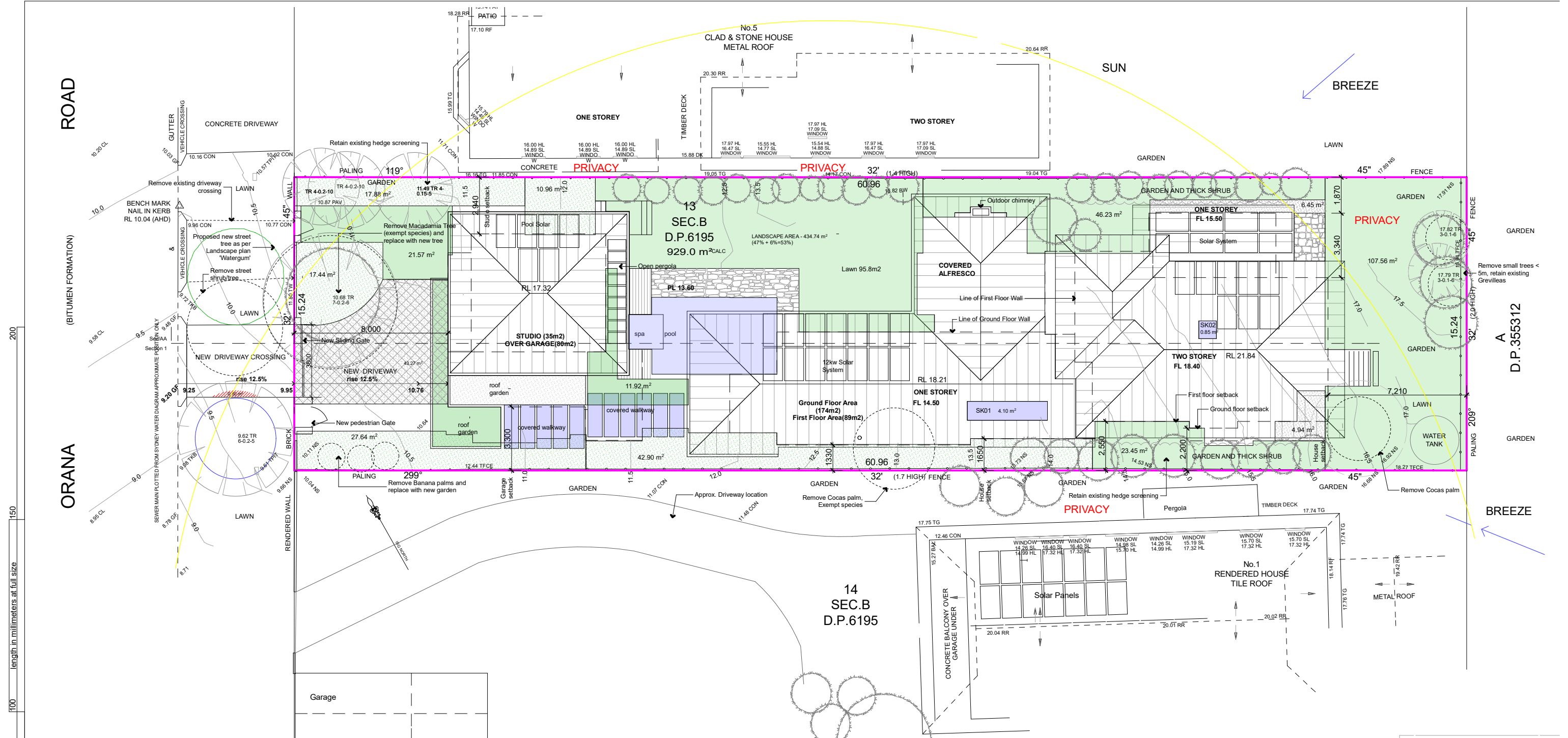




Site and Roof Plan



Streetfront View



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/1363

B- DA Additional Information
A- DA Amendment 11.10.22

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

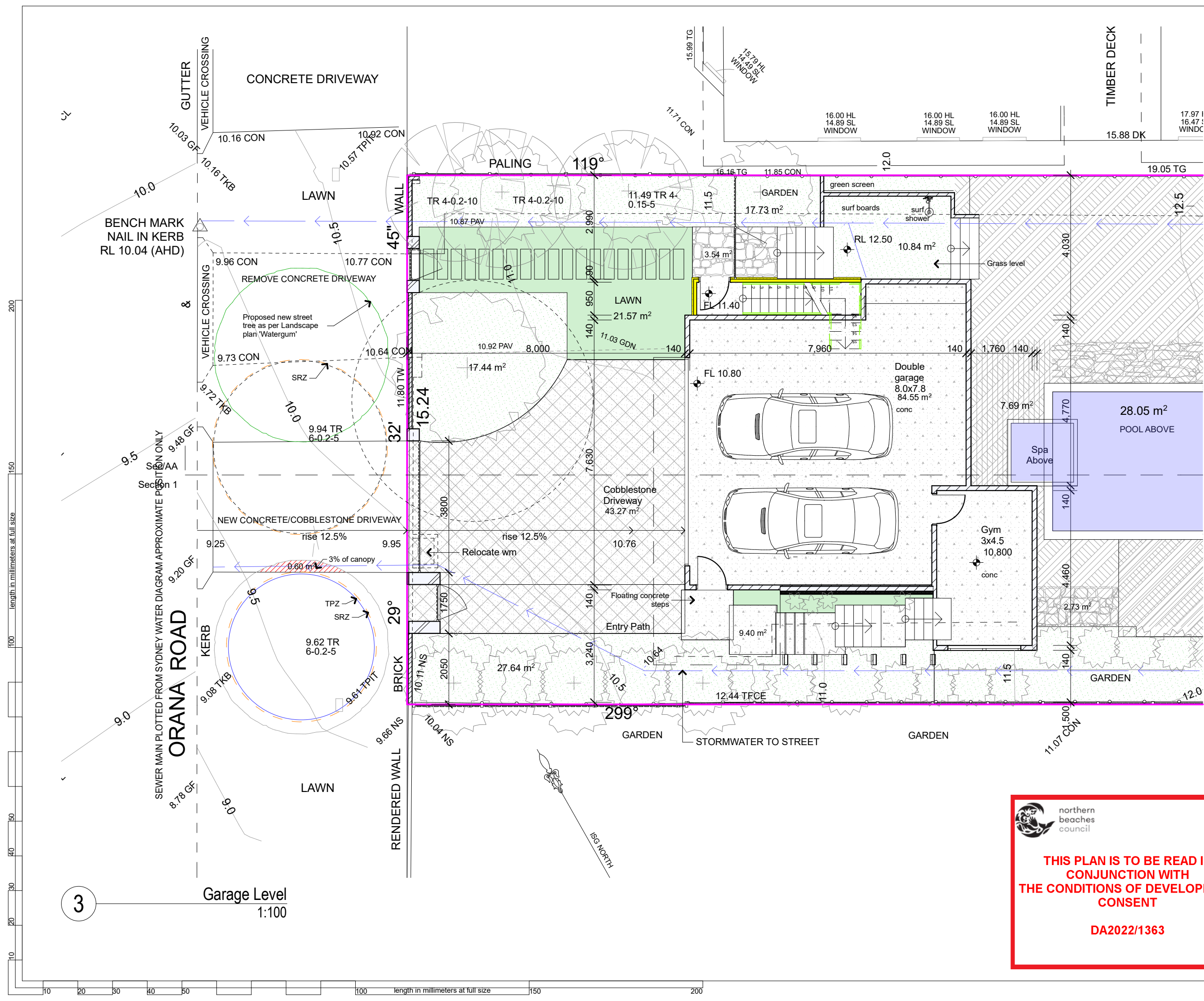
Drawing Title:
Plans Ground - Site Analysis and Roof Plan
Streetfront View, Site and Roof Plan

Scale: as noted Date: 20.12.22

Status: DA Checked By: SH

Project No: 2022 02 Drawing No.: DA00 -B

Plot Date: 20/12/2022



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

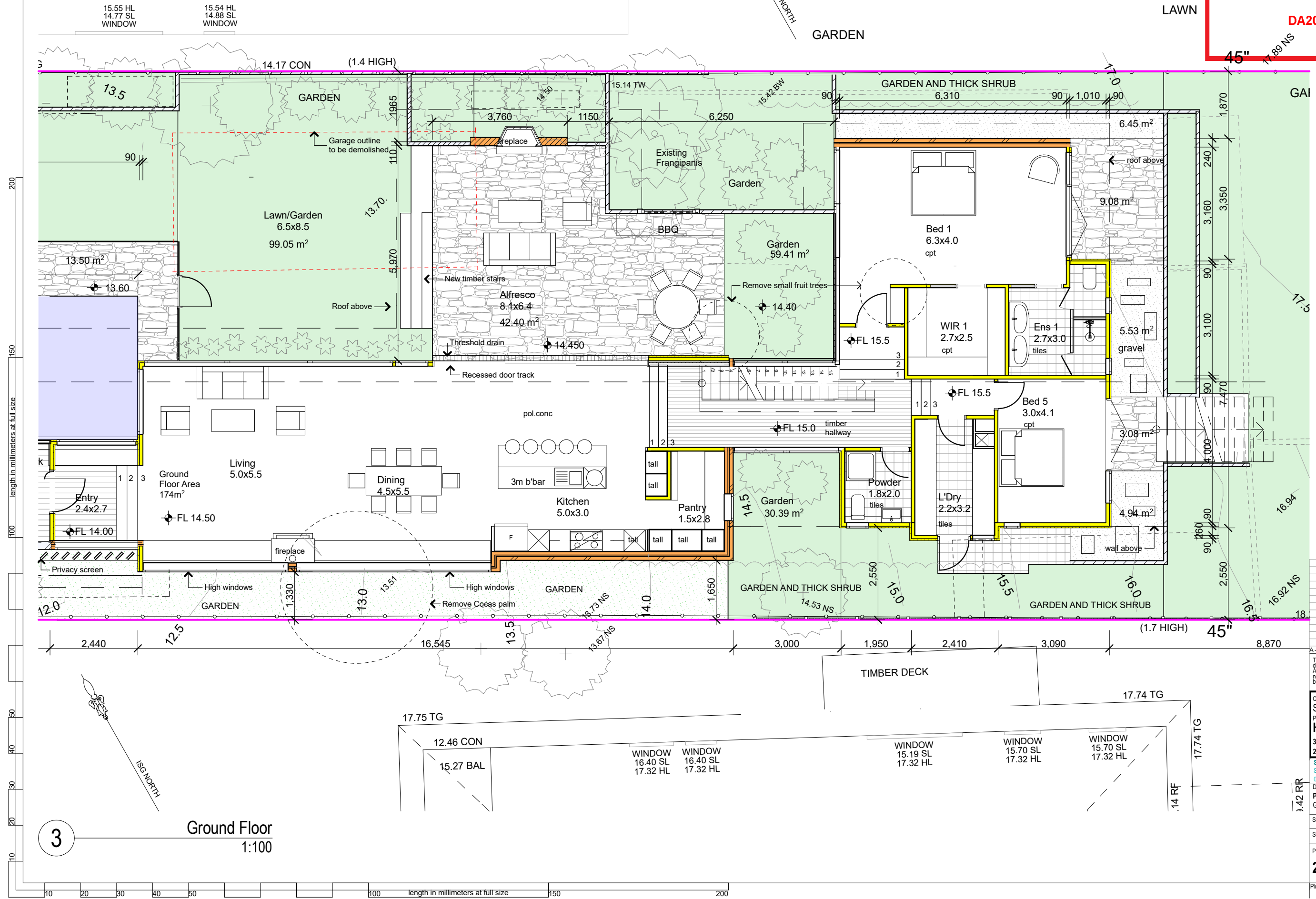
DA2022/1363

A - DA Amendment 11.10.22	
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.	
Client S & J Halpin	
Project Name Halpin House and Pool	
3 Orana Rd Mona Vale 2103	
SITE SPECIFIC DESIGNS Sheralee Hogan B.Sc(Arch) B.(Arch) U Syd 0416 954 635 sheralee.ssd@bigpond.com	
Drawing Title: Plans Ground - Garage Floor Garage Level	
Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: 2022 02	Drawing No.: DA01 -A
Plot Date:	18/10/2022



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CONSENT

DA2022/1363



DA Amendment 11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No:
2022 02

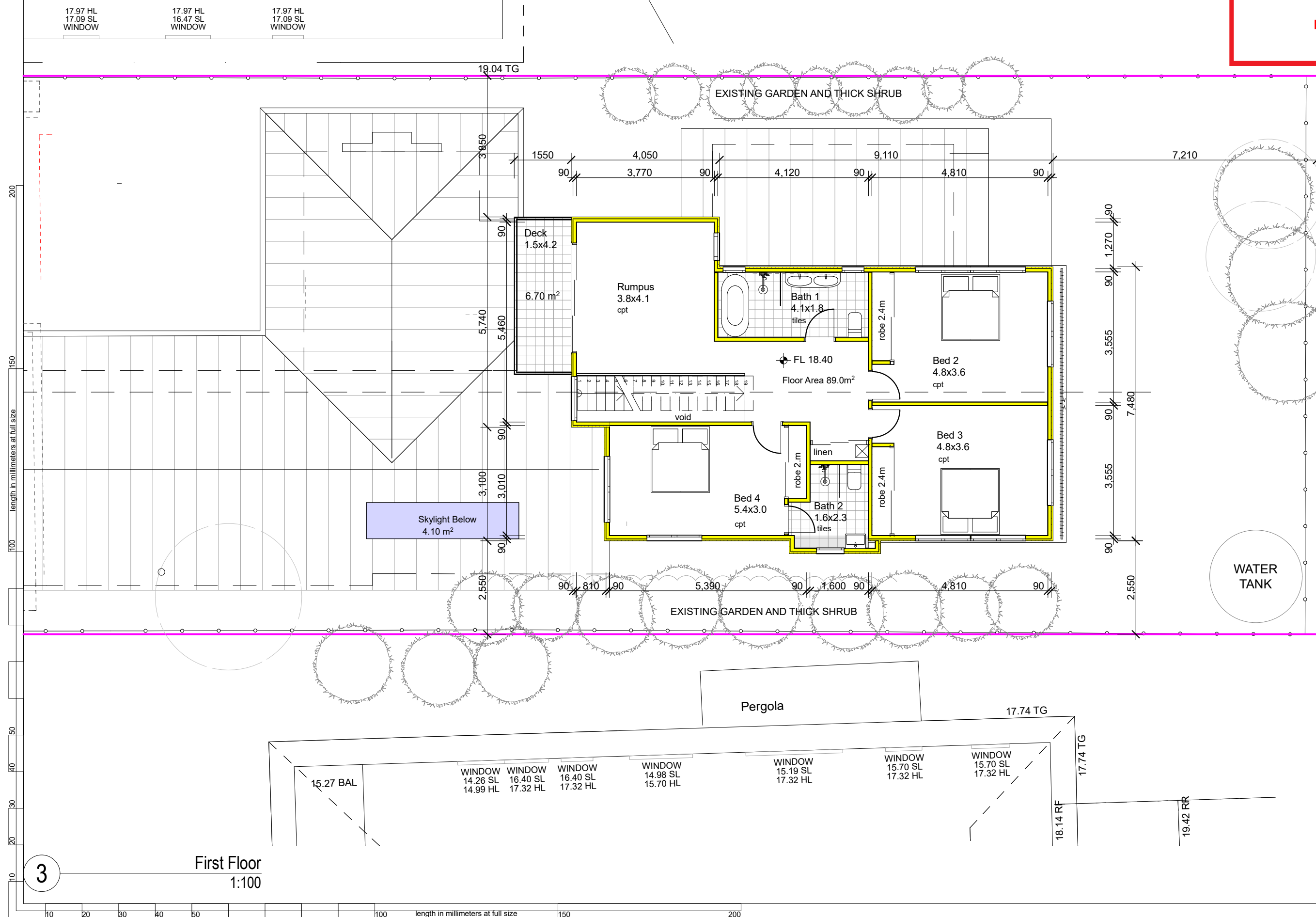
Drawing No.:
DA02-b -A

Plot Date: 13/10/2022



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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/1363



A -	DA Amendment	11.10.22
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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - First Floor Plan
First Floor

Scale: as noted	Date: 11.10.22
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Status: DA	Checked By: SH
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Project No:	Drawing No.:
2022 02	DA03 -A

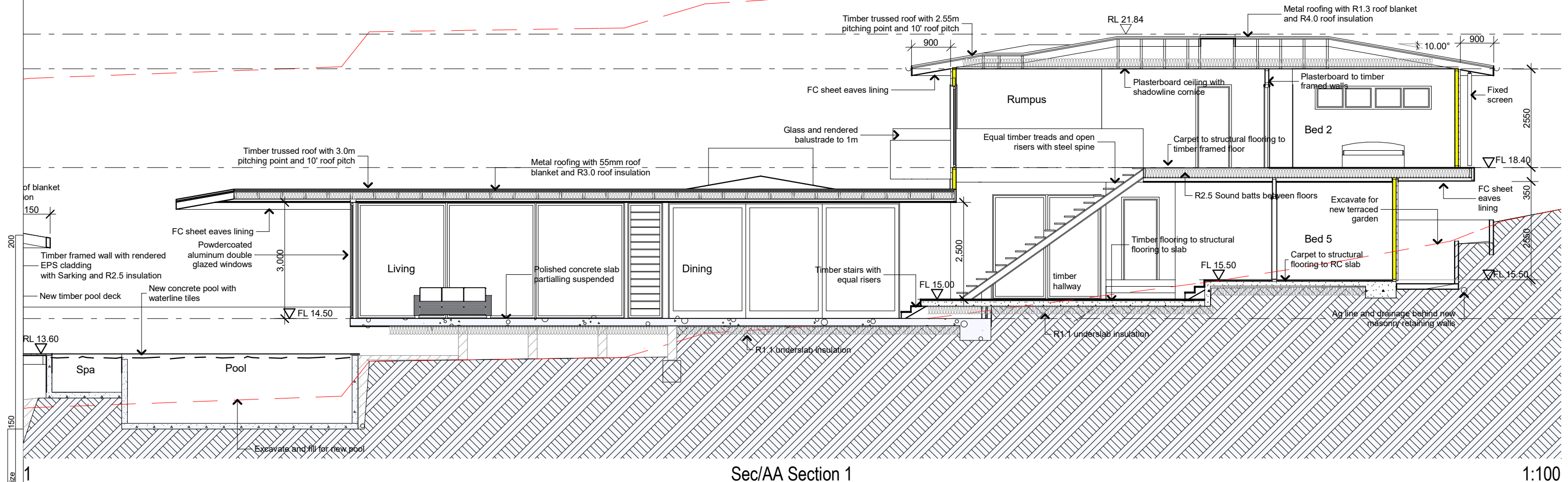
Plot Date:	13/10/2022
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0007832160 19 Oct 2022
Assessor: Terry Chapman
Accreditation No. 20820
Address:
3 Orana Road, Mona Vale,
NSW, 2103

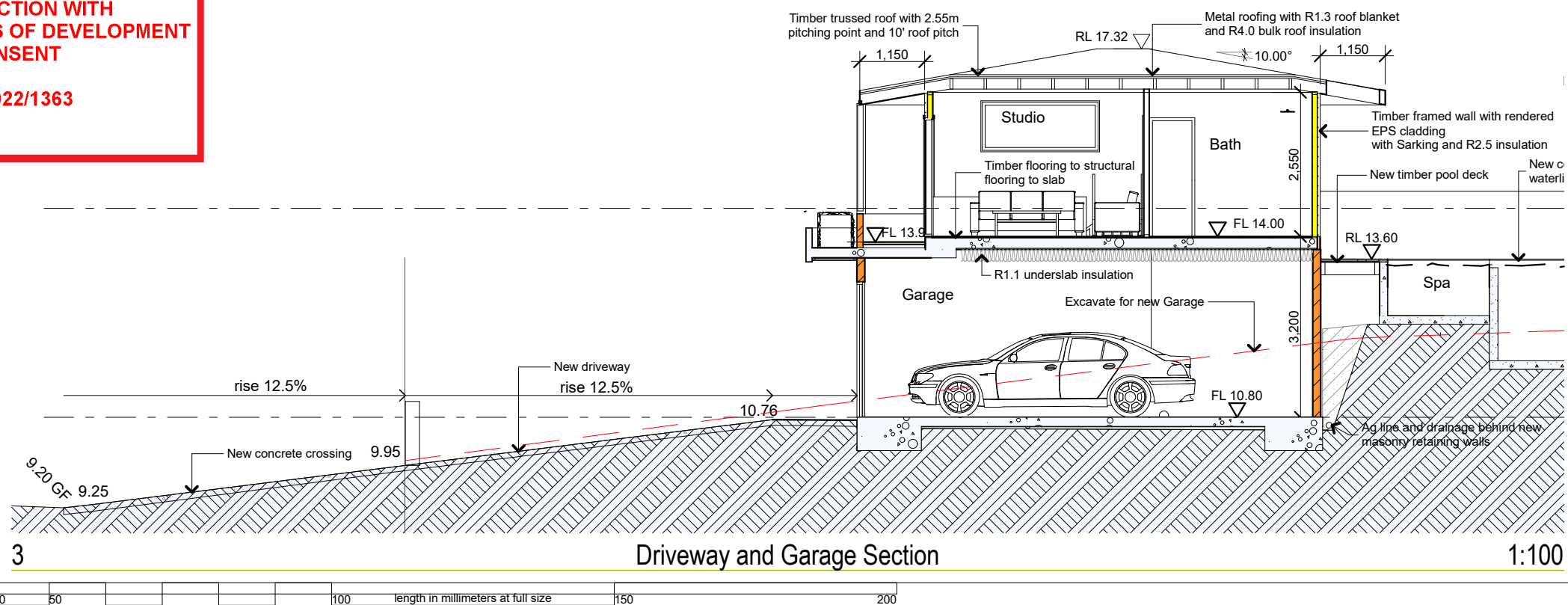


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DA2022/1363



A - DA Amendment 11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Sections
Driveway and Garage Section, Sec/AA Section 1

Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

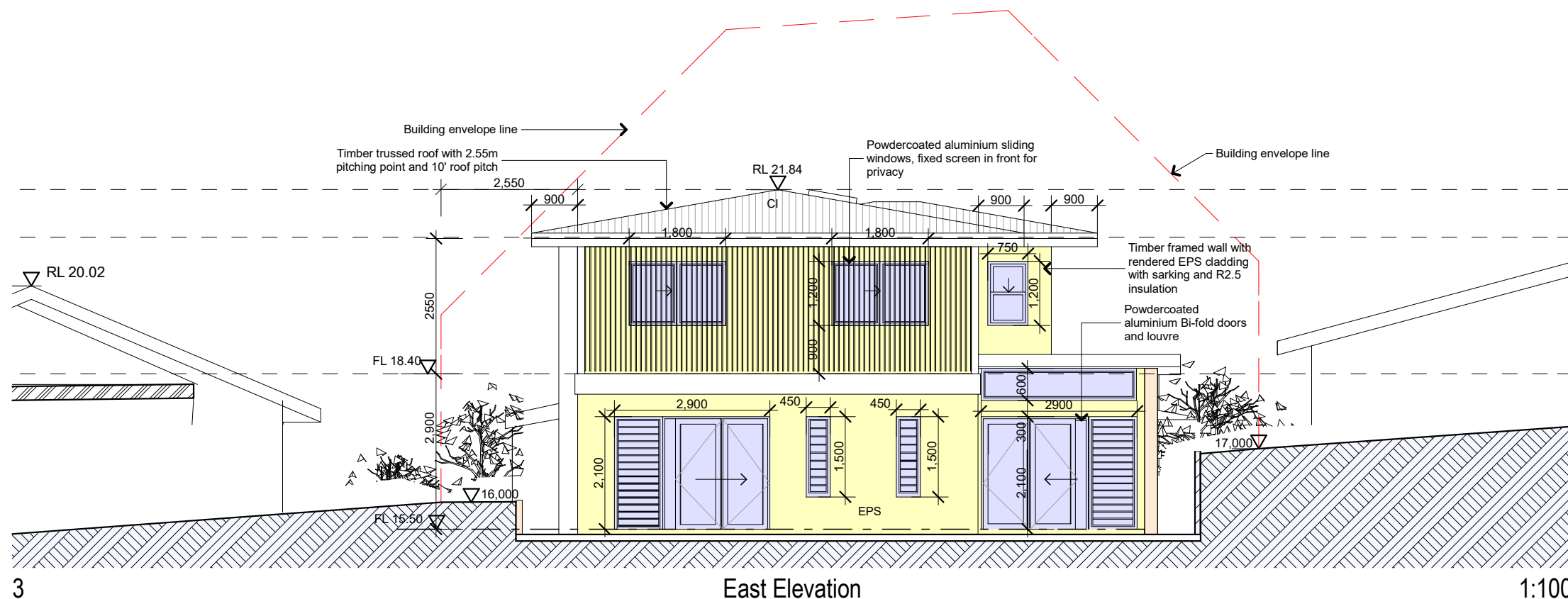
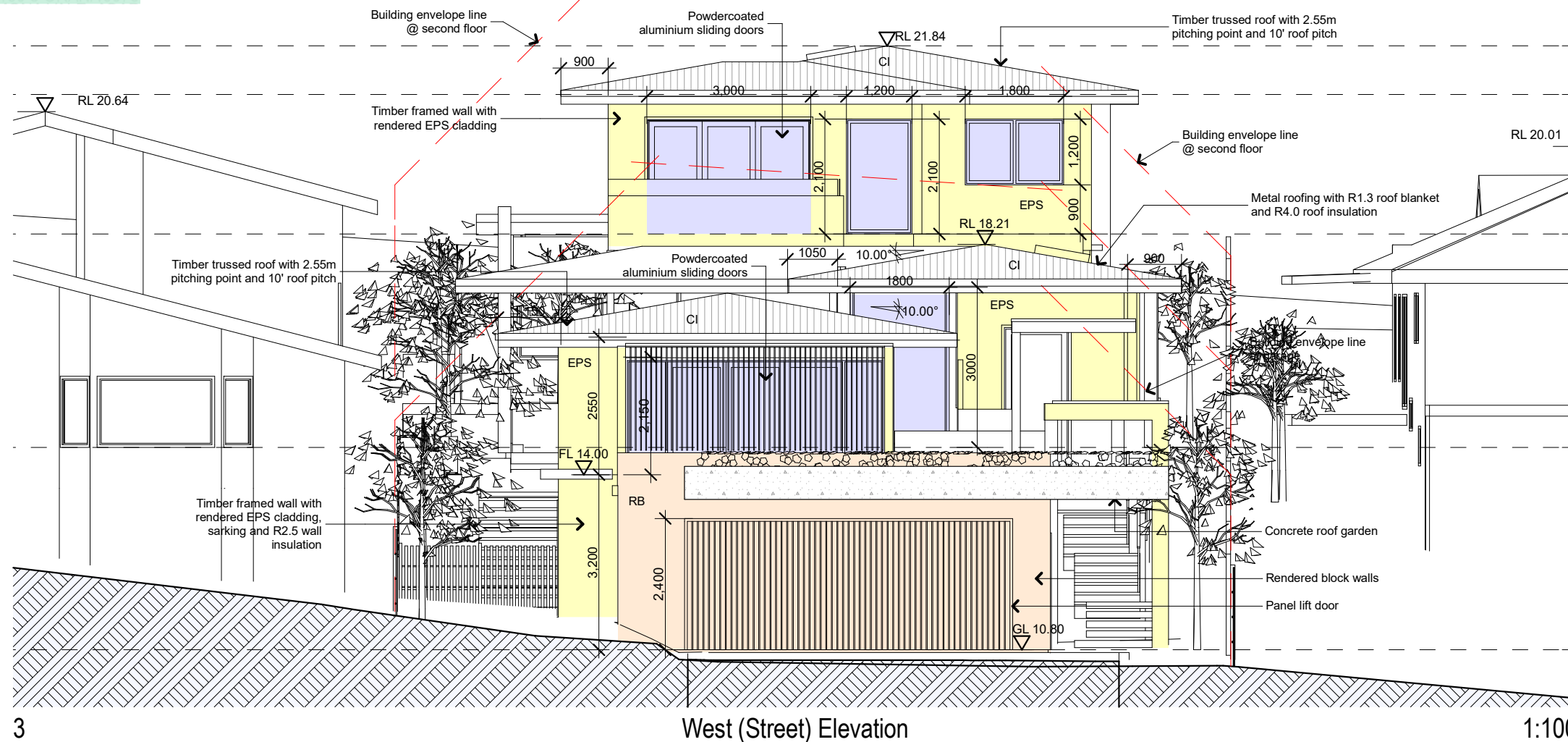
Project No: 2022 02 Drawing No.: DA04 -A

Plot Date: 11/10/2022



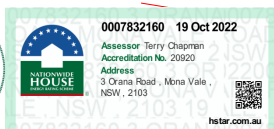
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/1363



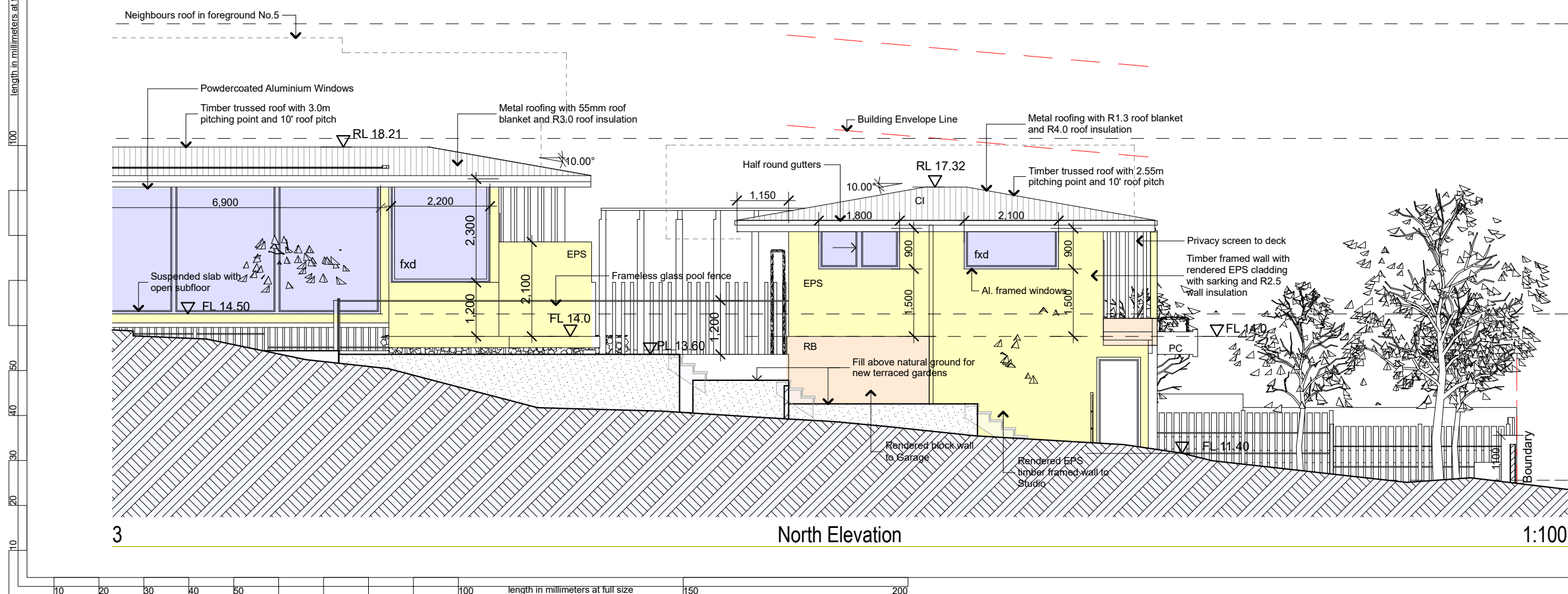
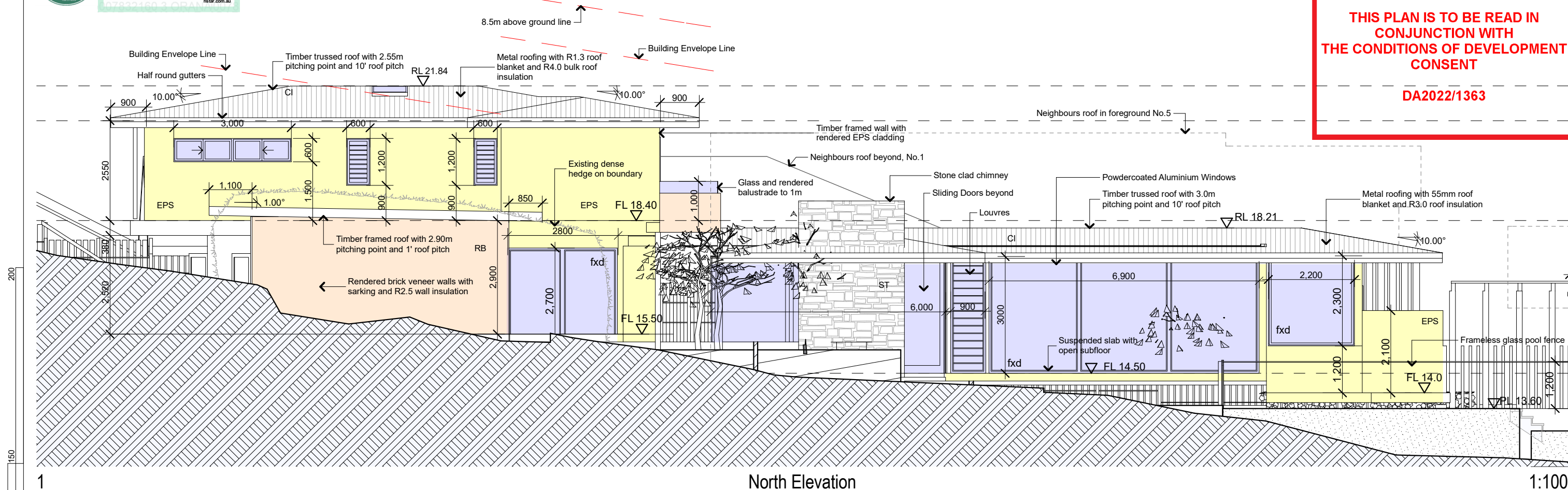
A - DA Amendment 11.10.22		
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.		

Client S & J Halpin		
Project Name Halpin House and Pool		
3 Orana Rd Mona Vale 2103		
SITE SPECIFIC DESIGNS Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd 0416 954 635 sheralee.ssd@bigpond.com		
Drawing Title: Elevations - Elevations		
West (Street) Elevation, East Elevation		
Scale: as noted	Date: 11.10.22	
Status: DA	Checked By: SH	
Project No: 2022 02	Drawing No.: DA05 -A	
Plot Date:	13/10/2022	



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CONSENT**

DA2022/1363



A -	DA Amendment	11.10.22
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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
North Elevation

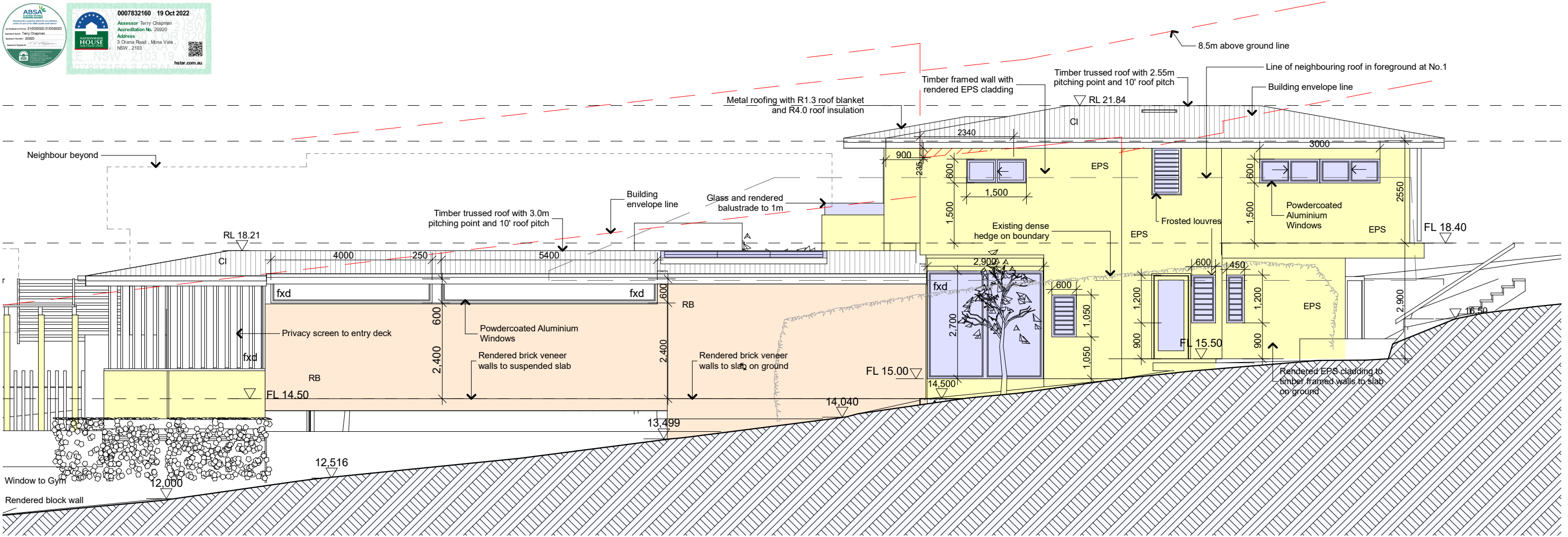
Scale: as noted	Date: 11.10.22
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Status: DA	Checked By: SH
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Project No:	Drawing No.:
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2022 02	DA06	-A
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ROLL OF	DATE
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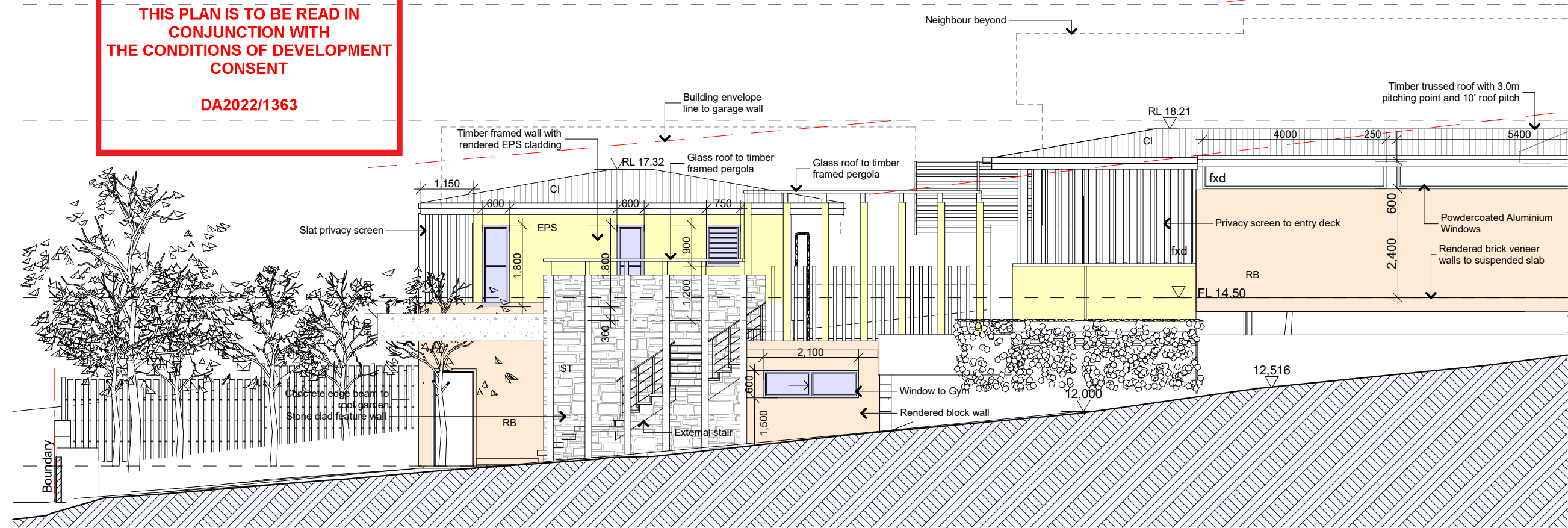


South Elevation

1:100



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THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2022/1363**



South Elevation

1:100

A - DA Amendment 11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
South Elevation

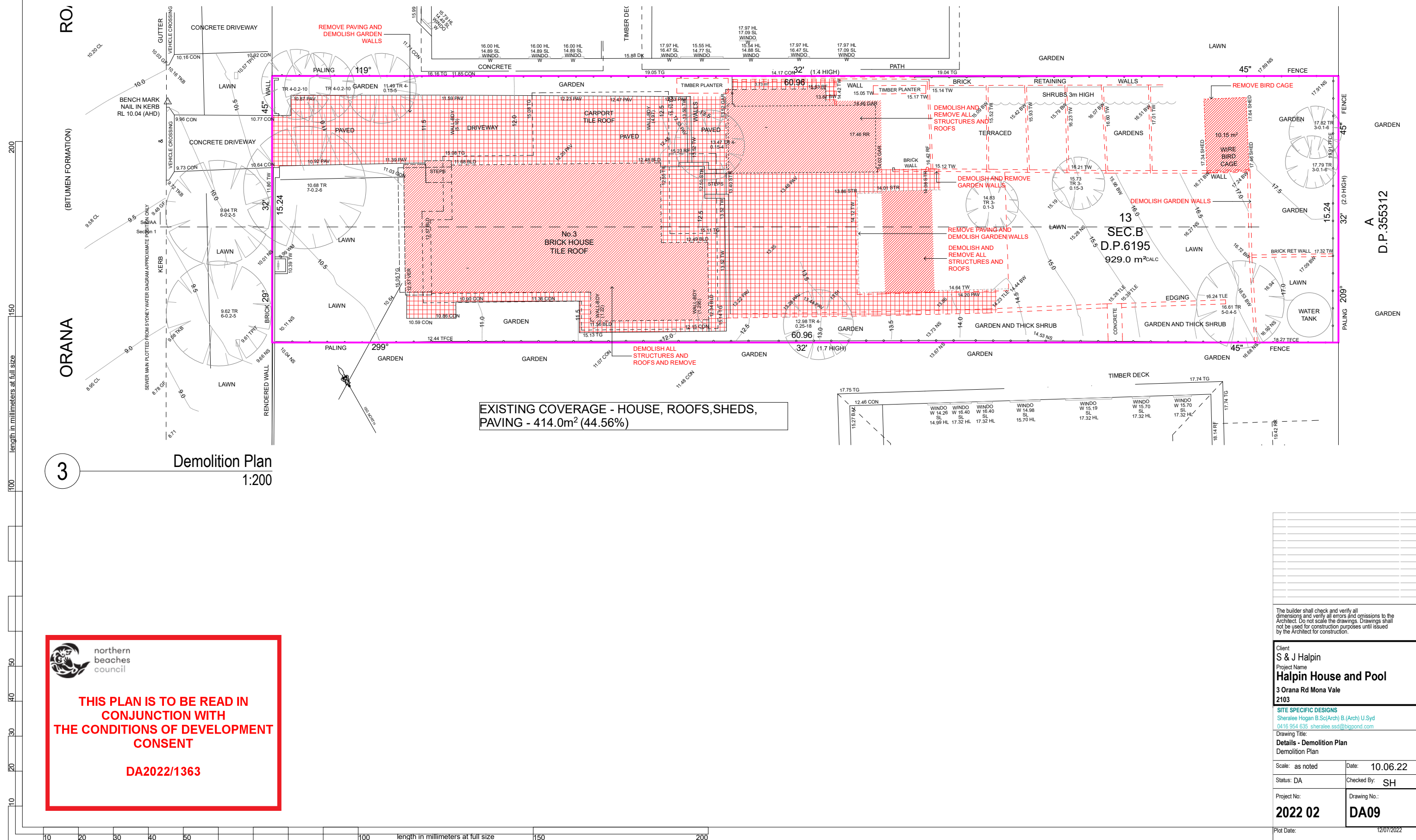
Scale: as noted Date: 11.10.22

Status: DA Checked By: SH

Project No: Drawing No.:

2022 02 DA07 -A

Plot Date: 13/10/2022



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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@biopond.com

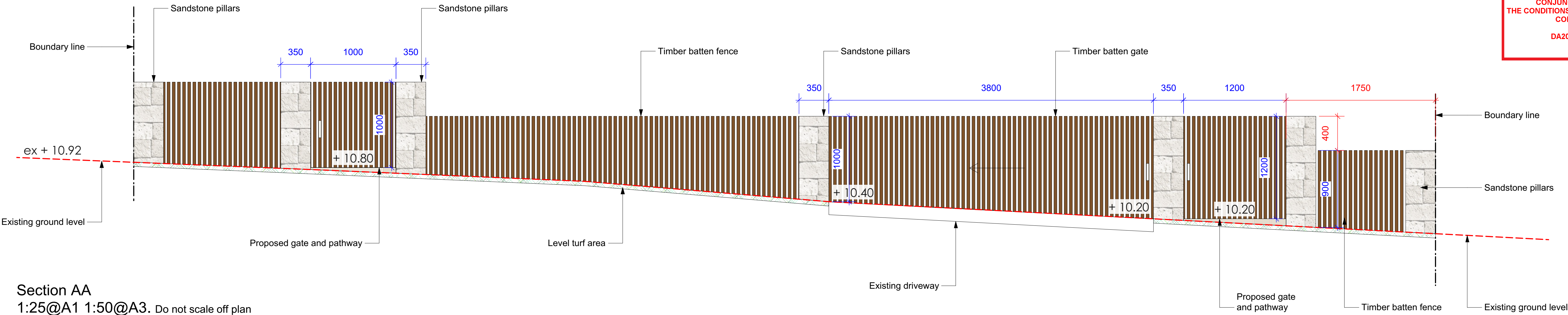
Drawing Title:
Details - Demolition Plan
Demolition Plan

Scale: as noted	Date: 10.06.22
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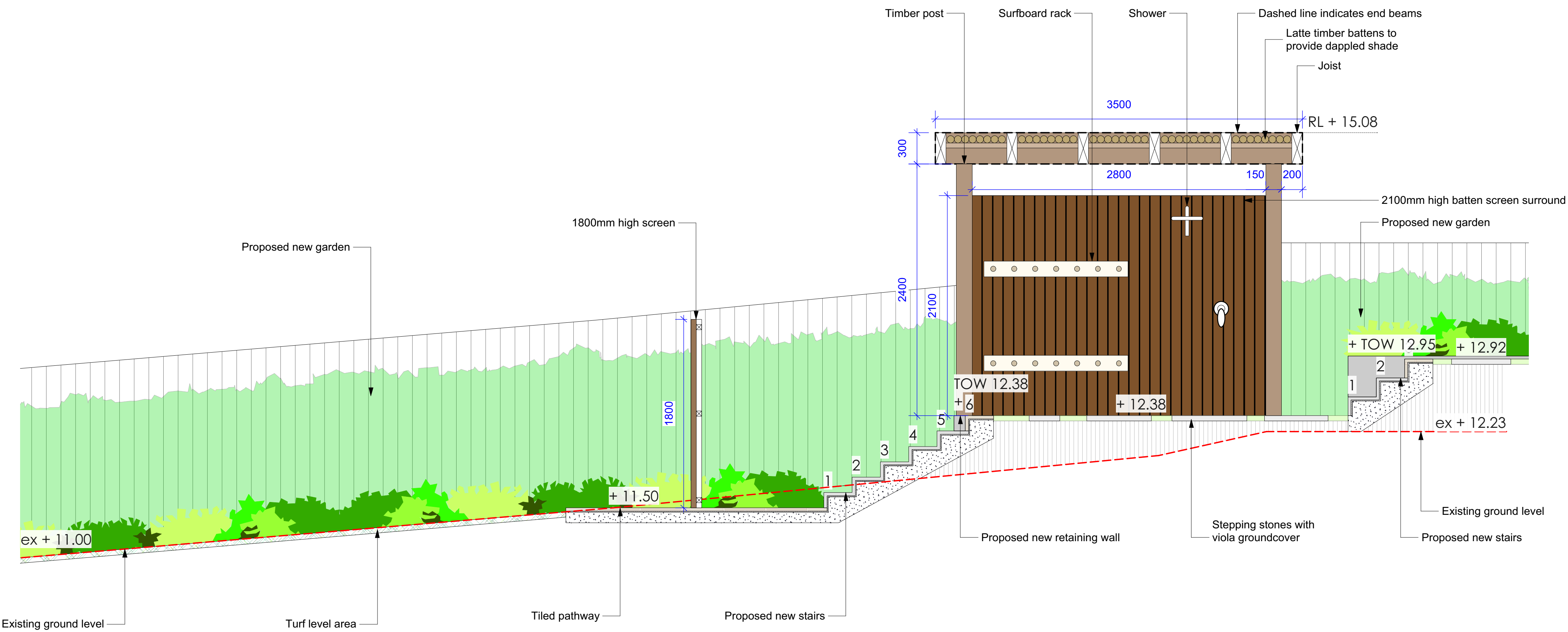
Status: DA	Checked By: SH
Project No:	Drawing No:

Project No:	Drawing No.:
2022 02	DA09

Plot Date:	12/07/2022
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Section AA
1:25@A1 1:50@A3. Do not scale off plan



Section BB
1:25@A1 1:50@A3. Do not scale off plan

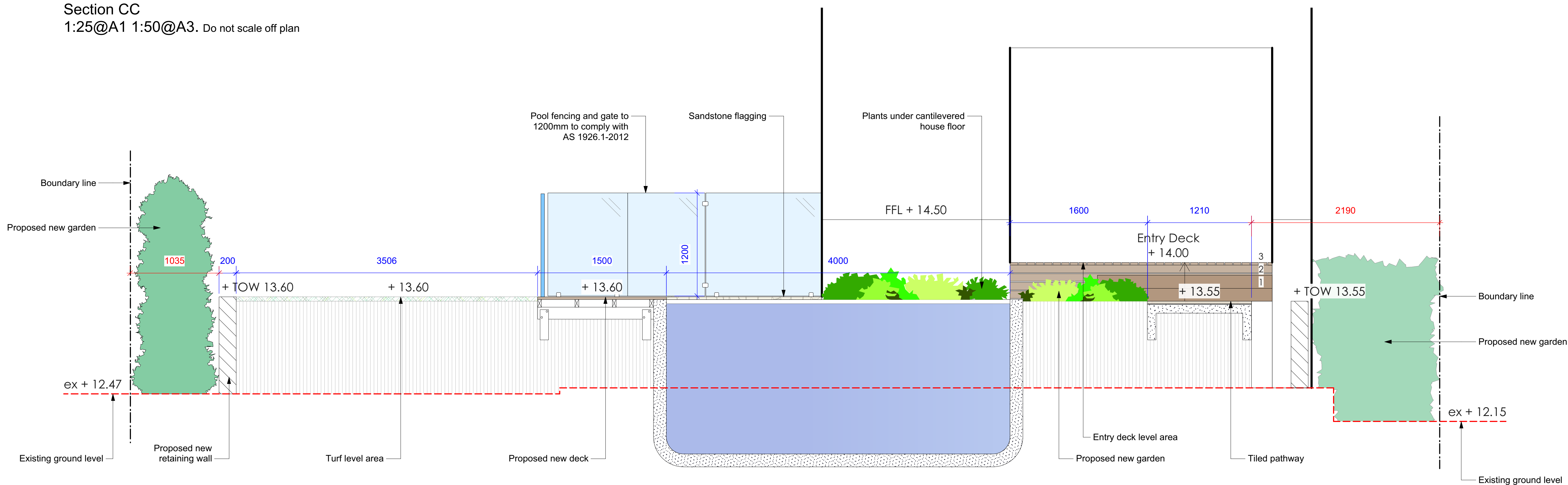
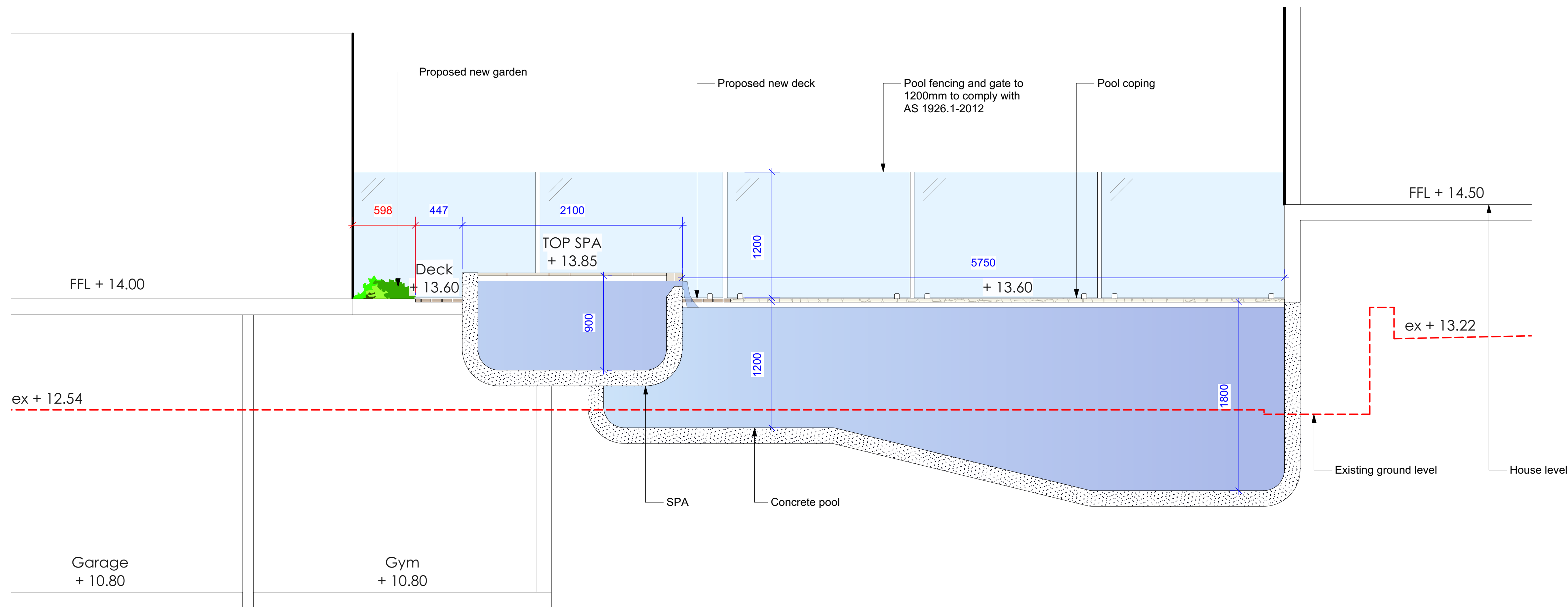
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C	05/07/22	Issue for DA.	PROJECT #	22101
B	23/06/22	DRAFT issue for DA.	CLIENT	3 Orana Road, Mona Vale
A	27/04/22	DRAFT issue for review.	SCALE @ A1	See above
ISSUE	DATE	REVISION	DWG #	Sht-106
PROJECT	3 Orana Road, Mona Vale		DRAWN	RAR
CLIENT	S & J Halpin		CHKD	JK
DWG	Sections		REVISION	
Jamie King Landscape Architect			W: www.jamieking.com.au	
22 Coonanga Road, Avalon, NSW, 2107			T: 0421 517 991	
			E: jamie@jamieking.com.au	



JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

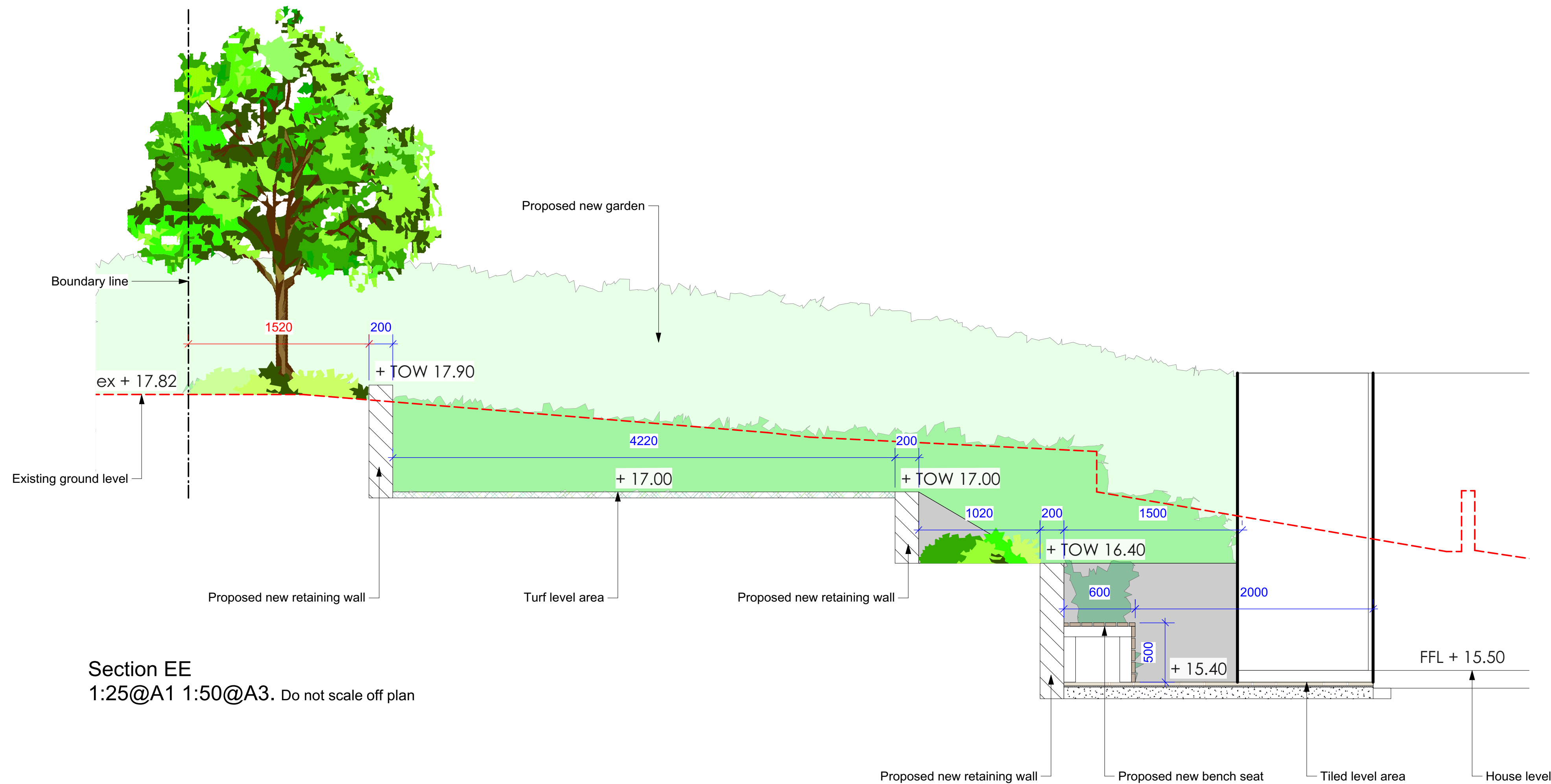


Notes:
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JAMIE KING
LANDSCAPE ARCHITECT
DESIGN ● APPROVE ● MANAGE

C	05/07/22	Issue for DA.
B	23/06/22	DRAFT issue for DA.
A	27/04/22	DRAFT issue for review.
ISSUE	DATE	REVISION
PROJECT	3 Orana Road, Mona Vale	
CLIENT	S & J Halpin	
DWG	Sections	
CHKD	JK	REVISION
PROJECT #	22101	
DATE #	See above	DWG #
SCALE @ A1	See Plan	
DRAWN	RAR	Sht-107
CHKD	JK	
Jamie King Landscape Architect		
22 Coonanga Road, Avalon, NSW, 2107		
T: 0421 517 991		
W: www.jamieking.com.au		
E: jamie@jamieking.com.au		



Section EE
1:25@A1 1:50@A3. Do not scale off plan

Notes:

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C	05/07/22	Issue for DA.
B	23/06/22	DRAFT issue for DA.
A	27/04/22	DRAFT issue for review.

ISSUE	DATE	REVISION
PROJECT	3 Orana Road, Mona Vale	PROJECT # 22101
CLIENT	S & J Halpin	DATE # See above DWG #
DWG	Sections	SCALE @ A1 See Plan Sht-108
DRAWN	RAR	CHKD JK
REVISION		

Jamie King Landscape Architect	W: www.jamieking.com.au
22 Coonanga Road, Avalon, NSW, 2107	T: 0421 517 991 E: jamie@jamieking.com.au



JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE