

DEVELOPMENT APPLICATION

ADDITION AND ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22-26 ADDISON ROAD, MANLY 2095



LOCATION MAP
NTS

DRAWING LIST

Sheet No.	Sheet Name	Size	Scale	Rev. No.	Rev. Date
DA_00	COVERSHEET	ISO A1	NTS	2	4/10/23
DA_01	EXISTING SITE ANALYSIS	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23
DA_02	PROPOSED SITE PLAN	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23
DA_10	EXISTING/DEMOLITION : LEVEL 02 & 01	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_11	LEVEL 02 & 01 PLAN	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_12	EXISTING/DEMOLITION : LEVEL 03 & 04	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_13	LEVEL 03 & 04 PLAN	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_14	EXISTING/DEMOLITION : LEVEL 05 & ROOF	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_15	LEVEL 05 & ROOF PLAN	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_20	FRONT & BACK ELEVATIONS	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_21	NORTH -EAST ELEVATION	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_22	SOUTH-WEST ELEVATION	ISO A1	1:100 @ A1 1:200 @ A3	2	4/10/23
DA_30	PARTIAL SECTION + VIEWS/ MATERIAL PALLETE	ISO A1	AS NOTED	2	4/10/23
DA_31	SHADOW ANALYSIS	ISO A1	AS NOTED	2	4/10/23
DA_40	STORMWATER MANAGEMENT PLAN	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23
DA_50	LANDSCAPE PLAN	ISO A1	1:200 @ A1 1:400 @ A3	2	4/10/23

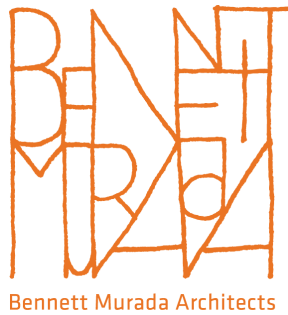
NOTES

THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY			
BAL 01,02,...	BALUSTRADE		EXISTING WALLS
CT	CERAMIC TILES		EXISTING (NO WORKS)
EXG	EXISTING		PROPOSED WORKS
FNC 1,2,3...	FENCE		DEMOLISHED
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3....	SCREEN		



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
COVERSHEET

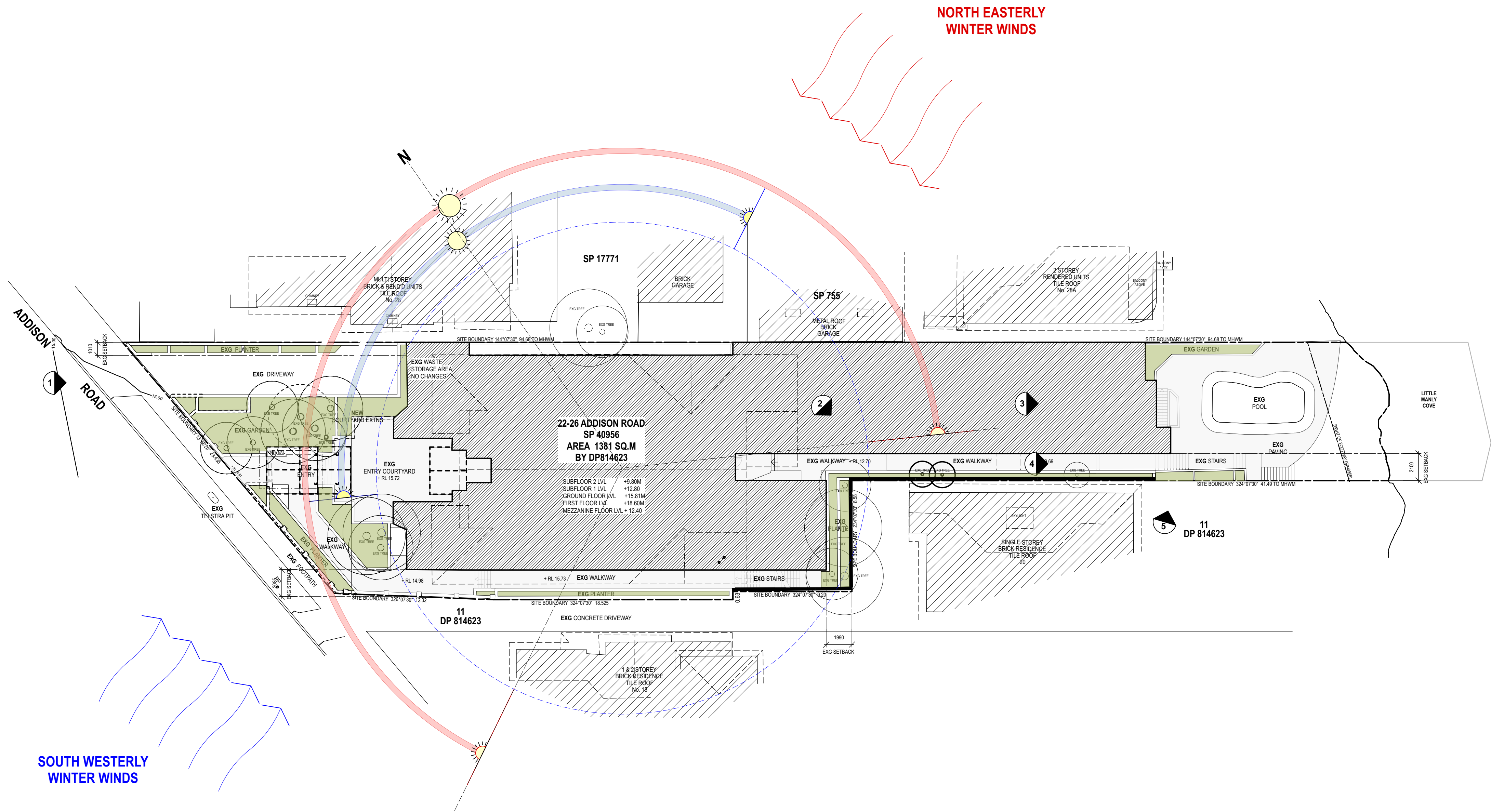
Job Number:
2149

Scale:
NTS

Plot Date:
5/10/23

Drawing Status: DA	Drawn By: RY
Drawing No: DA_00	Revision: 2

nominated architect: Dominic Bennett 7365 (NSW)



VIEW 1 - 22-26 ADDISON ROAD MANLY



VIEW 2 - SOUTH TO HARBOUR



VIEW 3 - SOUTH EAST TO HARBOUR



VIEW 4 - SOUTHERN WALKWAY



VIEW 5 - NORTH EAST TO LITTLE MANLY BEACH



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02...	BALUSTRADE	EXISTING WALLS
CT	CERAMIC TILES	
EXG	EXISTING	EXISTING (NO WORKS)
FNC 1,2,3...	FENCE	
MHWM	MEAN HIGH WATER MARK	PROPOSED WORKS
SCN 1,2,3....	SCREEN	DEMOLISHED



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

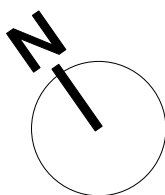
Client:
STRATA PLAN No.40956

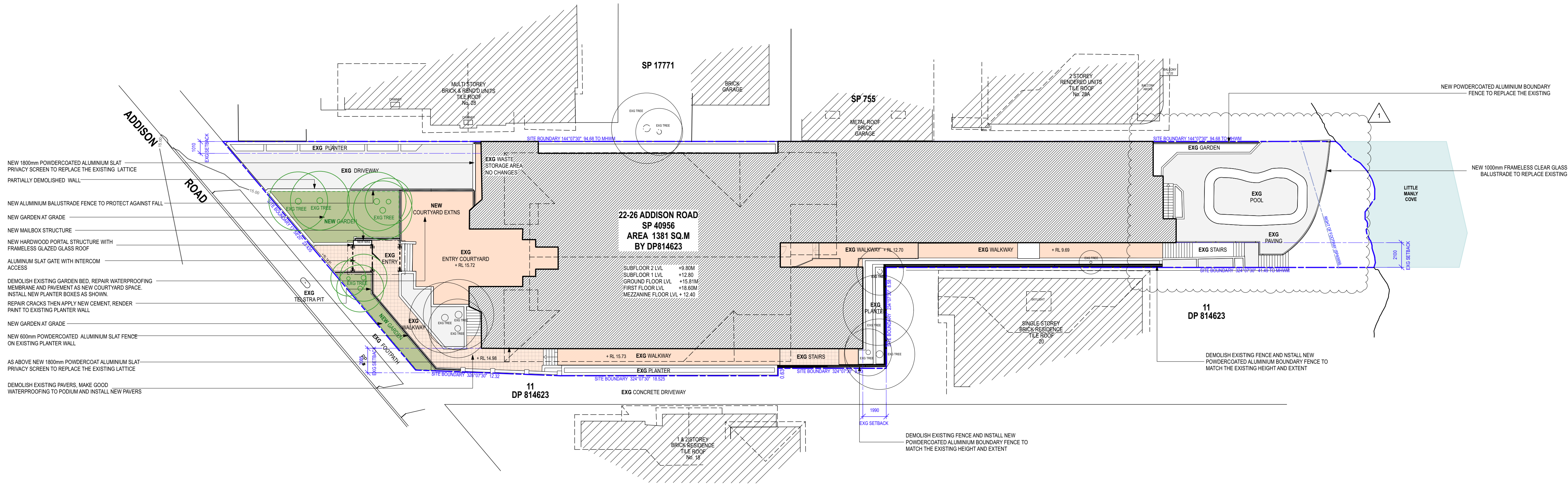
Drawing Name:
EXISTING SITE ANALYSIS

Job Number:
2149
Scale:
1:200 @ A1 1:400 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_01
Drawn By:
RY
Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)





NEW 1800mm POWDERCOATED ALUMINIUM SLAT PRIVACY SCREEN TO REPLACE THE EXISTING LATTICE PARTIALLY DEMOLISHED WALL

NEW ALUMINIUM BALUSTRADE FENCE TO PROTECT AGAINST FALL

NEW GARDEN AT GRADE

NEW MAILBOX STRUCTURE

NEW HARDWOOD PORTAL STRUCTURE WITH FRAMELESS GLAZED GLASS ROOF

ALUMINIUM SLAT GATE WITH INTERCOM ACCESS

DEMOLISH EXISTING GARDEN BED, REPAIR WATERPROOFING MEMBRANE AND PAVEMENT AS NEW COURTYARD SPACE. INSTALL NEW PLANTER BOXES AS SHOWN.

REPAIR CRACKS THEN APPLY NEW CEMENT, RENDER PAINT TO EXISTING PLANTER WALL

NEW GARDEN AT GRADE

NEW 800mm POWDERCOATED ALUMINIUM SLAT FENCE ON EXISTING PLANTER WALL

AS ABOVE NEW 1800mm POWDERCOAT ALUMINIUM SLAT PRIVACY SCREEN TO REPLACE THE EXISTING LATTICE

DEMOLISH EXISTING PAVERS, MAKE GOOD WATERPROOFING TO PODIUM AND INSTALL NEW PAVERS

SCHEDULE OF AMENDMENTS



CLARIFICATION OF DEMOLITION WORKS TO EXISTING POOL. LIMITED TO FENCING & BALUSTRADES.



PROPOSED REAR BALCONY BALUSTRADE HEIGHT CLARIFICATION



NOTES

THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
2	4/10/23	RY	DA ISSUE
3	15/2/24	SC	COUNCIL RFI

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHHM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Project:
**ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095**

Client:
STRATA PLAN No.40956

Drawing Name:
PROPOSED SITE PLAN

Job Number:
2149

Scale:
1:200 @ A1 1:400 @ A3

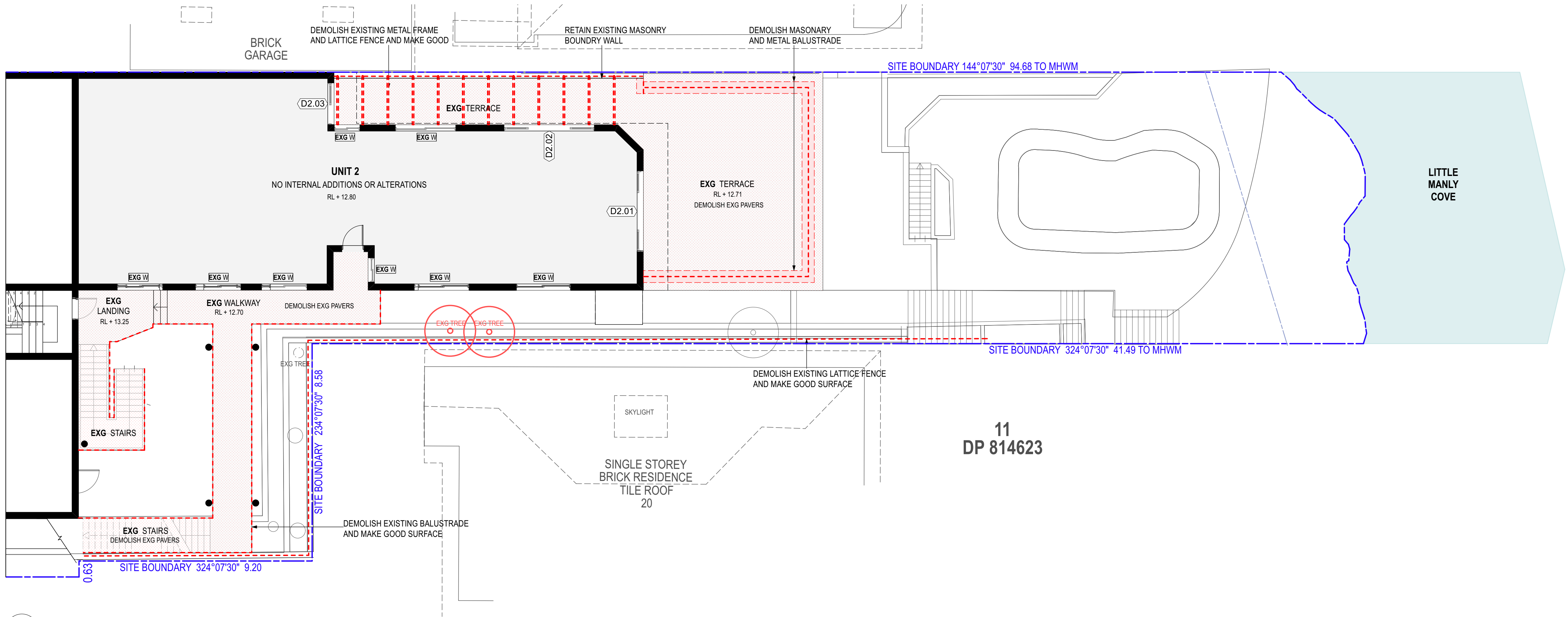
Plot Date:
15/2/24

Drawing Status:
DA

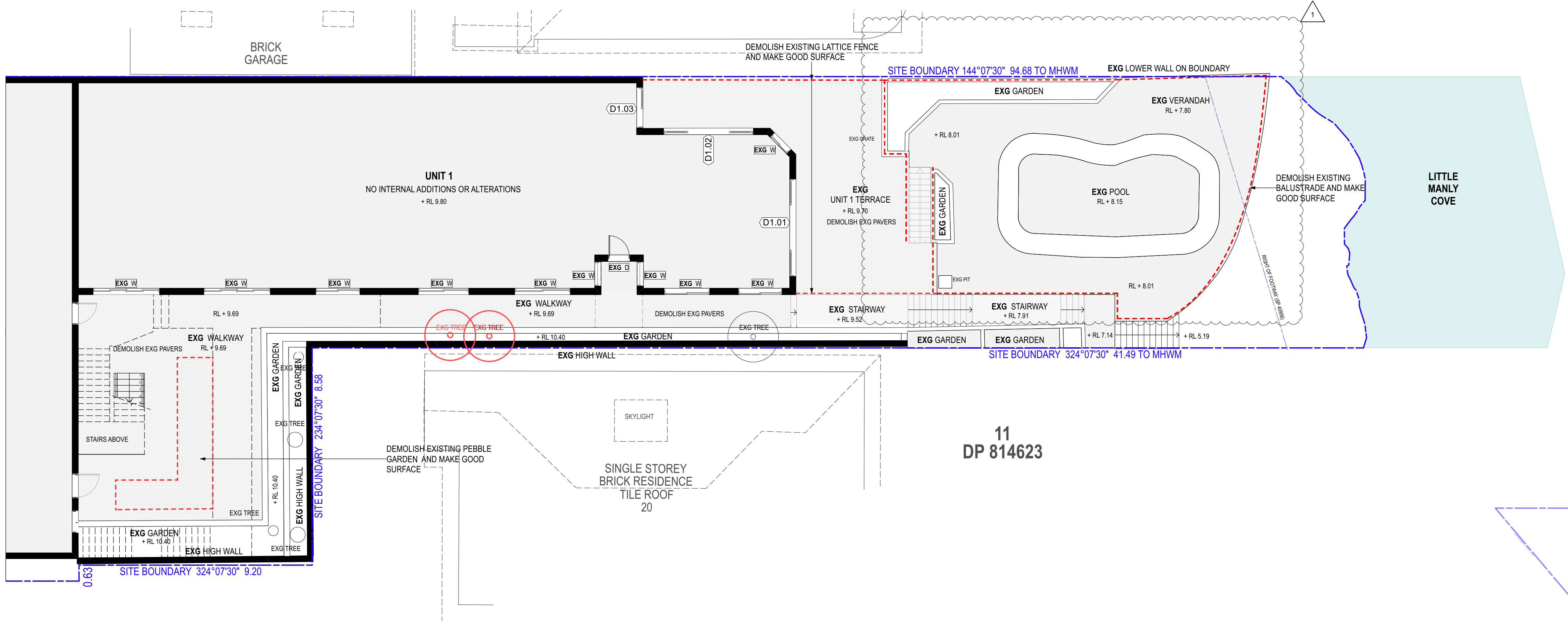
Drawing No:
DA_02

Drawn By:
RY

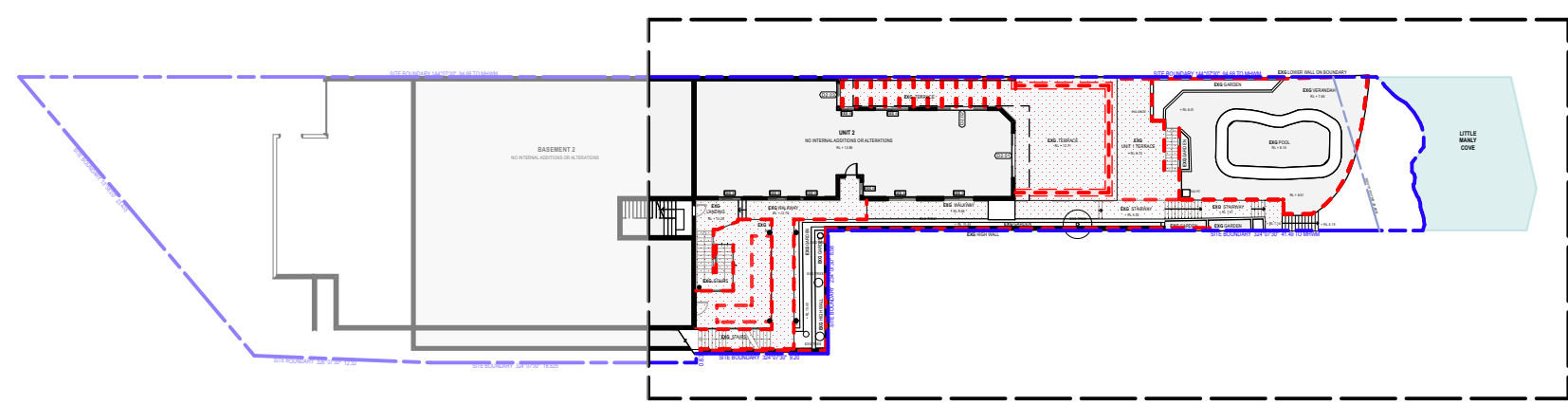
Revision:
3



2 FLOOR PLAN - LEVEL 02
Scale: 1:100



1 FLOOR PLAN - LEVEL 01
Scale: 1:100



3 KEYPLAN
Scale: 1:500

NOTES

THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
2	4/10/23	RY	DA ISSUE
3	15/2/24	SC	COUNCIL RFI

LEGEND / KEY	
BAL 01,02...	BALUSTRADE
CT	CERAMIC TILES
EXG	EXISTING
FNC 1,2,3...	FENCE
MHWM	MEAN HIGH WATER MARK
SCN 1,2,3...	SCREEN
EXISTING WALLS	
EXISTING (NO WORKS)	
PROPOSED WORKS	
DEMOLISHED	



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
EXISTING/DEMOLITION : LEVEL 02 & 01

Job Number:
2149

Scale:
1:100 @ A1 1:200 @ A3

Plot Date:
15/2/24

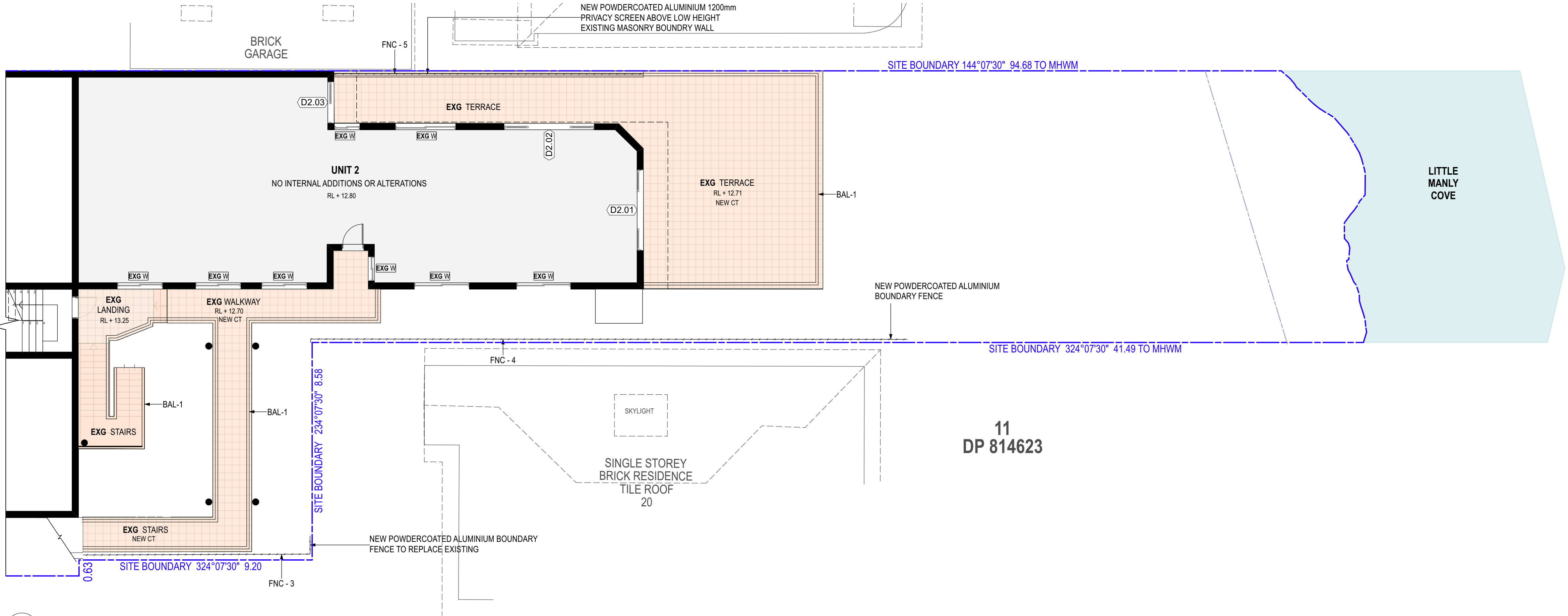
Drawing Status:
DA

Drawing No:
DA_10

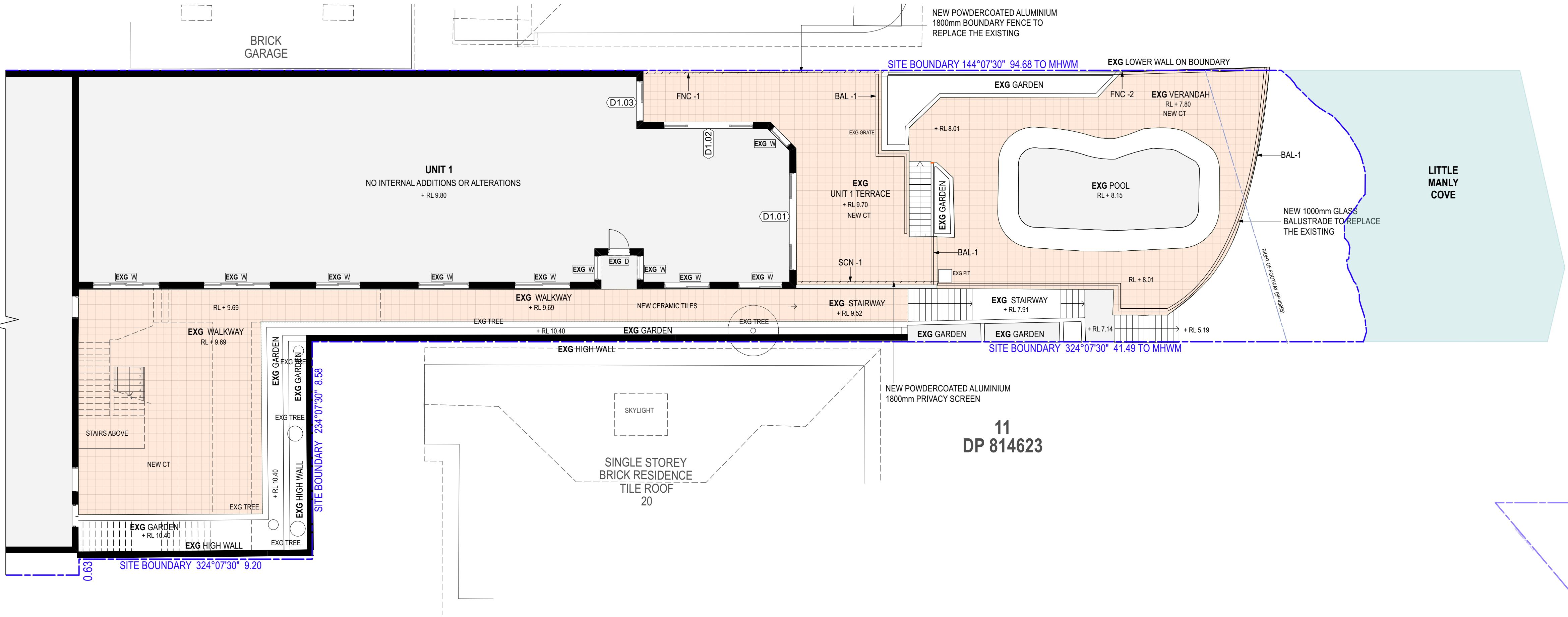
Drawn By:
RY

Revision:
3

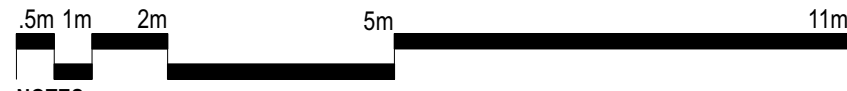
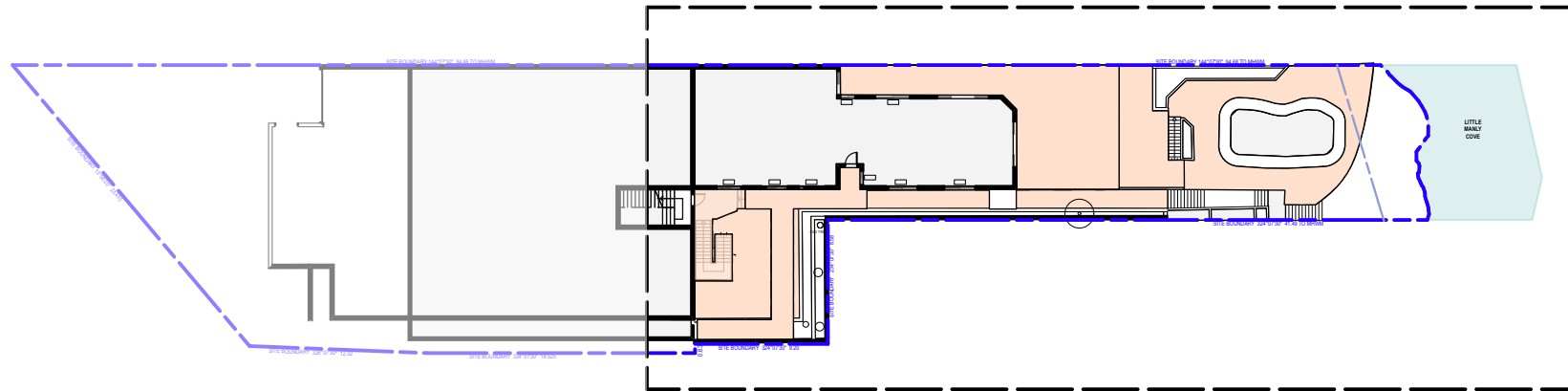
nominated architect: Dominic Bennett (NSW)



2 FLOOR PLAN - LEVEL 02
Scale: 1:100



1 FLOOR PLAN - LEVEL 01
Scale: 1:100



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

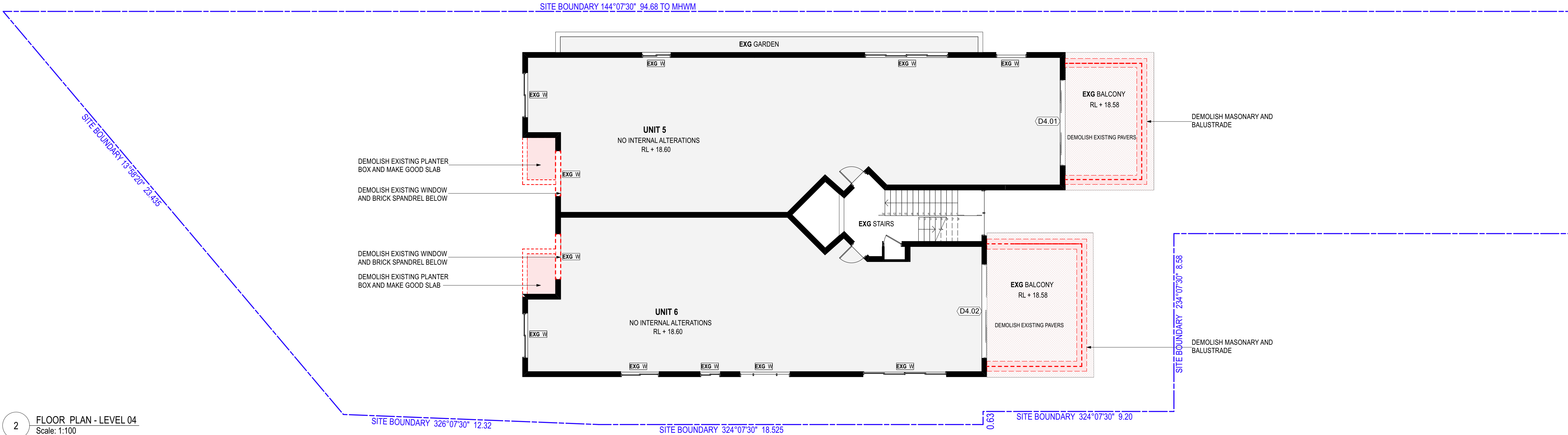
BAL 01,02...	BALUSTRADE	EXISTING WALLS
CT	CERAMIC TILES	EXISTING (NO WORKS)
EXG	EXISTING	PROPOSED WORKS
FNC 1,2,3...	FENCE	DEMOLISHED
MHWM	MEAN HIGH WATER MARK	
SCN 1,2,3...	SCREEN	



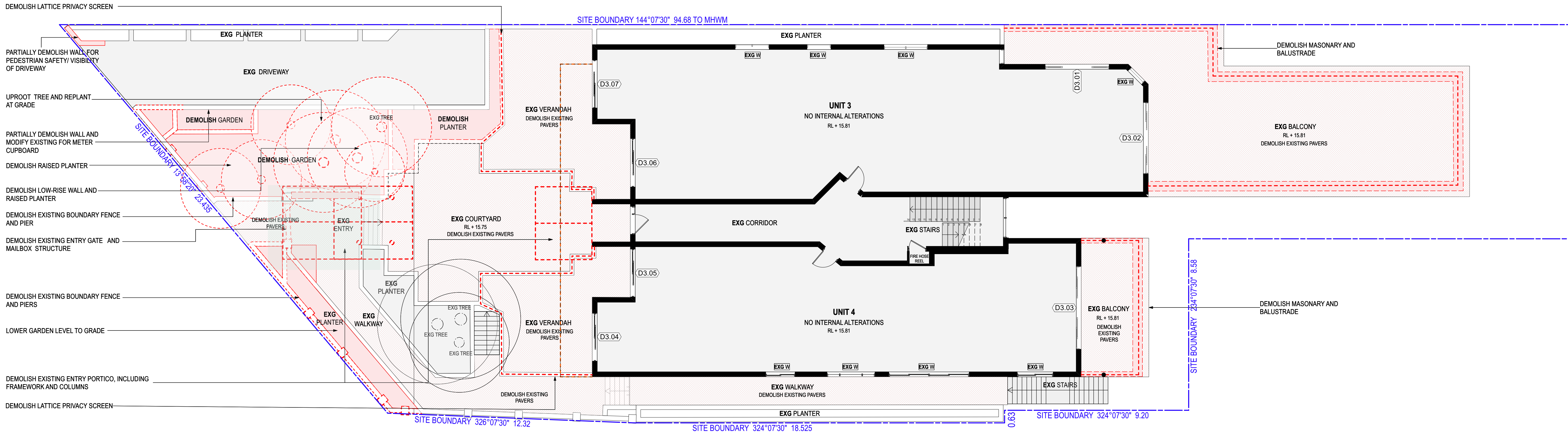
Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095
Client:
STRATA PLAN No.40956
Drawing Name:
LEVEL 02 & 01 PLAN

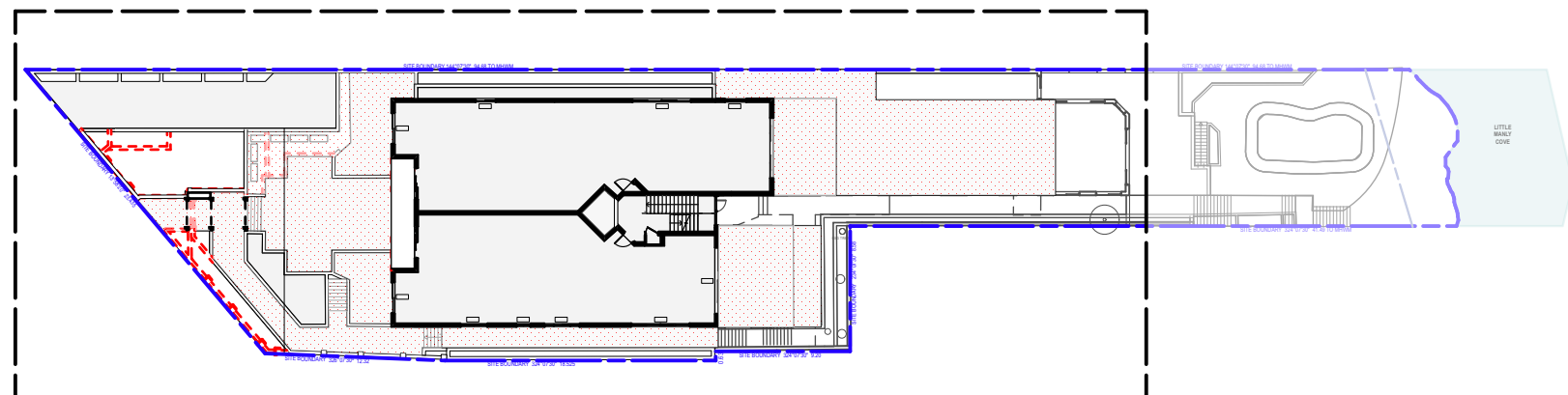
Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23
Drawing Status:
DA
Drawing No:
DA_11
Drawn By:
RY
Revision:
2
nominated architect: Dominic Bennett 7365 (NSW)



2 FLOOR PLAN - LEVEL 04
Scale: 1:100



1 FLOOR PLAN - LEVEL 03
Scale: 1:100



3 KEYPLAN
Scale: 1:500



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	18/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHHM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

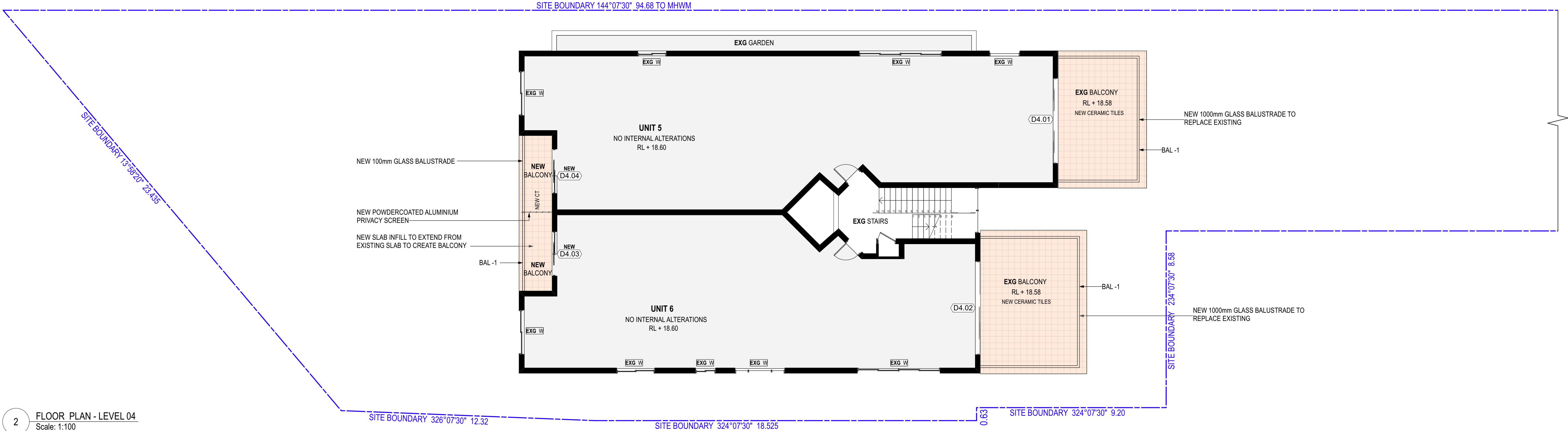
Drawing Name:
EXISTING/DEMOLITION : LEVEL 03 & 04

Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

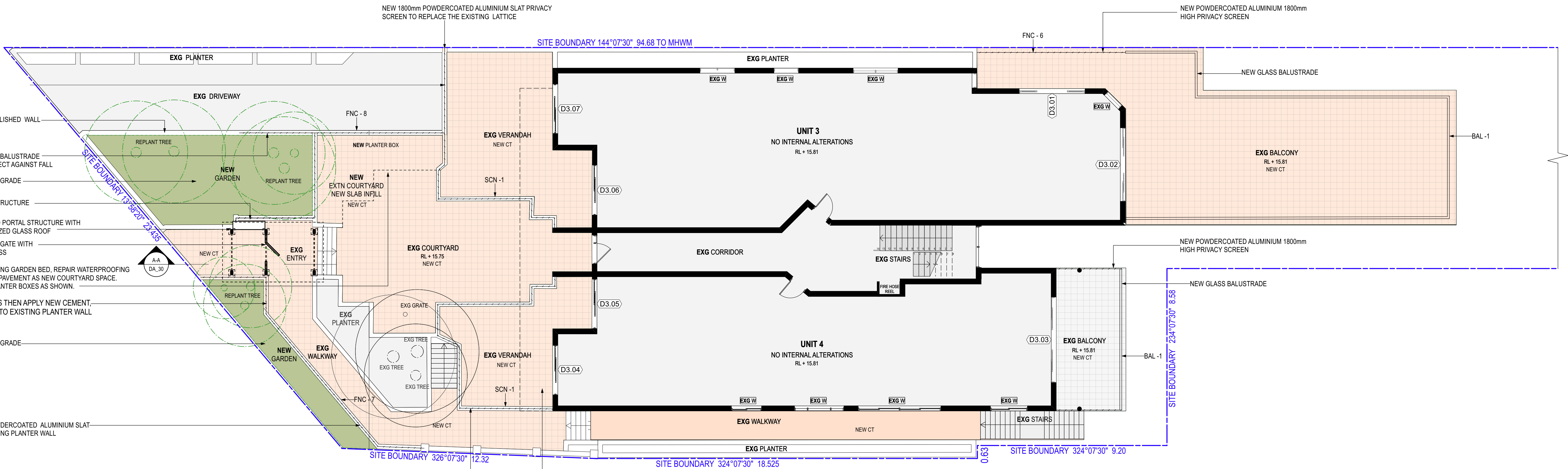
Drawing Status:
DA
Drawing No:
DA_12

Drawn By:
RY
Revision:
2

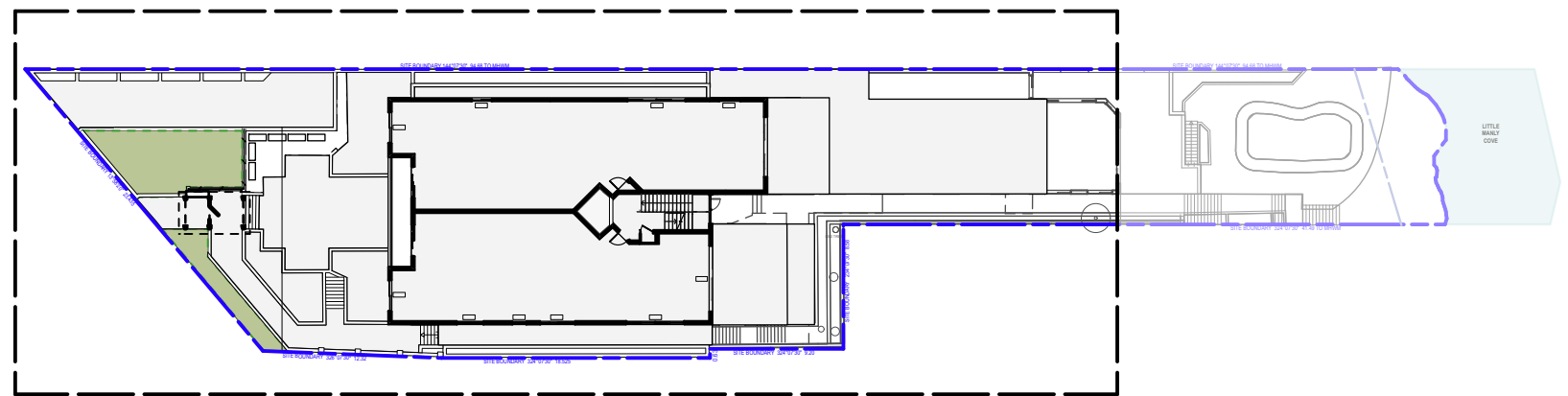
nominated architect: Dominic Bennett 7365 (NSW)



2 FLOOR PLAN - LEVEL 04
Scale: 1:100



1 FLOOR PLAN - LEVEL 03
Scale: 1:100



7 KEYPLAN
Scale: 1:500



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHHM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

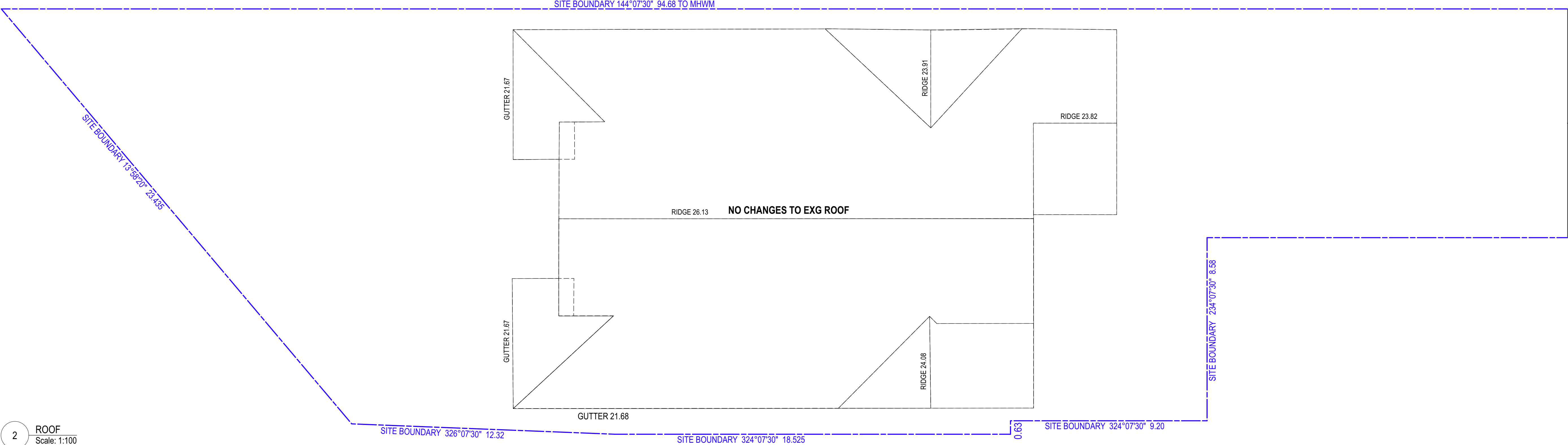
Client:
STRATA PLAN No.40956

Drawing Name:
LEVEL 03 & 04 PLAN

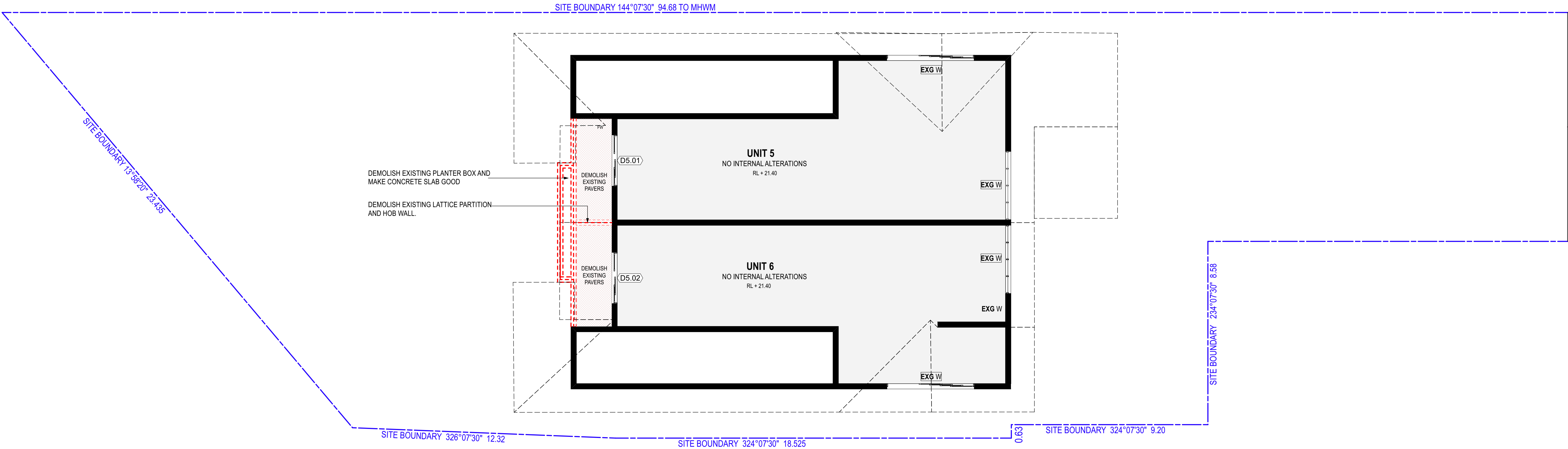
Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA_13
Revision:
2

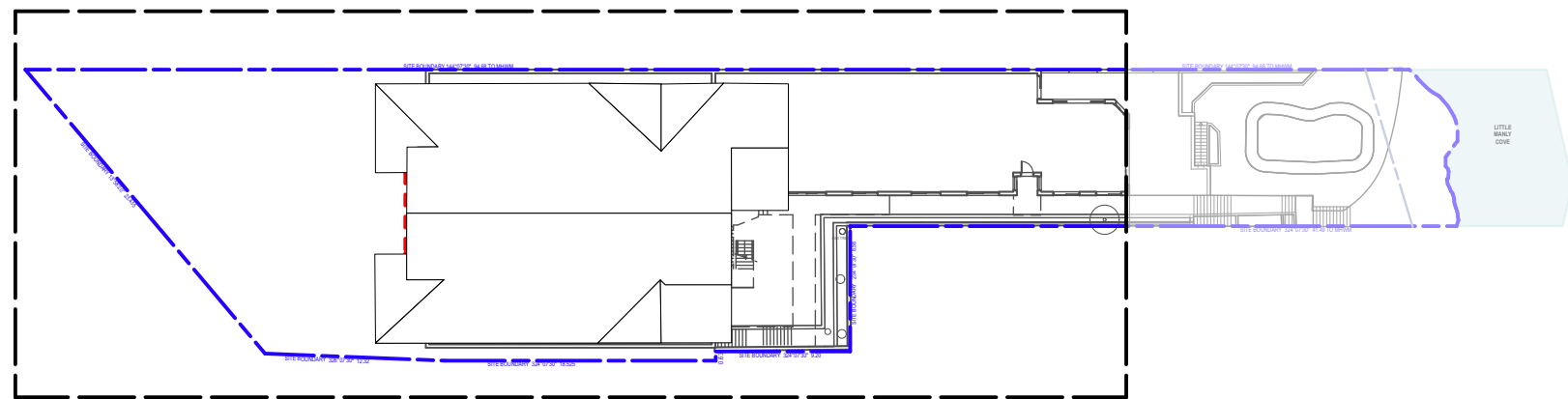
Drawn By:
RY
Revision:
2
nominated architect: Dominic Bennett 7365 (NSW)



2 ROOF
Scale: 1:100



1 FLOOR PLAN - LEVEL 05
Scale: 1:100



3 KEYPLAN
Scale: 1:500



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHW
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

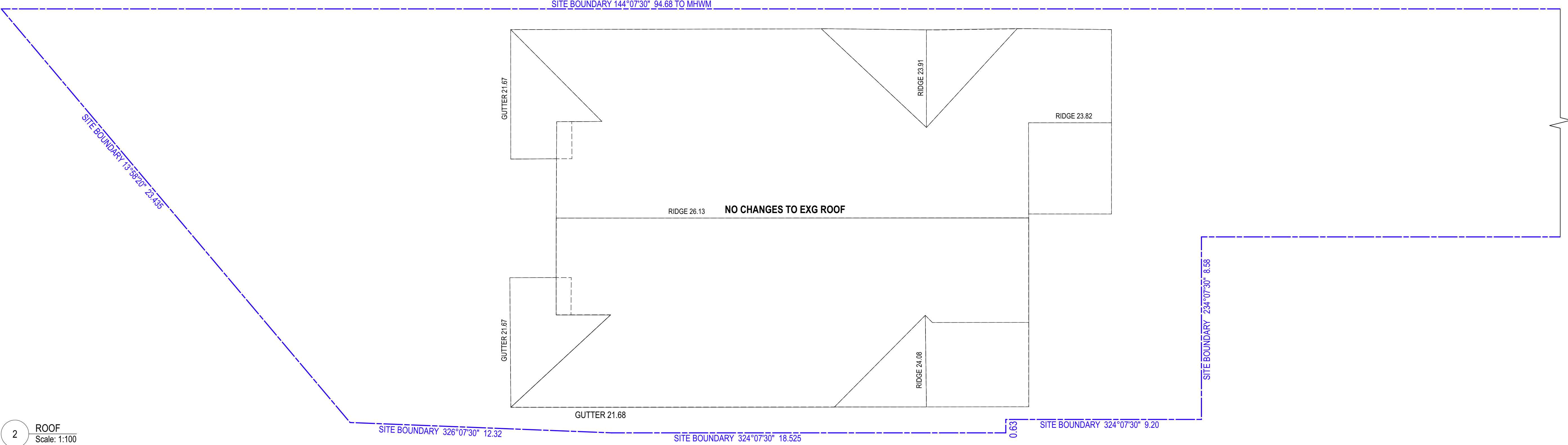
Drawing Name:
EXISTING/DEMOLITION : LEVEL 05 & ROOF

Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

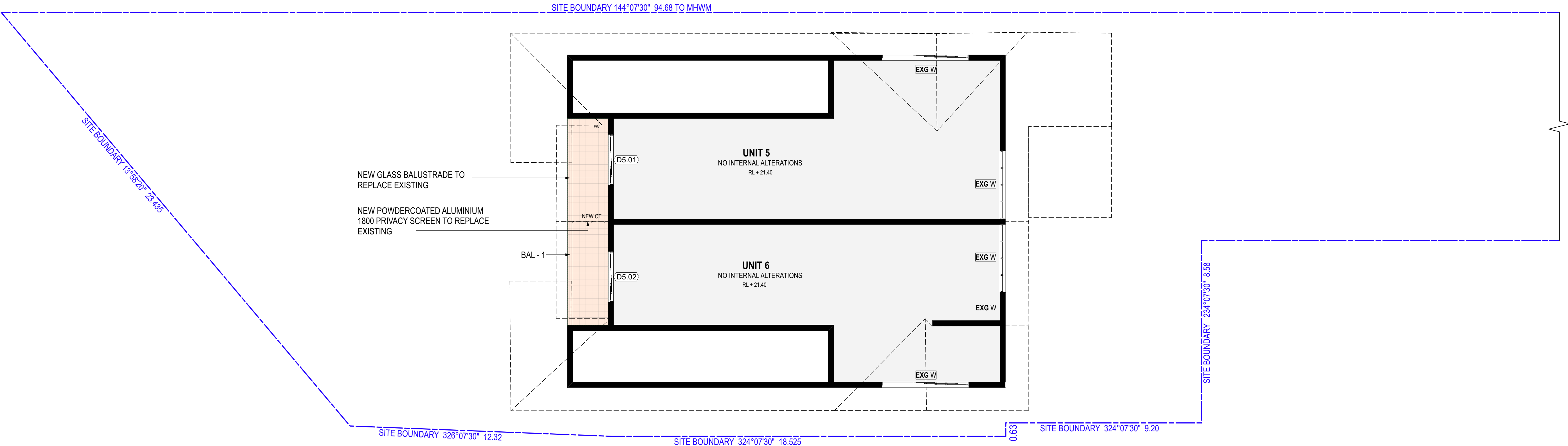
Drawing Status:
DA
Drawing No:
DA_14

Drawn By:
RY
Revision:
2

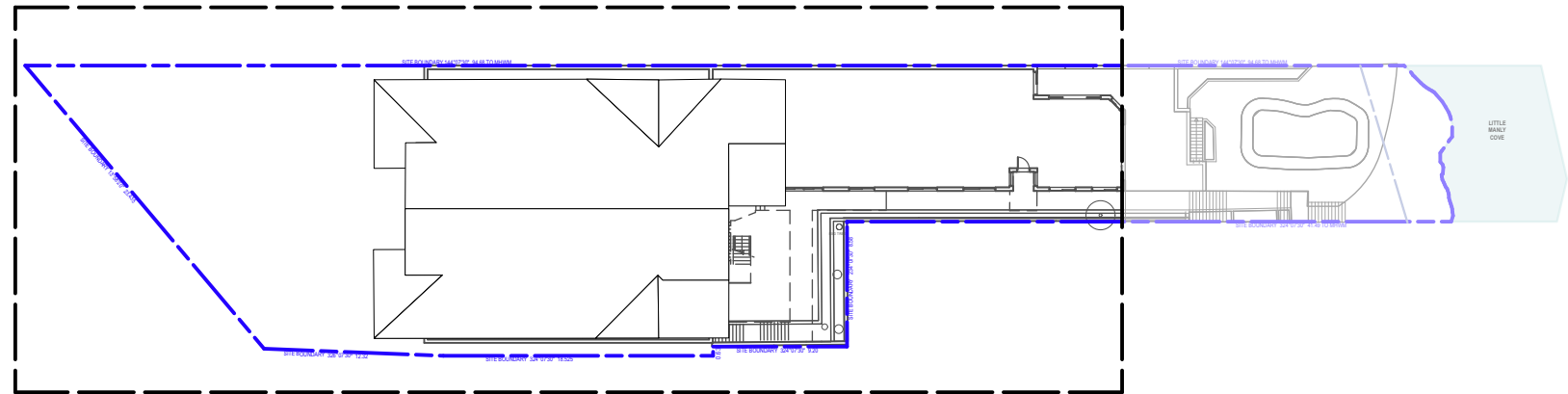
nominated architect: Dominic Bennett 7365 (NSW)



2 ROOF
Scale: 1:100



1 FLOOR PLAN -LEVEL 05
Scale: 1:100



7 KEYPLAN
Scale: 1:500



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY			
BAL 01,02,...	BALUSTRADE	EXISTING WALLS	
CT	CERAMIC TILES	EXISTING (NO WORKS)	
EXG	EXISTING	PROPOSED WORKS	
FNC 1,2,3...	FENCE	DEMOLISHED	
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3....	SCREEN		



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
LEVEL 05 & ROOF PLAN

Job Number:
2149

Scale:
1:100 @ A1 1:200 @ A3

Plot Date:
5/10/23

Drawing Status:
DA

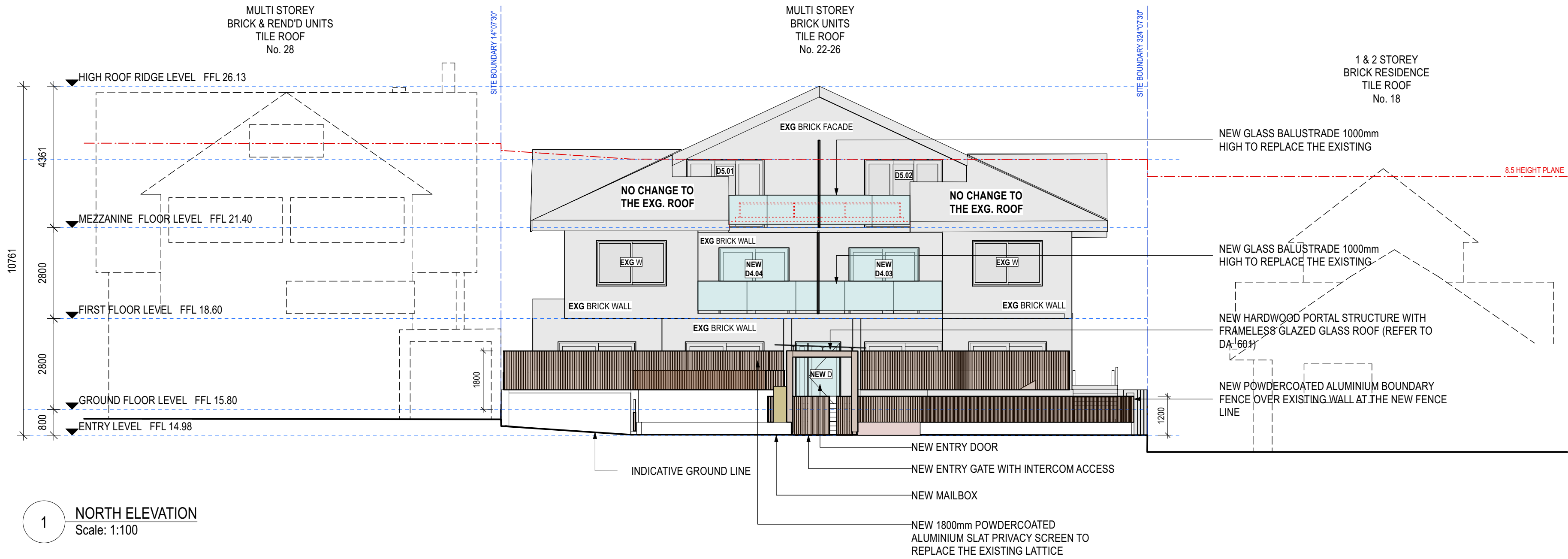
Drawing No:
DA_15

Drawn By:
RY

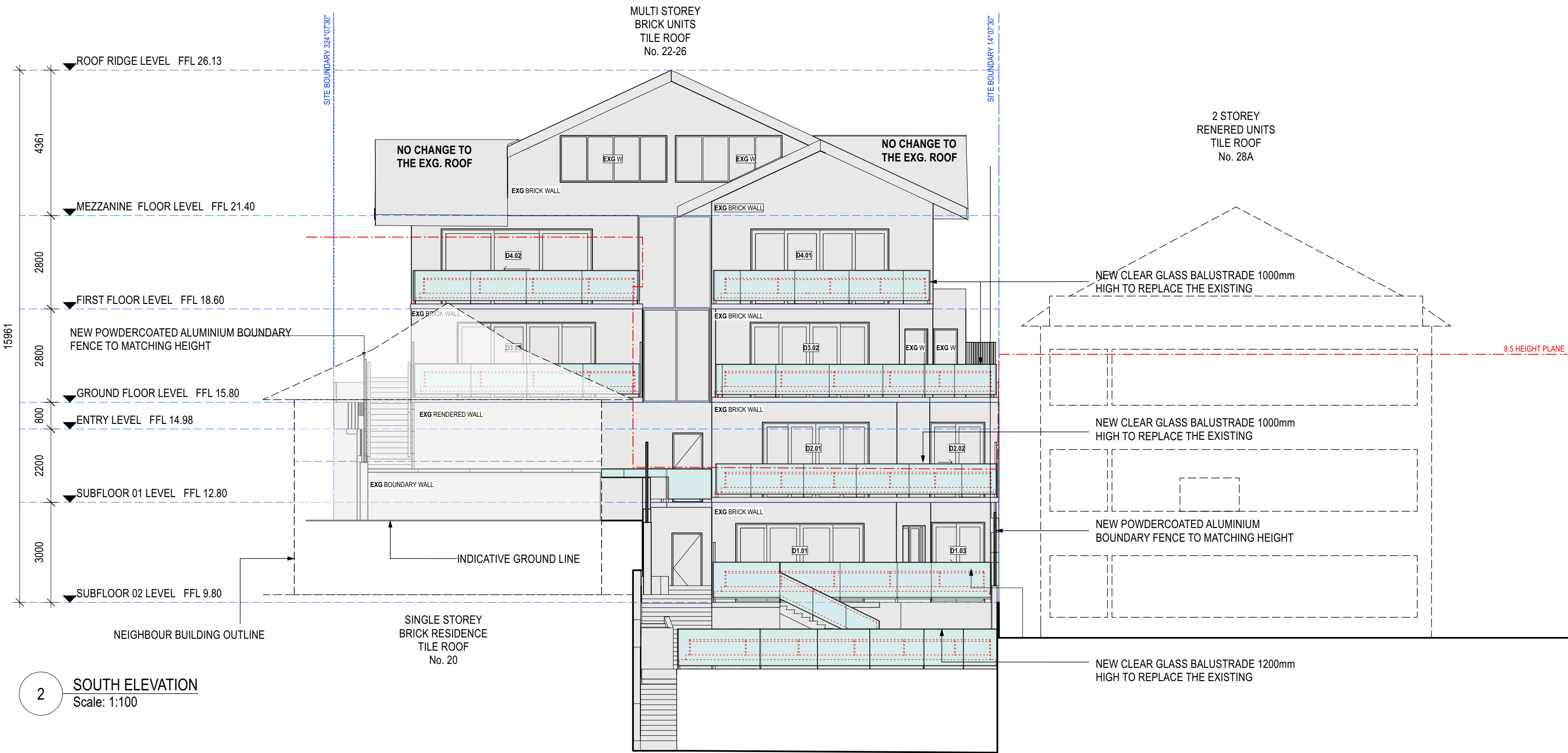
Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)

NOTE:
NO CHANGE TO EXG BUILDING



1 NORTH ELEVATION
Scale: 1:100



2 SOUTH ELEVATION
Scale: 1:100



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02...
CT
EXG
FNC 1,2,3...
MHWM
SCN 1,2,3...

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
FRONT & BACK ELEVATIONS

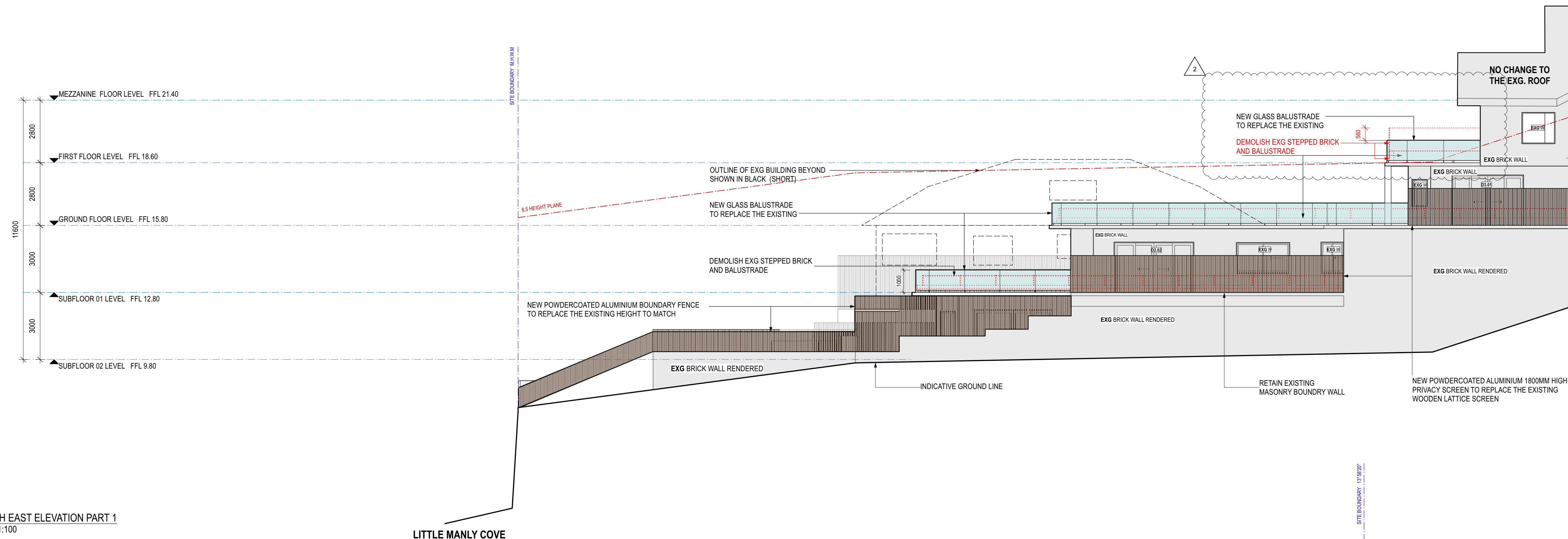
Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
5/10/23

Drawing Status:
DA
Drawing No:
DA 20
Drawn By:
RY
Revision:
2

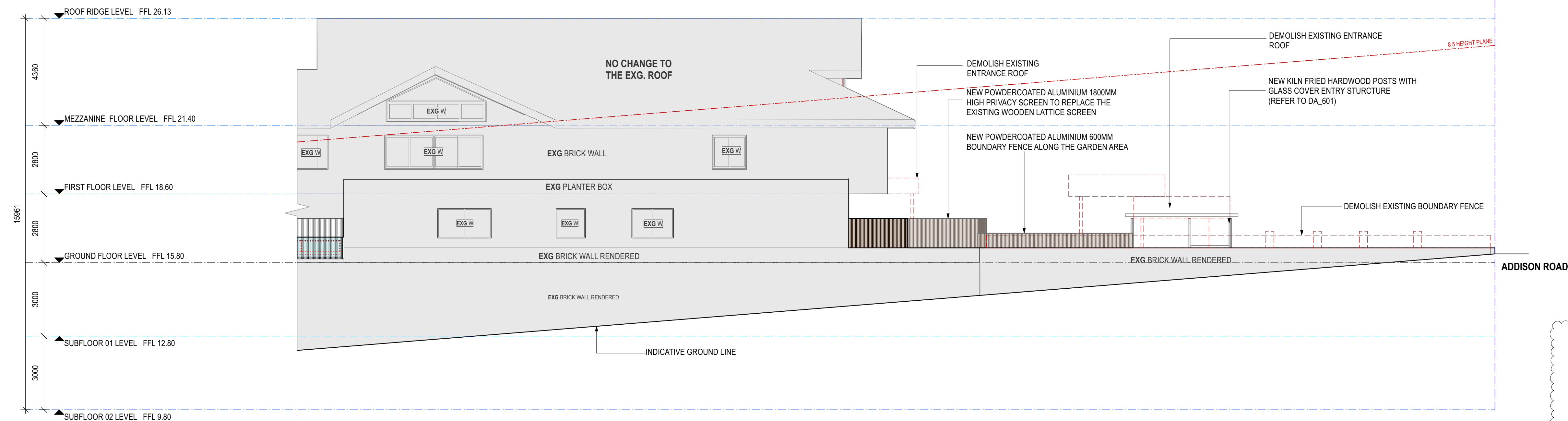
Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)

NOTE:
NO CHANGE TO EXG BUILDING



1 NORTH EAST ELEVATION PART 1
Scale: 1:100



2 NORTH EAST ELEVATION PART 2
Scale: 1:100

Number of Children	Percentage of Families
0	1%
1	1%
2	2%
3	1%
4	1%
5	1%
6	1%
7	1%
8	1%
9	1%
10	1%
11	1%

NOTES

THIS DRAWING IS PART OF A SET, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
2	4/10/23	RY	DA ISSUE
3	15/2/24	SC	COUNCIL RFI

LEGEND / KEY			
BAL 01,02,...	BALUSTRADE		EXISTING WALLS
CT	CERAMIC TILES		EXISTING (NO WORKS)
EXG	EXISTING		PROPOSED WORKS
FNC 1,2,3...	FENCE		DEMOLISHED
MHWM	MEAN HIGH WATER MARK		
SCN 1,2,3,...	SCREEN		



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
NORTH -EAST ELEVATION

SCHEDULE OF AMENDMENTS

CLARIFICATION OF DEMOLITION WORKS TO EXISTING
POOL. LIMITED TO FENCING & BALUSTRADES.

2

PROPOSED REAR BALCONY BALUSTRADE HEIGHT CLARIFICATION

Job Number:

2149

Scale:

1:100 @

Plot Date:

15/2/24

Drawing S

DA

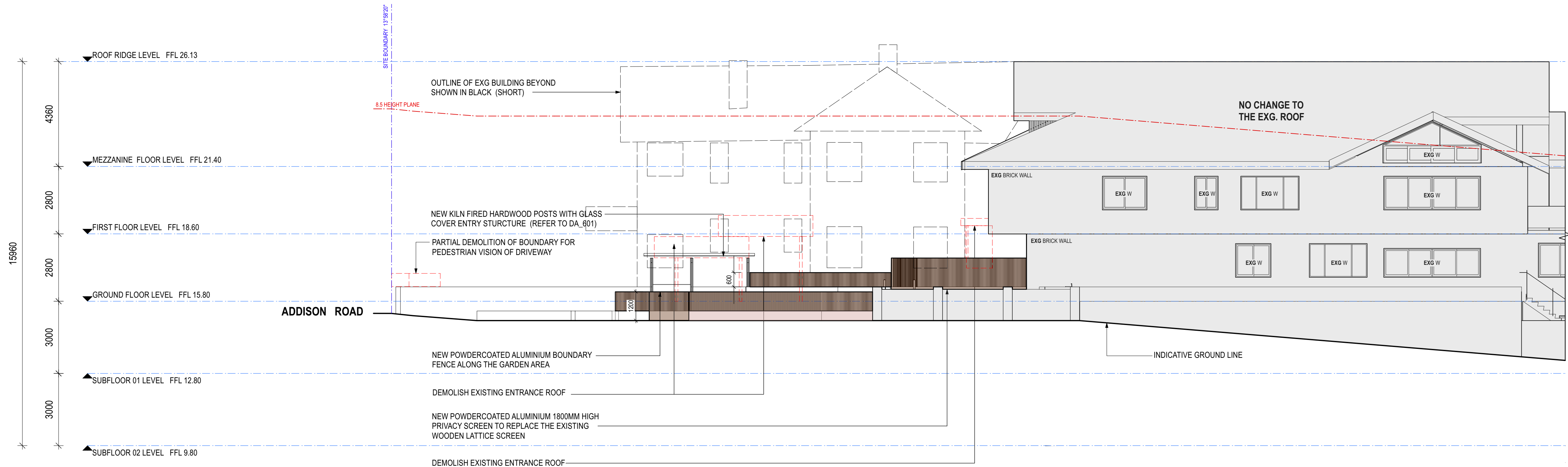
Drawn By

RY

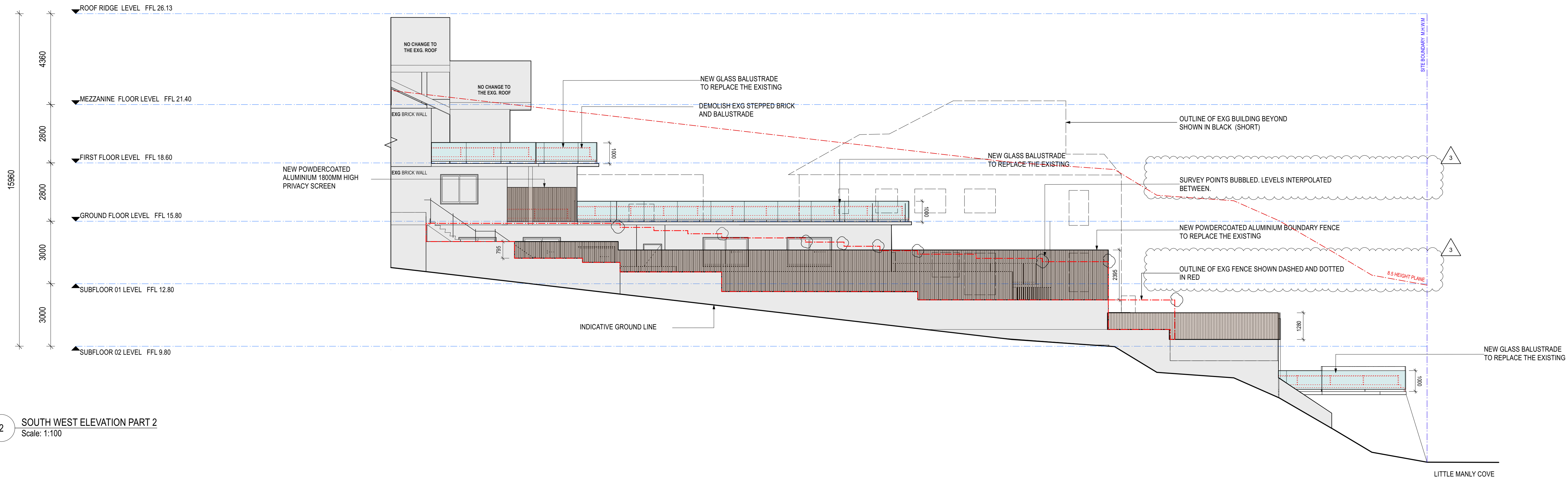
Revision:

nominated architect: Dominic Bennett 7365 (NSW)

NOTE:
NO CHANGE TO EXG BUILDING



1 SOUTH WEST ELEVATION PART 1
Scale: 1:100



2 SOUTH WEST ELEVATION PART 2
Scale: 1:100



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
2	4/10/23	RY	DA ISSUE
3	16/4/24	SC	DA ADDITIONAL INFORMATION

LEGEND / KEY

BAL 01,02,...	BALUSTRADE
CT	CERAMIC TILES
EXG	EXISTING
FNC 1,2,3...	FENCE
MHHM	MEAN HIGH WATER MARK
SCN 1,2,3...	SCREEN

	EXISTING WALLS
	EXISTING (NO WORKS)
	PROPOSED WORKS
	DEMOLISHED



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
SOUTH-WEST ELEVATION

Job Number:
2149
Scale:
1:100 @ A1 1:200 @ A3
Plot Date:
16/4/24

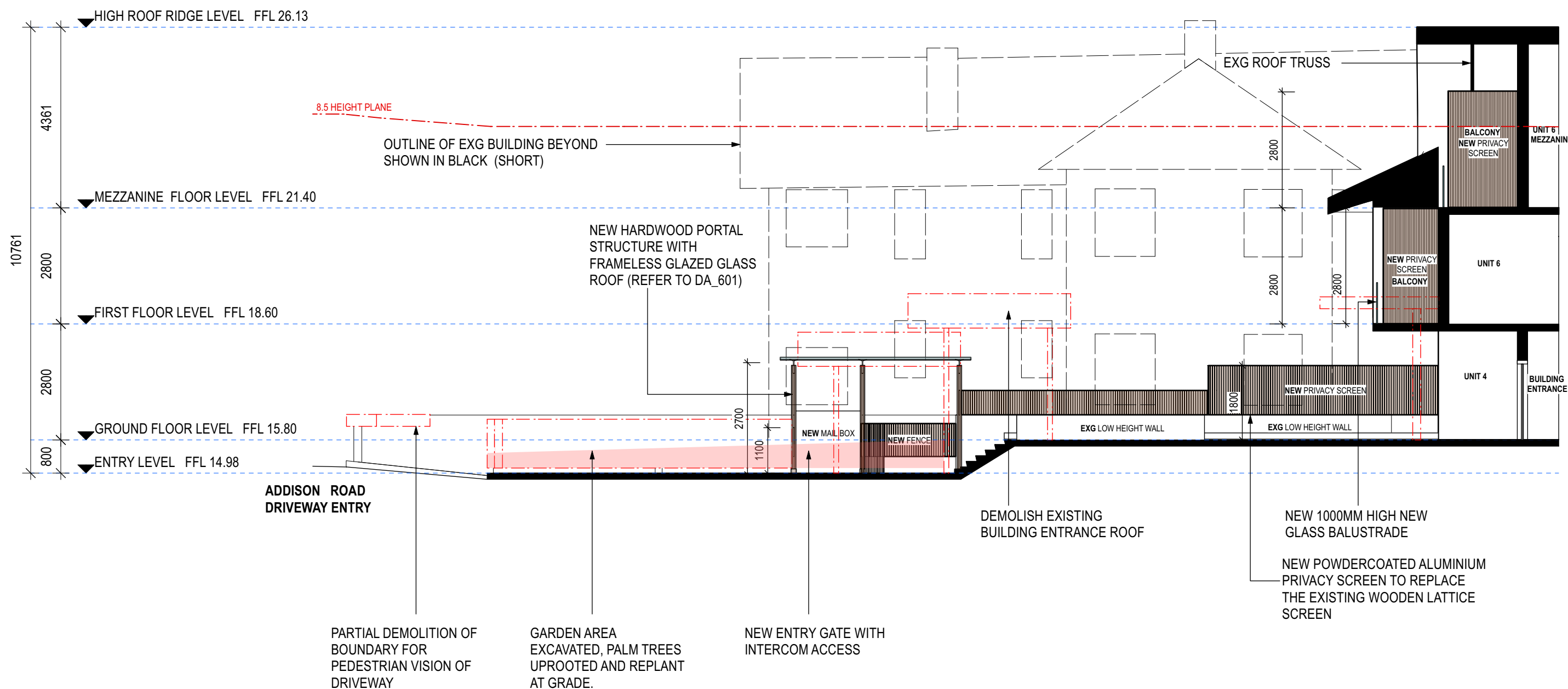
Drawing Status:
DA
Drawing No:
DA 22
Drawn By:
RY
Revision:
3

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)



1 VIEWS/ MATERIAL PALLETE
Scale: 1:60



3 SECTION A-A
Scale: 1:100

NOTES

THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY	
BAL 01,02... CT	BALUSTRADE CERAMIC TILES
EXG	EXISTING
FNC 1,2,3...	FENCE
MHWM	MEAN HIGH WATER MARK
SCN 1,2,3...	SCREEN
	EXISTING WALLS
	EXISTING (NO WORKS)
	PROPOSED WORKS
	DEMOLISHED



Project:
**ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095**

Client:
STRATA PLAN No.40956

Drawing Name:
PARTIAL SECTION + VIEWS/ MATERIAL PALLETE

Job Number:
2149

Scale:
AS NOTED

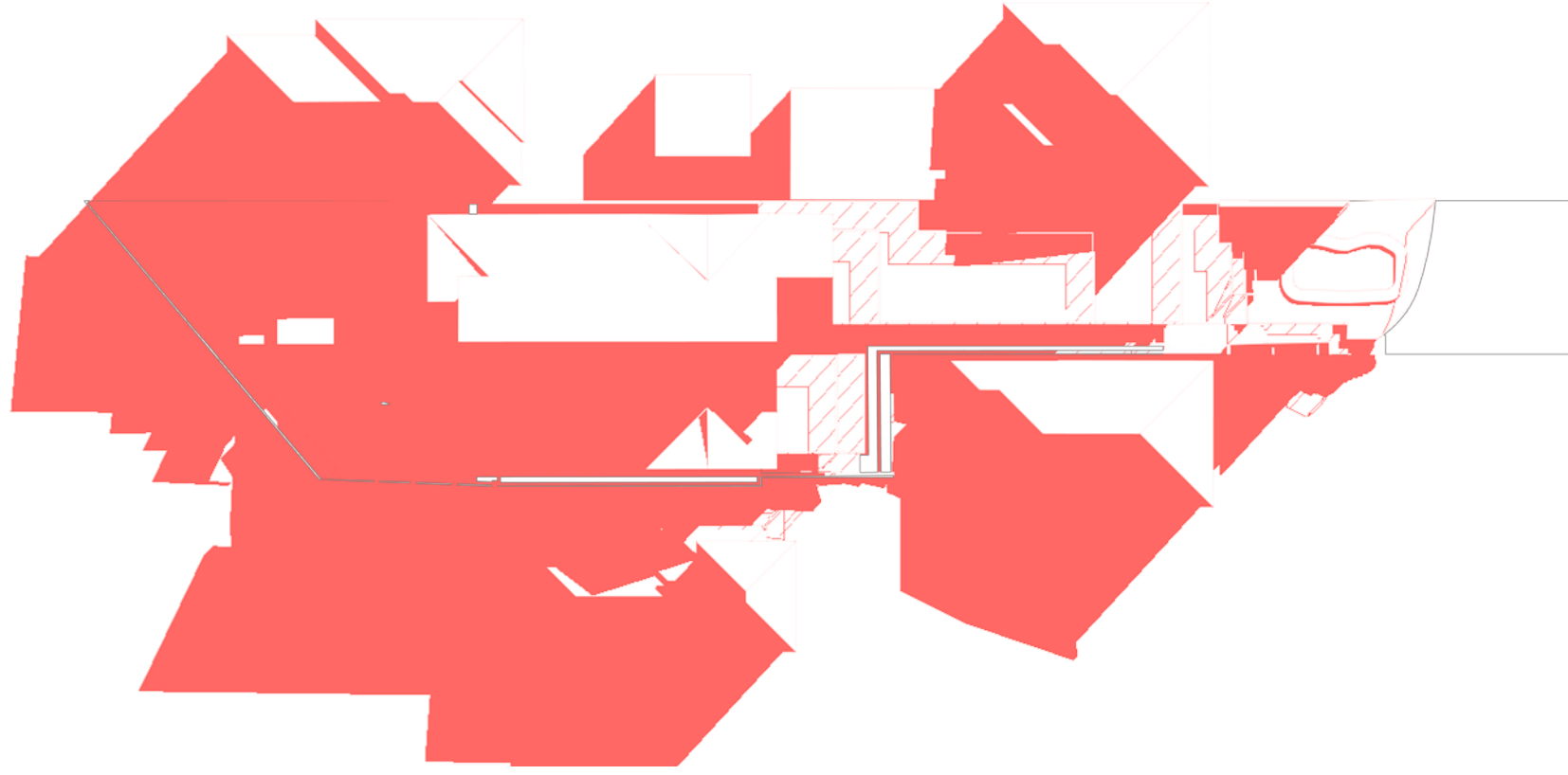
Plot Date:
5/10/23

Drawing Status:
DA

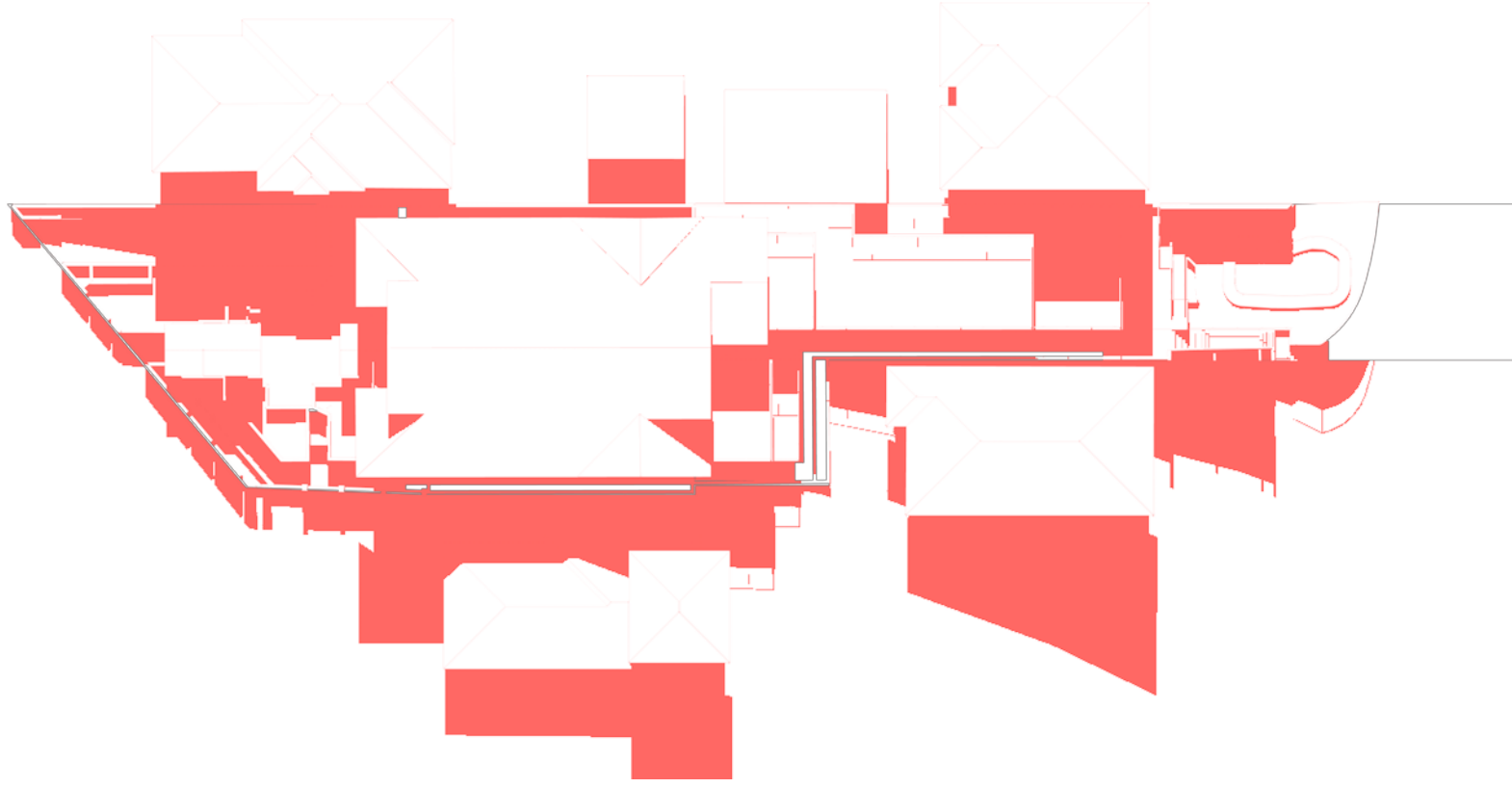
Drawing No:
DA_30

Drawn By:
RY

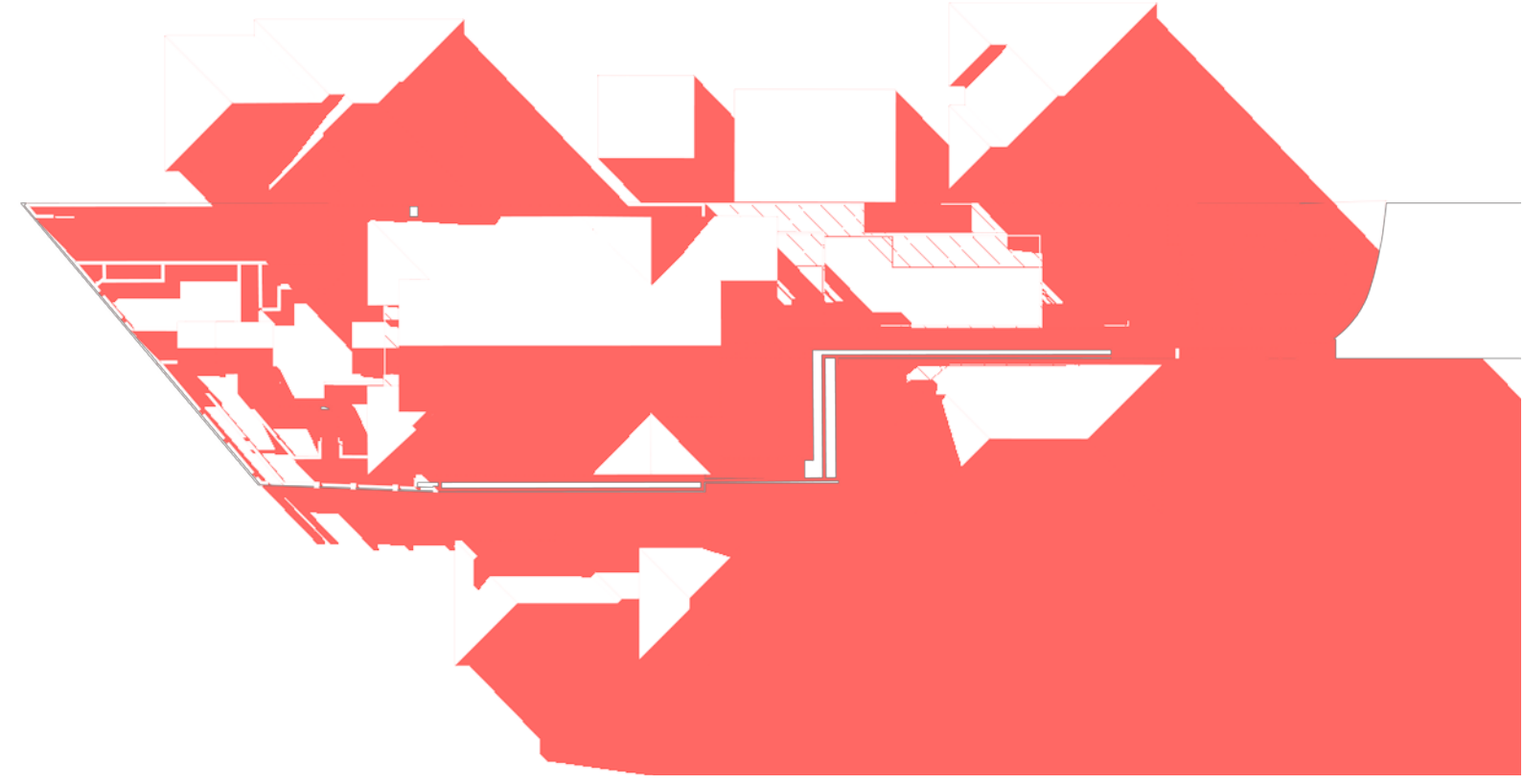
Revision:
2



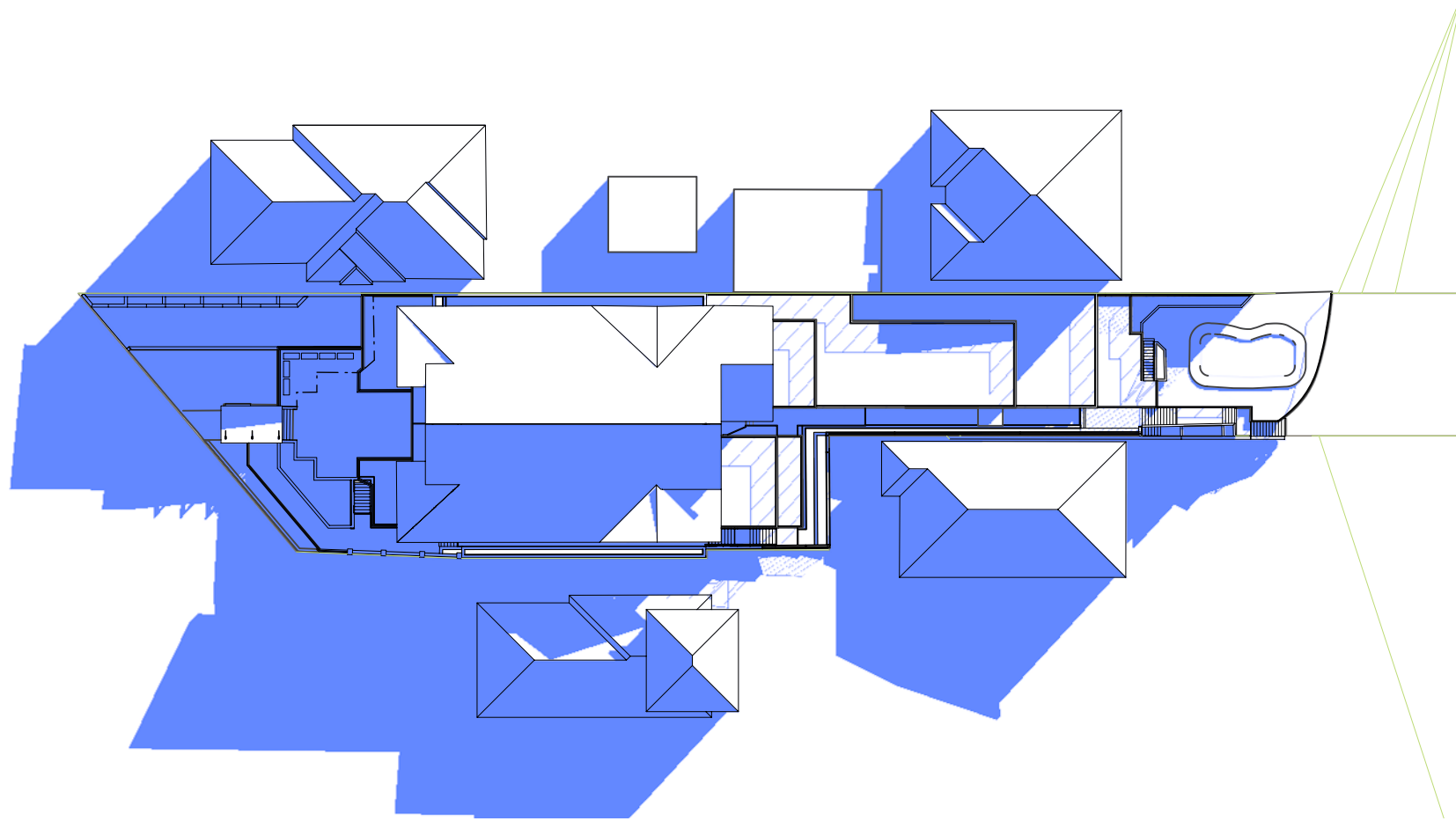
1 EXISTING @ JUNE 21 9am
Scale: Actual Size



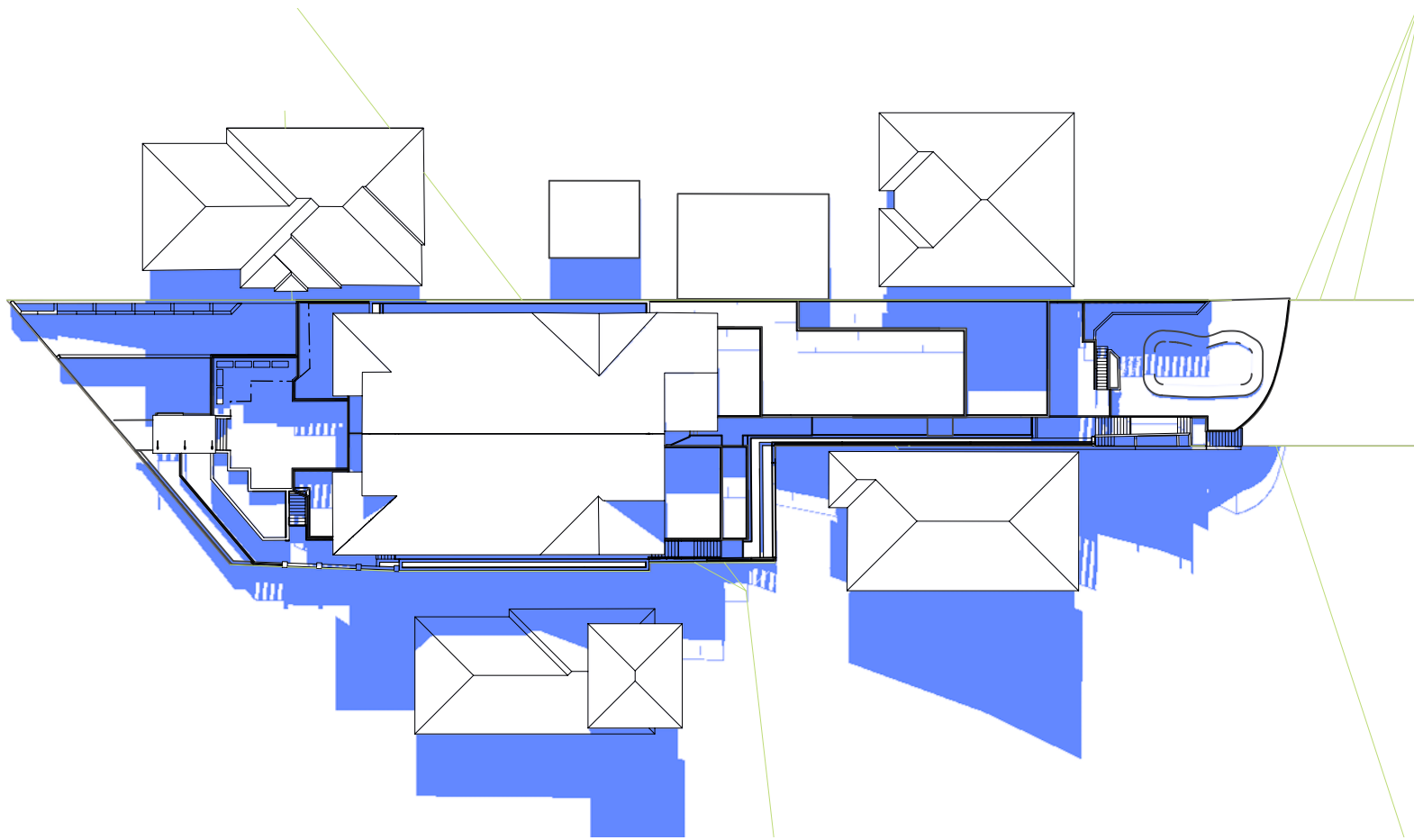
4 EXISTING @ JUNE 21 9am
Scale: Actual Size



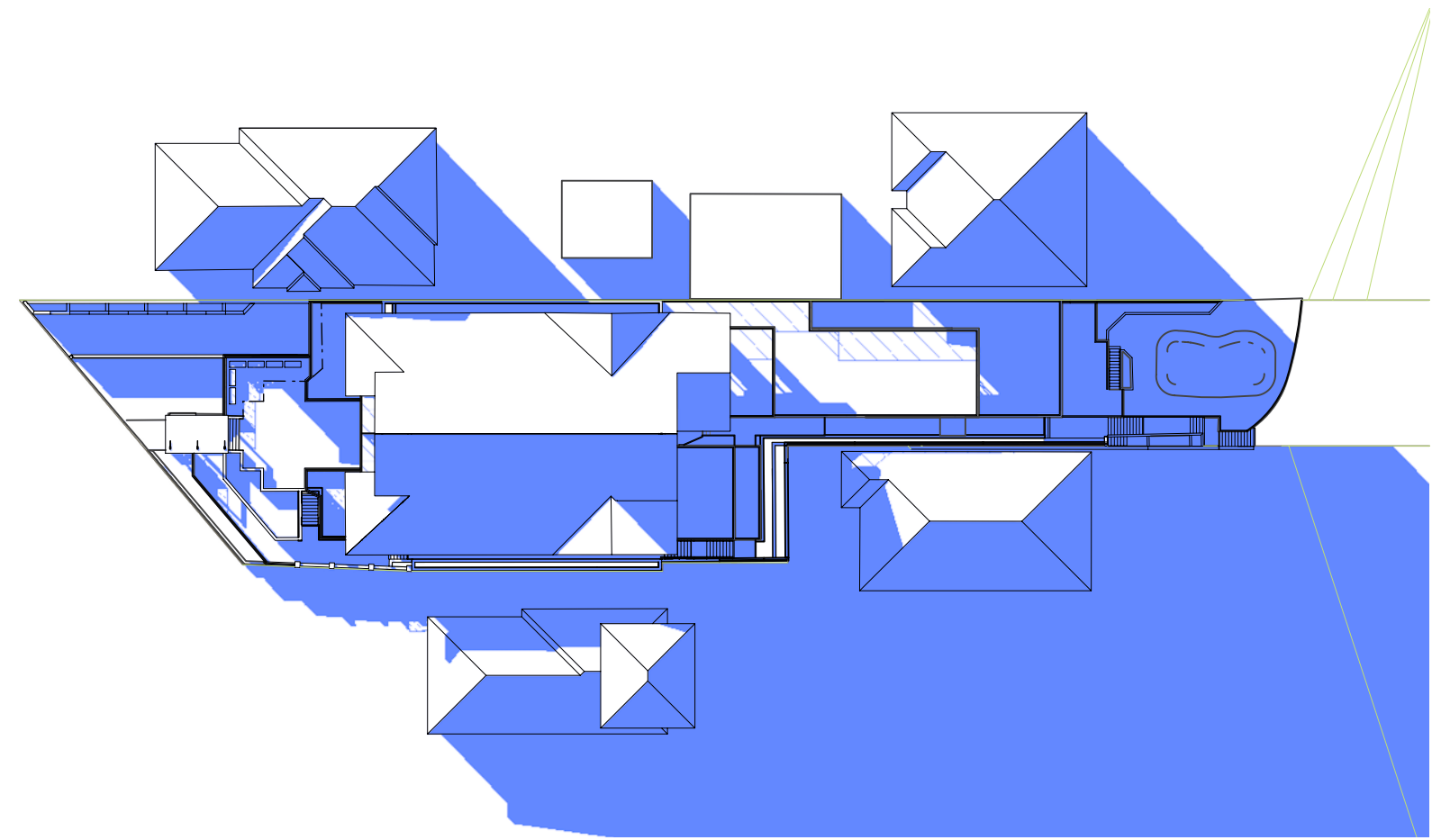
7 EXISTING @ JUNE 21 9am
Scale: Actual Size



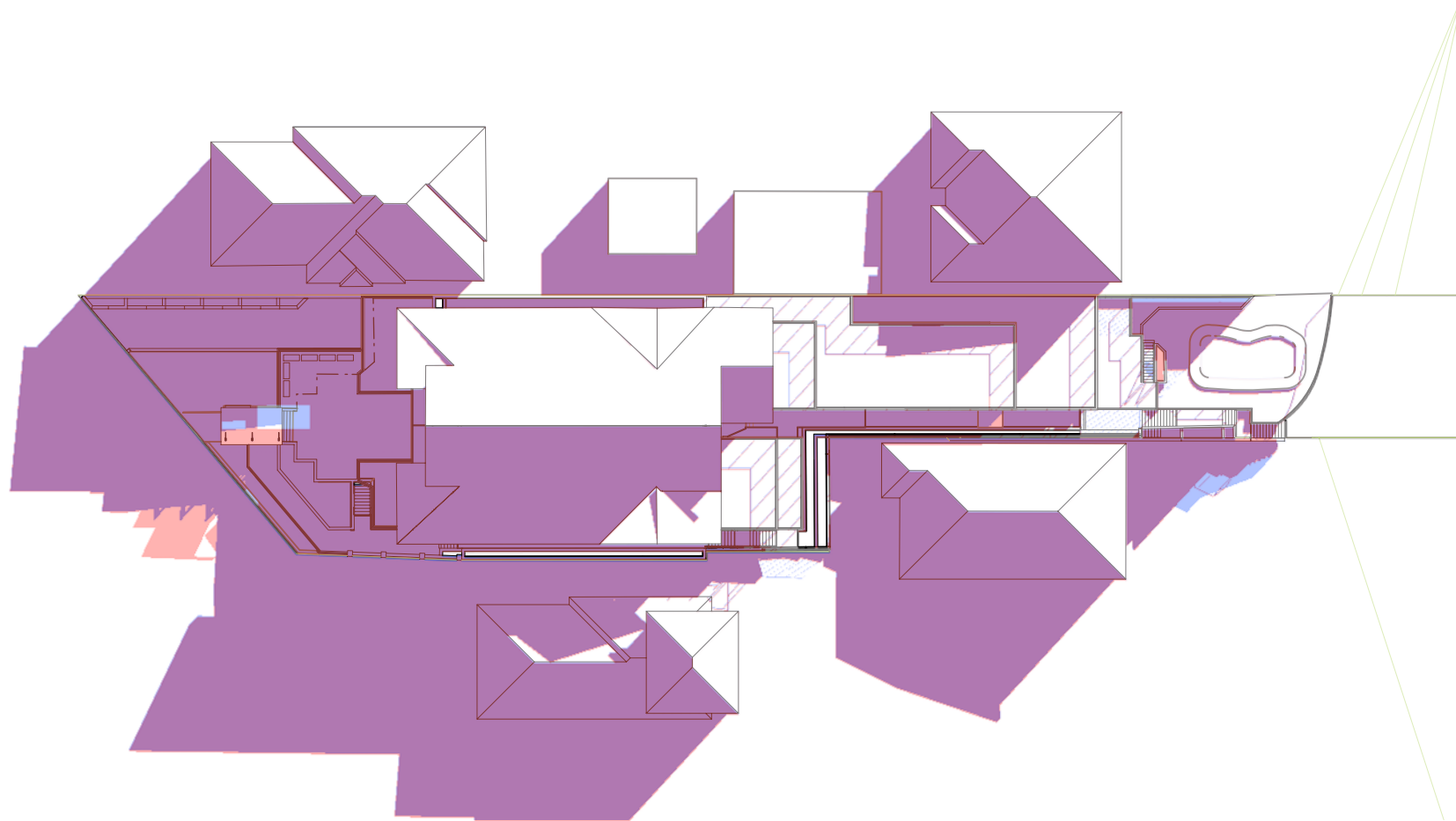
2 PROPOSED @ JUNE 21 9am
Scale: Actual Size



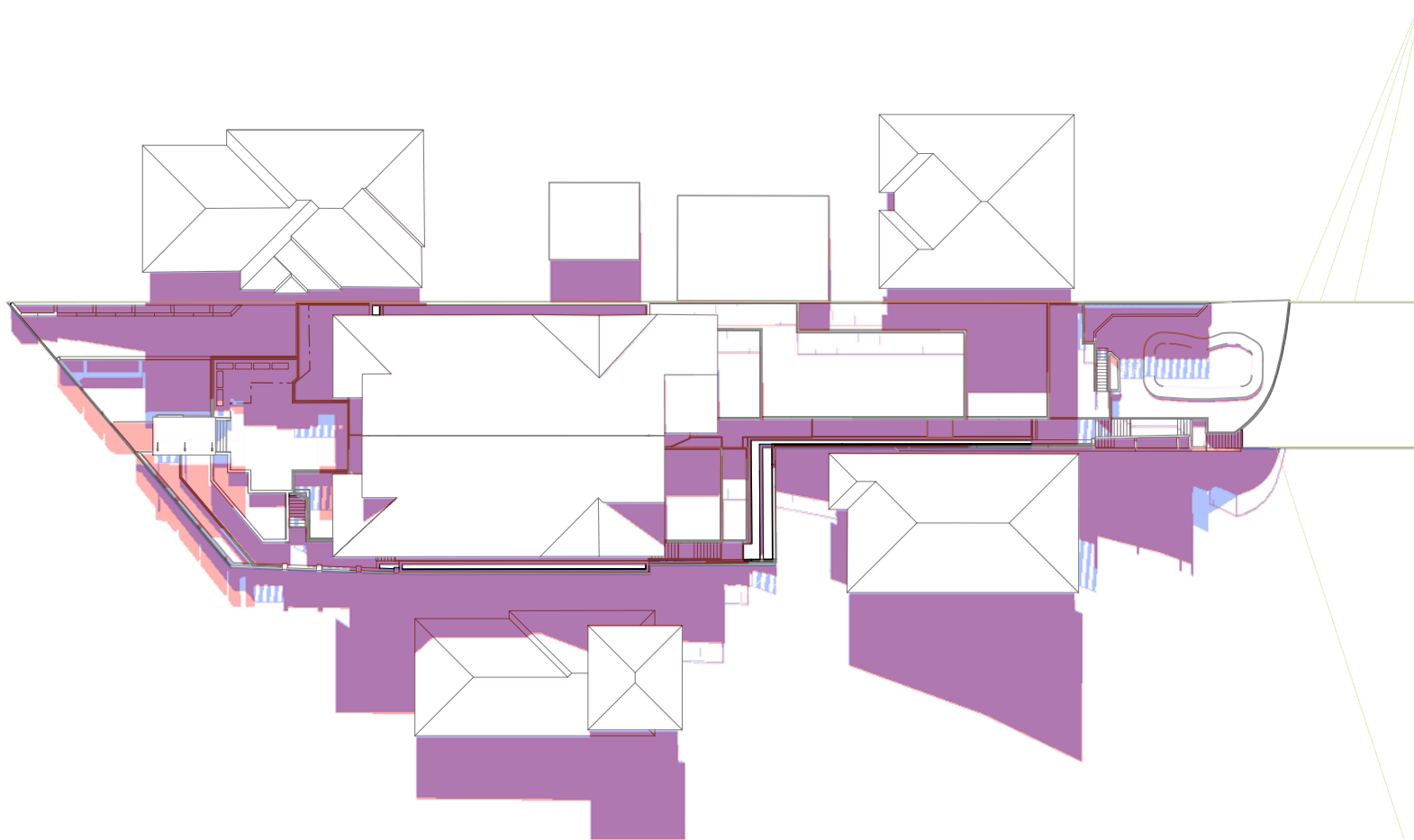
5 PROPOSED @ JUNE 21 9am
Scale: Actual Size



8 PROPOSED @ JUNE 21 9am
Scale: Actual Size



3 PROPOSED @ JUNE 21 9am
Scale: Actual Size



6 PROPOSED @ JUNE 21 9am
Scale: Actual Size



9 PROPOSED @ JUNE 21 9am
Scale: Actual Size



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY

BAL 01,02,...
CT
EXG
FNC 1,2,3...
MHWM
SCN 1,2,3....

BALUSTRADE
CERAMIC TILES
EXISTING
FENCE
MEAN HIGH WATER MARK
SCREEN

EXISTING WALLS
EXISTING (NO WORKS)
PROPOSED WORKS
DEMOLISHED



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
SHADOW ANALYSIS

Job Number:
2149

Scale:
AS NOTED

Plot Date:
5/10/23

Drawing Status:
DA

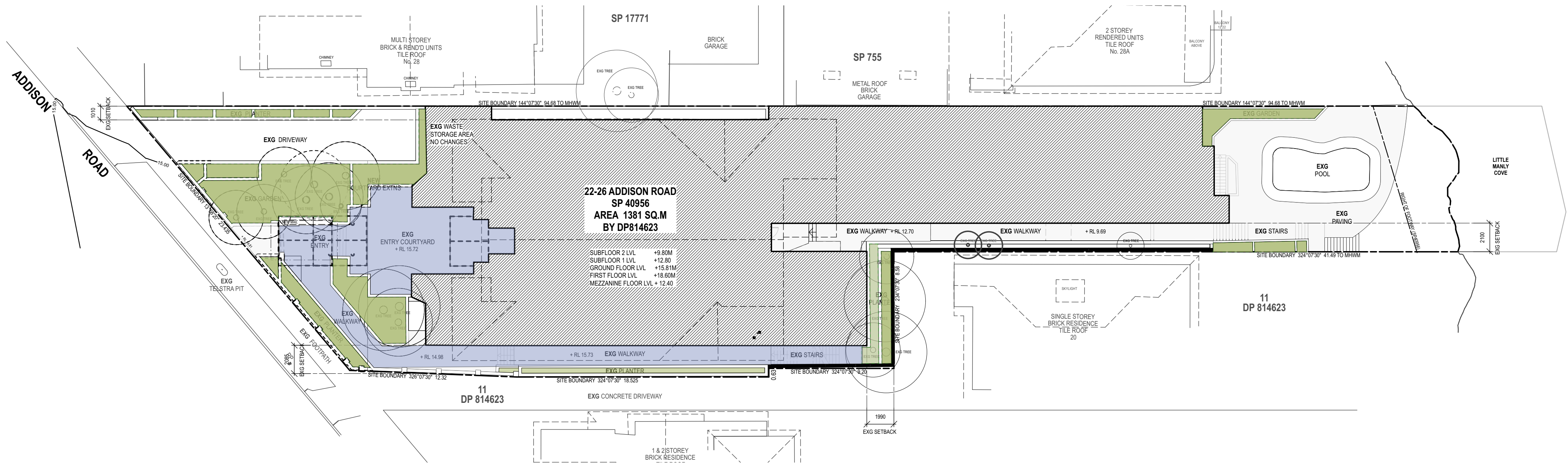
Drawing No:
DA 31

Drawn By:
RY

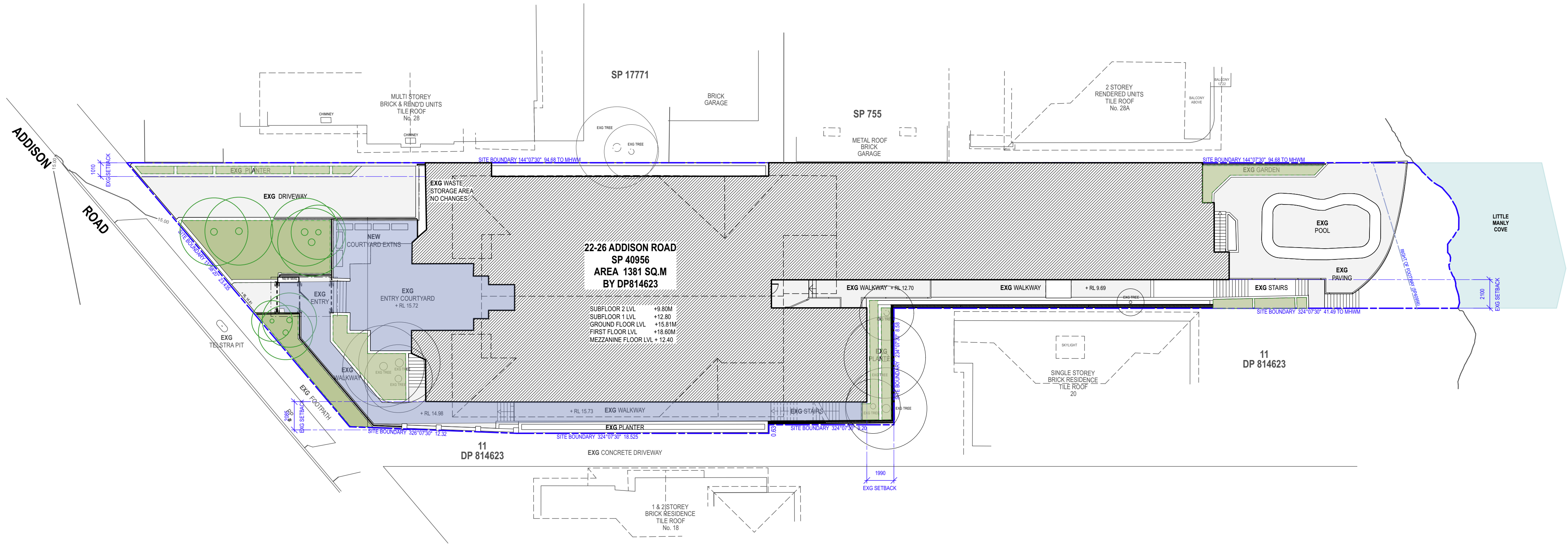
Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)

nominated architect: Dominic Bennett 7365 (NSW)



1 EXISTING - LANDSCAPE AREA
Scale: 1:200



2 PROPOSED - LANDSCAPE AREA
Scale: 1:200

LANDSCAPE CALCULATION:		
	EXISTING	PROPOSED
OPEN SPACE AREA	438 SQ.M	449 SQ.M
LANDSCAPE	111.4 SQ.M	100.4 SQ.M

NOTE:
ALL REMOVED TREES AND PLANTS ARE RETAINED AND REPLANTED AT GRADE.

5m 1m 2m 5m 11m

NOTES

THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	16/2/23	HS	DA ISSUE
2	4/10/23	RY	DA ISSUE

LEGEND / KEY	
BAL 01,02...	BALUSTRADE
CT	CERAMIC TILES
EXG	EXISTING
FNC 1,2,3...	FENCE
MHWM	MEAN HIGH WATER MARK
SCN 1,2,3...	SCREEN
	EXISTING WALLS
	EXISTING (NO WORKS)
	PROPOSED WORKS
	DEMOLISHED



Project:
ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095

Client:
STRATA PLAN No.40956

Drawing Name:
LANDSCAPE PLAN

Job Number:
2149

Scale:
1:200 @ A1 1:400 @ A3

Plot Date:
5/10/23

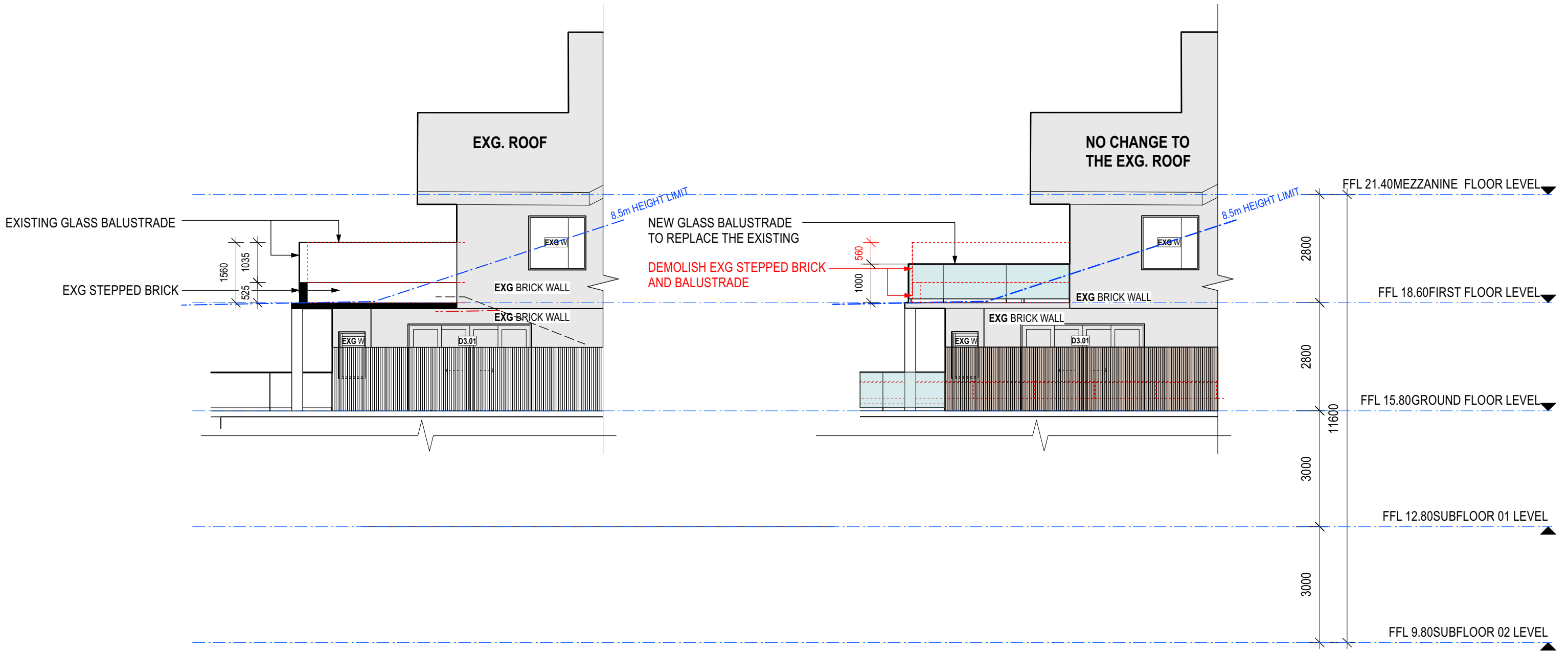
Drawing Status:
DA

Drawing No:
DA_50

Drawn By:
RY

Revision:
2

nominated architect: Dominic Bennett 7365 (NSW)



1 EXISTING BALUSTRADE
Scale: 1:100

2 PROPOSED BALUSTRADE
Scale: 1:100

1A EXISTING BALUSTRADE SITE PHOTO
Scale: Actual Size

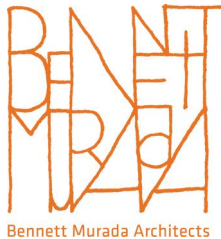


NOTES
THIS DRAWING IS PART OF A SET, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."

REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
1	14/2/24	MB	COUNCIL RFI

LEGEND / KEY



Project:
**ALTERATIONS TO EXISTING RESIDENTIAL FLAT BUILDING
22 - 26 ADDISON ROAD, MANLY NSW 2095**

Client:
STRATA PLAN No.40956

Drawing Name:
BALUSTRADE DETAIL

Job Number:
2149

Scale:

Plot Date: 15/2/24
Drawn By: MB

Drawing Status:
DA

Drawing No: **DA_60**
Revision: **1**