

PROPOSED NEW DWELLING

AT

14 PLAYFAIR ROAD

NORTH CURL CURL

FOR

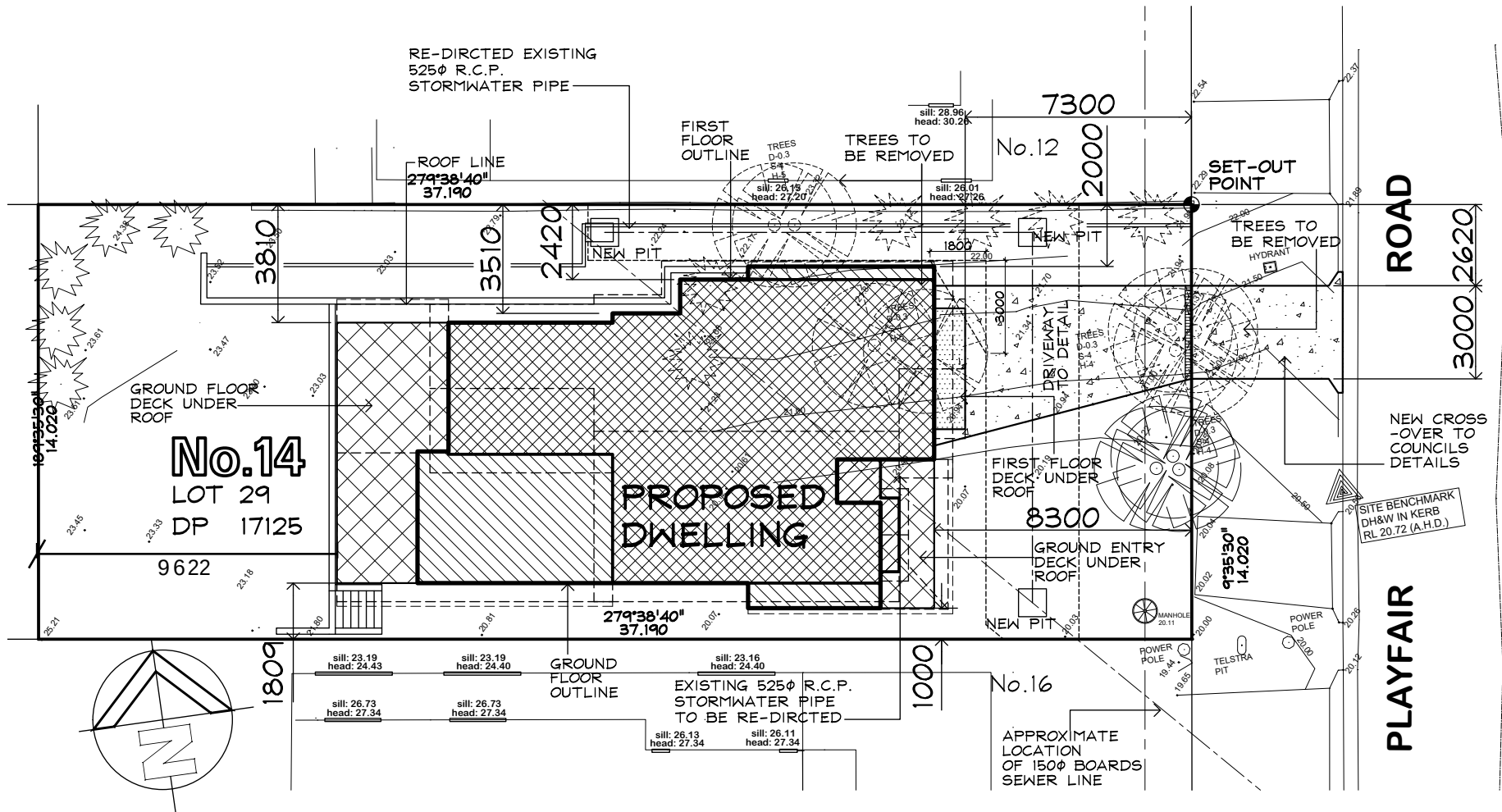
Mr. D. & Mrs.D. O'BRIEN

JUNE 2019

DEVELOPMENT
APPLICATION ISSUE

CLASSIC

COUNTRY
COTTAGES



SITE PLAN



Certificate no.: 0003173879-04
Assessor Name: Jamie Bonnefin
Accreditation no.: 100765
Certificate date: 17 Jun 2019
Dwelling Address: 14 Playfair Road, North Curl Curl, NSW 2099
www.nathers.gov.au



SITE CRITERIA

No.14 PLAYFAIR ROAD NORTH CURL CURL N.S.W. 2099
LOT 29 D.P. 17125

SITE AREA	=	521.4	sq. m.
EXISTING HARDSTAND	=	307.4	sq. m.
EXISTING LANDSCAPED AREA < 2.0m WIDE	=	28.7	sq. m.
EXISTING LANDSCAPED AREA > 2.0m WIDE	=	185.3	sq. m. (35.5 %)
PROPOSED CONCRETE DRIVEWAY AREA	=	33.9	sq. m.
PROPOSED GARAGE FLOOR AREA	=	35.0	sq. m.
PROPOSED TOTAL GROUND FLOOR AREA	=	109.9	sq. m.
PROPOSED GROUND FLOOR FRONT DECK AREA	=	12.4	sq. m.
PROPOSED GROUND FLOOR REAR DECK AREA	=	26.0	sq. m.
PROPOSED TOTAL FIRST FLOOR AREA	=	116.1	sq. m.
PROPOSED FIRST FLOOR FRONT DECK AREA	=	3.7	sq. m.
DWELLING ROOF AREA	=	207.9	sq. m.
2 CAR PARKING SPACES PROVIDED IN GARAGE			
POST DEVELOPEMENT HARDSTAND	=	216.3	sq. m.
POST LANDSCAPED AREA < 2.0m WIDE	=	30.0	sq. m.
POST LANDSCAPED AREA > 2.0m WIDE	=	275.0	sq. m. (52.7 %)
O.S.D. IMPERVIOUS AREA	=	238.0	sq. m. (45.6 %)

NOTES:-

1. ALL GLAZING TO WINDOWS & DOORS SHALL BE IN ACCORDANCE WITH THE BASIX REPORT.
2. EXTERNAL WALL CLADDING SHALL BE SELECTED PLANK CLADDING WITH A SPECIFIED PAINTED COLOUR FINISH.
3. AN APPROVED RATED INSULATION TO ALL EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH THE BASIX REPORT.
4. AN APPROVED RATED INSULATION MATERIAL TO BE PLACED IN THE CEILING SPACE WITHIN THE PERIMETER OF ALL EXTERNAL WALLS IN ACCORDANCE WITH THE BASIX REPORT.
5. AN APPROVED RATED CONDENSATION BLANKET PLACED UNDER ROOF SHEETING THRU-OUT IN ACCORDANCE WITH THE BASIX REPORT.
6. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
7. EXTERNAL WALL FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
8. ALL WINDOWS AND DOORS TO HAVE WEATHER STRIPPING.
9. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SPECIFIED COLOUR FINISH.
10. ALL PAINTING TO OWNERS REQUIREMENTS.
11. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
12. ALL GLAZING TO CODE AS1288
13. ALL PEST TREATMENT TO CODE AS3660.1-2000
14. SMOKE DETECTOR DENOTED SD ON PLAN TO BCA/39
15. ALL WATERPROOFING TO WET AREAS TO CODE AS3740
16. ALL TIMBER FRAMING TO CODE AS1684
17. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.

BASIX REQUIREMENTS

TO BE READ INCONJUNCTION WITH THE BASIX CERTIFICATE No.9582705_02

WATER COMMITMENTS:

SHOWER HEAD RATING	3 STAR (> 4.5 BUT <= 6.0L/min)
TOILET RATING	3 STAR
ALL TAP FITTINGS RATING	3 STAR
ROOF AREA TO RAIN WATER TANK	60m ²
MIN. RAIN WATER TANK SIZE	5,300L
RAIN WATER TANK CONNECTED TO	TOILETS, LAUNDRY, 1 OUTDOOR TAP

THERMAL COMMITMENTS:

EXTERNAL WALLS	WEATHERBOARD CLADDING + R2.0 BULK INSULATION
INTERNAL WALLS	PLASTERBOARD ON TIMBER STUD
EXTERNAL CEILING	TIMBER + R4.0 BULK INSULATION
INTERNAL CEILING	TIMBER ABOVE PLASTERBOARD
ROOF	CORRUGATED IRON (LIGHT SOLAR ABSORPTANCE <0.475)
FLOORS	SUSPENDED TIMBER + R2.0 BULK INSULATION
WINDOWS	ALM-002-03 A Aluminium B 5G High Solar Gain Low-E ALM-001-03 A Aluminium A 5G High Solar Gain Low-E

ENERGY COMMITMENTS:

HOT WATER: GAS INSTANTANEOUS 4.5 STAR MIN.
INDIVIDUAL DUCTED FAN WITH MANUAL SWITCH IN BATHROOM AND KITCHEN.
NATURAL VENTILATION ONLY TO LAUNDRY.
COOLING: CEILING FAN TO AT LEAST; ONE LIVING ROOM + ONE BEDROOM
HEATING: 1-PHASE A/C (EER 3.0-3.5) TO AT LEAST; ONE LIVING ROOM
PRIMARY LIGHTING MUST BE LED FOR THE FOLLOWING ROOMS:
4 BEDROOMS/STUDY, 2 LIVING/DINING, KITCHEN, ALL BATHROOMS, ALL HALLWAYS, LAUNDRY
MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN AND AT LEAST 3 BATHROOMS.
GAS COOKTOP & ELECTRIC OVEN.
OUTDOOR & INDOOR CLOTHES LINES MUST BE INSTALLED.

REVISION B 15-05-2019

- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
- W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
- W2, W19, W18, PRIVACY WINDOWS

REVISION C 11-06-2019

- ADDED W19A TO BED 3

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
Tel : (02) 4352 1189 Fax : (02) 4352 1198
Builders Lic. 158741C ABN 65 687 862 151

© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT

PROPOSED NEW DWELLING 14 PLAYFAIR ROAD NORTH CURL CURL

FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE. 2019** SCALE **1:200**

JOB No.

DWG. No.

REV

CC151

C

DEVELOPMENT

APPLICATION ISSUE

IF IN
DOUBT
ASK

4.9

68.6 MJ/m²

www.nathers.gov.au

Certificate no.: 0003173879-04

Assessor Name: Jamie Bonnefin

Accreditation no.: 100765

Certificate date: 17 Jun 2019

Dwelling Address: 14 Playfair Road North Curl Curl, NSW 2099

www.nathers.gov.au

ABSA

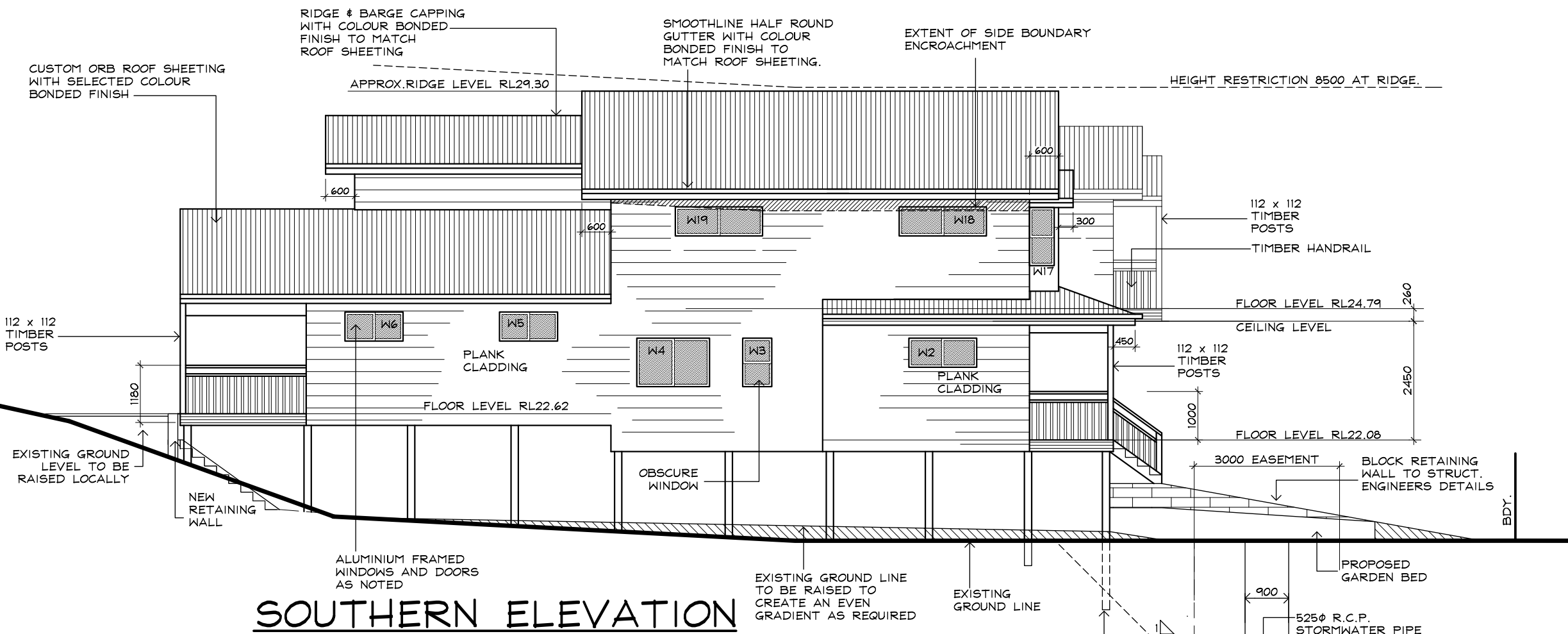
Accreditation Period: 2019-2022

Member Name: Jamie Bonnefin

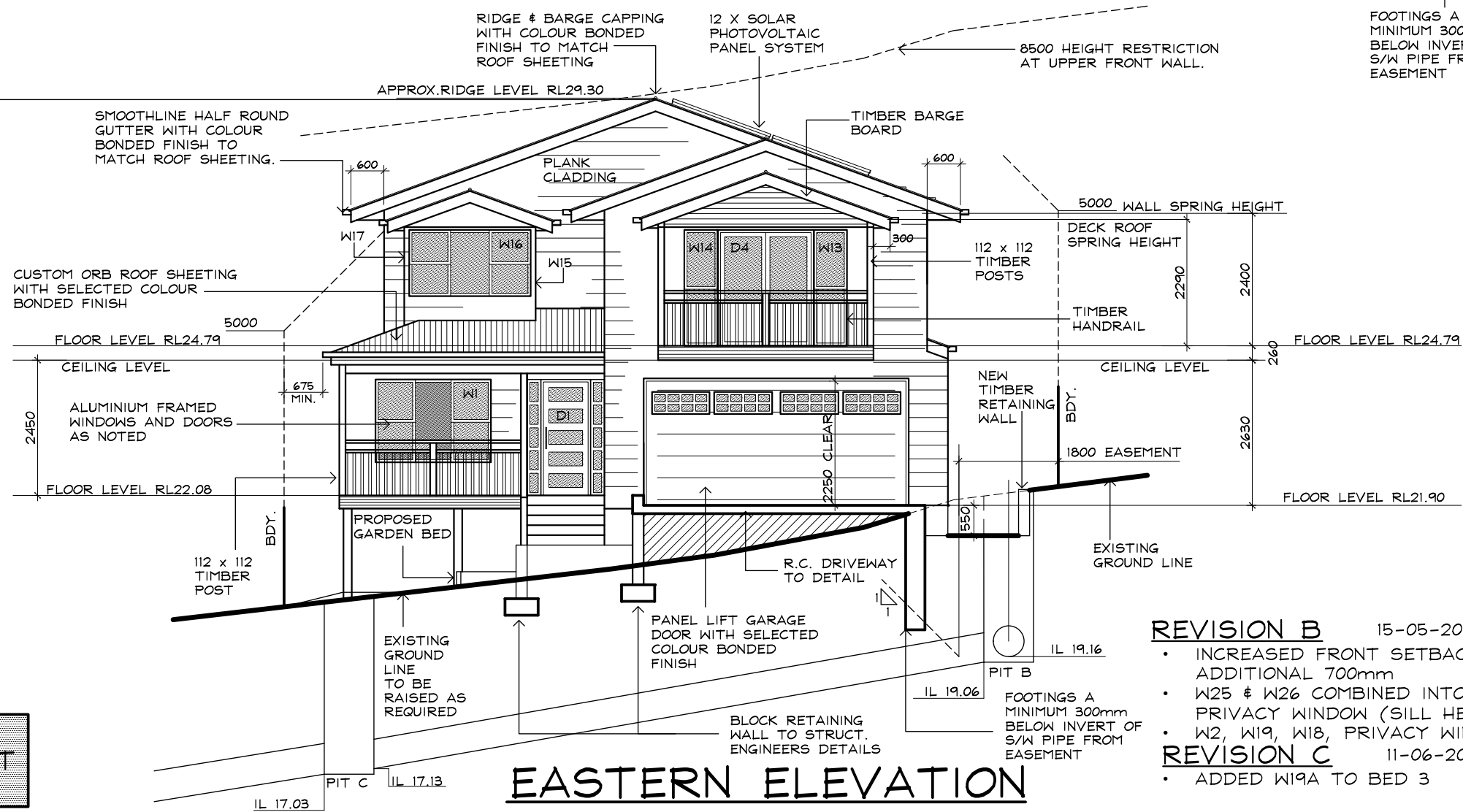
Member Number: 100765

Member Signature: [Signature]

ABSA is a member of the Australian Building Accreditation Association (ABAA)



SOUTHERN ELEVATION



EASTERN ELEVATION

DEVELOPMENT APPLICATION ISSUE

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
Tel : (02) 4352 1189 Fax : (02) 4352 1198
Builders Lic. 158741C ABN 65 687 862 151

© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

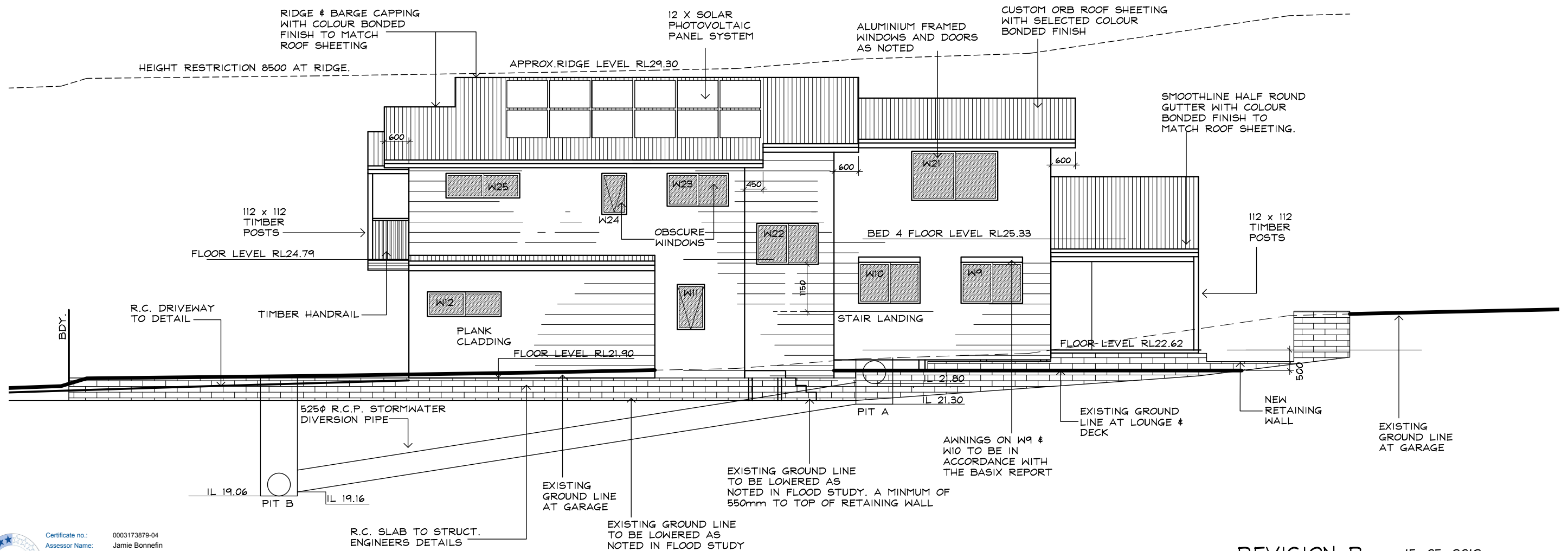
PROJECT
PROPOSED NEW DWELLING
14 PLAYFAIR ROAD
NORTH CURL CURL
FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE. 2019** SCALE **1:100**

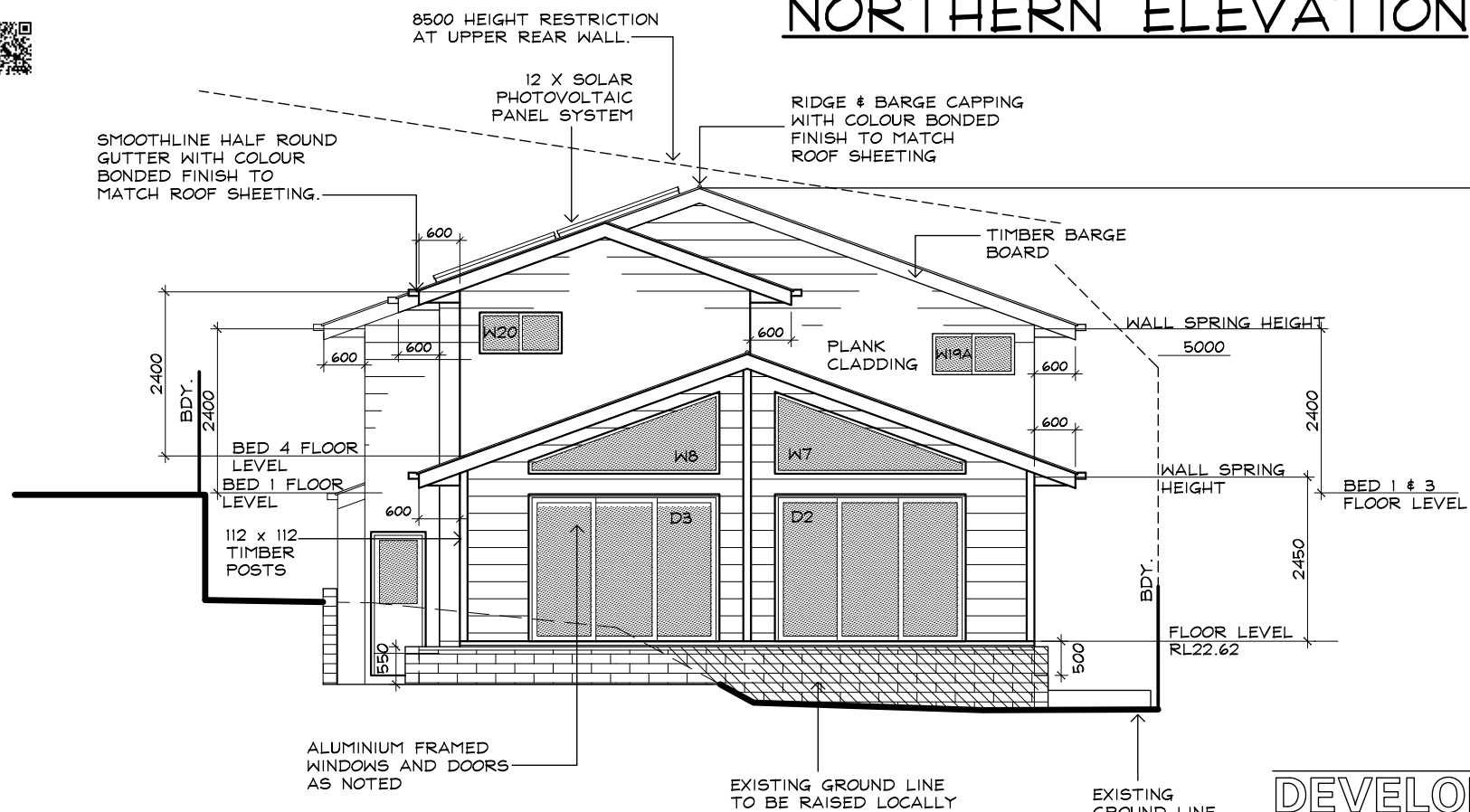
JOB No. **CC151** DWG. No. **04** REV **C**

- REVISION B** 15-05-2019
- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
 - W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
 - W2, W19, W18, PRIVACY WINDOWS
- REVISION C** 11-06-2019
- ADDED W19A TO BED 3

IF IN DOUBT ASK



NORTHERN ELEVATION



WESTERN ELEVATION

REVISION B 15-05-2019

- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
- W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
- W2, W19, W18, PRIVACY WINDOWS

REVISION C 11-06-2019

- ADDED W19A TO BED 3

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
 P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
 Tel : (02) 4352 1189 Fax : (02) 4352 1198
 Builders Lic. 158741C ABN 65 687 862 151

© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT

PROPOSED NEW DWELLING
14 PLAYFAIR ROAD
NORTH CURL CURL

FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE, 2019** SCALE **1:100**

JOB No.

CC151

DWG. No.

05

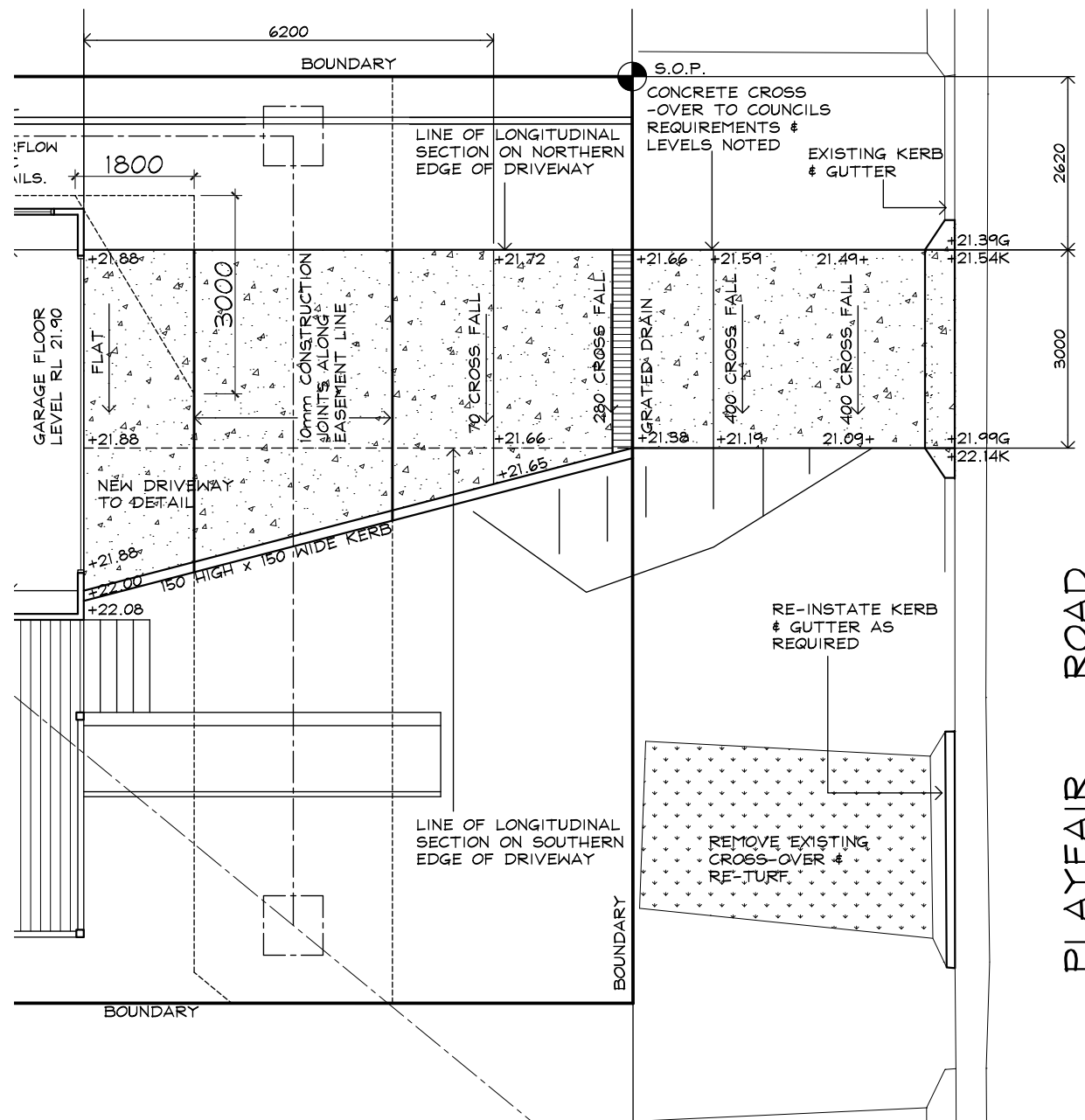
REV

C



IF IN DOUBT ASK

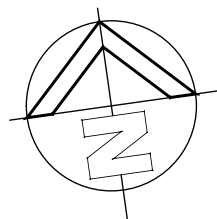
DEVELOPMENT
 APPLICATION ISSUE



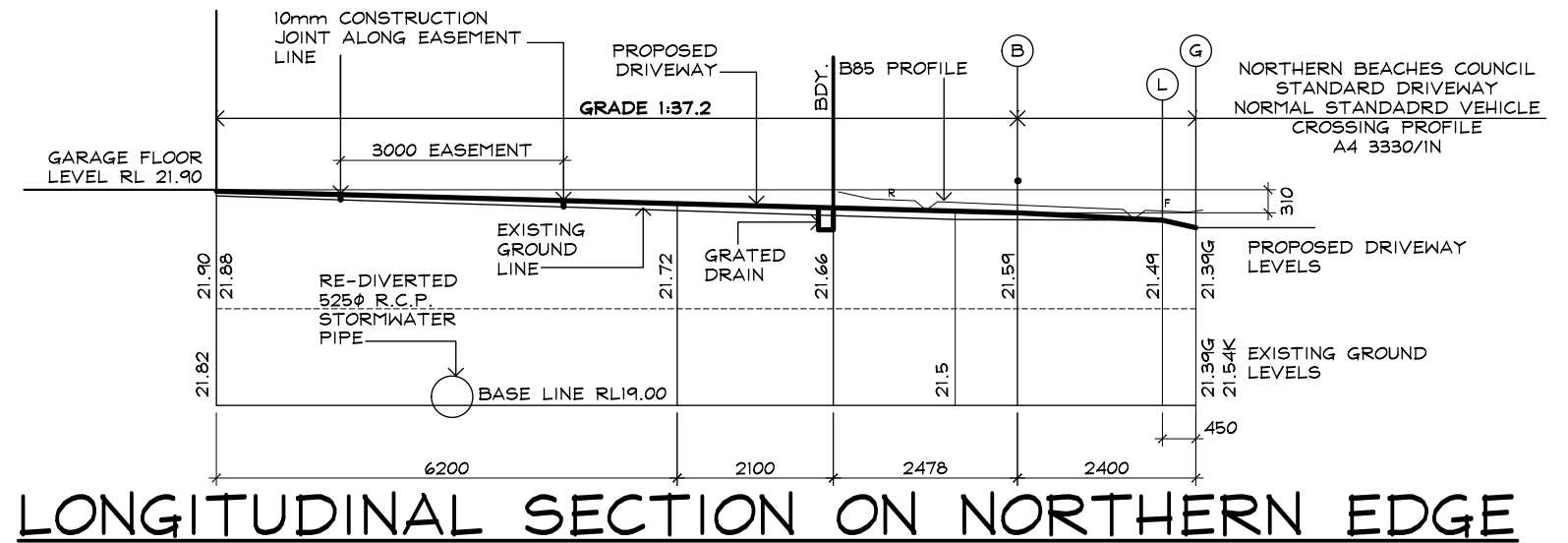
DRIVEWAY SET OUT PLAN

NOTE:-
DRIVEWAY & CROSS-OVER HAS BEEN DESIGNED TO BE IN ACCORDANCE WITH THE COUNCIL'S EXTRA HIGH STANDARD VEHICLE CROSSING PROFILE A4 - 3330/4

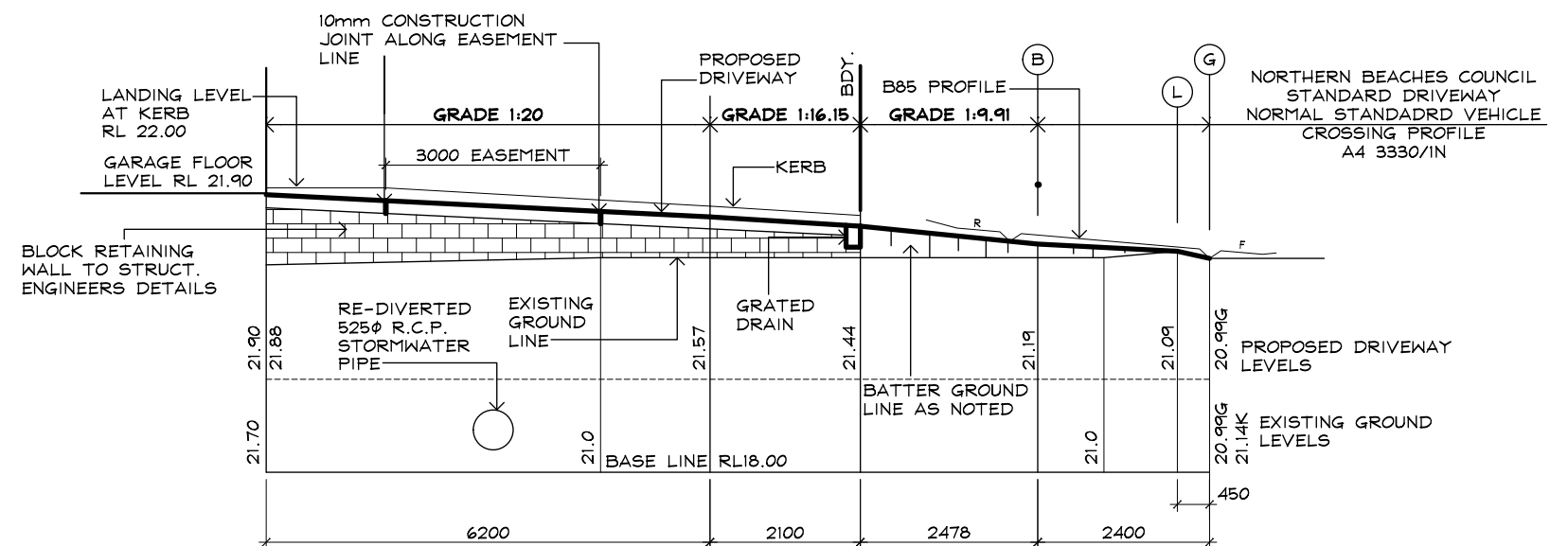
NOTE:-
DRIVEWAY CROSS-OVER TO BE IN ACCORDANCE WITH THE COUNCIL'S SPECIFICATION AND AUSTRALIAN STANDARD AS1428.1:2001-DESIGN FOR ACCESS AND MOBILITY.



PLAYFAIR ROAD



LONGITUDINAL SECTION ON NORTHERN EDGE



LONGITUDINAL SECTION ON SOUTHERN EDGE



- REVISION B** 15-05-2019
- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
 - W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
 - W2, W19, W18, PRIVACY WINDOWS
- REVISION C** 11-06-2019
- ADDED W19A TO BED 3

DEVELOPMENT APPLICATION ISSUE

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
Tel : (02) 4352 1189 Fax : (02) 4352 1198
Builders Lic. 158741C ABN 65 687 862 151

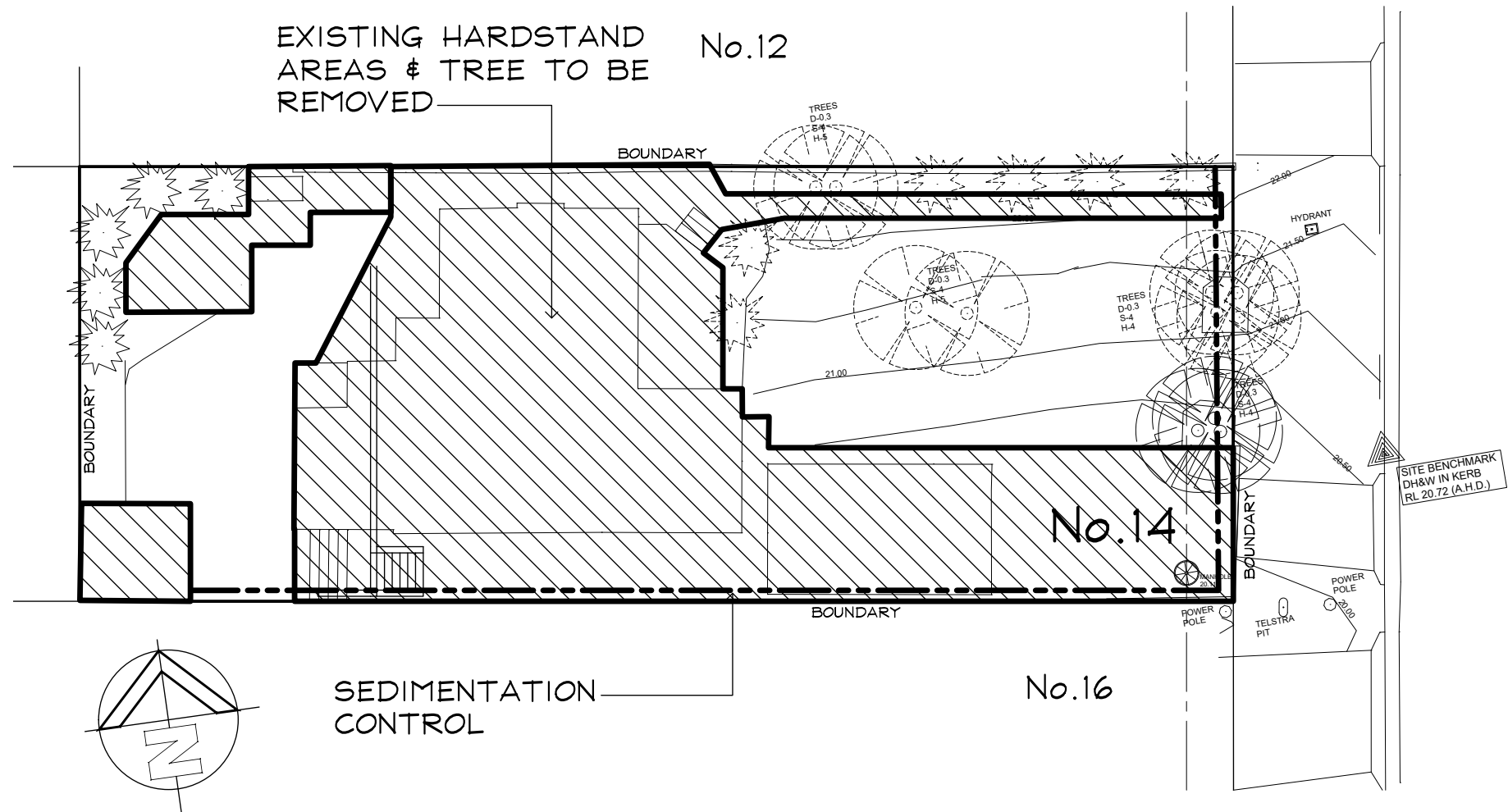
© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT
PROPOSED NEW DWELLING
14 PLAYFAIR ROAD
NORTH CURL CURL
FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE, 2019** SCALE **1:100**

JOB No. **CC151** DWG. No. **07** REV **C**

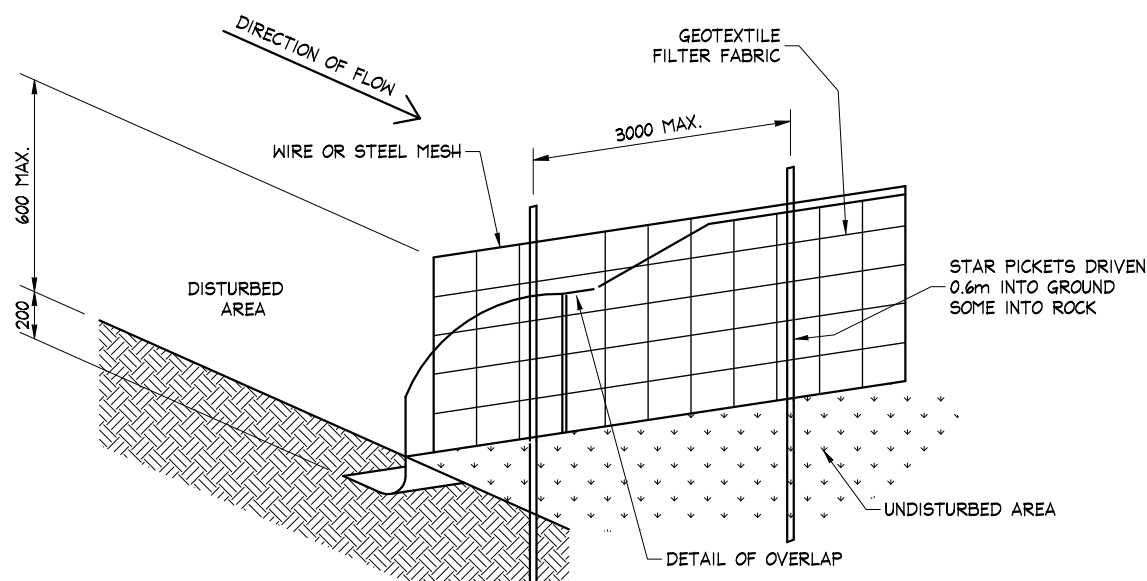
IF IN DOUBT ASK



DEMOLITION AND SEDIMENTATION CONTROL FENCE PLAN

SEDIMENT CONTROL:

1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.
3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENTATION CONTROL FENCE DETAIL

SCALE = N.T.S.

IF IN
DOUBT
ASK



Certificate no.: 0003173879-04
Assessor Name: Jamie Bonnefin
Accreditation no.: 100765
Certificate date: 17 Jun 2019
Dwelling Address: 14 Playfair Road
North Curl Curl, NSW
2099
www.nathers.gov.au



REVISION B 15-05-2019

- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
- W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
- W2, W19, W18, PRIVACY WINDOWS

REVISION C 11-06-2019

- ADDED W19A TO BED 3

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
Tel : (02) 4352 1189 Fax : (02) 4352 1198
Builders Lic. 158741C ABN 65 687 862 151

© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT

PROPOSED NEW DWELLING 14 PLAYFAIR ROAD NORTH CURL CURL

FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE, 2019** SCALE **1:200**

JOB No.

CC151

DWG. No.

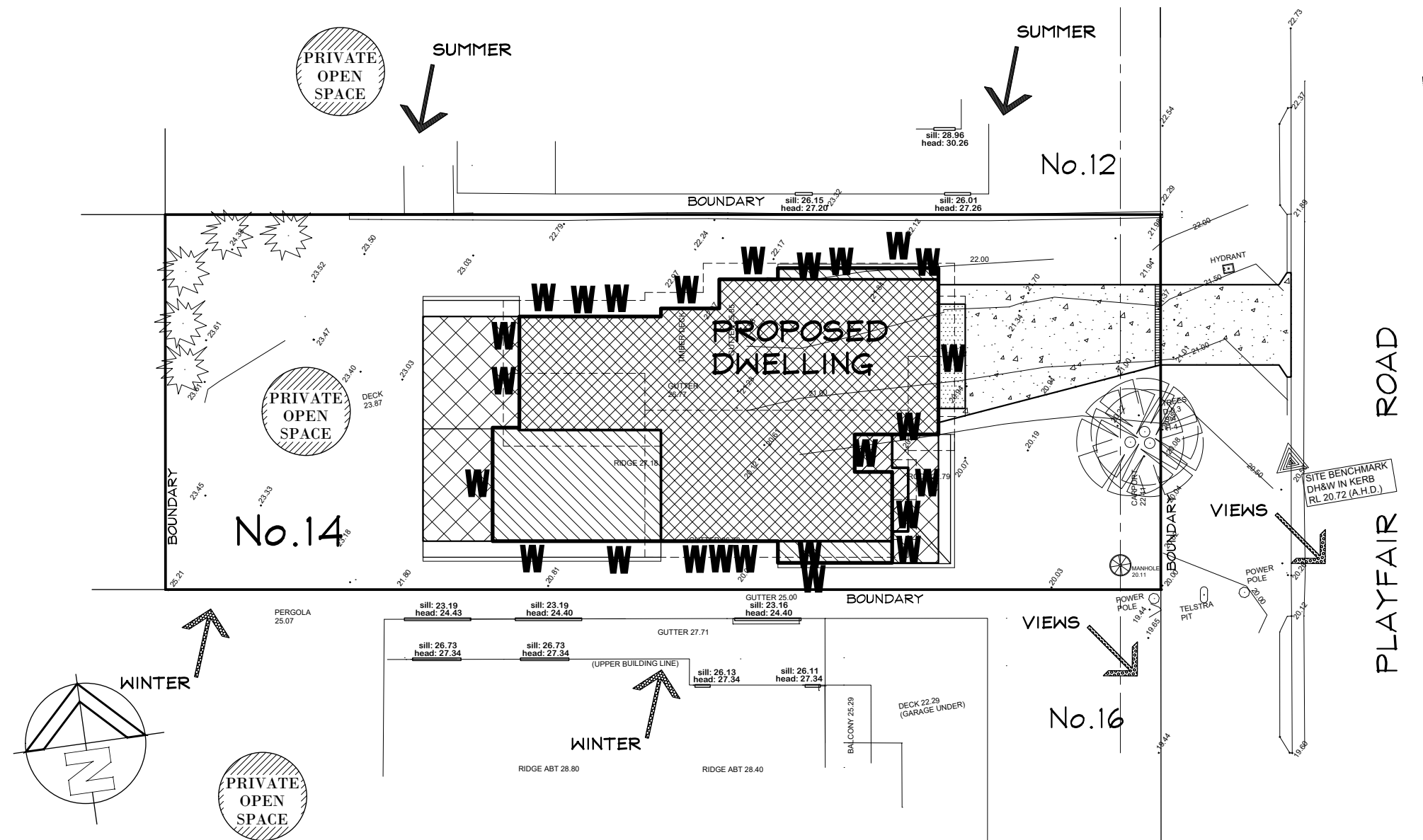
08

REV

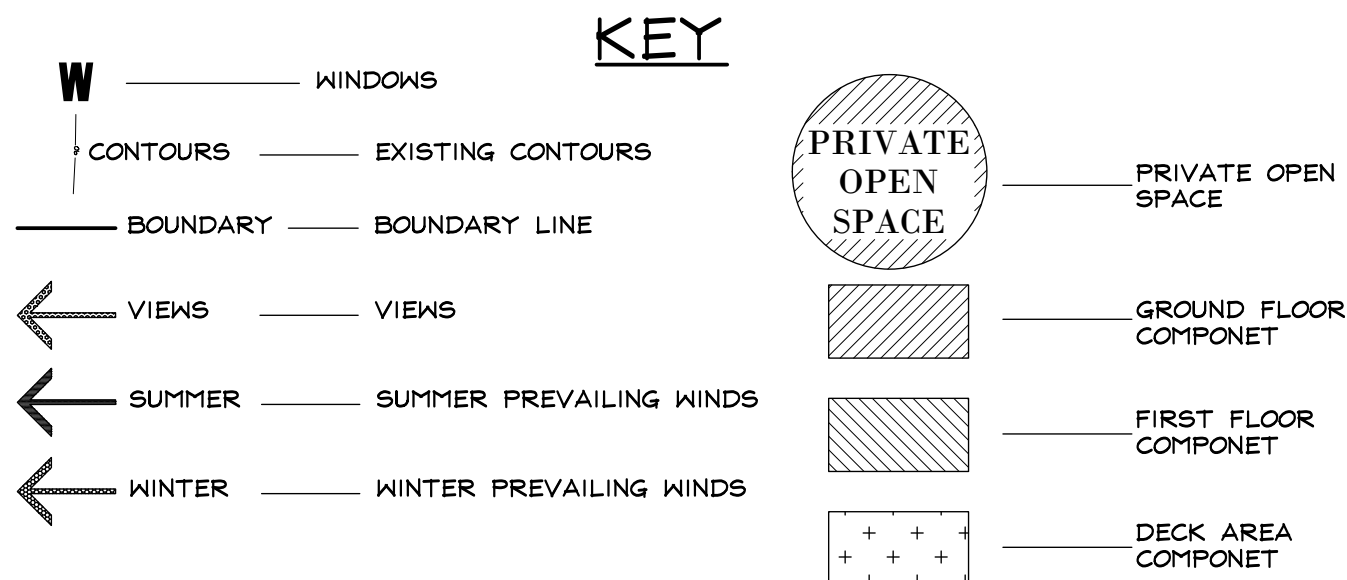
C

DEVELOPMENT

APPLICATION ISSUE



SITE ANALYSIS PLAN



DEVELOPMENT
 APPLICATION ISSUE

- REVISION B** 15-05-2019
- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
 - W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
 - W2, W19, W18, PRIVACY WINDOWS
- REVISION C** 11-06-2019
- ADDED W19A TO BED 3

**CLASSIC
 COUNTRY
 COTTAGES**

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
 P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
 Tel : (02) 4352 1189 Fax : (02) 4352 1198
 Builders Lic. 158741C ABN 65 687 862 151

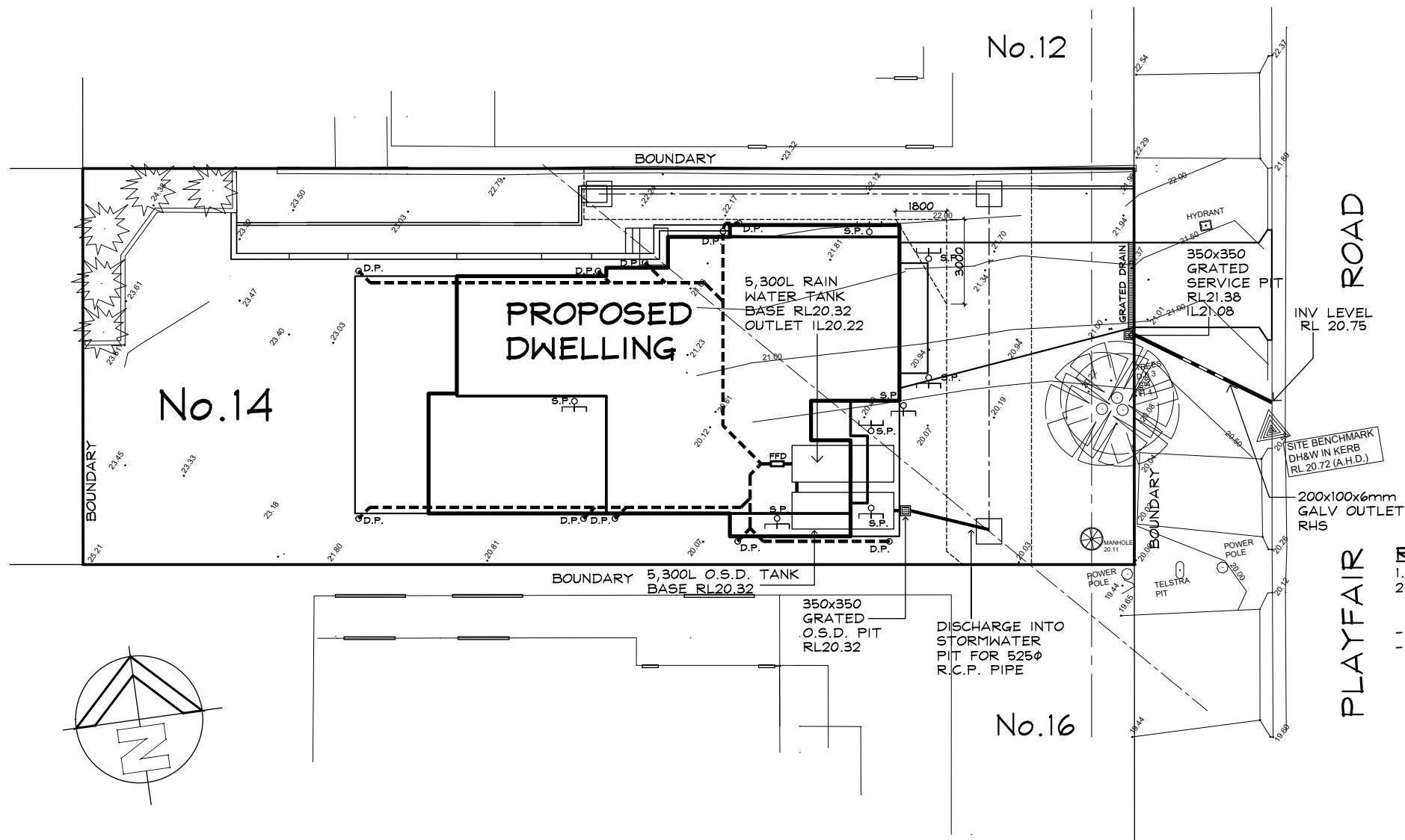
© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT
**PROPOSED NEW DWELLING
 14 PLAYFAIR ROAD
 NORTH CURL CURL**
 FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE, 2019** SCALE **1:200**

JOB No. **CC151** DWG. No. **12** REV **C**

IF IN
 DOUBT
 ASK



O.S.D. CALCULATIONS	
RAIN WATER TANK STORAGE (MINIMUM).....	5,300 LITRES
SITE AREA.....	= 521.4 sq. m.
ROOF CATCHMENT AREA.....	= 207.9 sq. m.
OTHER PAVED AREAS.....	= 33.9 sq. m.
PROPOSED IMPERVIOUS AREA.....	= 241.7 sq. m. (46.4%)
EXISTING IMPERVIOUS.....	= 307.4 sq. m. (50.0%)

O.S.D. REQUIRED WHEN IMPERVIOUS AREA EXCEEDS 40% OF SITE AREA
 SITE AREA 521.4 sq. m. x 0.40 = 208.6 sq. m.

O.S.D. IS REQUIRED AS (impervious) 241.7sq. m. > 208.6 sq. m.
 O.S.D. VOLUME CALCULATION, SITE AREA 521.4sqm. X 0.02 = 10.4m3.
 TOTAL O.S.D. STORAGE 10,400 LITRES



RAINWATER TANK NOTES

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS. 3500.3.2.
2. A TOTAL RAINWATER TANK STORAGE CAPACITY OF 5,300 LITRES IS PROVIDED VIA ONE SLIMLINE TANK CONSISTING OF AN APPROX SIZE 1,630mm WIDE X 2,180mm HIGH WATER TANK CONNECTED TO THE FOLLOWING:
 - ALL TOILETS IN THE DEVELOPMENT.
 - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.

STORMWATER MANAGEMENT PLAN

DEVELOPMENT APPLICATION ISSUE

- REVISION B** 15-05-2019
- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
 - W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
 - W2, W19, W18, PRIVACY WINDOWS
- REVISION C** 11-06-2019
- ADDED W19A TO BED 3

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
 P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
 Tel : (02) 4352 1189 Fax : (02) 4352 1198
 Builders Lic. 158741C ABN 65 687 862 151

© This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT
PROPOSED NEW DWELLING
14 PLAYFAIR ROAD
NORTH CURL CURL
 FOR
MR D. & Mrs. D. O'BRIEN

DATE **JUNE. 2019** SCALE **1:200**

JOB No. **CC151** DWG. No. **13** REV **C**

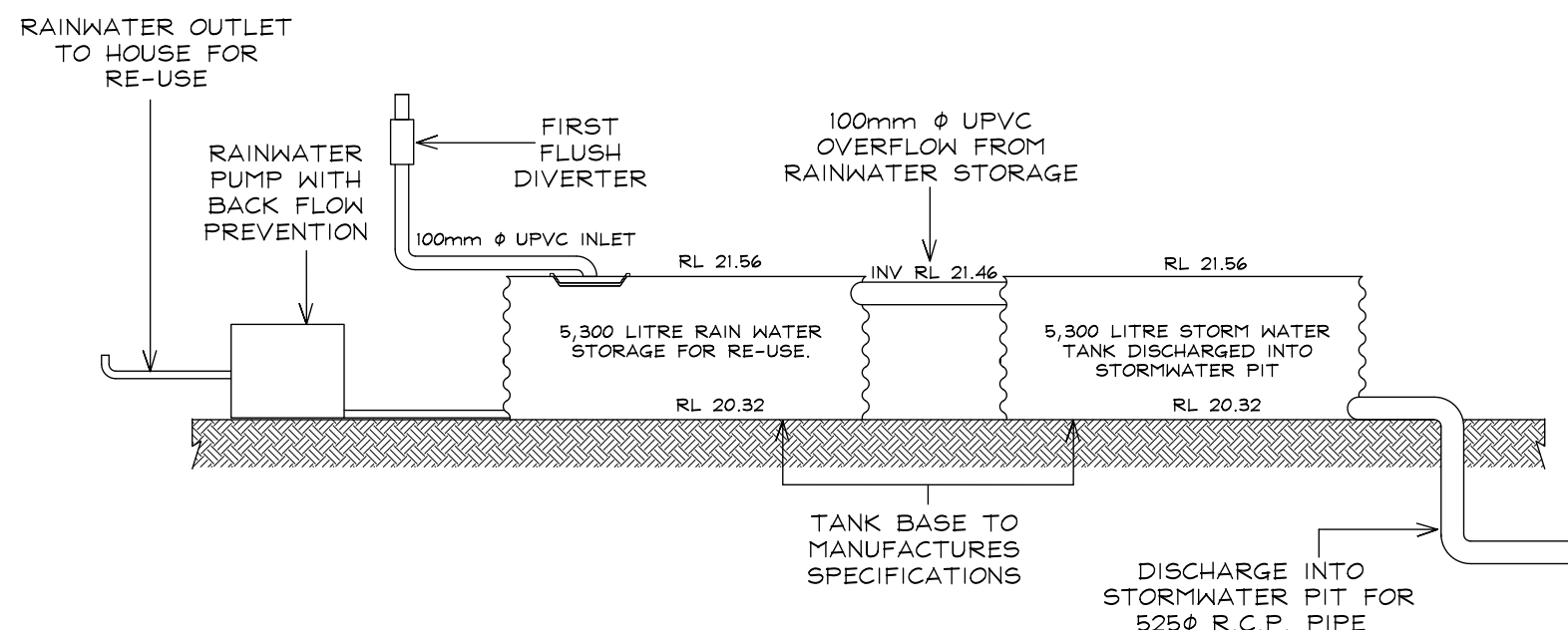
HYDRAULIC NOTES

1. THE CONTRACTOR SHALL GIVE NOTICE TO COUNCIL'S ENGINEER IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS WHEN INSPECTIONS ARE REQUIRED.
2. WHERE DEPTH OF STORMWATER DRAINAGE PITS EXCEEDS 1.2m, HOT DIPPED GALVANISED STEEL STEP IRONS SHALL BE PROVIDED.
3. ALL PITS SHALL BE PRECAST CONCRETE WITH GRATE OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
4. STORMWATER CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE DONE UNDER THE SUPERVISION OF COUNCIL'S ENGINEER.
5. ALL STORMWATER PIPES BELOW AND INCLUDING 225φ SHALL BE UPVC OR APPROVED EQUIV. UNLESS NOTED OTHERWISE.
6. ALL PIPES ABOVE 225φ SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
7. MINIMUM PIPE COVER TO BE 700mm UNLESS NOTED OTHERWISE.
8. ALL PIPES TO BE LAID AND COVERED WITH SAND TO A MINIMUM DEPTH EQUAL TO THE PIPE DIAMETER, BUT NOT LESS THAN 300mm.
9. IN SANDY SOILS THE EXCAVATED SOIL MAY BE REUSED.
10. ALL 100φ SUBSOIL DRAINAGE TO BE PLACED A MINIMUM OF 650mm BELOW FINISHED SURFACE LEVELS AND COVERED WITH A MINIMUM OF 500mm GRAVEL.
11. PIPE BEDDING SUPPORT SHALL BE H1 UNLESS NOTED OTHERWISE.
12. STORMWATER GRATES AND MANHOLE CLASSES SHALL BE IN ACCORDANCE WITH AS3996.
13. WHERE PIPE GRADES ARE NOT SHOWN ON DRAWINGS, MINIMUM PIPE GRADES SHALL BE 1% UNO.
14. PIPE GRADES INDICATED ON DRAWINGS ARE MINIMUM GRADES. IF MINIMUM GRADES CANNOT BE ACHIEVED CONTACT THE DESIGN ENGINEER PRIOR TO PLACEMENT.

KEY

D.P. ●	-----	DOWN PIPE
S.P. ●	-----	SPREADER PIPE
	-----	FIRST FLUSH DIVERTER
	-----	100mm DIA STORM WATER PIPE
	-----	90mm DIA STORM WATER DISCHARGE PIPE
	-----	50mm DIA FIRE FIGHTING PIPE TO STORZ
	-----	GRATED SERVICE PIT
	-----	W/T WATER TANK
	-----	GRATED SERVICE PIT

IF IN
DOUBT
ASK



SECTION THRU RAIN WATER AND O.S.D. TANKS

- REVISION B** 15-05-2019
- INCREASED FRONT SETBACK AN ADDITIONAL 700mm
 - W25 & W26 COMBINED INTO ONE PRIVACY WINDOW (SILL HEIGHT >1.5m)
 - W2, W19, W18, PRIVACY WINDOWS
- REVISION C** 11-06-2019
- ADDED W19A TO BED 3

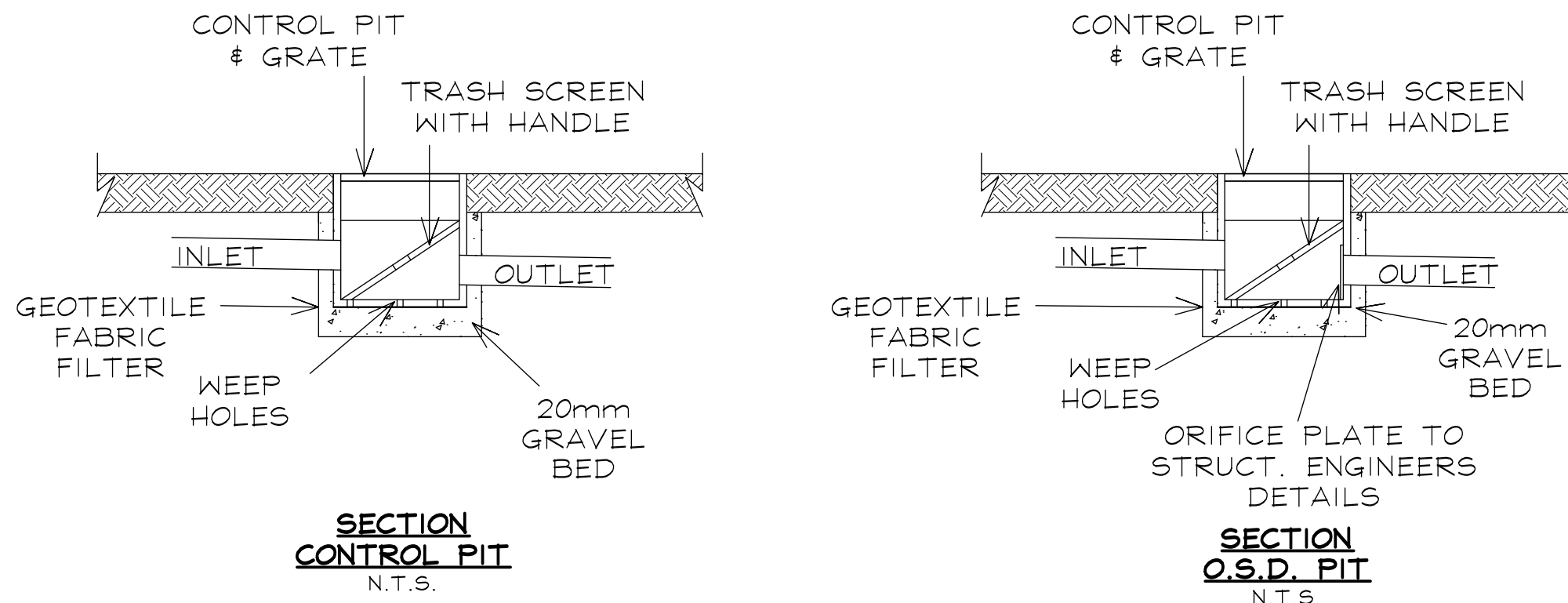
DEVELOPMENT APPLICATION ISSUE

CLASSIC COUNTRY COTTAGES

OFFICE - 39 GAVENLOCK ROAD TUGGERAH 2259
 P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261
 Tel : (02) 4352 1189 Fax : (02) 4352 1198
 Builders Lic. 158741C ABN 65 687 862 151
 © This drawing and design remains the property of CLASSIC COUNTRY COTTAGES and may not be copied in whole or in part without prior approval of CLASSIC COUNTRY COTTAGES

PROJECT
PROPOSED NEW DWELLING
14 PLAYFAIR ROAD
NORTH CURL CURL
 FOR
MR D. & Mrs. D. O'BRIEN
 DATE **JUNE. 2019** SCALE **N.T.S.**

JOB No. CC151 DWG. No. 14 REV C



STORMWATER MANAGEMENT DETAIL

IF IN DOUBT ASK