18	SF1212	1200	1210
19	SF1512	1500	1210
20	FF3212	3200	1210
21	SF1518	1500	1810
22	SF1515	1500	1510
23	A0606	600	610
24	A0606	600	610
25	A0606	600	610

F.W.G. WINDOW CODES			
TYPE	HEIGHT	WIDTH	REMARK
A0606	600	610	
DF1	2090	890	
F1206	1200	610	
F1809	1800	910	
FF3212	3200	1210	
FX2121	2100	2110	
FXF212(3)R	2100	2725	
ME4	2110	1745	
ME6	2090	1740	
SF1206-S	1190	585	
SF1212	1200	1210	
SF1512	1500	1210	
SF1515	1500	1510	
SF1518	1500	1810	
SF1818	1800	1810	

21. PROVIDE INTERNAL STACKWORK, NO PLUMBING OR DRAINAGE FIXTURES ARE TO BE EXPOSED EXTERNALLY.
22. PROVIDE BRICKS FROM THE PGH 'EMERALD' COLLECTION WITH TAUBMANS 'MOROKA' FINISH.
23. PROVIDE R2.5 RATED INSULATION BATTS TO CEILING OVER HABITABLE AREA.
24. PROVIDE R15 RATED INSULATION BATTS TO EXTERNAL TIMBER FRAMED WALLS OF HABITABLE AREAS.
25. PROVIDE GAS PACKAGE INCLUDING, 24L RINNAI 'INFINITY' GAS H.W.S., GAS GAS COOKTOP AND 1 x INTERNAL GAS BAYONET HEATER POINT.
26. PROVIDE FLYSCREENS TO ALL WINDOWS.
27. PROVIDE SARKING AND ANTI-FLAP PADS TO UNDER ROOF TILES.
28. PROVIDE DEADLOCKS TO ALL EXTERNAL ACCESS DOORS.
29. PROVIDE S/STEEL APPLIANCES, INCLUDING 'OMEGA' 0A60X OVEN, 'OMEGA' 'TUSCANY' 0AR22X GAS COOKTOP AND A OMEGA 0A412 FRX TELESCOPIC RANGEHOOD.
30. PROVIDE A DOUBLE BOWL S/STEEL SINK.
31. PROVIDE AN IRWELL 'TASMAN' WIXER TAP TO KITCHEN SINK.
32. PROVIDE A WESTINGHOUSE SB 922SH DISHWASHER.
33. EXTEND WALL TILING TO UNDERSIDE OF RANGEHOOD.
34. PROVIDE A 45L S/STEEL TUB TO LAUNDRY.
35. PROVIDE A STYLUS 'BIG 5 2000' 1500mm BATH.
36. EXTEND WALL TILING IN BATHROOM TO ENDER CORNICE.
37. PROVIDE 75mm COLONIAL ARCHITRAVES AND SKIRTINGS THROUGHOUT HOME.
38. PROVIDE 90mm CORNICE THROUGHOUT HOME.
39. PROVIDE PAINT FINISH TO ALL INTERNAL TIMBER WORK.
40. PROVIDE DOUBLE POWER POINTS THROUGHOUT HOME.
41. PROVIDE 2 PHONE POINTS AND 3 x T.V. POINTS.
42. PROVIDE HUME 'OAKFIELD' PANALLED DOORS THROUGHOUT HOME.
43. PROVIDE CARPET THROUGHOUT HOME EXCLUDING WET AREAS, KITCHEN, ENTRY FOYER DINING AND FAMILY ROOM.
44. PROVIDE FLOOR TILING TO ENTRY FOYER, KITCHEN, DINING & FAMILY ROOM.
45. PROVIDE 'GAINSBOROUGH' DOOR FURNITURE TO ALL DOORS.
46. PROVIDE SHELVES TO LINEN CUPBOARD.
47. PROVIDE DOOR STOPS TO ALL DOORS OPENING ONTO WALLS.
48. PROVIDE PRE-WIRING TO HOME FOR SELECTED ALARM SYSTEM.
49. PROVIDE A FULLY DUCTED AIR-CONDITIONING SYSTEM.
50. PROVIDE AAA RATED REDUCED WATER FLOW DEVICES TO ALL SHOWER HEADS & ALL SPOUTS SERVICING BASINS AND KITCHEN SINK.

Proposed Residence

For
Lot No.
Suburb
Council

Masterion Homes P/L
1008 Acacia Circuit,
WARRIEWOOD VALLEY
PITTSWATER

General Notes

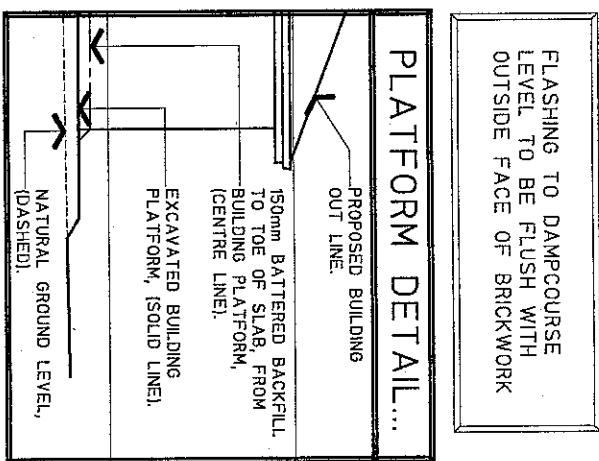
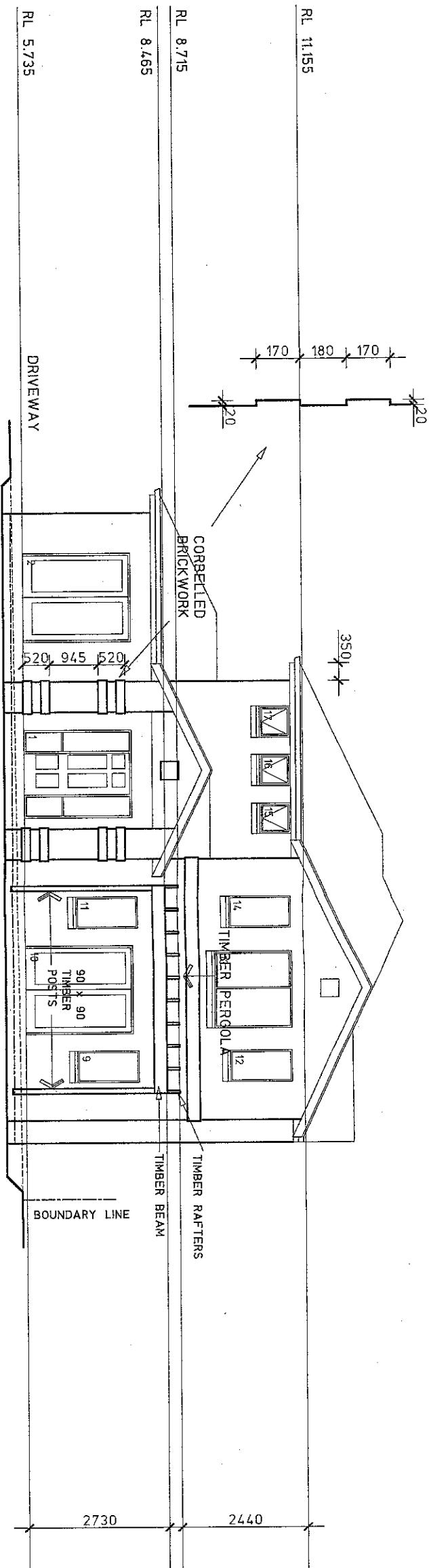
All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Nominal. Copyright in and to these plans remains at all times with Masterion Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterion Homes Pty Ltd.

Project Details

Design: CUSTOM
Style : CUSTOM
Edition: SPACEMAKER

DRAWN BY: C.R.
JOB No. 63290
DATE: 09-08-03
SHEET TITLE: SECTION
SHEET No. 4/8
SCALE: 1:100
FINAL PLAN
DATE:

MASTERION HOMES
76 HEATHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066
Lic. No. 35559C
ACN 002 873 047



FRONT ELEVATION

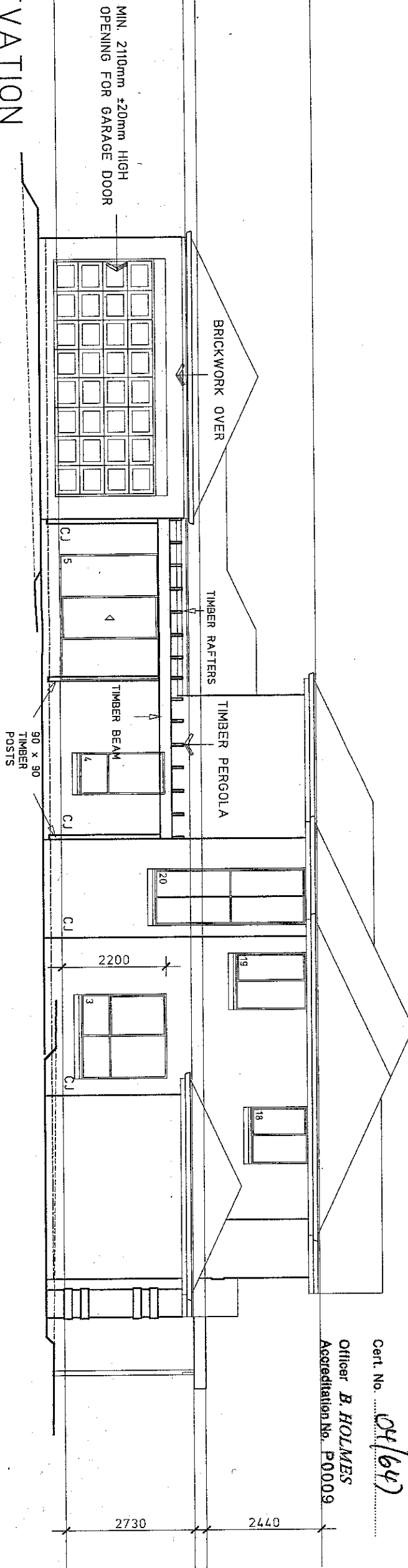
RL 11.155

RL 8.715

RL 8.465

RL 5.735

RIGHT ELEVATION



This is the plan/section referred to in Essential Certifier's Certificate.
Cert. No. *04/64*
Officer **B. HOLMES**
Accreditation No. **P0009**

CONTINUED FROM 4.....

46. PROVIDE THE FOLLOWING AS PER COUNCIL'S DEVELOPMENT CONDITIONS
- ALL RAINWATER SERVICES SHALL BE CLEARLY LABELLED 'NON POTABLE WATER' WITH APPROPRIATE HAZARD IDENTIFICATION.
 - PIPE WORK USED FOR RAINWATER SERVICES SHALL BE CLOURED PURPLE WITH VALVES & APERTURES SHALL BE CLEARLY AND PERMANENTLY LABELLED WITH SAFETY SIGNS.
 - RETAINING WALL ARE TO BE PROVIDED WHERE SOILS CONDITIONS REQUIRE IT, WITH ADEQUATE PROVISION FOR DRAINAGE. RETAINING WALLS ARE TO BE PROVIDED WHERE BATTER EXCEEDS 3:1 (3 HORIZ. TO 1 VERT.).
 - TIMBER LOG RETAINING WALLS ARE NOT TO BE USED. DETAILS OF LAND FILL BEHIND RETAINING WALLS ARE TO BE PROVIDED TO THE PRIVATE CERTIFIER.
 - NO FILLING IS TO BE INTRODUCED WITHIN DRIP LINE OF EXISTING CANOPY TREES OR WHERE THERE'S AREAS OF NATIVE VEGETATION OR HABITAT.
 - THE INSTALLATION OF AN IN-SINK FOOD WASTE DISPOSAL UNIT IS NOT PERMITTED.
 - ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.

- CONTINUED ON PAGE 6.....
- THE DWELLINGS ARE TO CONSTRUCTED TO ALLOW FOR TELECOMMUNICATIONS, INTELLIGENT LIGHTING & HOME AUTOMATION FACILITIES FROM UNDERGROUND STREET ELECTRICAL AND TELECOMMUNICATION CABLE.
 - NATURAL GROUND LEVELS OF PRIVATE OPEN SPACE ARE NOT ALTERED. IF REQUIRED, PROVIDE DGE BEAMS TO NATURAL GROUND ACROSS REAR OF GARAGE.
 - A ROAD OPENING PERMIT, ISSUED BY COUNCIL, MUST BE OBTAINED WITH FOR ANY ROAD OPENINGS OR EXCAVATIONS WITHIN COUNCIL'S ROAD RESERVE ASSOCIATED WITH THE DEVELOPMENT OF SITE, INCLUDING STRAWWATER DRAINAGE, WATER, SEWER, ELECTRICITY, GAS AND TELEPHONE CONNECTIONS ETC. DURING THE COURSE OF THE ROAD OPENING WORKS THE ROAD OPENING PERMIT MUST BE VISIBLE DISPLAYED AT THE SITE.
 - NO SKIP BINS OR MATERIALS ARE TO BE STORED ON COUNCIL'S ROAD RESERVE.
 - ACCESS DRIVEWAYS ARE TO BE 3500mm WIDE (MAX) AT THE PROPERTY BOUNDARY.

Proposed Residence

Lot No. **1008 Acacia Circuit,**
Suburb **WARRIEWOOD VALLEY**
Council **PITTWATER**

General Notes

All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Nominal. Copyright in and to these plans remains at all times with Masterston Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterston Homes Pty Ltd.

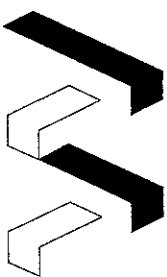
Design: **CUSTOM**

Style: **CUSTOM**

Edition: **SPACEMAKER**

Project Details

DRAWN BY:	C.R.	JOB No.	63290	DATE:	09-08-03
SHEET TITLE:	ELEVATIONS				
SCALE:	1:100	FINAL PLAN	ISSUE:	5/8	FINAL PLAN



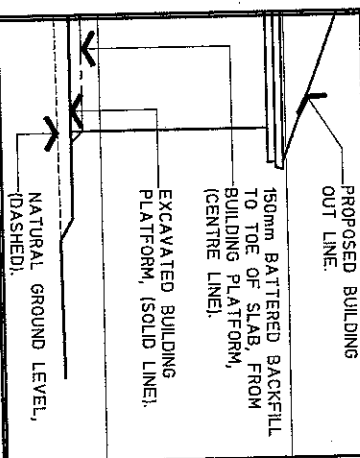
MASTERTON HOMES

CID: 63290.dwg 29-08-2003/11.16 1:100 - MICHAELV

MASTERTON HOMES PTY LTD
76 HEATHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066
Lic. No. 35580C A/CN 002 873 047

FLASHING TO DAMPCOURSE
LEVEL TO BE FLUSH WITH
OUTSIDE FACE OF BRICKWORK

PLATFORM DETAIL...

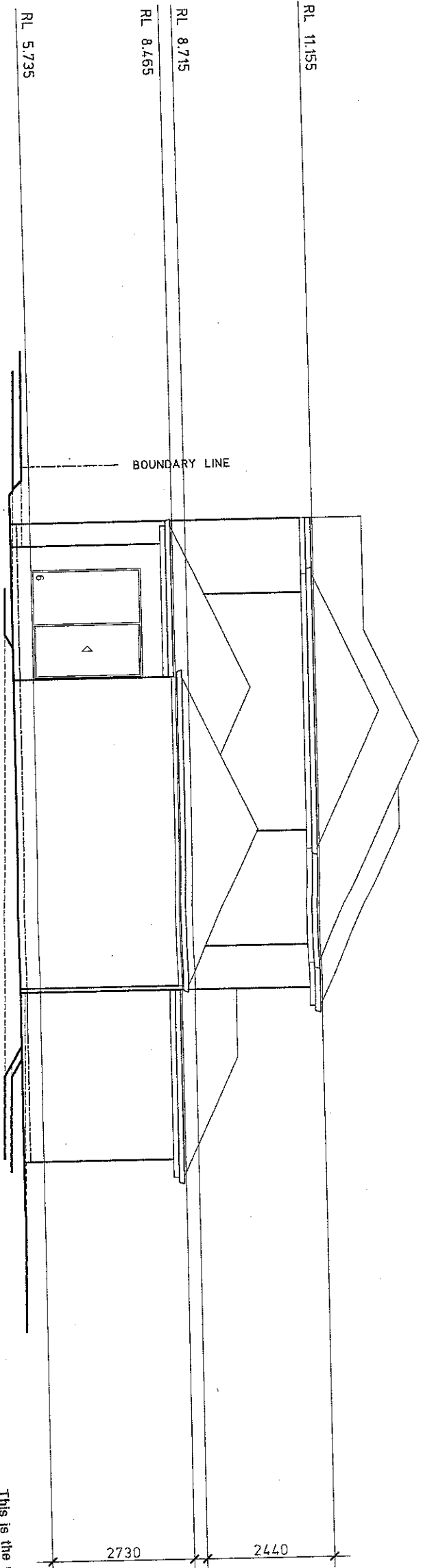


This is the plan/spec referred to
in Essential Certifier's Certificate.

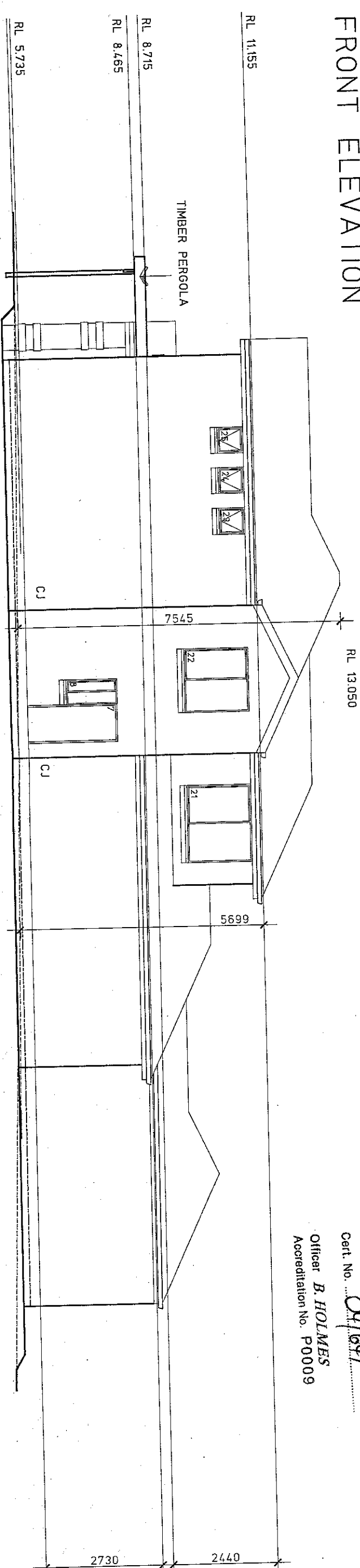
Cert. No. *04/647*

Officer **B. HOLMES**
Accreditation No. P0009

FRONT ELEVATION



RIGHT ELEVATION



- PROVIDE CERTIFICATION BY AN ACCREDITED CERTIFIER/WASTEWATER CONSULTANT, CERTIFYING THAT THE WASTE WATER TREATMENT SYSTEM AND ASSOCIATED DISPERSAL AREA HAVE BEEN INSTALLED TO THE MANUFACTURE'S SPECIFICATIONS.

* MANUFACTURES NAME
* MANUFACTURES ADDRESS

* MODEL NAME
* MODEL NUMBER
* TYPE OF SYSTEM

* No. OF PERSONS

* N.S.W. HEALTH CERTIFICATE OF ACCREDITATION NUMBER

- CONTACT AUSTRALIA POST REGARDING THE SIZE AND LOCATION OF THE LETTER BOX

- PROVIDE A COPY OF THE BUILDING PERGUT REPORT TO THE PRIVATE CERTIFIER, CERTIFYING THAT THE BUILDING SET-OUT COMPLIES WITH THE BUILDING CODE OF AUSTRALIA, PRIOR TO SITE WORKS PROCEEDING PAST THIS POINT.

- PROVIDE CERTIFICATION BY THE DESIGNING ENGINEER THAT ALL SEDIMENT EROSION CONTROLS HAVE BEEN INSTALLED IN ACCORDANCE WITH HIS DESIGN, PRIOR TO SITE WORKS PROCEEDING PAST THIS POINT.

Proposed Residence

Masterton Homes P/L
1008 Acacia Circuit,
WARRIEWOOD VALLEY
PITTWATER
Suburb
Council

General Notes

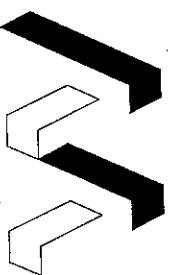
All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Nominal.
Copyright in and to these plans remains at all times with Masterton Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterton Homes Pty Ltd.

Project Details

Design: **CUSTOM**
Style : **CUSTOM**
Edition: **SPACEMAKER**

DRAWN BY:	C.R.	JOB No.	63290	DATE:	09-08-03
SHEET TITLE:	ELEVATIONS		SHEET No.	6/8	
SCALE:	1:100	FINAL PLAN	ISSUE:	FINAL PLAN	

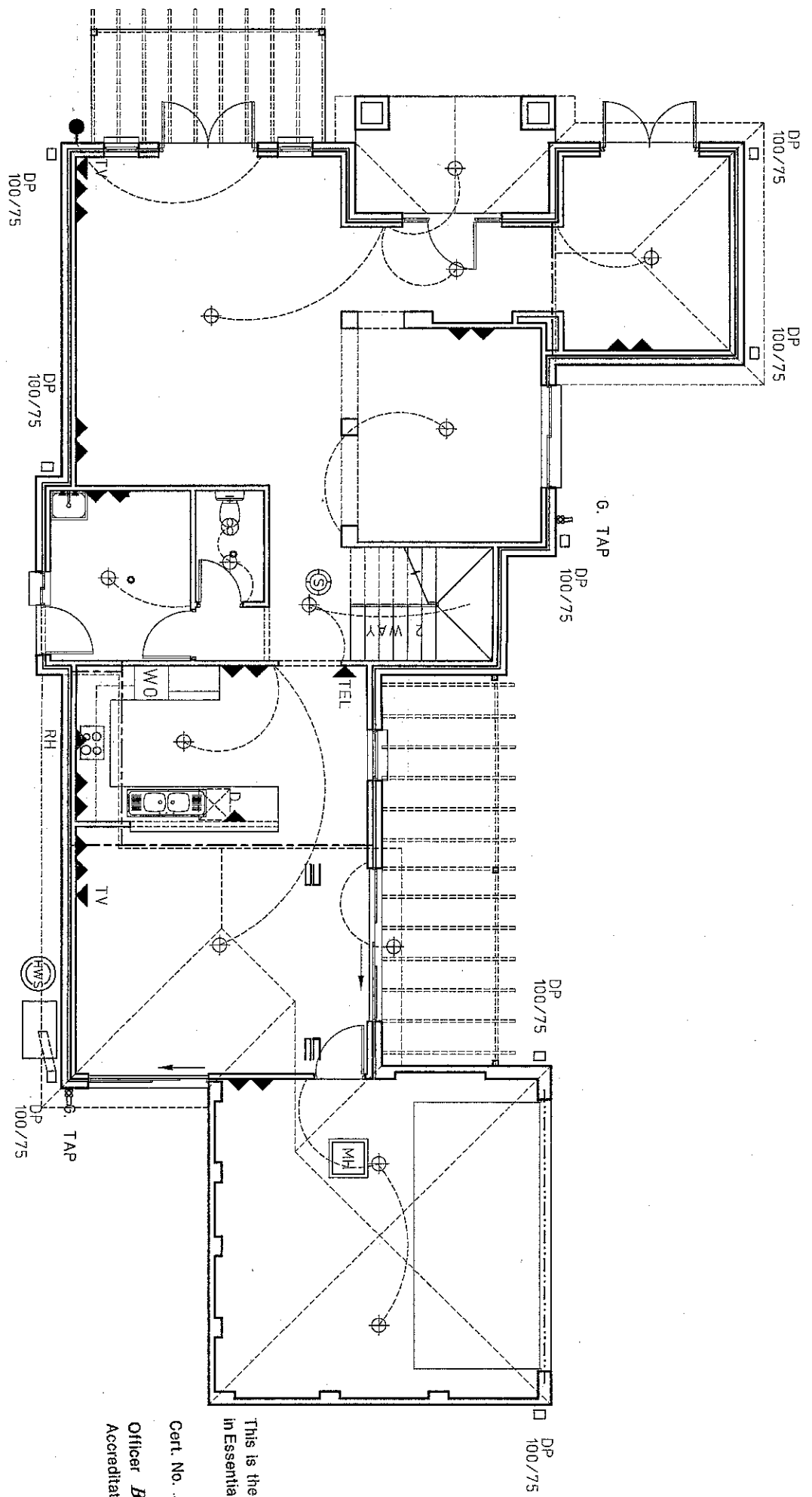
CID: 63290.dwg 29-08-2003/11:16 1:100 - MICHAEL V



**MASTERTON
HOMES**

MASTERTON HOMES PTY LTD
76 HEATHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066
Lic. No. 35556 ACN 002 873 047

STANDARD ELECTRICAL LAYOUT
THIS DRAWING MAY BE SUPERSEDED BY ANY
ELECTRICAL LAYOUT DONE BY HOME DEAL.



This is the plan/spee-referred to
in Essential Certifier's Certificate.
Cert. No. 04/647
Officer B. HOLMES
Accreditation No. P0009

ELECTRICAL	
DOUBLE GPO	17
CEILING LIGHTS	22
WALL LIGHTS	1
EXHAUST FANS	1
SMOKE DETECTOR(S)	2
2 WAY SWITCH	1
COOKTOP	1
PHONE OUTLET(S)	2
TV OUTLET(S)	3
HOT WATER SYSTEM	1
RANGE HOOD	1
WALL OVEN	1

LEGEND - ELECTRICAL	
	10A SINGLE GPO
	10A TWIN GPO
	15A SINGLE GPO
	15A TWIN GPO
	20A TWIN GPO
	ALARM POINT
	COOKTOP POINT
	DISHWASHER POINT
	INSINKERATOR POINT
	MICROWAVE POINT
	20A SINGLE GPO
	CEILING LIGHT
	WALL LIGHT
	REMOTE CONTROL
	RANGE HOOD POINT
	SINGLE WATERPROOF
	TWIN WATERPROOF
	DIMMER
	DIMMER SWITCH
	2 WAY 2 WAY SWITCH
	SINGLE 40W FLUORO
	TWIN 40W FLUORO
	EXHAUST FAN
	SMOKE DETECTOR
	PHONE OUTLET
	TV ANTENNA OUTLET
	DOOR BELL/CHIME
	SPA PUMP
	CEILING FAN
	HOT WATER SYSTEM

LEGEND - PLUMBING	
	VANITY TAP
	WALL TAP
	SHOWER TAP
	G.TAP
	FLOOR WASTE
	GAS POINT
LAUNDRY TAP CID: 63290.dwg 29-08-2003/16 MICHAEL V	

Proposed Residence

Masterston Homes P/L

1008 Acacia Circuit,
WARRIEWOOD VALLEY
PITTWATER

General Notes

All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Normal.

Copyright in and to these plans remains at all times with Masterston Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterston Homes Pty Ltd.

Project Details

Design: CUSTOM

Style : CUSTOM

Edition: SPACEMAKER

DRAWN BY: C.R.

JOB No. 63290

DATE: 09-08-03

SHEET TITLE: SERVICES

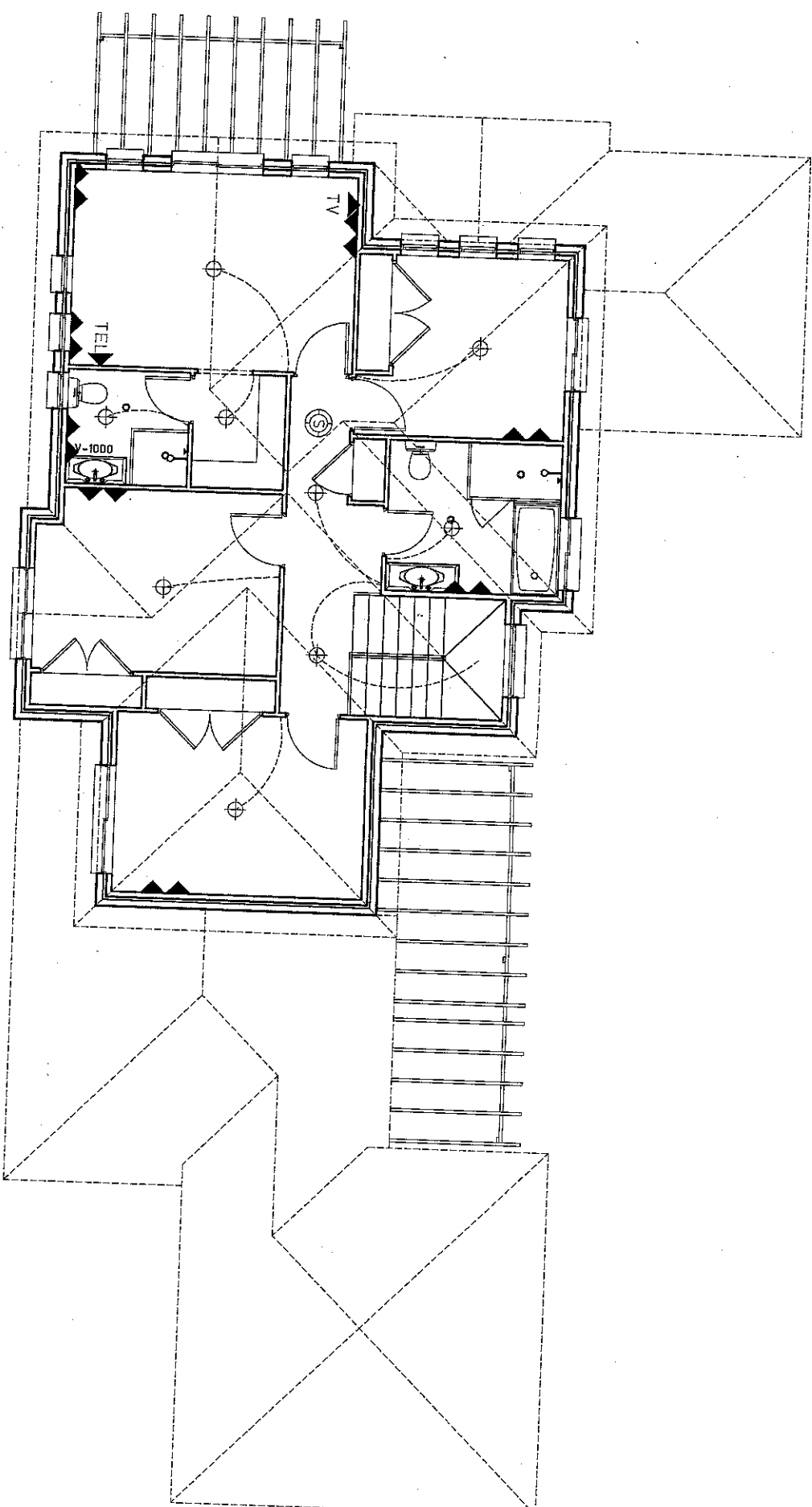
SCALE: 1:100

FINAL PLAN

DATE:

MASTERTON HOMES

MASTERTON HOMES PTY LTD
76 HEATHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066
Ltr. No. 35589C ACH 002 873 042



LEGEND - ELECTRICAL

- ▽ 10A SINGLE GPO
- ▽ 10A TWIN GPO
- ▽ 15A SINGLE GPO
- ▽ 15A TWIN GPO
- ▽ 20A TWIN GPO
- ▽ 20A ALARM POINT
- ▽ 20A COOKTOP POINT
- ▽ 20A DISHWASHER POINT
- ▽ INSINKERATOR POINT
- ▽ MICROWAVE POINT
- ▽ 20A SINGLE GPO
- ▽ CEILING LIGHT
- ▽ WALL LIGHT
- ▽ REMOTE CONTROL
- ▽ RANGE HOOD POINT
- ▽ SINGLE WATERPROOF
- ▽ TWIN WATERPROOF
- ▽ DIMMER
- ▽ DIMMER SWITCH
- 2 WAY 2 WAY SWITCH
- ▽ SINGLE 40W FLUORO
- ▽ TWIN 40W FLUORO
- ▽ EXHAUST FAN
- ▽ SMOKE DETECTOR
- ▽ SPA PUMP
- ▽ CEILING FAN
- ▽ HOT WATER SYSTEM

Proposed Residence

For
Lot No.
Suburb
Council

Masterton Homes P/L
1008 Acacia Circuit,
WARRIEWOOD VALLEY
PITTWATER

General Notes

All ground lines are approximate. Figured Dimensions in preference to scale. Window sizes as shown - Nonhal. Copyright in and to these plans remains at all times with Masterton Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterton Homes Pty Ltd.

Project Details

Design: CUSTOM
Style : CUSTOM
Edition: SPACEMAKER

DRAWN BY:	C.R.	JOB No.	63290	DATE:	09-08-03
SHEET TITLE:	SERVICES			SHEET No.	8/8
SCALE:	1:100			FINAL PLAN	DATE:

LEGEND - PLUMBING

- ▽ VANTY TAP
- ▽ WALL TAP
- ▽ SHOWER TAP
- ▽ LAUNDRY TAP
- ▽ G.TAP
- ▽ GARDEN TAP
- ▽ FLOOR WASTE
- ▽ GAS POINT

This is the plan/spec referred to in Essential Certifier's Certificate.

Cert. No. 04/647

Officer B. HOLMES
Accreditation No. P0009

MASTERTON HOMES

MASTERTON HOMES PTY LTD
72 HEATHCOTE ROAD
MOOREBANK NSW 2170
TELEPHONE 02 9601 4066

COUNCIL COPY

landscape architectural services

R. L. Frew Landscape Architectural Services Pty. Ltd.

Robert Frew BLA AILA

23.3.03

PITTWATER COUNCIL
PO Box 882,
MONA VALE
NSW 1660

ATTENTION: **Juliemma McLoughlin,**
DEVELOPMENT OFFICER,
Pittwater Council

RE: LANDSCAPE COMPLIANCE CERTIFICATE

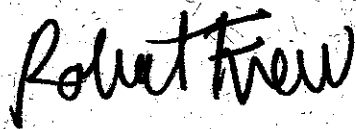
FOR

NEW SINGLE DWELLING,
6 Acacia Circuit,
WARRIEWOOD
D.A. # N0048/03

As a qualified Landscape Architect, I certify that the landscape plans for the above proposed development, Drawing No. LPDA 63287 / 98, comply with Pittwater Council's DCP # 29 "Warriewood Valley Urban Land Release", DCP #23 "Landscape & Vegetation Management & the approved Fernbrook Sanctuary Design Guidelines. Further they comply with the landscape conditions outlined in the Notice of Determination dated 3rd March 2003

If you have any questions, please call our office at your convenience.

Best regards,

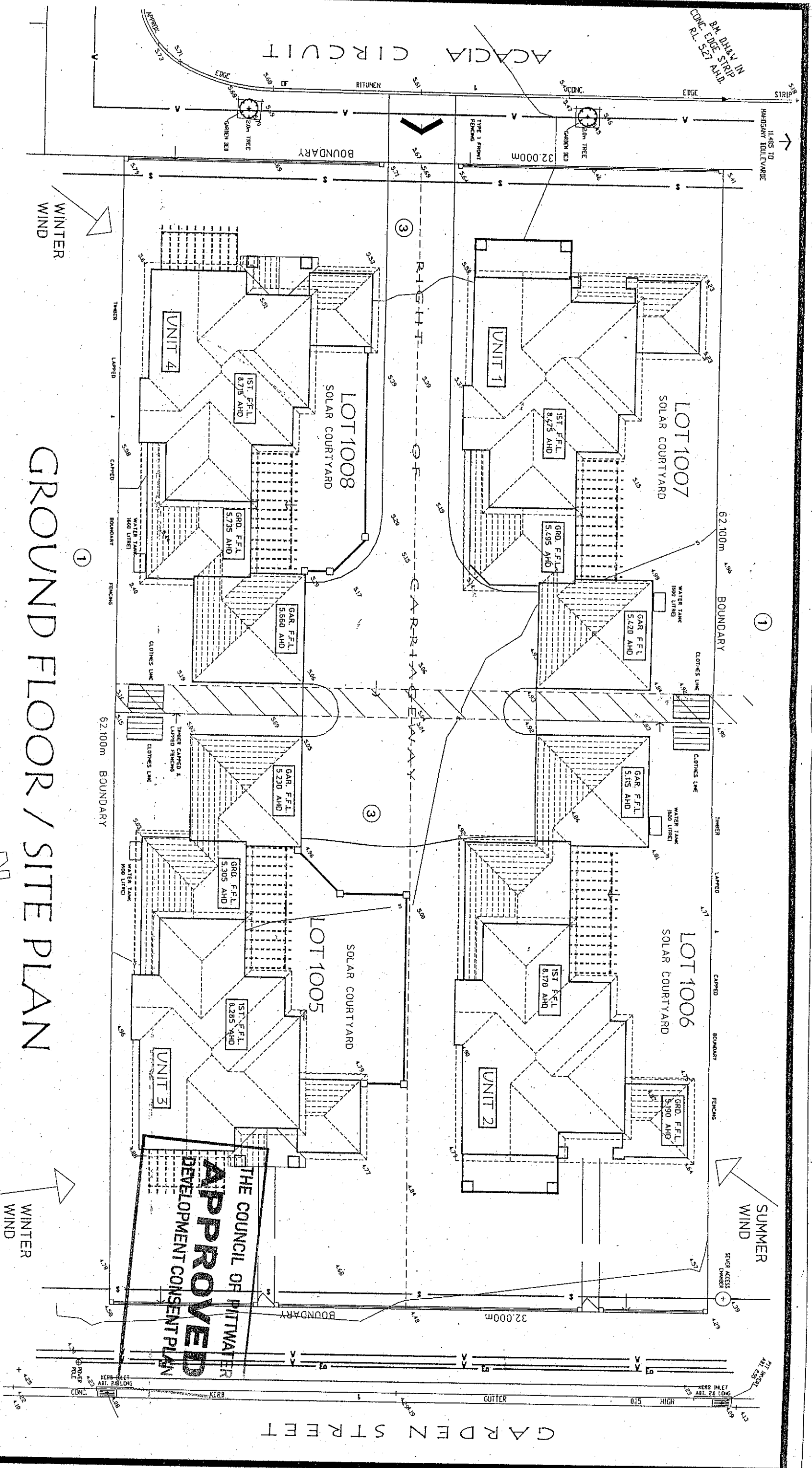


Robert Frew BLA AILA
Director.

Level 1 / 112 Glover St, Cremorne 2090 AUSTRALIA

ph: 9908 5698 fax: 9908 5798 mobile: 0413 861 35

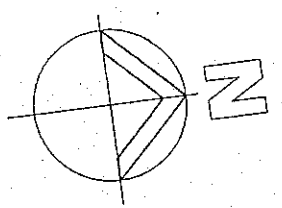
e-mail: r_frew@optusnet.com.au



- KEY**
- 1. PROPOSED DUPLEX
 - 2. VACANT LOT
 - 3. EXISTING TREES ON SITE (TO REMAIN)
 - 4. PROPOSED DRIVEWAY
 - 5. SECLUDED PRIVATE OPEN SPACE
 - 6. SHOPS
 - 7. FACTORY
 - 8. PUBLIC TRANSPORT

- KEY**
- CONTOURS
 - VEHICULAR SITE ENTRY
 - PREVAILING WINDS
 - NOISE
 - VIEWS

GROUND FLOOR / SITE PLAN



LOTS 1005-1008
DP

SITE ANALYSIS

For **MASTERTON HOMES P/L**

Number. 1005-1008 ACACIA CIRCUIT,
Suburb WARREWOOD VALLEY,
Council PITWATER.

Design **CUSTOM.**

General Notes

Copyright in and to these plans remains at all times with Masterton Homes Pty Ltd and these plans shall not be used or be permitted to be used for any other purpose other than for the erection of the home the subject of these plans by or on behalf of Masterton Homes Pty Ltd.

DATE: 21.10.2002

SCALE: 1 : 200

BY: 206 HMK/RS

CHK: 63034-1

STATE: NSW

PROJECT: 76 - HEALTHCOTE ROAD, MOOREBANK, NSW 2170

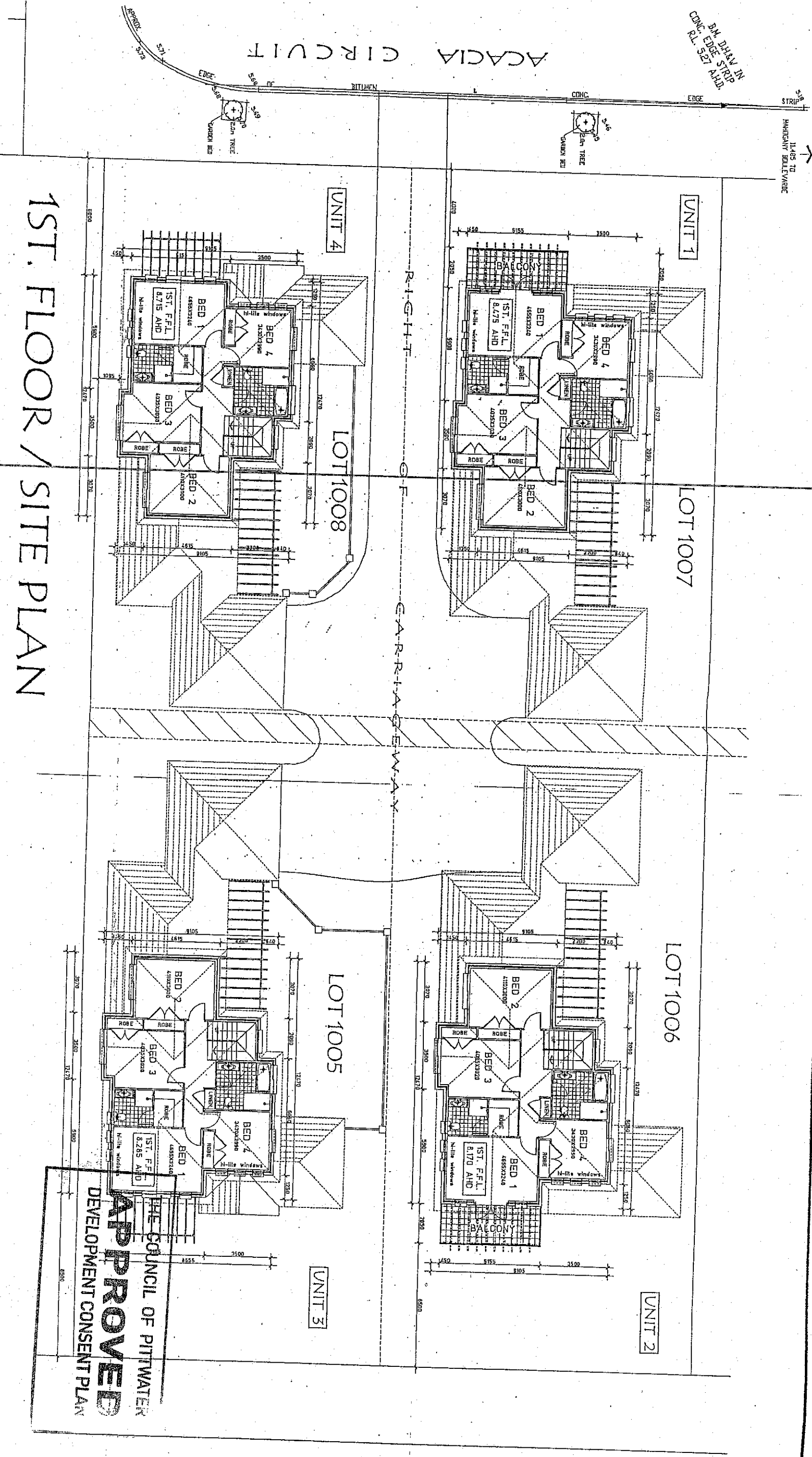
TELEPHONE 02 9501 4063

FAX 02 9501 4063

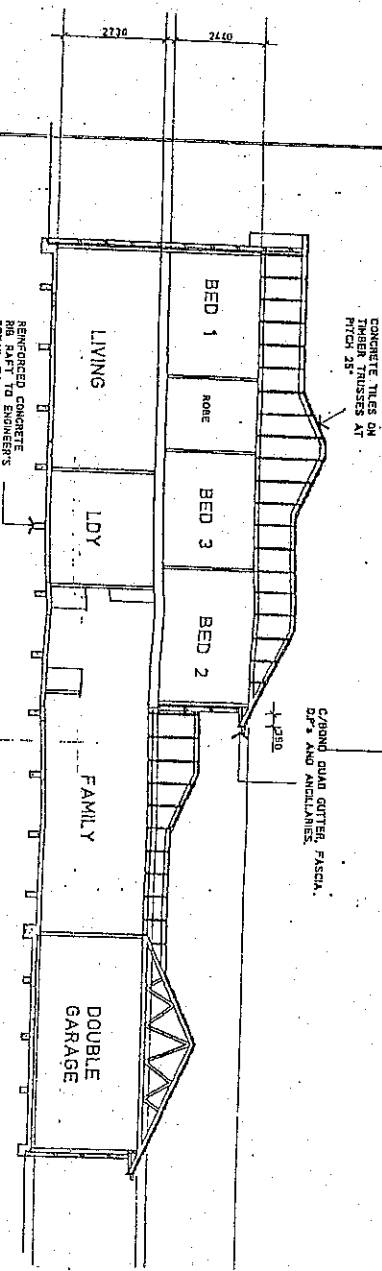
MASTERTON HOMES

MASTERTON HOMES PTY LTD
76 - HEALTHCOTE ROAD
MOOREBANK, NSW 2170
TELEPHONE 02 9501 4063
FAX 02 9501 4063

B.M. D.H.&W. IN.
COND. EDGE STRIP
RL. 5.27 A.H.D.

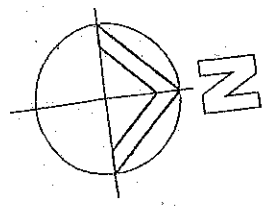


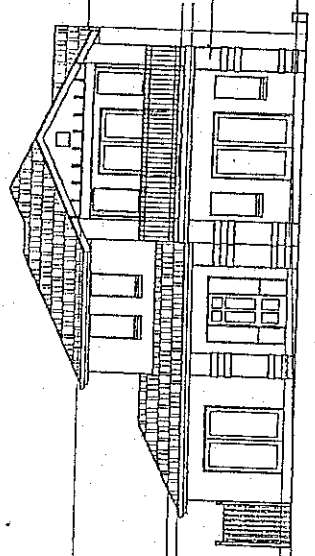
1ST. FLOOR / SITE PLAN



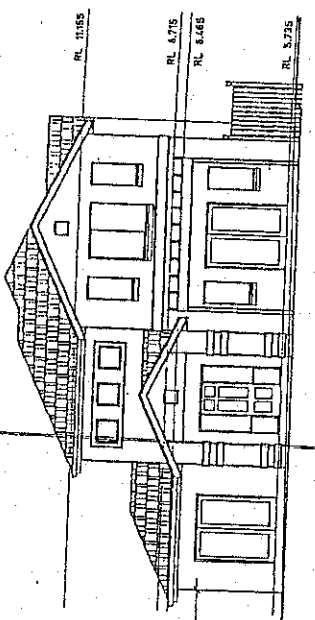
THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN

GARDEN STREET

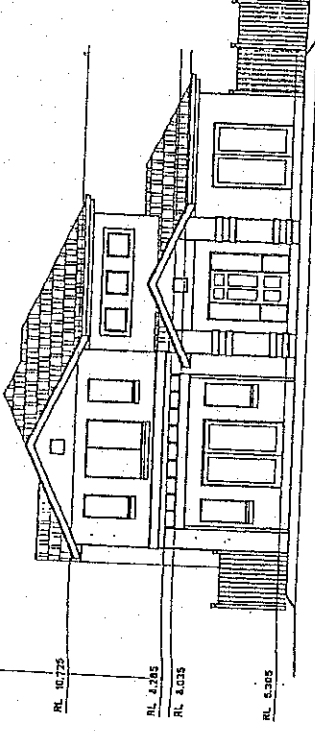




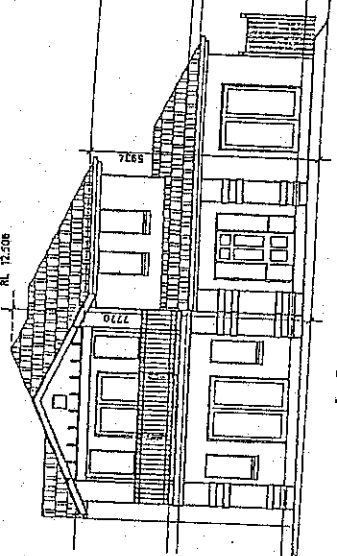
LOT 1007



LOT 1008

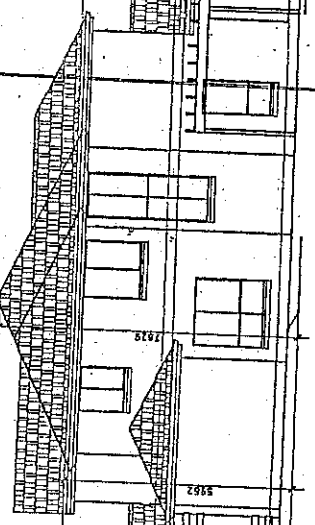


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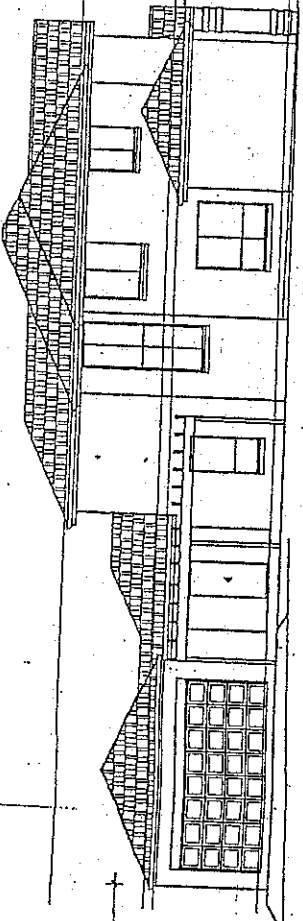


LOT 1006

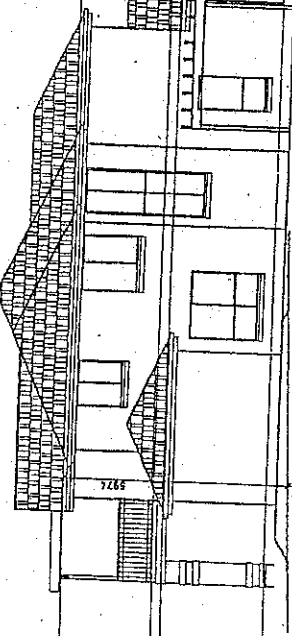
ACACIA CIRCUIT ELEVATION
GARDEN STREET ELEVATION



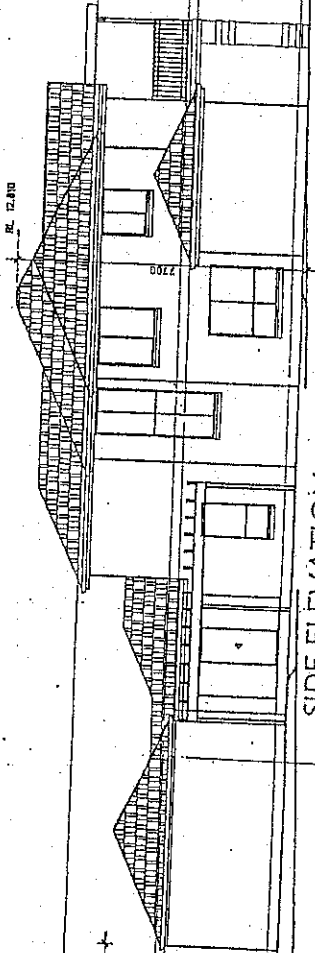
SIDE ELEVATION
LOT 1005



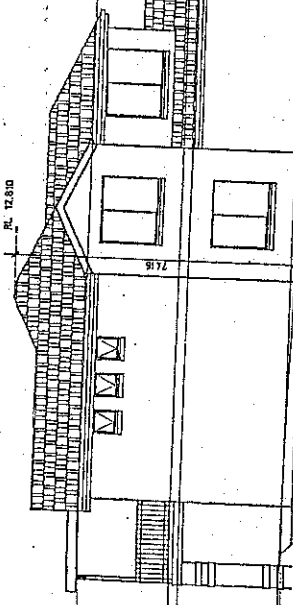
SIDE ELEVATION
LOT 1006



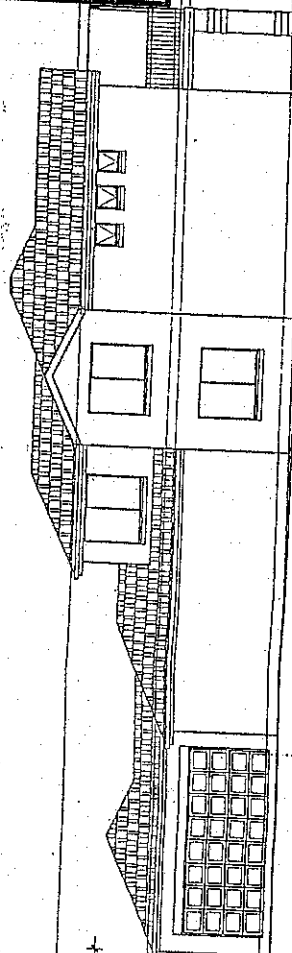
SIDE ELEVATION
LOT 1007



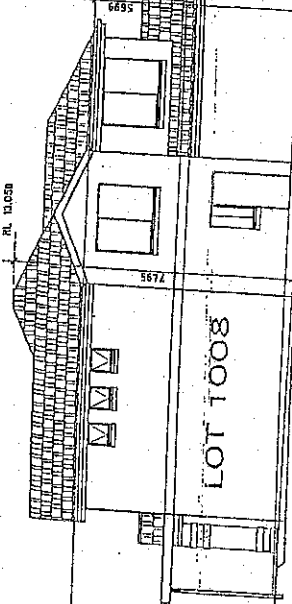
SIDE ELEVATION
LOT 1008



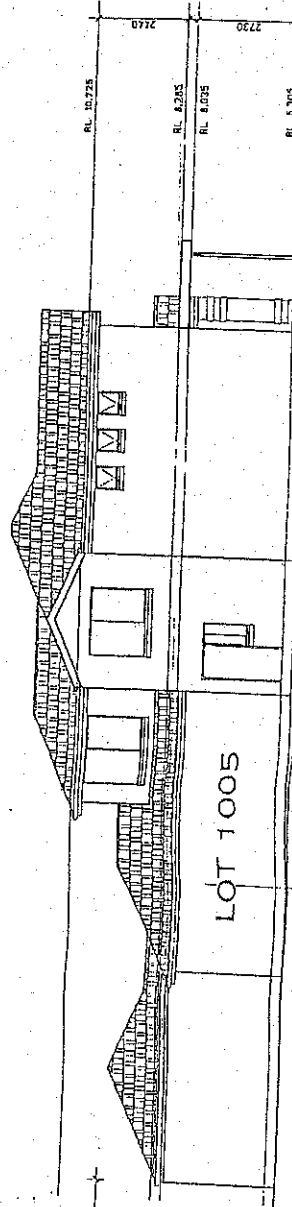
SIDE ELEVATION
LOT 1005



SIDE ELEVATION
LOT 1006



SIDE ELEVATION



SIDE ELEVATION

THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

DEVELOPMENT APPLICATION
For MASTERTON HOMES P/L
Number: 1005-1008 ACACIA CIRCUIT,
Suburb: WARREWOOD VALLEY
Council: PITTSBURGH
Design: CUSTOM

General Notes
1. All elevations are to be shown as per the approved development consent plan.
2. All elevations are to be shown as per the approved development consent plan.
3. All elevations are to be shown as per the approved development consent plan.

MASTERTON HOMES
MASTERTON HOMES PTY LTD
1005-1008 ACACIA CIRCUIT
WARREWOOD VALLEY
VIC 3000
AUSTRALIA
TEL: 03 9451 2000
FAX: 03 9451 2001

NOTE:

1. LEVELS SHOWN THIS + ARE BASED ON AUSTRALIAN HEIGHT DATUM
2. ORIGIN OF LINES - P.M. 25544 R.L. 8.89 A.H.D. LOCATED NEAR THE SOUTH EAST CORNER OF ORCHARD STREET & GARDEN STREET
3. CONTOURS ARE AT 0.5 METRE INTERVALS AND ARE APPROXIMATE ONLY. SPOT LEVELS SHOULD BE USED IN PREFERENCE TO CONTOUR VALUES
4. BASIC LEVEL AND DETAIL SURVEY ONLY - UNLESS OTHERWISE SHOWN, THE POSITION OF IMPROVEMENTS ARE APPROXIMATE
5. FEATURES & LEVELS CRITICAL TO DESIGN SHOULD BE LOCATED BY A MORE ACQUAINT SURVEY
6. ALL SET OUT WITH REGARD TO LEVELS SHOULD BE REFERRED TO THE BENCH MARK
7. OTHER THAN SEWER & WATER, NO SERVICES SEARCH HAS BEEN CARRIED OUT FOR THIS SURVEY
8. ORIGIN OF THE NORTH POINT IS THE M.C.A. CO-ORDINATES OF P.M. 25544 & S.S. 43871
9. DIMENSIONS SHOWN ARE SUBJECT TO REGISTRATION BY LAND & PROPERTY INFORMATION N.S.W.

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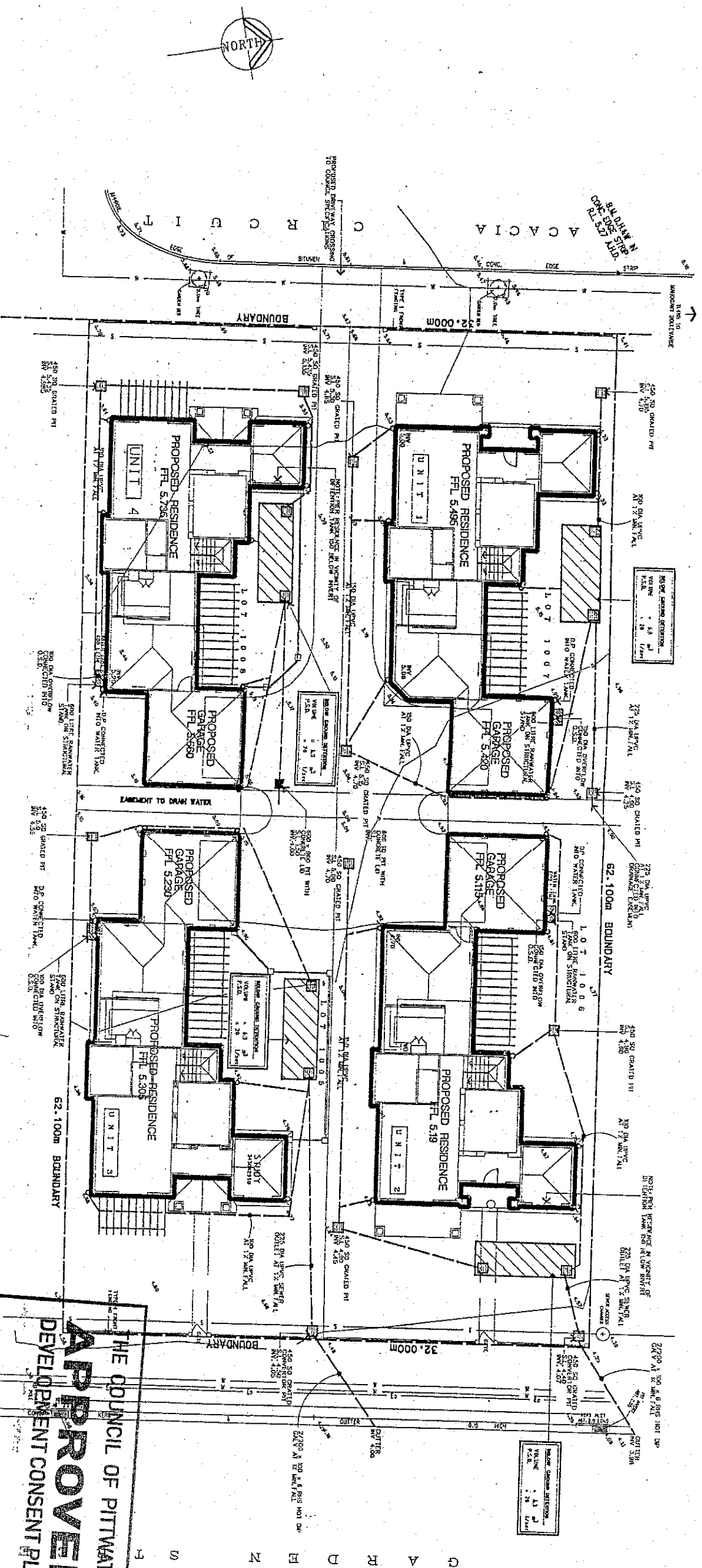
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DRAINAGE PLAN

SYMBOLS & NOTATIONS

- S10RMWATER LINES
- DOWNPIPE
- INV INVERT LEVEL (PIPE / PIT)
- NS NATURAL SURFACE LEVEL
- SL FINISHED SURFACE LEVEL
- FPL FINISHED PLATFORM LEVEL
- FTL FINISHED FLOOR LEVEL
- PROPOSED BOUNDARY
- SEWER
- 150 WIDE X 100 DEEP
- GRATED BOX DRAIN
- X— SELECTED SEDIMENT AND EROSION BARRIER

NOTES:

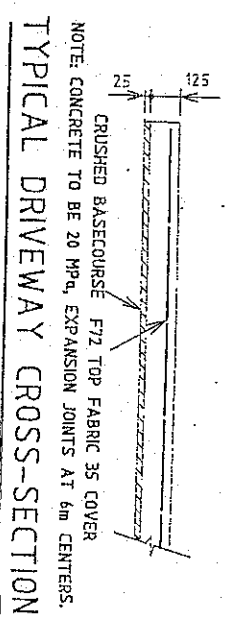
ALL STORMWATER PIPES TO BE 100 DIA UPVC AT 1% MIN GRADE UNLESS NOTED OTHERWISE.

ALL SURFACE RUN OFF TO BE DIRECTED TOWARDS SUMPS BY SITE REGRADE.

DEPTH AND LOCATION OF SERVICES TO BE ESTABLISHED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.

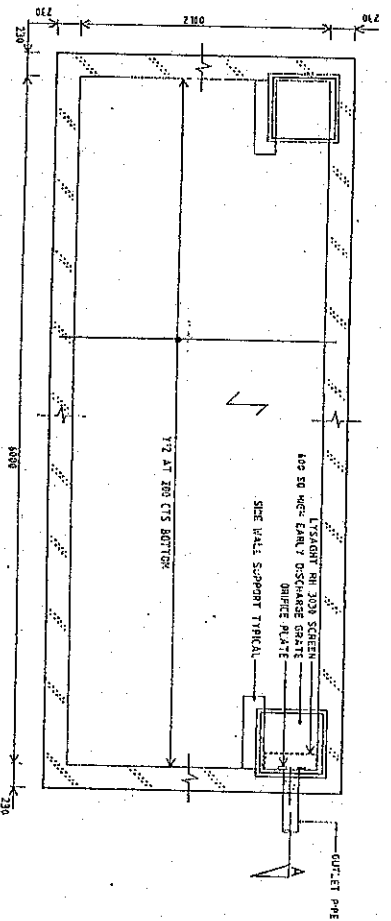
CONTOUR SUPPLIED BY OTHERS.

ALL STORMWATER PIPES IN TRAFFICABLE AREAS TO BE UPVC SEWER GRADE.



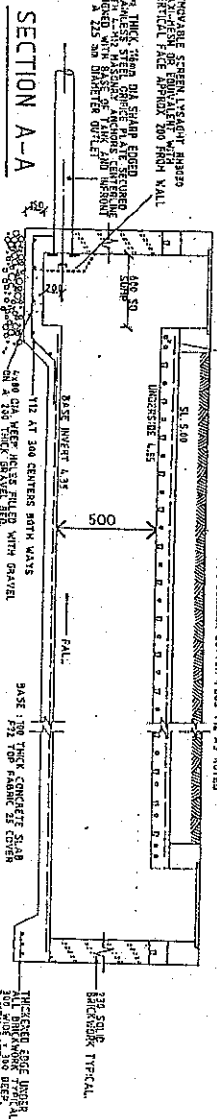
THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN

HYDRAULIC DETAIL PLAN			
CLIENT	MASTERTON HOMES P/L		
LOCATION	1005-1008 ACIA CIRCUIT, WARRIEWOOD VALLEY		
COUNCIL: PITWATER	SHEET No.	1	
SCALE	1:200	JOB No.	M9200
A ORIGINAL ISSUE	03/12/02		



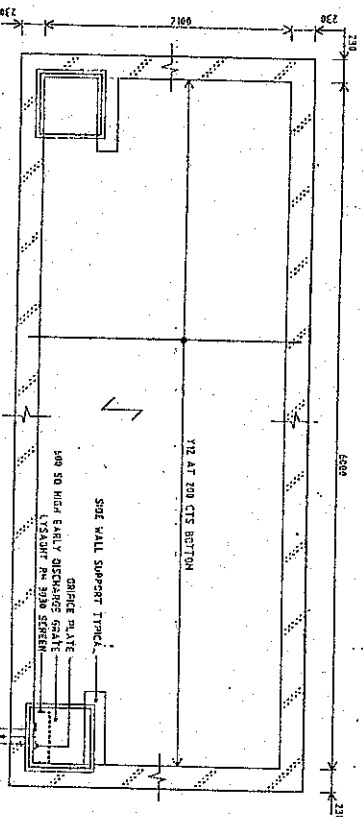
DETENTION TANK PLAN

NOTE: LARGEST TO BE PROVIDED AT
TO BASE OF EXISTING TANKS



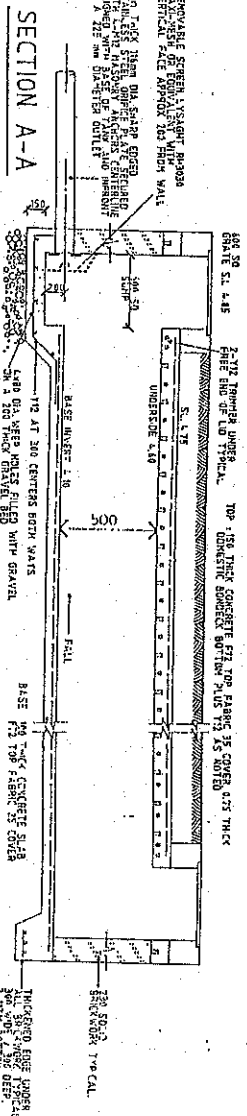
SECTION A-A

UNIT 1



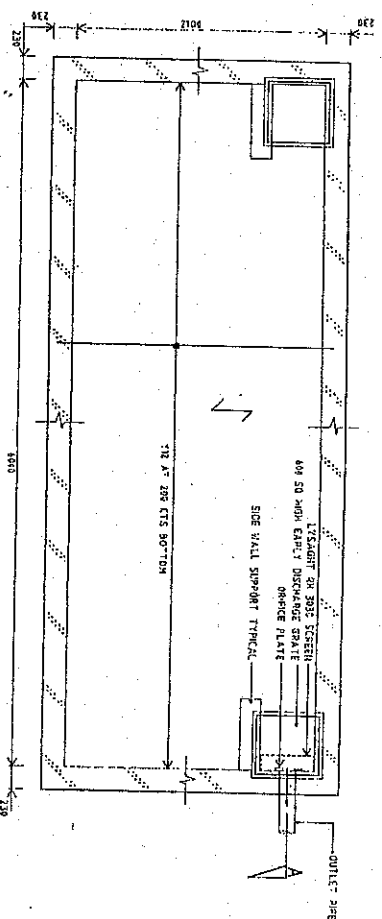
DETENTION TANK PLAN

NOTE: LARGEST TO BE PROVIDED AT
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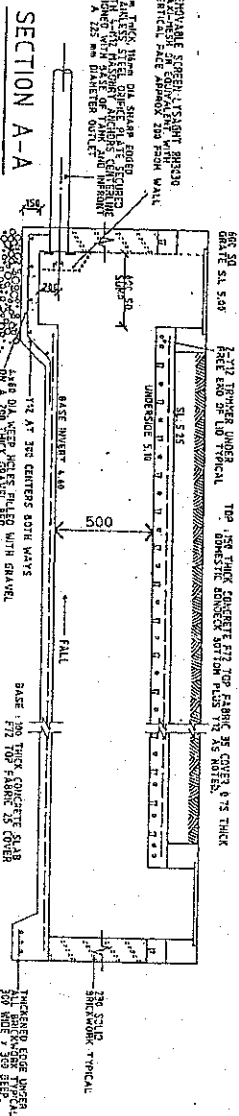
SECTION A-A

UNIT 2



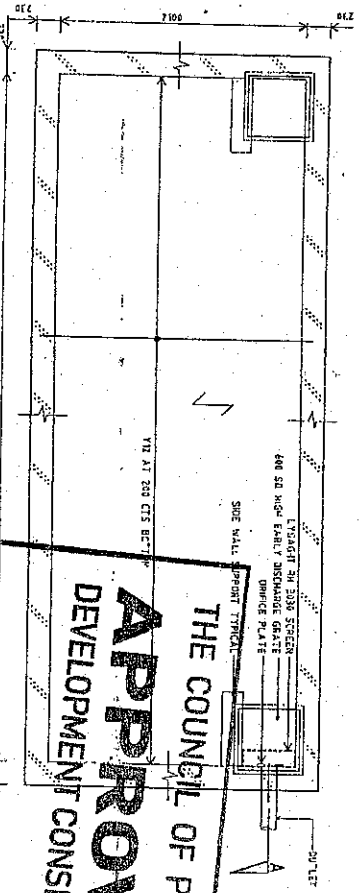
DETENTION TANK PLAN

NOTE: LARGEST TO BE PROVIDED AT
TO BASE OF EXISTING TANKS



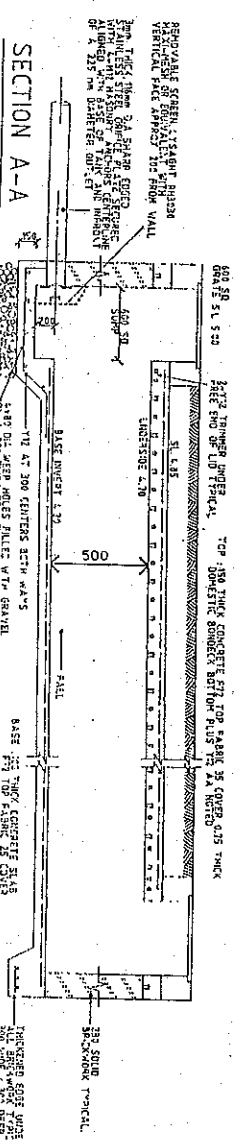
SECTION A-A

UNIT 3



DETENTION TANK PLAN

NOTE: LARGEST TO BE PROVIDED AT
TO BASE OF EXISTING TANKS



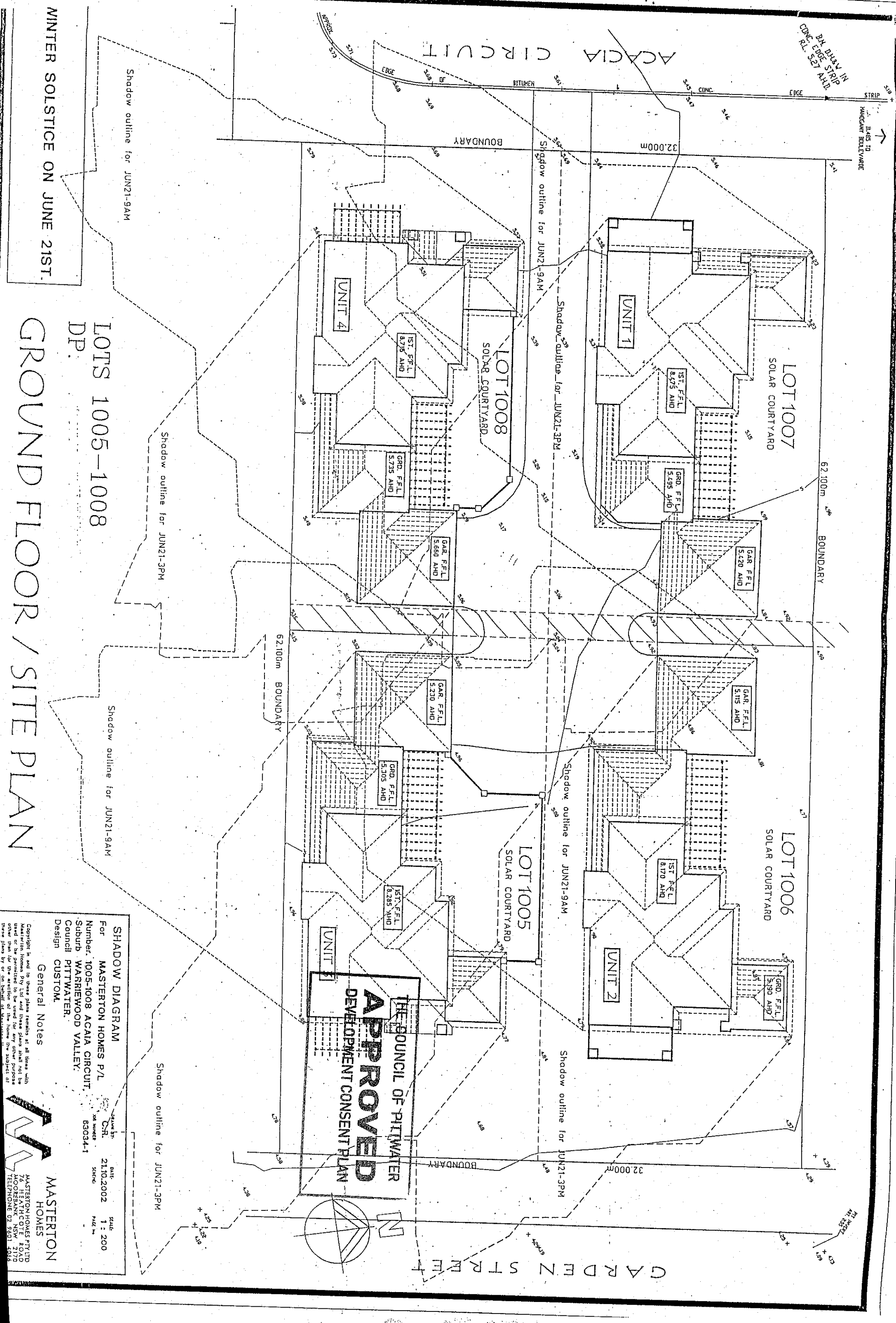
SECTION A-A

UNIT 4

THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN

HYDRAULIC DETAIL PLAN

CLIENT	WATER-ON HILLS P/L
LOCATION	1005-1008 A.C.A. CIRCUIT, WAREWOOD VALLEY
CONTRACT	COUNCIL PITWATER
SCALE	1:200
SHEET NO.	1
DATE	03/12/02



WINTER SOLSTICE ON JUNE 21ST.

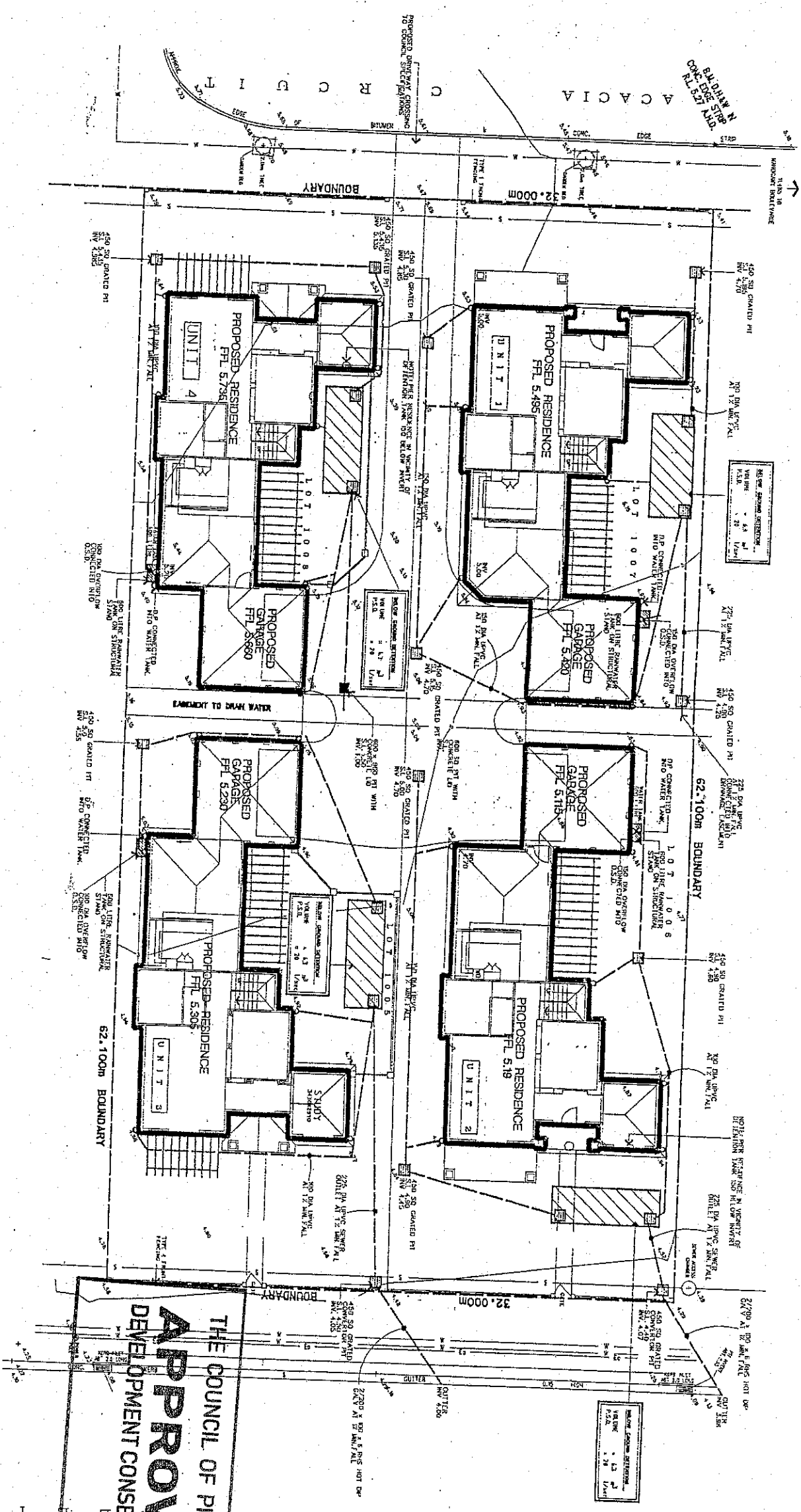
LOTS 1005-1008 DP. GROUND FLOOR / SITE PLAN

SHADOW DIAGRAM
For **MASTERTON HOMES P/L**
Number: 1005-1008 ACACIA CIRCUIT,
Suburb: WARREWOOD VALLEY,
Council: PITWATER.
Design: CUSTOM

General Notes
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DATE: 21.10.2002
SCALE: 1:200
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CHECKED BY: CR.
DATE: 21.10.2002
SCALE: 1:200
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CHECKED BY: CR.

THE COUNCIL OF PITWATER
APPROVED
DEVELOPMENT CONSENT PLAN



DRAINAGE PLAN

SYMBOLS & NOTATIONS

- STORMWATER LINES
- DOWNPIPE
- INV INVERT LEVEL (PIPE / PIT)
- NS NATURAL SURFACE LEVEL
- SL FINISHED SURFACE LEVEL
- FPL FINISHED PLATFORM LEVEL
- FPL FINISHED FLOOR LEVEL
- PROPOSED BOUNDARY
- SEWER
- 150 WIDE x 100 DEEP
- GRADED BOX DRAIN
- X— SELECTED SEDIMENT AND EROSION BARRIER

NOTES:

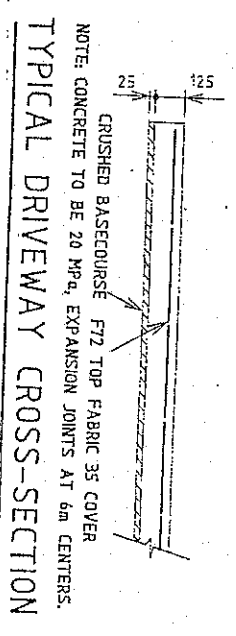
ALL STORMWATER PIPES TO BE 100 DIA UPVC AT 1% MIN GRADE UNLESS NOTED OTHERWISE.

ALL SURFACE RUN OFF TO BE DIRECTED TOWARDS SUMPS BY SITE REGRADE.

DEPTH AND LOCATION OF SERVICES TO BE ESTABLISHED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.

CONTOUR SUPPLIED BY OTHERS.

ALL STORMWATER PIPES IN TRAFFICABLE AREAS TO BE UPVC SEWER GRADE.



THE COUNCIL OF PITWATER
APPROVED
 DEVELOPMENT CONSENT PLAN

HYDRAULIC DETAIL PLAN			
CLIENT	MASTERTON HOMES P/L		
LOCATION	1005-1008 ACACIA CIRCUIT, WARRIEWOOD VALLEY		
COUNCIL	PITWATER	SHEET No.	1
SCALE	1:200	JOB No.	M9200
A ORIGINAL ISSUE			05/12/02

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