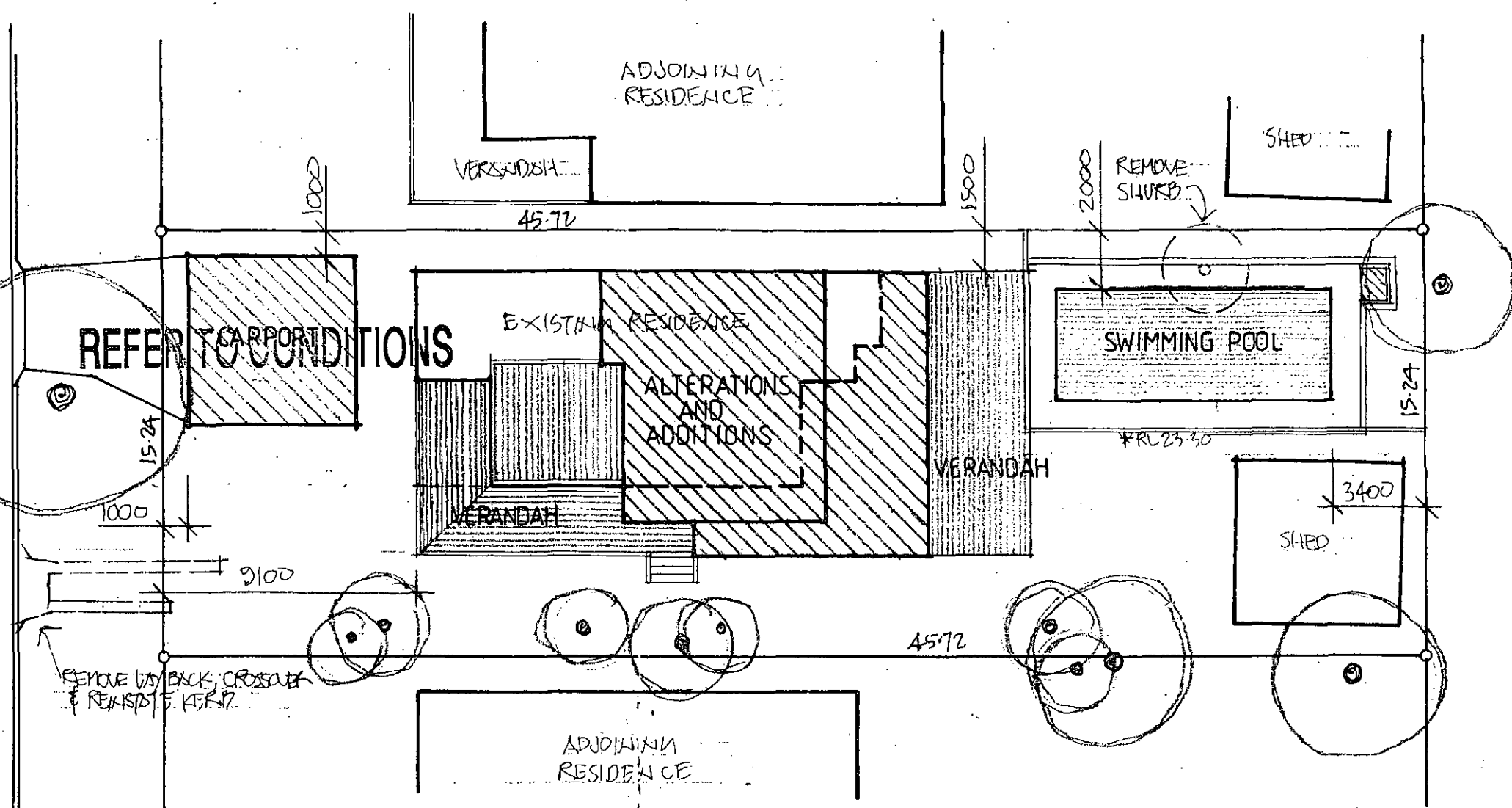


NAME AMIE SODA PARADE



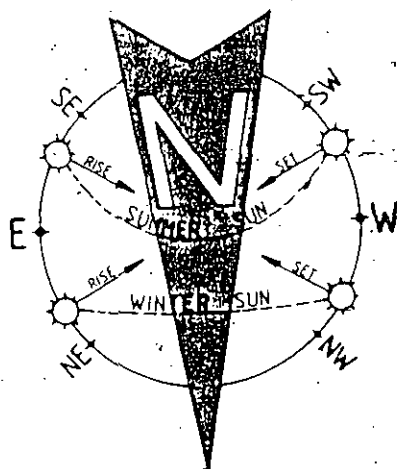
SITE PLAN

LOT 3 SEC 16 1/4 D. P. 9687

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH

DA 2009 / 1675 - 1

WARRINGAH COUNCIL



NOTES:

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6. All soil, water & sub-slab drainage to be disposed of in the approved manner or as directed by local council inspectors.
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8. Make good & repair all existing finishes damaged by new work. Reuse existing materials where possible.

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11, ARUNA APTS, ATLANTIC BEACH, DEL.

No.	AMENDMENT	DATE



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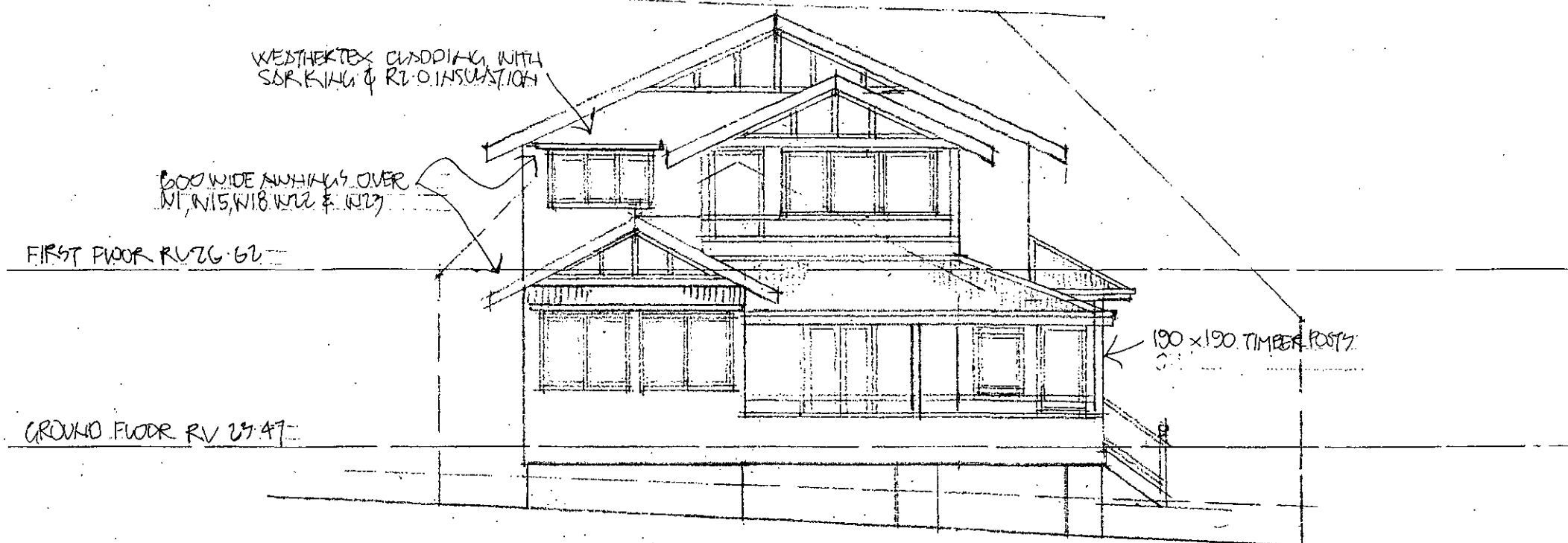
BUILDING DESIGN CONSULTANTS
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Mobile 046 976 596 www.jdeco.com.au



PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 20 JAMIESON PARADE
COLLARROY N. S. W. 2097
CLIENT
DAWN BLACK & ANTHONY VAN BUREN

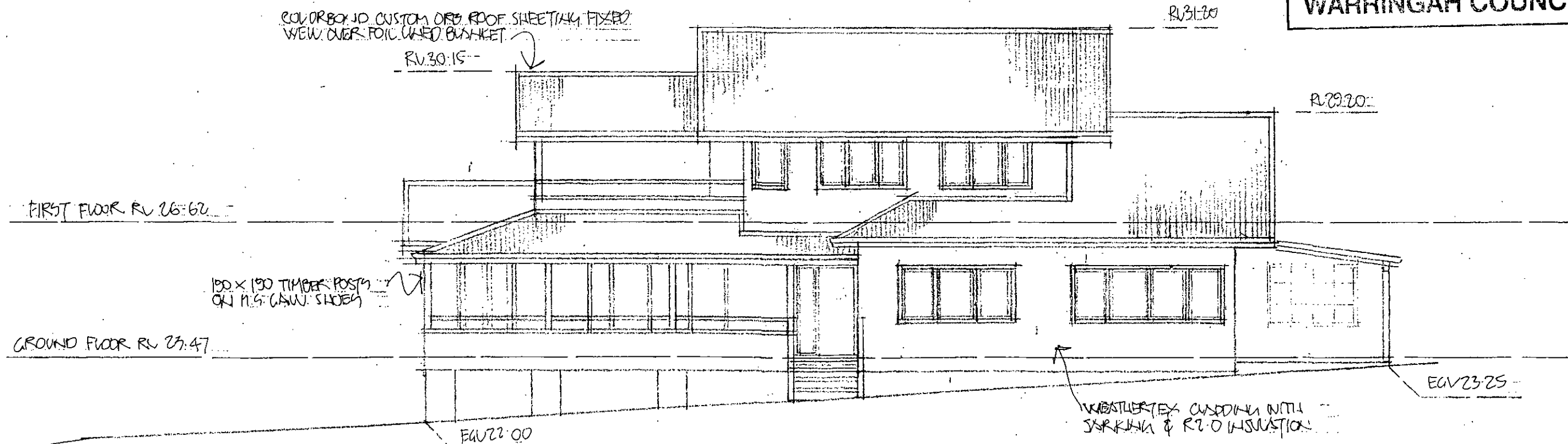
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DRAWN	JOE	CHECKED	

DRAWING No.	1207-1	ISSUE	
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EAST ELEVATION

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH
D 2009 / 1675 - 4
WARRINGAH COUNCIL



NORTH ELEVATION

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74 RIVIERA AVE, AVALON BEACH, QNSW
14 SEPTEMBER 2009

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Mobile 018 976 596 www.jdeco.com.au



PROJECT
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COLLARROY N.S.W. 2097
CLIENT
DAWN BLACK & ANTHONY VAN BUREN

DATE 12/11/09	SCALE 1:100
DRAWN JOE	CHECKED
DRAWING No. 1207-5	ISSUE

FIRST FLOOR RL 26.62

GROUND FLOOR RL 23.47

190 x 190 TIMBER POSTS
ON H.S. G.W. SHOES

WEATHERTEX WOODKING WITH
SARKING & R.O. INSULATION

WEST ELEVATION

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH

D. 2009 / 1675 - 4

WARRINGAH COUNCIL

COLORBOND CUSTOM ORG. ROOF SHEETING
FIXED OVER FOIL LINED BULKHEAD

FIRST FLOOR RL 26.62

GROUND FLOOR RL 23.47

REUSE EXISTING WINDOW
FROM OLD HOUSE

EGV24.00

TIMBER FRAMED WINDOWS
& GLAZED DOORS AS SELECTED

EGV22.30

SOUTH ELEVATION

NOTES:

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- 2.

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24 RIVIERA AVE. AVALON BEACH, 2107
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PROJECT:
PROPOSED ALTERATIONS/ADDITIONS
No. 20 JAMIESON PARADE
COLLAROY N.S.W. 2097
CLIENT
DAWN BLACK & ANTHONY VAN BUREN

DATE 12/11/09	SCALE 1:100
DRAWN JOE	CHECKED
DRAWING No. 1207-6	ISSUE

RIDGE RL 31.20

RU23.07

FIRST FLOOR RL 26.62

CEILING RL 26.22

GROUND FLOOR RL 23.47

REINFORCED CONCRETE STRIP & PSD FOOTINGS
FOUNDED ON UNDISTURBED NATURAL GROUND

SECTION A - A

RIDGE RL 25.75

CEILING RL 24.19

CARPORT RL 21.60

REFER TO CONDITIONS

REINFORCED CONCRETE SUB ON AN APPROVED
WATERPROOF MEMBRANE TO ENGINEERS DETAILS

SECTION B - B

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BUILDING DESIGN CONSULTANTS
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DRAWN	JOE	CHECKED	
DRAWING No.	1207-7	ISSUE	

SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES:

1. ALL NEW & ALTERED SHOWER HEADS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR 3 STAR WATER RATING.
2. ALL NEW & ALTERED TOILET FLUSHING SYSTEMS TO HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
3. ALL NEW & ALTERED TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR 3 STAR WATER RATING.

RAINWATER WATER

1. THE APPLICANT MUST INSTALL A RAINWATER TANK OF 1531 LITRES MINIMUM AND MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
2. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK IS TO COLLECT RAIN RUNOFF FROM AT LEAST 240 SQUARE METERS OF ROOF AREA
3. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO AT LEAST ONE OUTDOOR TAP LOCATED WITHIN 10 METRES OF THE EDGE OF POOL.

OUTDOOR SWIMMING POOL

1. THE SWIMMING POOL MUST BE OUTDOORS.
2. THE SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 61 KILOLITRES.
3. THE SWIMMING POOL MUST HAVE A POOL COVER AND MUST BE PROTECTED. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: SOLAR ONLY

THERMAL COMFORT COMMITMENTS

CONSTRUCTION INSULATION REQUIREMENTS

1. THE PROJECT MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE CERTIFICATE NUMBER A73630, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS.
2. FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST NOT BE OR MORE THAN 500MM ABOVE THE HEAD OF A WINDOW OR HEAD OF A GLAZED DOOR & NO MORE THAN 2400MM ABOVE THE SILL.

ENERGY COMMITMENTS

HOT WATER

1. THE APPLICANT MUST HAVE A HOT WATER SYSTEM WITH A HIGH ENERGY RATING OF GAS INSTANTANEOUS.

LIGHTING

1. THE APPLICANT MUST HAVE A MINIMUM OF 40% OF NEW AND ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

VENTILATION

1. THE APPLICANT MUST HAVE INSTALLED THE FOLLOWING EXHAUST SYSTEM:
 - a. AT LEAST 1 BATHROOM: NO MECHANICAL VENTILATION (IE. NATURAL).
 - b. KITCHEN: INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF.
 - c. LAUNDRY: NATURAL VENTILATION ONLY.

NATURAL LIGHTING

1. THE DEVELOPMENT MUST HAVE A WINDOW IN THE KITCHEN FOR NATURAL VENTILATION.
2. THE DEVELOPMENT MUST HAVE A WINDOW IN ALL BATHROOMS AND TOILETS FOR NATURAL VENTILATION.

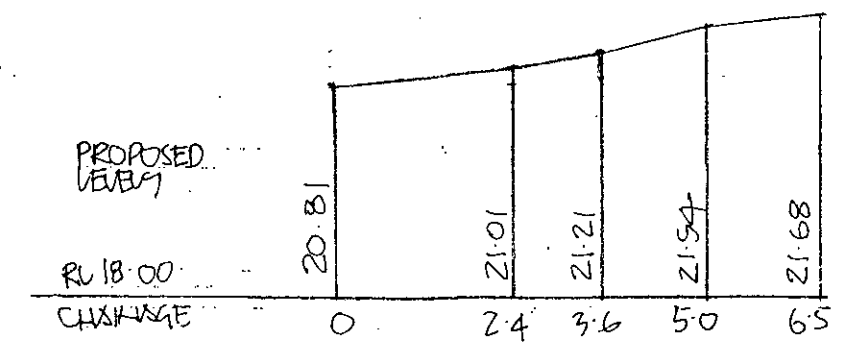
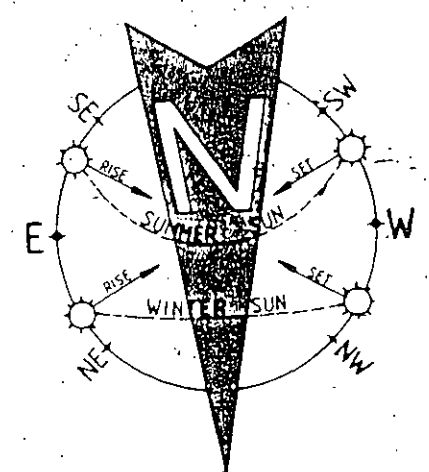
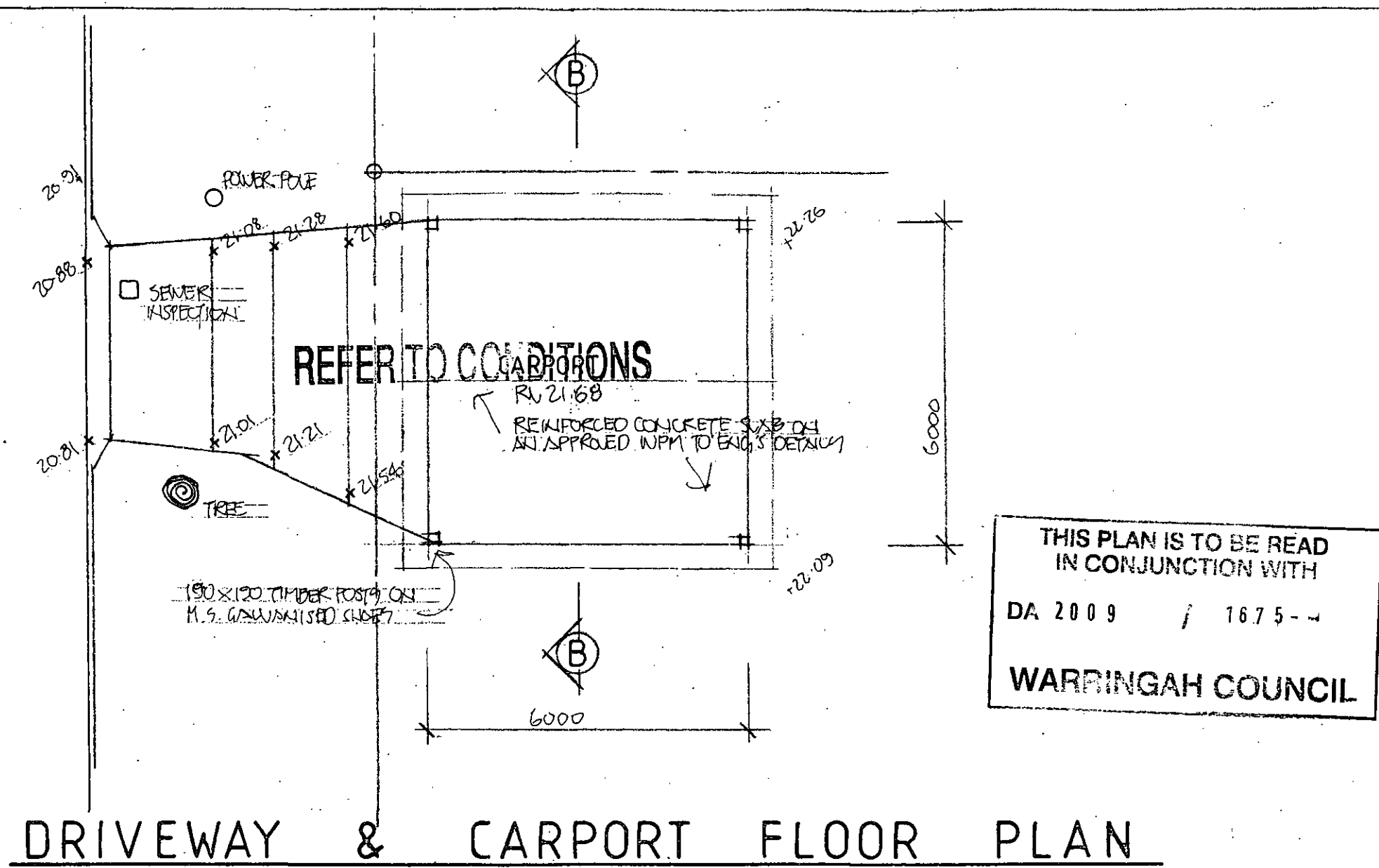
OUTDOOR SWIMMING POOL

1. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS OF THIS DEVELOPMENT: SOLAR ONLY.
2. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.

OTHER

1. THE APPLICANT MUST INSTALL A GAS COOKTOP AND ELECTRIC OVEN IN THE KITCHEN.
2. THE APPLICANT MUST CONSTRUCT THE REFRIGERATOR SPACE IN THE RESIDENCE SO THAT IT IS WELL VENTILATED, AS DEFINED IN THE BASIX DEFINITIONS.
3. THE APPLICANT MUST HAVE INSTALLED A FIXED OUTDOOR CLOTHES DRYING LINE.

ALTERATIONS & ADDITIONS



LONGITUDINAL SECTION THROUGH DRIVEWAY

- NOTES:**
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DRIVEWAY & CARPORT

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 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE. AVALON BEACH, QNT

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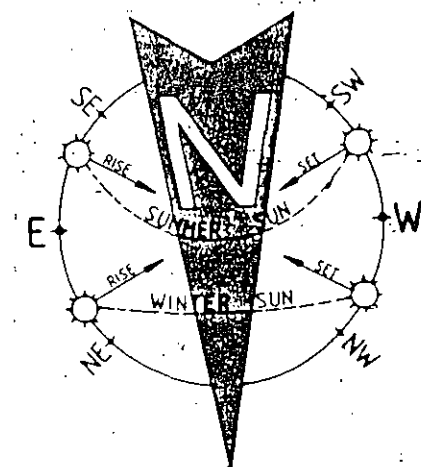
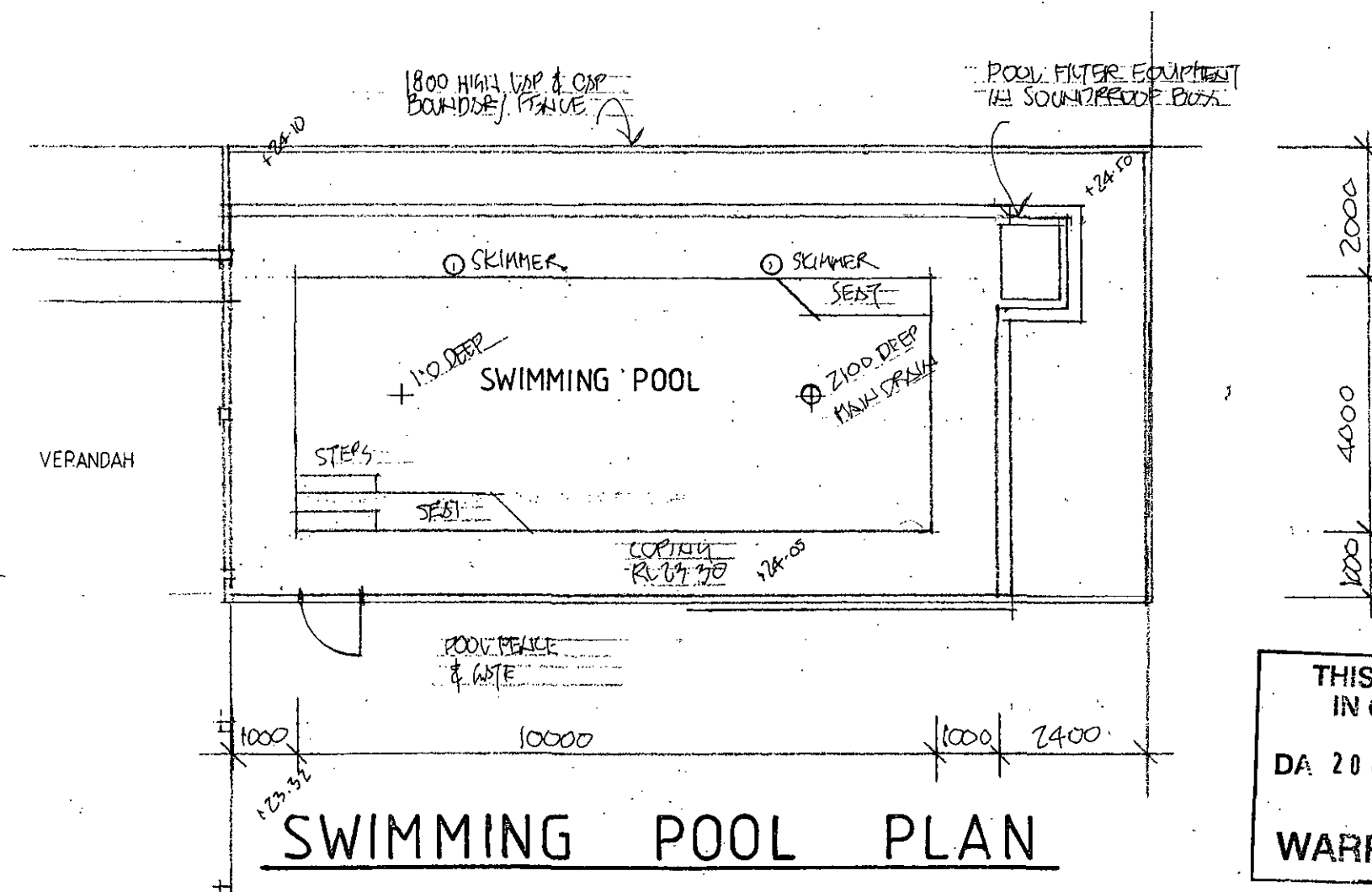
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 74 RIVIERA AVE. AVALON BEACH, 2107
 Phone (02) 9918 9206 Fax (02) 9973 2454
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PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 20 JAMIESON PARADE
COLLARROY N.S.W. 2097
CLIENT
DAWN BLACK & ANTHONY VAN BUREN

DATE 12/11/09	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1207-8	ISSUE

NOTE:

1. POOL FENCING IS TO BE DESIGNED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOL ACT 1992, AS 1926.1 - 1993 FENCING FOR SWIMMING POOLS, AS 1926.1 - 1995 LOCATION OF FENCING FOR PRIVATE SWIMMING POOLS.
2. A RESUSCITATION AND EXTERNAL CARDIAC COMPRESSION CHART IS TO BE AFFIXED AND MAINTAINED IN A PROMINENT LOCATION ADJACENT TO POOL AREA.
3. ALL POOL OVERFLOW WATER AND WASTE WATER FROM THE FILTRATION PROCESS IS TO BE DIRECTED TO THE SEWER.



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 11 RIVIERA AVE, AVALON BEACH, NSW

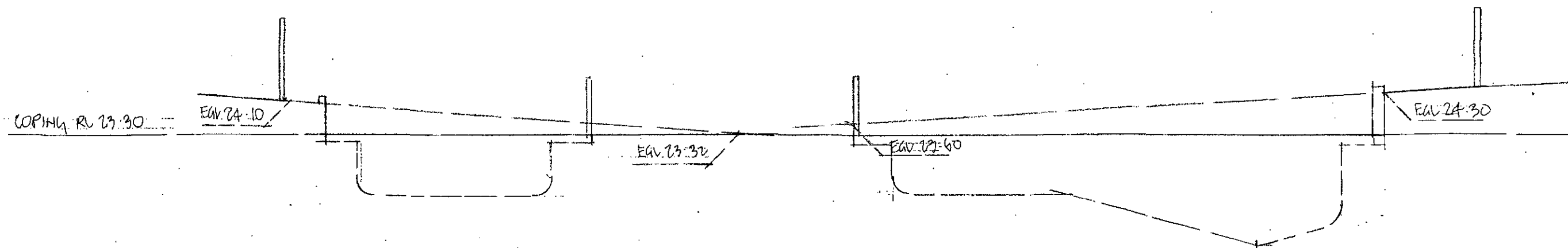
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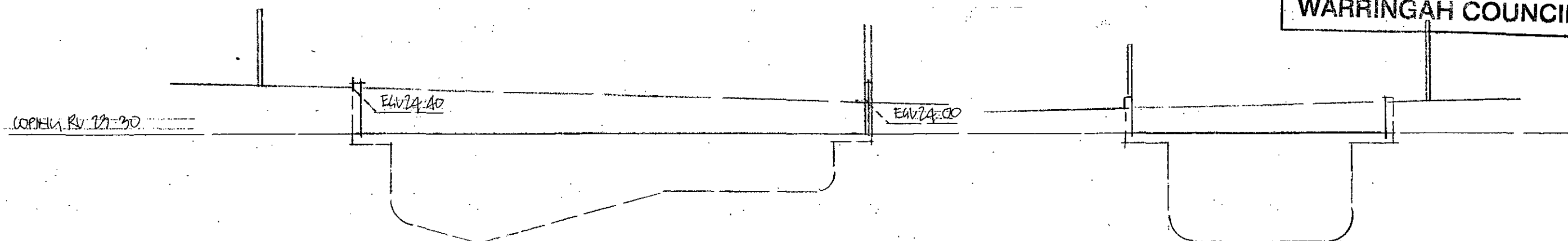
SWIMMING POOL



EAST ELEVATION

NORTH ELEVATION

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH
DA 2009 / 1675 - -
WARRINGAH COUNCIL



SOUTH ELEVATION

WEST ELEVATION

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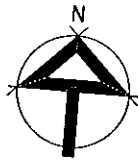
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SWIMMING POOL



DIAL 1100
BEFORE YOU DIG

LOCATION OF STORMWATER PIPES AS
SHOWN IS SCHEMATIC AND MAY BE
VARIED TO SUIT OTHER SERVICES ETC.



LEGEND

- SW — STORMWATER PIPE
- 23.71 SURFACE LEVEL (mAHD)
- DP DOWNPIPE FROM EAVES GUTTER
- LS LEVEL SPREADER TO LOWER ROOF
- DIRECTION OF FLOW IN GUTTERS
- CONCRETE
- PAVING

NOTES

- ALL DIMENSIONS TO BE CONFIRMED ON SITE. LEVELS AND SITE LAYOUT BASED ON SURVEY UNDERTAKEN BY TRUE NORTH SURVEYS (DATED 22 APRIL 2009).
- LOCATION OF ALL SERVICES MUST BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF EXCAVATION.
- ALL STORMWATER DRAINAGE PIPES AND ASSOCIATED DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH RELEVANT STANDARDS, THE BUILDING CODE OF AUSTRALIA, MANUFACTURER'S RECOMMENDATIONS, SYDNEY WATER AND LOCAL COUNCIL REQUIREMENTS, AS APPLICABLE. ALL PIPES TO BE $\phi 100$ UPVC LAID AT MIN 1% FALL IN DIRECTION OF FLOW.
- ALL INVERT LEVELS PROVIDED ON THIS DRAWING ARE REDUCED TO AHD AND BASED ON INTERPOLATED SURFACE LEVELS AND SYSTEM REQUIREMENTS.
- ALL GUTTERS TO HAVE A MINIMUM CROSS-SECTIONAL AREA OF 8000mm^2 WITH $\phi 100$ DOWNPIPES FOR EACH 26m^2 ROOF AREA, OR EQUIVALENT TO DIVERT 100 YEAR ARI FLOWS TO OSD TANK. CONSULT ENGINEER TO CONFIRM REQUIREMENTS FOR ALTERNATIVE GUTTER AND DOWNPIPE CONFIGURATIONS.
- PROVIDE MIN 25mm ANNULAR SPACE AROUND PIPEWORK CUT THROUGH FOOTINGS OR WALLS AND FILL SPACE WITH FLEXIBLE LINER. PROVIDE TWO FLEXIBLE JOINTS IN PIPEWORK AT 300mm AND 700mm FROM FACE OF FOOTING OR WALL. PENETRATIONS BELOW SURFACE LEVEL TO BE SEALED AND MADE WATERTIGHT.

ON-SITE DETENTION CALCULATIONS

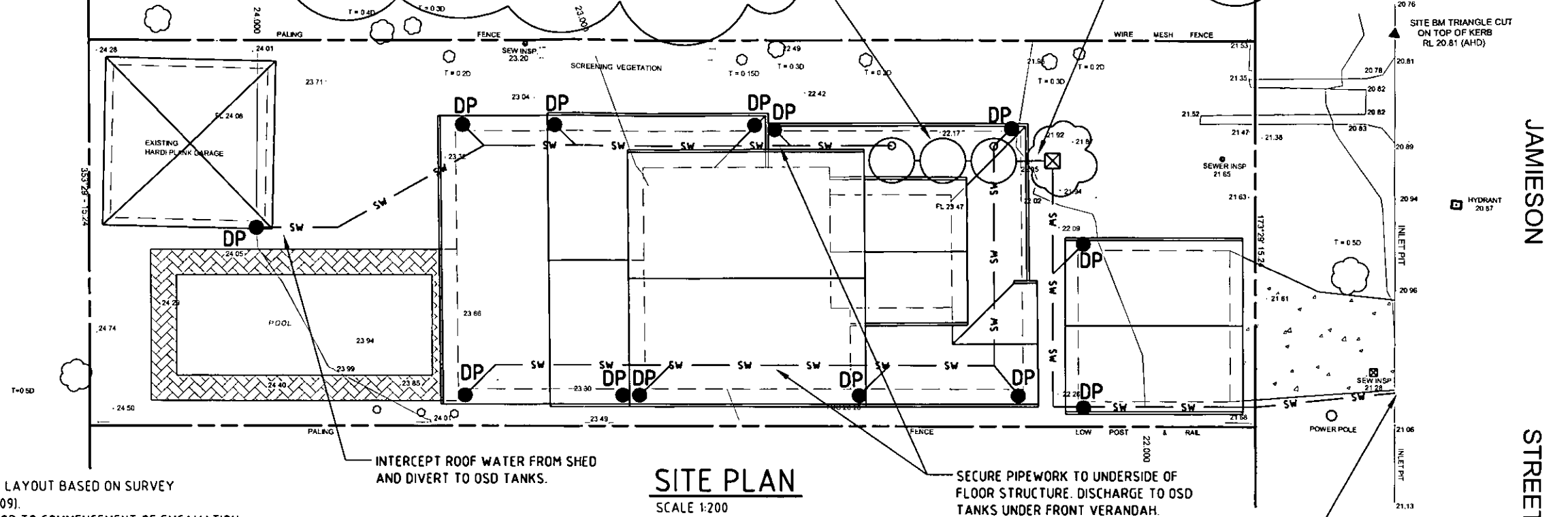
SITE AREA	697m ²
AREA DRAINING TO OSD/REUSE STORAGE	
IMPERVIOUS	303m ²
PERVIOUS	-
AREA BYPASSING OSD/REUSE STORAGE	
IMPERVIOUS	71m ²
PERVIOUS	323m ²
OSD STORAGE REQUIRED	7,500L
RAINWATER REUSE VOLUME PROVIDED	-
OSD STORAGE PROVIDED	7,500L

MODELLED FLOWS

PEAK FLOW (L/s)	5 YEAR ARI	20 YEAR ARI	100 YEAR ARI
UNDEVELOPED SITE	25	35	44
DEVELOPED SITE	22	34	41

THREE NOM 2500L EGR SQUAT PE RAINWATER TANKS ($\phi 1770 \times 1220$ HIGH),
LOCATED UNDER FRONT VERANDAH (FFL 23.47) AND CONFIGURED FOR USE
AS 7,500L OSD STORAGE. REFER TO DETAIL. VERANDAH SUBFLOOR TO
REMAIN READILY ACCESSIBLE FOR INSPECTIONS AND MAINTENANCE.

DIVERT OSD TANK OUTLET TO ORIFICE
CONTROL PIT. REFER TO DETAIL.



SITE PLAN

SCALE 1:200

240x240x3mm
STAINLESS STEEL PLATE

M10 DYNABOLTS OR EQUIV.

ORIFICE DETAIL

SCALE 1:10

$\phi 58\text{mm}$ ORIFICE TO BE PRECISION
CUT WITH SHARP EDGES

$\phi 90$ PIPE BEHIND TO CONNECT
OSD STORAGE TANKS

RETAIN EXISTING OUTLET TO STREET
KERB & GUTTER. RELOCATE CLEAR OF
NEW DRIVEWAY CROSSING IF REQUIRED.

THE ON-SITE STORMWATER DETENTION SYSTEM
AND/OR DRAINAGE WORKS HAVE BEEN ASSESSED
BY THE DEVELOPMENT ENGINEERING SECTION
AND ARE:

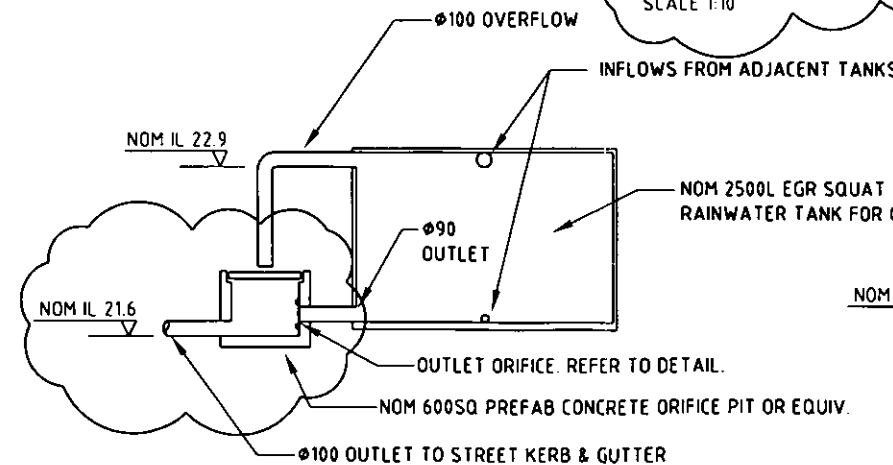
☒ SATISFACTORY ☐ UNSATISFACTORY
☐ SATISFACTORY SUBJECT TO
AMENDMENTS/ADDITIONS SHOWN IN RED

DEVELOPMENT ENGINEER
DATE 9/2/10

$\phi 100$ OVERFLOW CONNECTIONS

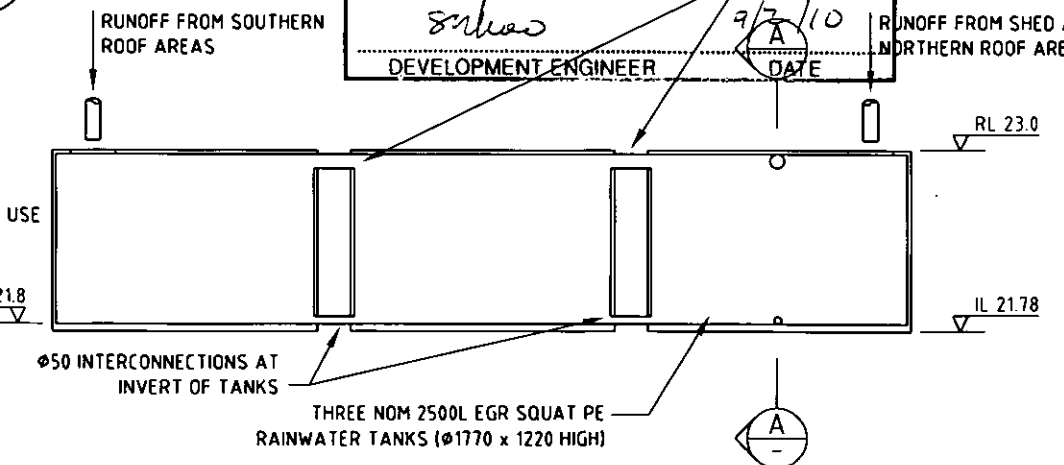
RUNOFF FROM SOUTHERN
ROOF AREAS

RUNOFF FROM SHED AND
NORTHERN ROOF AREAS



SECTION A-A

SCALE 1:50



OSD STORAGE TANKS - SECTION

SCALE 1:50

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ISSUE	DESCRIPTION	BY	APR	DATE
B	ORIFICE CONTROL PIT LOCATED OUTSIDE ALL STRUCTURES	JC	KW	20.01.10
A	ISSUED FOR DEVELOPMENT APPLICATION	JC	KW	11.12.09

DESIGNER/ARCHITECT:
J.D EVANS and COMPANY PTY. LTD
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 0418 976 596

CHARTERED PROFESSIONAL ENGINEER:
Waddington Consulting Pty Ltd
ACN 130 522 851
Structural and Civil Engineering Consultants
Suite 6, Level 5, 22 Central Avenue Manly NSW
P.O. Box 1044 Manly NSW 1655
Phone (02) 9976 0070 Fax (02) 9976 0095
Email enquiries@wadconsulting.com

PROJECT:
PROPOSED ALTERATIONS & ADDITIONS
at: 20 JAMIESON PARADE, COLLAROY
for: D BLACK & A VAN BUREN
DRAWING TITLE:
STORMWATER MANAGEMENT PLAN

DESIGN: K.W. DATE: DEC 2009
DRAWN: K.W. SCALE: 1:200
FILENAME: 9110-C1.00.DWG
SIGNED: *K.Wooddy* SIZE: A3
DRAWING No: 9110-C1.00 REV: B