

14 August 2009

The General Manager  
Manly Council  
PO Box 82  
Manly NSW 1655

Attention: Planning Department

Dear Sir/Madam,

**RE: DA NO: 205/07**  
**136 CONDOMINE STREET, BALGOWLAH NSW**

Please find attached the Construction Certificate for the proposed development that has been granted by the Accredited Certifier.

The certificate relates to the erection of a front fence and gate only, at the above address.

Together with the certificate, we have enclosed the following for Council's record:

1. Notice of Commencement of Building Work & Appointment of PCA
2. Application Form
3. Other Documentation relied upon
4. Approved Plans

We have attached a cheque for the registration of this certificate. In forwarding the receipt for this cheque it is requested that reference be made to the address of the premises.

If you have any queries regarding the above please do not hesitate to contact the undersigned on 9279 3657 during business hours.

Yours faithfully,



Wayne Treble  
Dix Gardner Pty Ltd

CC:- Caverstock Group Pty Ltd.

Manly Council  
19 AUG 2009  
Position ☐  
Signed ☐  
Document No

\$30.00  
R/ 630321  
15/19/09

## Construction Certificate

Issued under the Environmental Planning and Assessment Act 1979

**Certificate No.:** 311/09

**Subject Land:** 136 Condamine Street, Balgowlah NSW  
**Lot and DP:** Lot 31, DP 9789

**Applicant:** Caverstock Group Pty Ltd.  
**Address:** 300 Sydney Road, Balgowlah NSW  
**Ph./Fax:** 0411-408-646 / 9264-9396

**Owner:** Thomas L. Baker

**Description of Building Works:** Erection of a front fence & gate only

**BCA Classification:** Class 10b

**Cost of Building Works:** \$36,000

**Builder:** Bosco Building Pty Ltd.

**DA No.:** 205/07  
**Determination Date:** 8/08/2007  
**Consent Authority:** Manly Council

**Date of Receipt of CC application:** 30/04/2009  
**Determination:** Approved  
**Date of Determination:** 14/08/2009

**Approved Plans:** Network Design; Project 05-07-C0  
Sheets 1 & 2 dated May 2007.

**Attachments:**

- Other Documentation relied upon
- Approved Plans

**Accreditation Level:** A1 – Accredited Certifier – Building Surveyor Grade 1  
**Registration No.:** BPB0413  
**Accreditation Body:** Building Professional Board

### I certify that:

- the work, if completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation), will comply with the requirements of *Environmental Planning & Assessment (EP&A) Regulation 2000* as are referred to in sec. 81A (5) of the *EP&A Act 1979*.

Signed:



Wayne Treble  
Accredited Certifier

Date: 14/08/2009



Building Certifiers  
Strata Plan Certifiers  
Building Regulations  
Consultants  
Fire Safety Consultants

## APPLICATION FORM

Environmental Planning & Assessment Act 1979, s.109C  
Environmental Planning & Assessment Regulation 2000, cl.126 or 139

☒ Construction Certificate (CC) ☐ Strata Certificate (SC)  
☐ Complying Development Certificate (CDC)

## APPLICANT

Name CAVERSTOCK GROUP PTY LIMITED  
Address 300 SYDNEY ROAD  
BALGOWLAH NSW.  
Signature & Date [Signature] 23-4-09  
Phone & Fax 0411 408 646 9264 9396

## OWNER

Name \* THOMAS LESLIE BAKER  
Address \* 136 CONDOMINE ST, BALGOWLAH

As the owner/s of the subject property, I/we hereby consent to this Application of the Certificate for the proposed development described below.

Signature & Date \* [Signature] 28-4-09

## SUBJECT LAND

Address 136 CONDOMINE ST BALGOWLAH  
NSW.  
Lot & DP \* LOT 31 DP 9789

## PROPOSAL

Description New front fence and crossover  
Or No. of Lots —  
(if Strata)

## DEVELOPMENT CONSENT NOT APPLICABLE FOR APPLICATIONS FOR CDC

DA No. 205/07  
Date of Lodgement 14-6-07  
Date of Determination 8-8-07

## VALUE OF WORKS

Estimated Cost of Works ~~\$19,929~~ 36,000 -

## Notice of Commencement of Building Work and Appointment of Principal Certifying Authority

Environmental Planning and Assessment Act 1979  
Sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

Address

136 CONDAMINE STREET  
BALGOWLAH NSW

### OWNER

Name

THOMAS LESLIE BAKER

Address

136 CONDAMINE ST, BALGOWLAH

### PROPOSAL

Description

New front fence and crossover.

### CONSENT

DA/DC No.

205/07

Date of Determination

8-8-07

### PRINCIPAL CERTIFYING AUTHORITY

Name:

Wayne Treble

Accreditation no:

BPB0413

Accreditation grade:

Grade 1

Accreditation body:

B.P.B.

Address:

Level 4, 155 Castlereagh Street, Sydney 2000

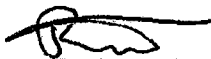
### COMPLIANCE WITH CONDITIONS & H.O.W. INSURANCE

- Have relevant conditions of development consent CDC been complied with? ☐ Yes ☐ No
- Have the requirements under the Home Building Act 1989 been complied with? ☐ Yes ☐ No

### DATE WORK IS TO COMMENCE

- After 48 hours from the date of lodgement of this form with the consent authority

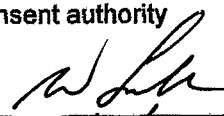
X Owner's signature:



Date:

28-4-09.

PCA signature:



Date:

14/8/09

## Notification of Mandatory Inspections

Environmental Planning and Assessment Act 1979 Sections 81A & 86 and Regulation 2000 Clauses 103A & 135A

### Subject Land

Address

136 CONDOMINE ST BALGOWLAH

Description of Works

New front fence and cross over.

### Consent

DA/DC No.

205/07

CC No.

### Principal Certifying Authority

Name:

Accreditation no.

### The Following are Critical Stage Mandatory Inspections

*They are required pursuant to Section 109E (3) (d) of the Act & Clause 162A of the Regs*

(4) In the case of a class 1 or 10 building,

- (a) at the commencement of the building work, and (DG)
- (b) after excavation for, and prior to the placement of, any footings, and (Eng)
- (c) prior to pouring any in-situ reinforced concrete building element, and (Eng)
- (d) prior to covering of the framework for any floor, wall, roof or other building element, and (Eng)
- (e) prior to covering waterproofing in any wet areas, and (DG)
- (f) prior to covering any stormwater drainage connections, and (Eng)
- (g) after the building work has been completed and prior to any occupation certificate (DG)

(5) In the case of a class 2, 3 or 4 building,

- (a) at the commencement of the building work, and (DG)
- (b) waterproofing in any wet areas, for a minimum of 10% of rooms with wet areas (DG)
- (c) prior to covering any stormwater drainage connections, and (AE)
- (d) after the building work has been completed and prior to any occupation certificate (DG)

(6) In the case of a class 5, 6, 7, 8 or 9 building,

- (a) at the commencement of the building work, and (DG)
- (b) prior to covering any stormwater drainage connections, and (AE)
- (c) after the building work has been completed and prior to any occupation certificate. (DG)

**Legend: DG = Dix Gardner AE = Accredited Engineer Eng = Member IE Aust**

### Person with the benefit of the Development Consent/DC

x Name THOMAS BAKER x Signature [Signature] x Date 28-4-09

Please Note: If a builder is appointed the legislation requires you to notify them of these inspections.  
A missed inspection may result in the PCA being prohibited from issuing an Occupation Certificate.

# ABS Schedule to Construction Certificate Application

## particulars of the proposal

What is the area of the land (m<sup>2</sup>) ..... **NA**  
 Gross floor area of existing building (m<sup>2</sup>) ..... **NA**  
 What are the current uses of all or parts of the building(s)/land? ..... **NA**  
 (if vacant state vacant) .....

Location

Use

*This is for a front fence*

Does the site contain a dual occupancy? ..... **NA**  
 What is the gross floor area of the proposed addition or new building (m<sup>2</sup>) ..... **NA**  
 What are the proposed uses of all parts of the building(s)/land? .....

Location

Use

*This is for a front fence.*

Number of pre-existing dwellings ..... **NA**  
 Number of dwellings to be demolished ..... **NA**  
 How many dwellings are proposed? ..... **NA**  
 How many storeys will the building consist of? ..... **NA**

## materials to be used

Place a tick adjacent to the material which best describes what the new work will be constructed of:

| walls                | code | roof                             | code |
|----------------------|------|----------------------------------|------|
| brick veneer         | 12   | aluminium                        | 70   |
| full brick ✓         | 11   | concrete                         | 20   |
| single brick         | 11   | concrete tile                    | 10   |
| concrete block ✓     | 11   | fibrous cement                   | 30   |
| concrete/masonry     | 20   | fibreglass                       | 80   |
| concrete             | 20   | masonry/terracotta shingle tiles | 10   |
| steel                | 60   | slate                            | 20   |
| fibrous cement       | 30   | steel                            | 60   |
| hardiplank           | 30   | terracotta tile                  | 10   |
| cladding - aluminium | 70   | other                            | 80   |
| curtain glass        | 50   | unknown                          | 90   |
| other                | 80   |                                  |      |
| unknown              | 90   |                                  |      |
| floor                |      | frame                            |      |
| concrete             | 20   | timber                           | 40   |
| timber               | 10   | steel                            | 60   |
| other                | 80   | other                            | 80   |
| unknown              | 90   | unknown                          | 90   |

# **136 CONDAMINE STREET, BALGOWLAH**

## **EROSION AND SEDIMENT CONTROL PLAN**

### **1. Scope of Works**

The work to be carried out is the construction of a new vehicular cross over and the removal and construction of the front fence. The works are relatively minor and the existing ground levels are to be maintained. This will also mean that the current overland water paths, which are typically away from the existing fences (and the area of works), are to be unaltered.

### **2. Grass Filter Strip**

The existing grass nature strip adjoining the fence will be maintained for the duration of the works. This will act as a buffer to trap any sediment.

### **3. Sediment Sock in Street Gutter**

As a final barrier, a Sediment Sock will be placed diagonally in the gutter on the low side of the property to form a dam. Any trapped sediment will be cleared out at the conclusion of each days work (or as necessary).

136 Condemia St  
Balgowlah

**SYDNEY WATER  
APPROVED**

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3249211

Reece, Brookvale.  
Quick Check Agent on behalf of  
SYDNEY WATER

Per: Reece 5/6/09



## Application Lodgement Summary

Sydney  
**WATER**

Reference Number 2584953

Date Requested: Fri June 5 2009

**Agent** Reece Brookvale, 25 Orchard Road Brookvale  
**Applicant** Caverstock Group, 185 Liverpool st Sydney 2000  
**Property/Asset** 136 Condamine St, Balgowlah 2093 (TI Baker) PNum: 3249211  
225 mm VC Sewer Main - (4237017)  
**Product** Building Plan Approval Application

| Charge                                 | Product Cost | GST    | Total   |
|----------------------------------------|--------------|--------|---------|
| Building Plan Approval Application Fee | \$25.00      | \$0.00 | \$25.00 |

**Property Special Conditions**

|                           |         |
|---------------------------|---------|
| Boundary Trap Required    | Yes     |
| Watercharged/Tidal area   | No      |
| Partial Drainage area     | No      |
| Aggressive Soil area      | No      |
| Cast Iron Pipe area       | No      |
| Sewer Surcharge area      | No      |
| Minimum Gully Height area | No      |
| Sewer Available           | Yes     |
| Connection Type           | Gravity |

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph: 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

**Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.**

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.

**Greg Sullivan**

**From:** Rob Michael [Rob.Michael@manly.nsw.gov.au]  
**Sent:** Thursday, 11 June 2009 11:47 AM  
**To:** Greg Sullivan  
**Cc:** Bill Adamopoulos  
**Subject:** RE: PRIVATE - 134 to 140 Condamine St, Balgowlah.

Great I'll talk to you then. Thanks

Regards,  
Rob Michael  
Engineer -Infrastructure and Services  
Manly Council  
9976-1621

**From:** Greg Sullivan [mailto:gsullivan@caverstockgroup.com.au]  
**Sent:** Thursday, 11 June 2009 11:34 AM  
**To:** Rob Michael  
**Cc:** Steve Quill; Pat Gocher; Bernard Quinlan  
**Subject:** RE: PRIVATE - 134 to 140 Condamine St, Balgowlah.

Rob,

Thank you for your assistance with this – we will brief the Contractor today on the proposal for wider cross-overs.

I will have you called for the formwork inspections. We will have this work commenced early next week.

Regards,  
Greg Sullivan  
Development Manager  
Caverstock Group Pty Ltd

t 02 9264 3188  
f 02 9264 9396  
m 0411 408 646

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**From:** Rob Michael [mailto:Rob.Michael@manly.nsw.gov.au]  
**Sent:** Thursday, 11 June 2009 10:11 AM  
**To:** Greg Sullivan  
**Cc:** Bill Adamopoulos  
**Subject:** RE: PRIVATE - 134 to 140 Condamine St, Balgowlah.

Council  
Approval \*

Hi Greg,

Please proceed with the driveway construction as discussed on site with the extended widths and notify me when you ready for a formwork inspection. Thanks

Regards,  
Rob Michael

11/06/2009

Engineer -Infrastructure and Services  
Manly Council  
9976-1621

**From:** Greg Sullivan [mailto:gsullivan@caverstockgroup.com.au]  
**Sent:** Wednesday, 10 June 2009 12:49 PM  
**To:** Rob Michael  
**Cc:** Wayne Treble; Bernard Quinlan; Steve Quill; Pat Gocher  
**Subject:** PRIVATE - 134 to 140 Condamine St, Balgowlah.

FOR THE ATTENTION OF MR ROB MICHAEL  
Balgowlah

re: Vehicular Cross-overs Condamine St,

overs

Notice as Required for Proposed Vehicular Cross-

Hi Rob,

Thanks for your time to meet with me on site at the "affected properties" 134 to 142 Condamine St Balgowlah on 5-6-2009.

As promised please find attached Plans of each Proposed Vehicular Cross- over and other information, showing the following -

1. Comparison of Existing to Proposed Cross- over.
2. Turning Movements "IN" as plotted by B.G.E p/l our consultant.
3. Turning Movements "OUT" as plotted by B.G.E p/l our consultant.
4. Part plan showing B.G.E. Specs for Turning Movements.
5. Our Submission to Manly Council - 30 September 2008.
6. Manly Council response - 4 Feb 2009 - with no response to Vehicular Cross-overs.
7. Surveyors Plan of existing footpath and cross-overs.

As you can see by the Turning Movements required for residents moving into their properties, the Cross overs from 134 to 142 Condamine St will need to be widened, due to other Vehicles turning into the Village Shopping Centre Carpark.

Could you please respond with approval for these Proposed Cross-overs?

Regards,  
Greg Sullivan  
Development Manager  
Caverstock Group Pty Ltd

t 02 9264 3188  
f 02 9264 9396  
m 0411 408 646

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11/06/2009

APM #143662868045  
 Manly Council  
 PO Box 82  
 MANLY NSW 1635  
 Ph 9976 1500 Fax 9976 1400  
 Email: records@manly.nsw.gov.au  
 Web: www.manly.nsw.gov.au

Date 19/06/2009 10:21  
 Receipt 00619337:0001 Terminal 99:58  
 Stockland Development Pty Ltd

| Details               | Amount |
|-----------------------|--------|
| Builders Deposits -   | 300.00 |
| 010.2008.00000343.001 |        |
| DA 343/08             |        |
| Total Value:          | 300.00 |
| Tendered              |        |
| Cheque                | 300.00 |
| Change                | 0.00   |

APM #143662868045  
 Manly Council  
 PO Box 82  
 MANLY NSW 1635  
 Ph 9976 1500 Fax 9976 1400  
 Email: records@manly.nsw.gov.au  
 Web: www.manly.nsw.gov.au

Date 19/06/2009 10:24  
 Receipt 00619340:0001 Terminal 99:58  
 Stockland Development Pty Ltd

| Details               | Amount |
|-----------------------|--------|
| Builders Deposits -   | 400.00 |
| 010.2007.00000205.001 |        |
| DA 205/07             |        |
| Total Value:          | 400.00 |
| Tendered              |        |
| Cheque                | 400.00 |
| Change                | 0.00   |

APM #143662868045  
 Manly Council  
 PO Box 82  
 MANLY NSW 1635  
 Ph 9976 1500 Fax 9976 1400  
 Email: records@manly.nsw.gov.au  
 Web: www.manly.nsw.gov.au

Date 19/06/2009 10:27  
 Receipt 00619342:0001 Terminal 99:58  
 Stockland Development Pty Ltd

| Details               | Amount |
|-----------------------|--------|
| Builders Deposits -   | 300.00 |
| 010.2008.00000342.001 |        |
| DA 342/08             |        |
| Total Value:          | 300.00 |
| Tendered              |        |
| Cheque                | 300.00 |
| Change                | 0.00   |

**LONG SERVICE**  
BUILDING & CONSTRUCTION

14 August 2009

**CAVERSTOCK**  
L1, 185 LIVERPOOL ST  
SYDNEY NSW 2000Building and Construction Industry  
Long Service Payments Corporation  
Level 1  
19-21 Watt Street  
Gosford NSW 2250  
Locked Bag 3000  
Central Coast MC NSW 2252  
Tel: 13 14 41  
Fax: (02) 9287 5685  
Email: info@lspc.nsw.gov.au  
www.lspc.nsw.gov.au  
ABN 93 646 090 808

As per your request for a copy of your receipt no. 00071821 dated 14 August 2009, the following information is provided:

Received from: (Name of person or organisation paying for levy)

the amount of

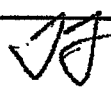
**CAVERSTOCK****\$126.00**

Payment details:

Online 00572490083 \$126.00

being payment for Long Service Levy as detailed below

|                              |                                         |
|------------------------------|-----------------------------------------|
| Levy Payment Form number     | 5001030                                 |
| Council/Department/Authority | MANLY COUNCIL                           |
| D.A. Number                  | 205/07                                  |
| Work address                 | 136 CONDAMOINE ST<br>BALGOWLAH NSW 2083 |
| Estimated value of work      | \$36,000.00                             |
| Levy payable (No exemption)  | \$126.00                                |
| Total levy paid              | \$126.00                                |

Signed: 

Date

14/8/09



Level 9, 309 Kent Street Sydney, New South Wales  
Telephone: (02) 9248 1111  
Facsimile: (02) 9248 1238  
ABN: 24 000 036 279

## Policy Schedule / Certificate of Insurance

Underwritten by Wesfarmers General Insurance Limited (ABN 24 000 036 279), trading as Lumley General.

OWNER COPY

### HOME WARRANTY - JOB SPECIFIC POLICY (NSW) - Owner Copy

This certificate, when read in conjunction with the Policy of Insurance is a contract of insurance complying with: Section 92 in respect of CONTRACT WORK, or Section 93 in respect of SUPPLY OF A KIT HOME, or Section 95 in respect of OWNER BUILDER Work, or Section 96 in respect of WORK BY DEVELOPER AND OTHERS, of the Home Building Act 1989 ('The Act') and/or the Home Building Regulation 1997 ('The Regulations') issued by the Insurer in respect of Residential Building Work performed by the Contractor in line with the Residential Building Work Contract detailed below. Subject to the Act, the Regulation and the conditions of the Contract of Insurance, cover will be provided to the person named as Beneficiary below and Successors in Title to the Beneficiary.

POLICY No.: LGI - 001      CERTIFICATE No.: 174429      POLICY ISSUED: 10/08/2009

#### INSURED

The Building Owner ('Beneficiary'): Tom Baker  
Postal Address: 136 Condamine Street, Balgowlah NSW 2093

#### RESIDENTIAL BUILDING WORK

|                                                   |                                                                         |                       |             |
|---------------------------------------------------|-------------------------------------------------------------------------|-----------------------|-------------|
| Residential Building Work Covered by this Policy: | New Front Fence - Including Gates - as per application dated 10/08/2009 |                       |             |
| At (Site Address):                                | 136 Condamine Street, Balgowlah NSW 2093                                |                       |             |
| Municipality:                                     |                                                                         | Contract Date:        | 20/07/2009  |
| Project Manager:                                  | Steven Talbot                                                           | Contract Price:       | \$36,000.00 |
| Est. Start Date:                                  | 24/08/2009                                                              | Est. Completion Date: | 25/09/2009  |

#### CONTRACTOR

Carried out by (Trading Name): Bosco Building Pty Ltd  
Postal Address: 7 Alexandra Place Mittagong NSW 2575  
ABN / ACN No.: 64 123 934 092  
Licence/Contractor No.: 217211c  
Phone No.: 02 9949 8446

#### MAXIMUM AMOUNT OF COVER AND CLAIMS

The limit of liability is \$300,000.00 in aggregate in relation to each Dwelling, or such amount as is determined by the Regulations pursuant to the Act. The period in respect of which Claims may be made commences on the date of the relevant Residential Building Work Contract or date of issue of the Construction Certificate for the relevant work (whichever is the earlier); and expires on the date defined by Section 4 of the Contract of Insurance, provided that the Insured shall have 90 days from expiry of the Period of Insurance in which to notify the Insurer of any matter of which the Insured became aware during the Period of Insurance as existence of grounds for a Claim.

#### CLAIMS EXCESS

The Insured shall bear at his/her/its own risk five hundred dollars (\$500) in respect of each Claim made under this Policy.

#### PREMIUM

Paid by Builder

Wesfarmers General Insurance Limited, Level 9, 309 Kent Street Sydney, New South Wales (ABN 24 000 036 279)

Signed for and on behalf of Lumley General.

**BG&E PTY LIMITED**

ABN 14 104 853 081

LEVEL 2

8 WINDMILL STREET

SYDNEY NSW 2000

AUSTRALIA

TEL: +61 2 9770 3300

FAX: +61 2 9770 3399

EMAIL: info@bgeeng.com

WEBSITE: www.bgeeng.com

COUNCIL COPY

**BG  
&E**

14 May 2009

Ref: S05015 Design Cert Ltr - Fences 14 May 2009.doc

Caverstock Group Pty Ltd  
Level 1, 185 Liverpool Street  
SYDNEY NSW 2000

Attention: Mr B Quinlan

Dear Sir,

**CONDAMINE STREET FRONT FENCES  
DESIGN CERTIFICATION**

BG&E Pty Limited, being chartered consulting engineers and members of the Association of Consulting Engineers of Australia, hereby certify that this practice has carried out the structural design of the front fences at 134, 136, 140 & 142 Condamine Street, Balgowlah NSW 2093.

A copy of the relevant structural drawings S05015.01 - SSK000 Rev A, S05015.01 - SSK001 Rev C, S05015.01 - SSK002 Rev A, S05015.01 - SSK003 Rev A & S05015.01 - SSK004 Rev A are appended for your reference and record.

We have carried out the structural design and checking in accordance with the structural provisions of the Building Code of Australia, SAA Codes AS 1170.1 - Dead and Live Loads, AS 1170.2 - Wind Loads, AS 3600 - Concrete Structures, and AS 3700 - Masonry Structures, together with other ancillary codes and with accepted engineering principles and practice.

Our involvement, and this certification, shall not be misconstrued as relieving the Builder and any other parties of their contractual responsibilities.

Yours faithfully,  
for BG&E PTY LIMITED



JOE CATANZARITI  
Director

enc.

SYDNEY • MELBOURNE • PERTH • DUBAI • ABU DHABI

These design drawings and the copyright therein are the property of BG&E Pty Limited and must not be used, reproduced or copied wholly or in part without the written permission of BG&E Pty Limited.

## 1.0 GENERAL

- 1.01 TECHNICAL SPECIFICATIONS OR SPECIFIC INSTRUCTIONS ON DRAWINGS TAKE PRECEDENCE OVER THESE NOTES.
- 1.02 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION FROM THESE DRAWINGS, AND THEIR ASSOCIATED CONSULTANTS' DRAWINGS, IS NOT TO COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES.
- 1.03 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARYED BY THE PROJECT SPECIFICATION.
- 1.04 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SOLED FOR DIMENSIONS.
- 1.05 DURING CONSTRUCTION THE STRUCTURE, AND ANY ASSOCIATED EXCAVATIONS, SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- 1.06 UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN MILLIMETRES (mm) AND ALL LEVELS ARE IN METRES (m) TO AUSTRALIAN HEIGHT DATUM (AHD).
- 1.07 ALL ABBREVIATIONS ARE IN ACCORDANCE WITH AS 1100. ADDITIONAL ABBREVIATIONS USED ARE AS FOLLOWS:
- |      |                        |
|------|------------------------|
| NSOP | NOT SHOWN ON PLAN      |
| NSOE | NOT SHOWN ON ELEVATION |
| UNO  | UNLESS NOTED OTHERWISE |
| U/S  | UNDERSIDE              |
| GL   | GROUND LINE            |
| RL   | REDUCED LEVEL          |
| FPL  | FINISHED FLOOR LEVEL   |

## 2.0 DESIGN DATA

- 2.01 THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT STANDARDS AUSTRALIA CODES AND LOCAL GOVERNMENT ORDINANCES FOR THE FOLLOWING LOADINGS. REFER TO ARCHITECTURAL DRAWINGS FOR PROPOSED FLOOR USAGE.

## 3.0 FOUNDATIONS

- 3.01 FOUNDATIONS HAVE BEEN DESIGNED FOR THE FOLLOWING ALLOWABLE PRESSURES:

| ELEMENT  | BEARING PRESSURE (kPa) | SHAFT ADHESION (kPa) |
|----------|------------------------|----------------------|
| FOOTINGS | 100 kPa                | -                    |

- 3.02 THE BUILDER SHALL OBTAIN APPROVAL OF THE FOUNDATION MATERIAL BEFORE PLACING CONCRETE BY A QUALIFIED GEOTECHNICAL ENGINEER.
- 3.03 FOOTINGS SHALL BE LOCATED CENTRALLY UNDER WALLS AND COLUMNS UNLESS NOTED OTHERWISE.
- 3.04 DO NOT BACKFILL RETAINING WALLS (OTHER THAN CANTILEVER WALLS) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM IS COMPLETED. ENSURE FREE DRAINING BACKFILL AND DRAINAGE IS IN PLACE.
- 3.05 FOOTINGS TO BE CONSTRUCTED AND BACKFILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING OR DRYING OUT BY EXPOSURE.

## 4.0 CONCRETE

- 4.01 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARYED BY THE CONTRACT DOCUMENTS.
- 4.02 PRE-MIXED CONCRETE SUPPLY SHALL COMPLY WITH AS 1379.
- 4.03 NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING.
- 4.04 CONCRETE MIX DESIGNS TO BE SUBMITTED FOR REVIEW PRIOR TO USE OF CONCRETE.
- 4.05 ENSURE CLEAR COVER TO REINFORCEMENT IS AS FOLLOWS UNLESS DETAILED OTHERWISE.

| ELEMENT  | COVER (mm)                       |                                      |                                  |
|----------|----------------------------------|--------------------------------------|----------------------------------|
|          | FORMED - EXPOSED TO WEATHER (B2) | FORMED - NOT EXPOSED TO WEATHER (A1) | NOT FORMED - CAST AGAINST GROUND |
| FOOTINGS | -                                | -                                    | 75                               |

NOTES: (i) SOME ELEMENTS HAVE ADDITIONAL COVER REQUIREMENTS FOR FIRE RESISTANCE AND DURABILITY AND THIS IS NOTED ON THE DRAWINGS.

(ii) COVER SHOWN IS THE MINIMUM COVER TO ALL GROOVES AND CHAMFERS.

(iii)  DENOTES SPECIAL DURABILITY CONCRETE WHERE AN ELEMENT HAS AT LEAST ONE FACE EXPOSED TO THE WEATHER. REFER DRAWING FOR LOCATIONS. AN ADDITIONAL 10mm COVER TO THAT NOTED ABOVE IS REQUIRED. NO METALLIC ITEMS, INCLUDING SLEEVES, FORMWORK SPACES, ETC. ARE TO BE LOCATED WITHIN THE COVER ZONE.

- 4.06 CONCRETE SIZES SHOWN DO NOT INCLUDE THICKNESSES OF APPLIED FINISHES.
- 4.07 FOR CHAMFERS, DRIP GROOVES, REGLETS, ETC., REFER TO ARCHITECTURAL DETAILS. MAINTAIN COVER TO REINFORCEMENT AT THESE DETAILS.
- 4.08 NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- 4.09 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- 4.10 THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.
- 4.11 CURING OF ALL CONCRETE IS TO BE ACHIEVED BY KEEPING SURFACES CONTINUOUSLY WET FOR A PERIOD OF 3 DAYS, AND PREVENTION OF LOSS OF MOISTURE FOR A TOTAL OF 7 DAYS FOLLOWED BY A GRADUAL DRYING OUT. APPROVED SPRAYED ON CURING COMPOUNDS THAT COMPLY WITH AS 8299 MAY BE USED WHERE FLOOR FINISHES WILL NOT BE AFFECTED (REFER MANUFACTURER'S SPECIFICATION). POLYTHENE SHEETING OR WET HESSIAN MAY BE USED TO RETAIN CONCRETE MOISTURE WHERE PROTECTED FROM WIND AND TRAFFIC.
- 4.12 CONSTRUCTION SUPPORT PROPPING IS TO BE LEFT IN PLACE WHERE NEEDED TO AVOID OVERSTRESSING THE STRUCTURE DUE TO CONSTRUCTION LOADINGS. NO MASONRY OR PARTITION WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL ALL PROPPING IS REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD DEFLECTION.
- 4.13 THE ENGINEER SHALL BE GIVEN 24 HOURS NOTICE FOR REINFORCEMENT INSPECTION AND CONCRETE SHALL NOT BE DELIVERED UNTIL FINAL APPROVAL OBTAINED.
- 4.14 MAXIMUM SHRINKAGE AT 56 DAYS TO BE 650mm/mm x 10<sup>-6</sup>.

## 5.0 EXCAVATION & FILLING

- 5.01 TOP SOIL CONTAINING GRASS, ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO BE CONSTRUCTED.
- 5.02 IF THE SITE CONDITIONS ENCOUNTERED VARY FROM THE CONDITIONS INDICATED ON THE DRAWINGS OR REPORTED IN THE GEOTECHNICAL REPORT, THE STRUCTURAL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- 5.03 FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH AS 2870 CLAUSE 6.4.2.
- 5.04 CONTROLLED FILL  
SAND FILL UP TO 800MM DEEP COMPACTED IN LAYERS NOT MORE THAN 300MM THICK USING A VIBRATING PLATE OR VIBRATING ROLLER.
- 5.05 NON-SAND FILL UP TO 400MM THICK COMPACTED IN LAYERS NOT MORE THAN 160MM THICK USING A MECHANICAL ROLLER. CLAY FILL SHALL BE MOIST DURING COMPACTION.
- 5.06 ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. SAND FILL UP TO 800MM DEEP COMPACTED IN LAYERS NOT MORE THAN 300MM THICK. NON-SAND FILL UP TO 300MM DEEP COMPACTED IN LAYERS NOT MORE THAN 160MM THICK.
- 5.07 BACK FILL MATERIAL SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY.

## 6.0 STRUCTURAL MASONRY

- 6.01 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700 CURRENT EDITION WITH AMENDMENTS AND OTHER RELEVANT CODES.
- 6.02 GROUT FOR CORE FILLING SHALL HAVE STRENGTH  $f_{cu} = 20MPa$  WITH A SLUMP OF 230mm AND A MAXIMUM AGGREGATE OF 10mm U.N.O. TESTING SHALL COMPLY WITH AS 3600 FOR PROJECT ASSESSMENT.
- 6.03 MORTAR ADMIXTURES SHALL NOT BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- 6.04 ALL MASONRY WALLS AND PIERS SUPPORTING SLABS AND BEAMS SHALL HAVE A PRE-GREASED GALVANISED STEEL SLIP JOINT BETWEEN CONCRETE SOFFIT AND THE TOP OF THE MASONRY ELEMENT U.N.O.
- 6.05 ALL MASONRY SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE CONCRETE.
- 6.06 NON LOAD BEARING WALLS SHALL BE SEPARATED FROM CONCRETE ABOVE BY 25mm GAP. PROVIDE JOINT FILLER TO THE ARCHITECT'S DETAILS.
- 6.07 NO CHASES OR RECESSES ARE PERMITTED IN LOAD BEARING MASONRY WITHOUT THE APPROVAL OF THE ENGINEER.
- 6.08 REINFORCED BRICKWORK SHALL COMPLY WITH THE FOLLOWING U.N.O.:
- (i) FILL ALL BED JOINTS AND PERPENDS WITH MORTAR EXCEPT AT WEEP HOLES.
  - (ii) PROVIDE CLEAN-OUTS AT BASE OF REINFORCED CORES AND CAVITIES. REMOVE MORTAR PROTRUSIONS BEFORE CORE OR CAVITY FILLING.
  - (iii) COMPACT GROUT FILLING BY RODDING OR MECHANICAL VIBRATION.
  - (iv) MAXIMUM HEIGHT OF POUR FOR CAVITY FILLED WALLS TO BE 1200mm.
- 6.09 WATERPROOF REAR FACE OF RETAINING WALLS AS SPECIFIED BY THE ARCHITECT.
- 6.10 PROVIDE VERTICAL CONTROL JOINTS AT 12.0m MAXIMUM CENTRES, AND 6.0m MAXIMUM FROM CORNERS IN ALL MASONRY WALLS.
- 6.11 WHERE A CONTROL JOINT OCCURS IN AN ELEMENT OF CONSTRUCTION REQUIRED TO HAVE A FIRE RESISTANCE RATING, CONSTRUCT THE CONTROL JOINT USING SUITABLE FIRE STOPPING MATERIALS SUCH AS INTUMESCENT SEALANTS SO THAT FIRE RESISTANCE RATING OF THE ELEMENT IS NOT REDUCED.
- 6.12 MAINTAIN WALLS IN STABLE CONDITION DURING CONSTRUCTION. PROP AS NECESSARY. PROTECT NEWLY LAID MASONRY FROM THE WEATHER.
- 6.13 BACKFILL TO RETAINING WALLS TO BE FREE DRAINING GRANULAR MATERIAL U.N.O. PROVIDE SUBSOIL DRAIN OR WEEP HOLES.
- 6.14 DO NOT CONSTRUCT MASONRY WALLS ON SUSPENDED CONCRETE SLABS UNTIL SLAB HAS BEEN STRIPPED AND DEPROPPED.
- 6.15 ALL CAVITY CONSTRUCTION TO HAVE GALVANISED/STAINLESS STEEL WALL TIES INSTALLED AS PER CLAUSE 3.4 AND 4.10, AS 3700.
- 6.16 WHERE MASONRY ANCHORS ARE TO BE LOCATED IN HOLLOW BLOCKWORK, CORES SHALL BE GROUT FILLED.

Design Date  
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NOT TO BE USED FOR CONSTRUCTION

| REVISIONS |                    |
|-----------|--------------------|
| NO.       | DESCRIPTION        |
| 1         | ISSUED FOR TENDERS |

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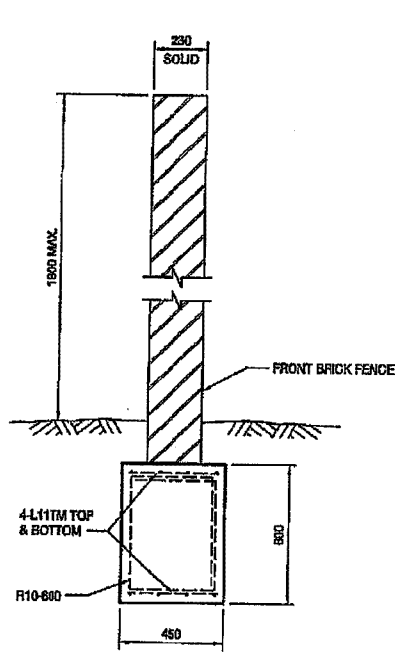
**Stockland**  
STOCKLAND DEVELOPMENT PTY LIMITED

**the village**  
let's enjoy it all  
CORONATION STREET BALMAIN NSW 2040

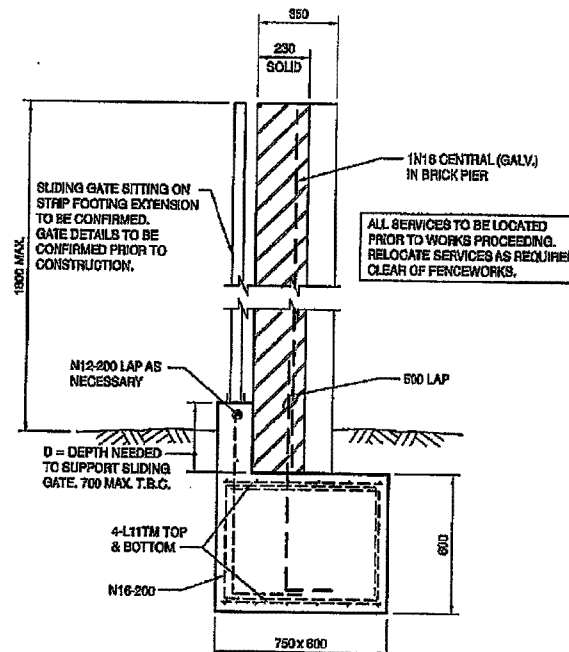
**BG & E**  
STRUCTURAL ENGINEERING  
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PERSON  
ALAN BURGESS, ENGINEER, STRUCTURAL  
ALAN BURGESS, ENGINEER, GEOTECHNICAL  
ALAN BURGESS, ENGINEER, CIVIL  
ALAN BURGESS, ENGINEER, MECHANICAL  
ALAN BURGESS, ENGINEER, ELECTRICAL  
ALAN BURGESS, ENGINEER, PLUMBING  
ALAN BURGESS, ENGINEER, ROOFING  
ALAN BURGESS, ENGINEER, PAINTING  
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ALAN BURGESS, ENGINEER, FENCING  
ALAN BURGESS, ENGINEER, LANDSCAPING  
ALAN BURGESS, ENGINEER, GARDENING  
ALAN BURGESS, ENGINEER, CARPENTRY

**STRUCTURAL NOTES**

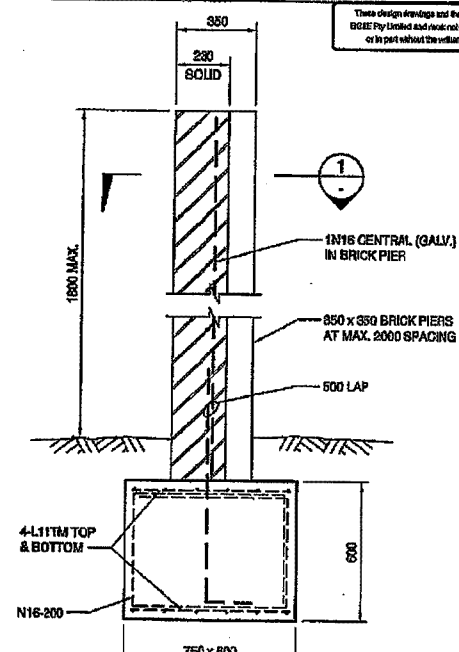
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| DATE        | NO.       | REVISED | APPROVED |
| MAY 09      | 1         |         |          |
| DESIGN      | RS        | TO      | APPROVED |
| PROJECT NO. | S05015.01 | SCALE   | SSK000   |



**TYPE "SF1" FOOTING  
TYPICAL SECTION**

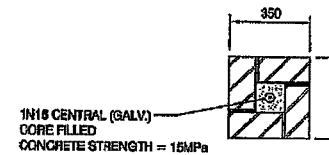


**TYPE "SF2" FOOTING  
SECTION WITH GATE SUPPORT  
AT END WITH BRICK PIER**



**TYPE "SF3" FOOTING  
TYPICAL SECTION AT BRICK PIER**

- NOTE:**
1. SITE CLASSIFICATION AS PER AS 2870 - 1998 - CLASS M
  2.  $P_c = 25 \text{ MPa}$
  3. MINIMUM BEARING CAPACITY OF  $100 \text{ kPa}$  TO BE CONFIRMED BY GEOTECHNICAL ENGINEER
  4. MAXIMUM OF 800mm SOIL TO BE RETAINED IN ALL CASES



**SECTION 1  
SCALE: 1:20**

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| NO. | REVISIONS         |
|-----|-------------------|
| 1   | ISSUED FOR TENDER |
| 2   | REVISED           |
| 3   | REVISED           |
| 4   | REVISED           |
| 5   | REVISED           |
| 6   | REVISED           |
| 7   | REVISED           |
| 8   | REVISED           |
| 9   | REVISED           |
| 10  | REVISED           |

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**Stockland**  
STOCKLAND DEVELOPMENT PTY LIMITED

**the village**  
136 CONDOMINE STREET BALBOURN NSW 2003

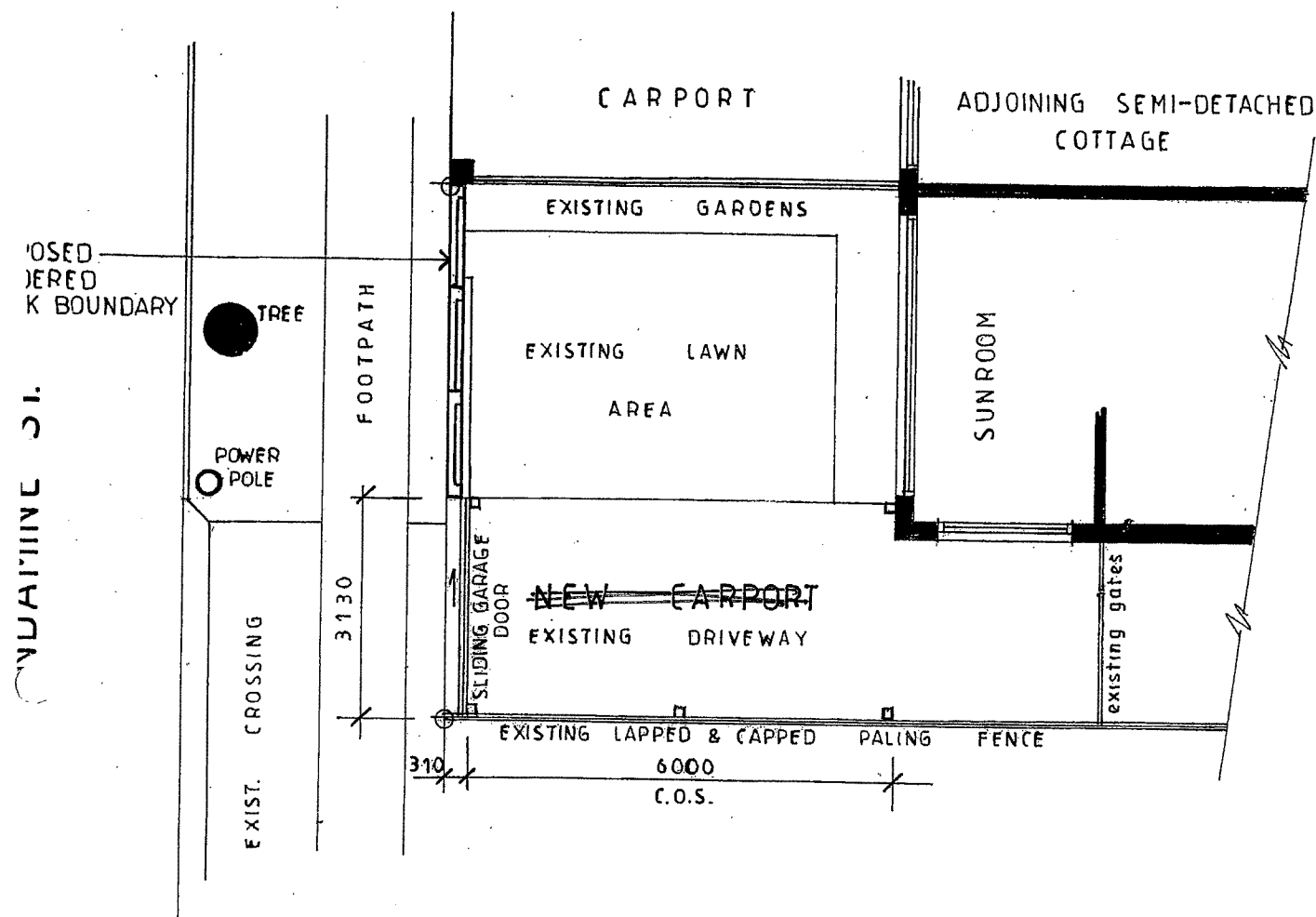
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TEL: +61 8 9438 2000 FAX: +61 8 9438 2001  
ELECTRIC: +61 8 9438 2001

**136 CONDOMINE ST  
FRONT FENCE STRIP  
FOOTING DETAILS**

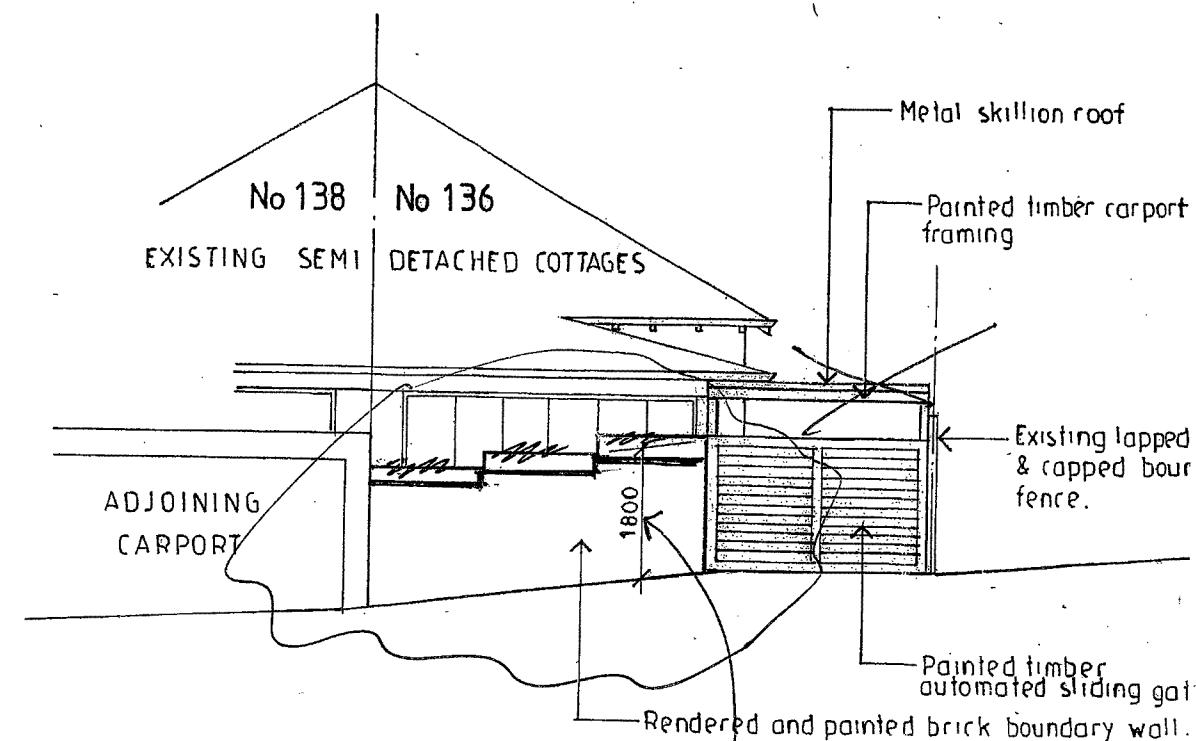
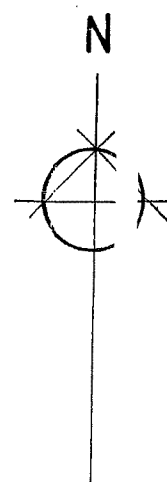
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| DATE        | MAY '00   | SCALE     | 1:20   |
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| PROJECT NO. | S05015.01 | ISSUED BY | SSK003 |
| REV.        | A         |           |        |

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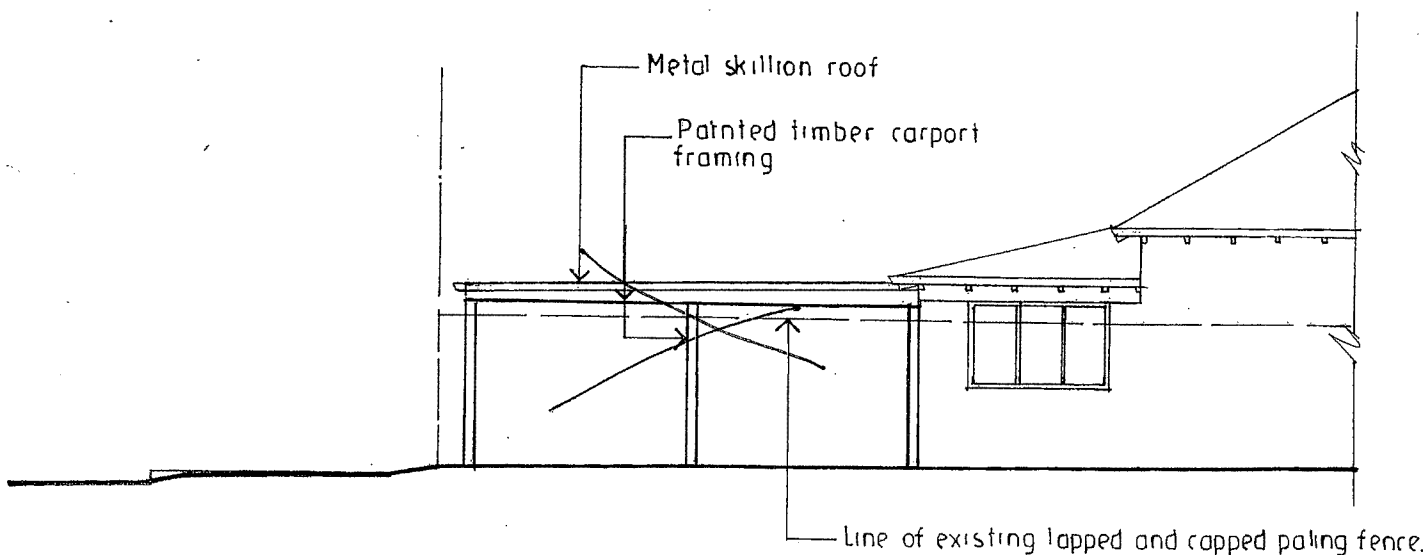


BOUNDARY WALL & CARPORT PLAN

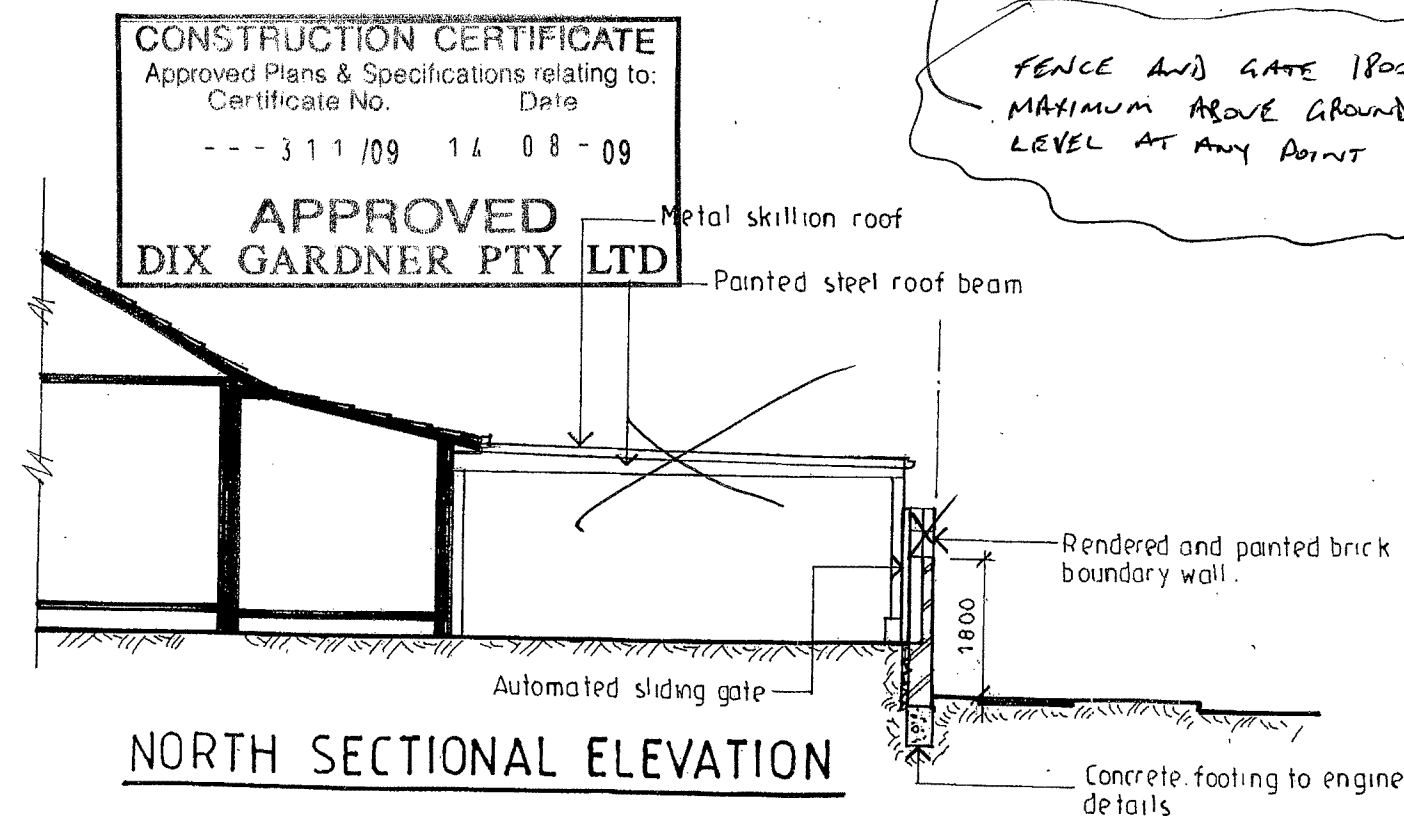


WEST ELEVATION

FENCE AND GATE 1800 mm  
MAXIMUM ABOVE GROUND  
LEVEL AT ANY POINT



SOUTH ELEVATION



NORTH SECTIONAL ELEVATION



NETWORK DESIGN

a.b.n.52 957 985 118

37 McKillop Road Beacon Hill 2100

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Phone: 9982 7134 fax: 9012 0941

alwayswright@optusnet.com.au

PROPOSED FRONT BOUNDARY WALL & CARPORT  
136 CONDOMINE STREET, BALGOWLAH  
for Thomas Baker LOT 31 DP9789

DRAWING  
PLAN & ELEVATIONS

DRG. NO.  
05-07-CO

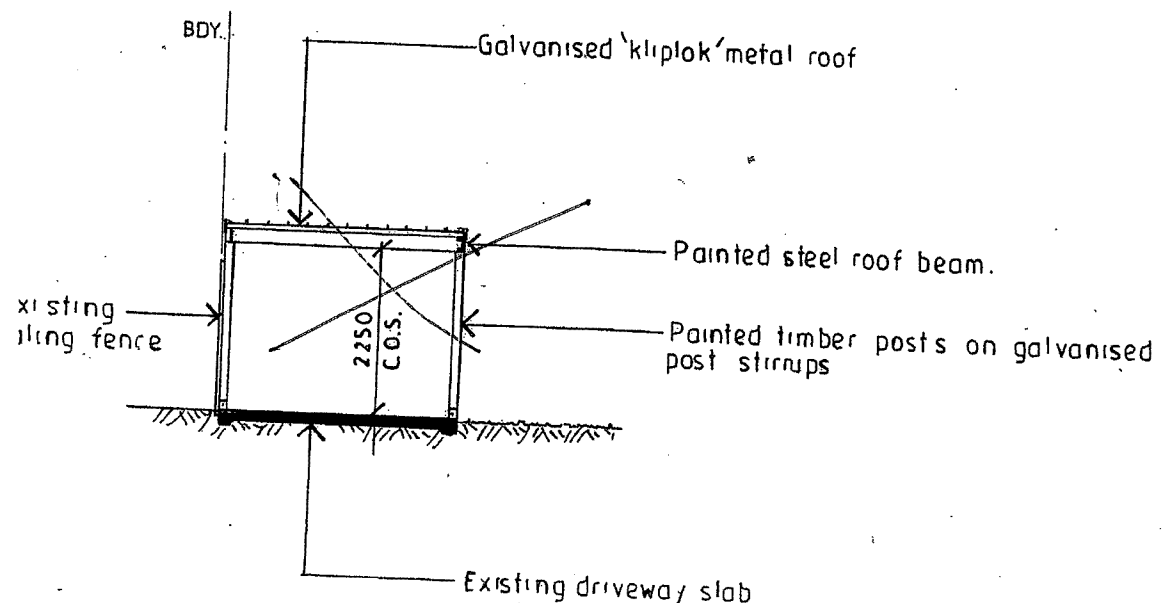
DATE  
MAY 2007

DRAWN  
J.WRIGHT

SCALE

SHEET NO.

1

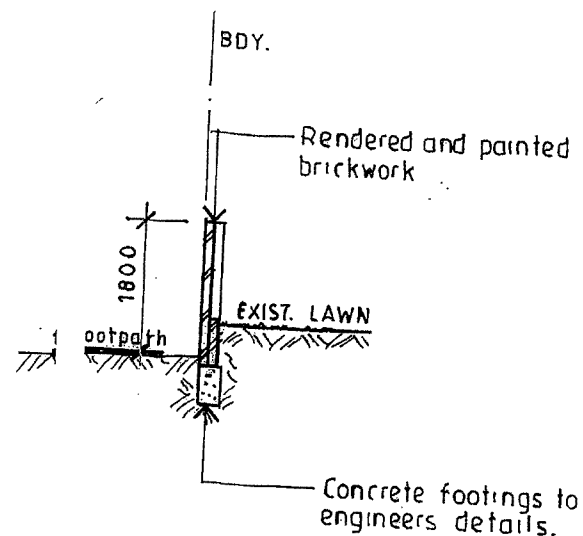


SECTION 1

1:100

SECTION 2

1:100



## Notes

1. All dimensions to be checked on site by builder prior to the commencement of works. Figured dimensions to be used. Do not scale drawing. All dimensions in millimetres unless shown otherwise.
2. All concrete works to be in accordance with AS3600 and Engineers plans and specifications.
3. All timber framing to AS1684 & 1720. Any proprietary timber elements used to manufacturers relevant span tables for their intended use.
4. All steelwork to AS4100
5. All brickwork to be in accordance with AS3700.
6. All new gutters and downpipes to be connected to the existing stormwater to street.
7. All works generally to be in accordance with local council bylaws and the Building Code of Australia.
8. All work to be left in a safe and stable condition at the end of each day.

## Site Calculations m<sup>2</sup>

Total Site Area ..... 309.8

Subzone 3

### Existing Floor Areas

Ground ..... 104.4  
Shed ..... 16.5

### Proposed Floor Areas

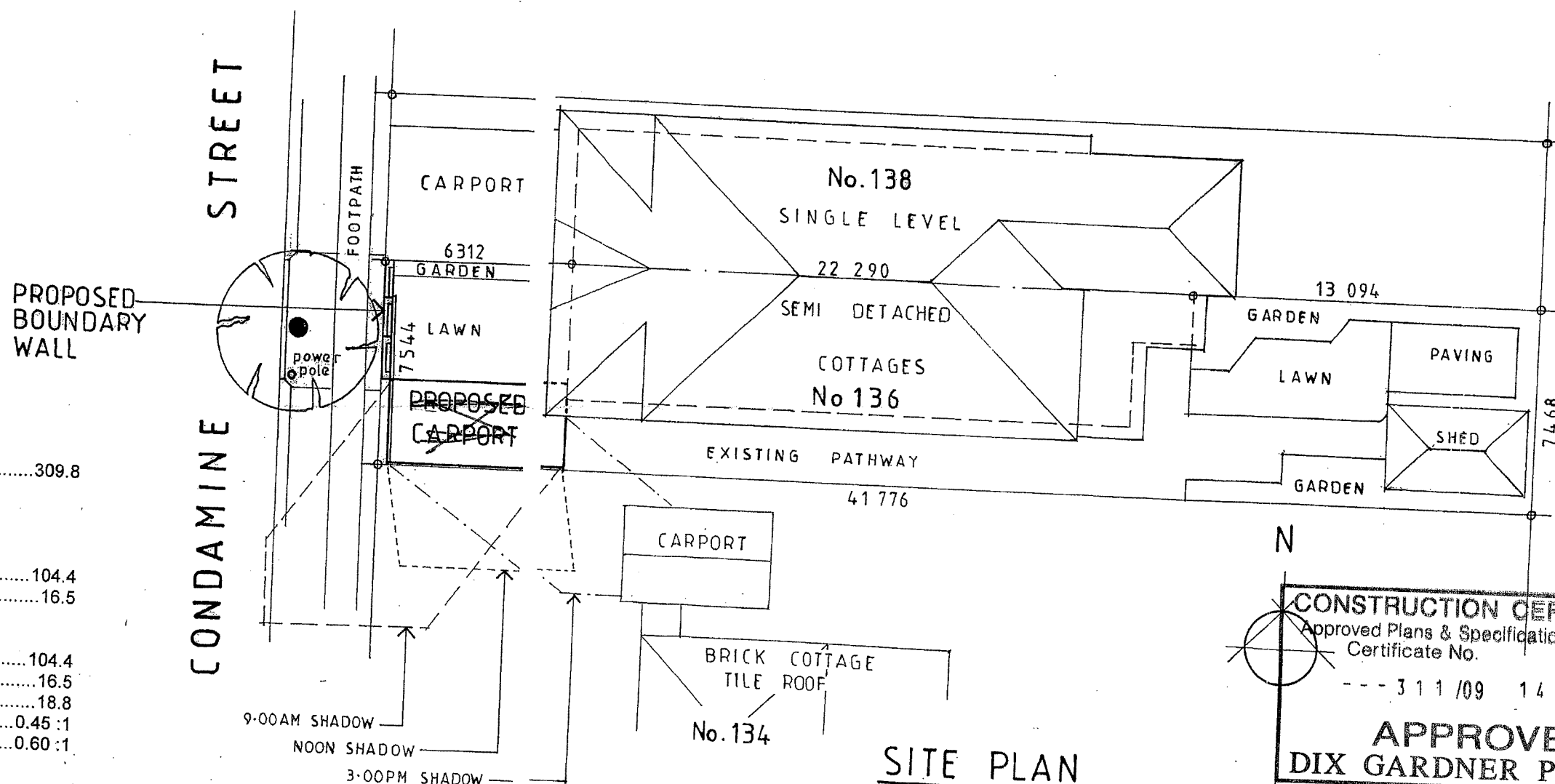
Ground unchanged ..... 104.4  
Shed unchanged ..... 16.5  
Proposed Carport ..... 18.8  
Proposed FSR ..... 0.45:1  
Allowable ..... 0.60:1

### Open Space

Proposed total open space (55.3%) ..... 171.2  
Required (55%) .....  
Proposed soft open space ..... 99.8  
Required 59.6m<sup>2</sup>

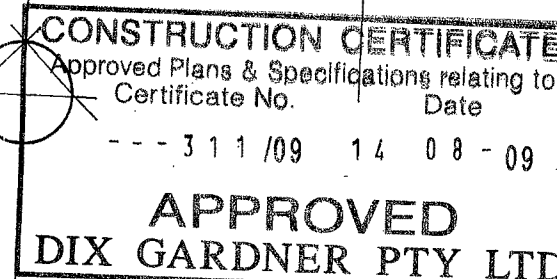
### Built Upon Area

Existing ..... 210.0  
Proposed unchanged ..... 210.0



SITE PLAN

1:200



NETWORK DESIGN

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PROPOSED FRONT BOUNDARY WALL & CARPORT  
136 CONDOMINE STREET, BALGOWLAH  
for Thomas Baker LOT 31 DP9789

DRAWING  
SITE PLAN & SECTIONS

DRG. NO.  
05-07-CC

DATE  
MAY 2007

DRAWN  
LWRIGHT

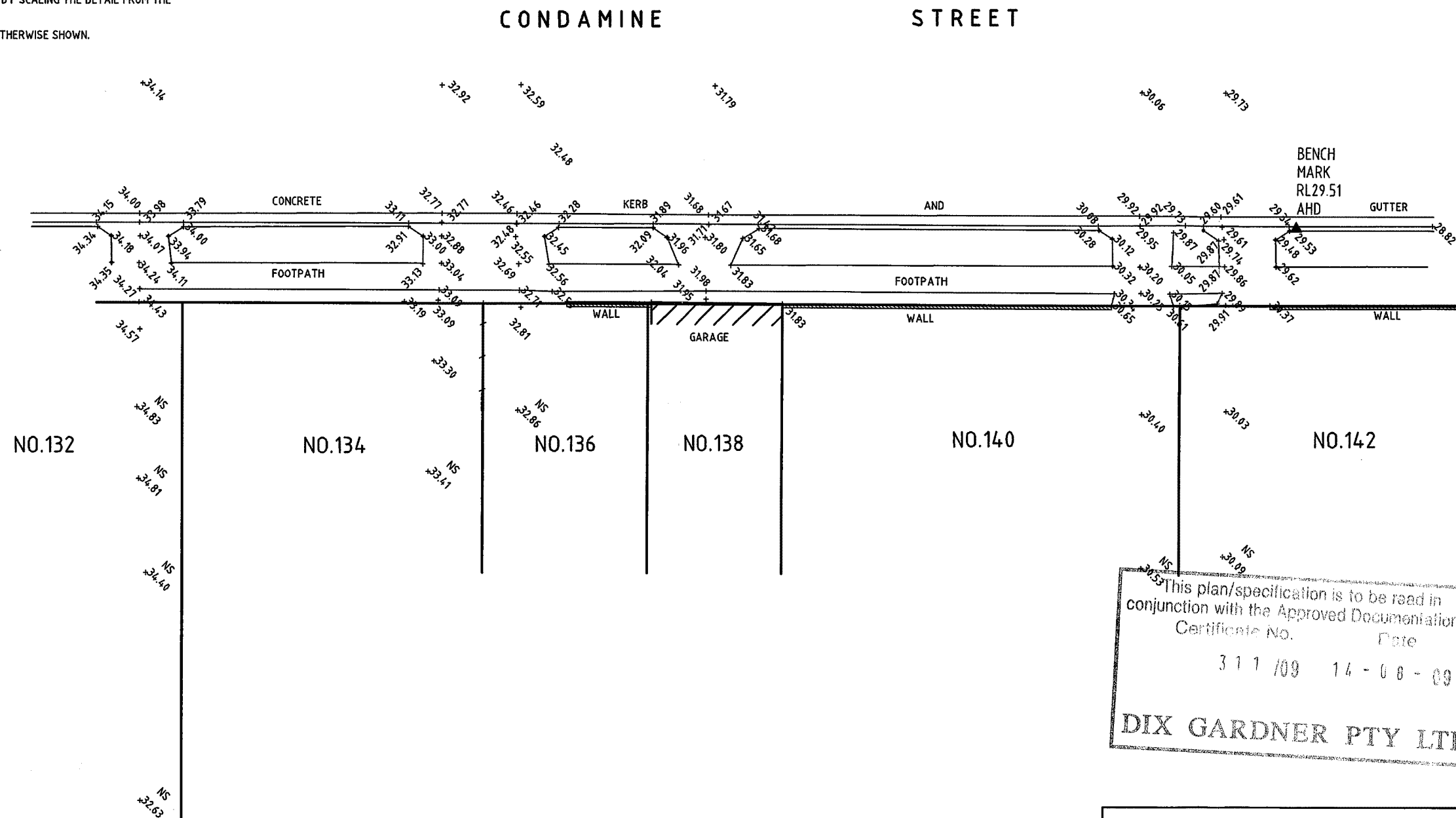
SCALE  
AS SHOWN

SHEET NO. 2

# NOTES

- \* NO BOUNDARY HAS BEEN SURVEYED OR MARKED, ALL BOUNDARY DIMENSIONS AND AREAS HAVE BEEN COMPILED FROM THE DEPOSITED PLAN ONLY.
- \* RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC AND IF CRITICAL SHOULD BE CONFIRMED BY A FURTHER BOUNDARY SURVEY.
- \* NO SERVICE SEARCH HAS BEEN UNDERTAKEN.
- \* THIS DRAWING REMAINS THE COPYRIGHT OF STRATASURV P/L AND CANNOT BE REPRODUCED OR ALTERED WITHOUT PRIOR WRITTEN CONSENT.
- \* DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING.
- \* ALL DIMENSIONS IN METRES UNLESS OTHERWISE SHOWN.

MGA



This plan/specification is to be read in conjunction with the Approved Documentation of Certificate No. 311 /09 14 - 08 - 09  
DIX GARDNER PTY LTD

**WARNING:** A DETAILED STUDY OF THE LOCATION OF UNDERGROUND SERVICES WILL NEED TO BE UNDERTAKEN PRIOR TO COMMENCEMENT OF DESIGN WORK OR EXCAVATION.

| CLIENT DETAILS   |  |  |  | DATE OF SURVEY   |  | PROJECT:                                               |  | DRAWING TITLE                  |  |  |
|------------------|--|--|--|------------------|--|--------------------------------------------------------|--|--------------------------------|--|--|
| CAVERSTOCK       |  |  |  | 28.04.09         |  | CONDAMINE STREET                                       |  | PLAN SHOWING LEVELS & DETAIL   |  |  |
|                  |  |  |  | ORIGIN OF RL'S   |  | BALGOWLAH                                              |  | IN DRIVEWAYS 132-142 CONDAMINE |  |  |
|                  |  |  |  | DATUM            |  |                                                        |  | STREET, BALGOWLAH              |  |  |
| A                |  |  |  | 14/05/09         |  | Sheet 01 of 01 Sheets                                  |  | DIX GARDNER PTY LTD            |  |  |
| PLAN ISSUED      |  |  |  | DG               |  | REGISTERED SURVEYORS                                   |  | DRAFTING NUMBER                |  |  |
| REVISION DETAILS |  |  |  | CONTOUR INTERVAL |  | DEVELOPMENT • CONSTRUCTION • STRATUM                   |  | SCALE                          |  |  |
|                  |  |  |  | N/A              |  | Sydney • Melbourne • Brisbane • Newcastle • Gold Coast |  | REVISION                       |  |  |
|                  |  |  |  | SURV             |  | TEL: 97151133 FAX: 97151144                            |  | A                              |  |  |
|                  |  |  |  | DWN              |  | EMAIL: surveyors@stratasurv.com.au                     |  |                                |  |  |
|                  |  |  |  | CAD REF FILE:    |  |                                                        |  |                                |  |  |
|                  |  |  |  | 2220DT04a1.dwg   |  |                                                        |  |                                |  |  |