

AHKIN RESIDENCE

SECTION 96 APPLICATION TO MODIFY PERGOLA ROOF
OVER EXISTING DECK AS APPROVED IN DA 2005/1039

3 ARDSLEY AVENUE
FRENCHS FOREST, NSW 2086

Original design and base drawings by
Sally Gardner Design & Draft.

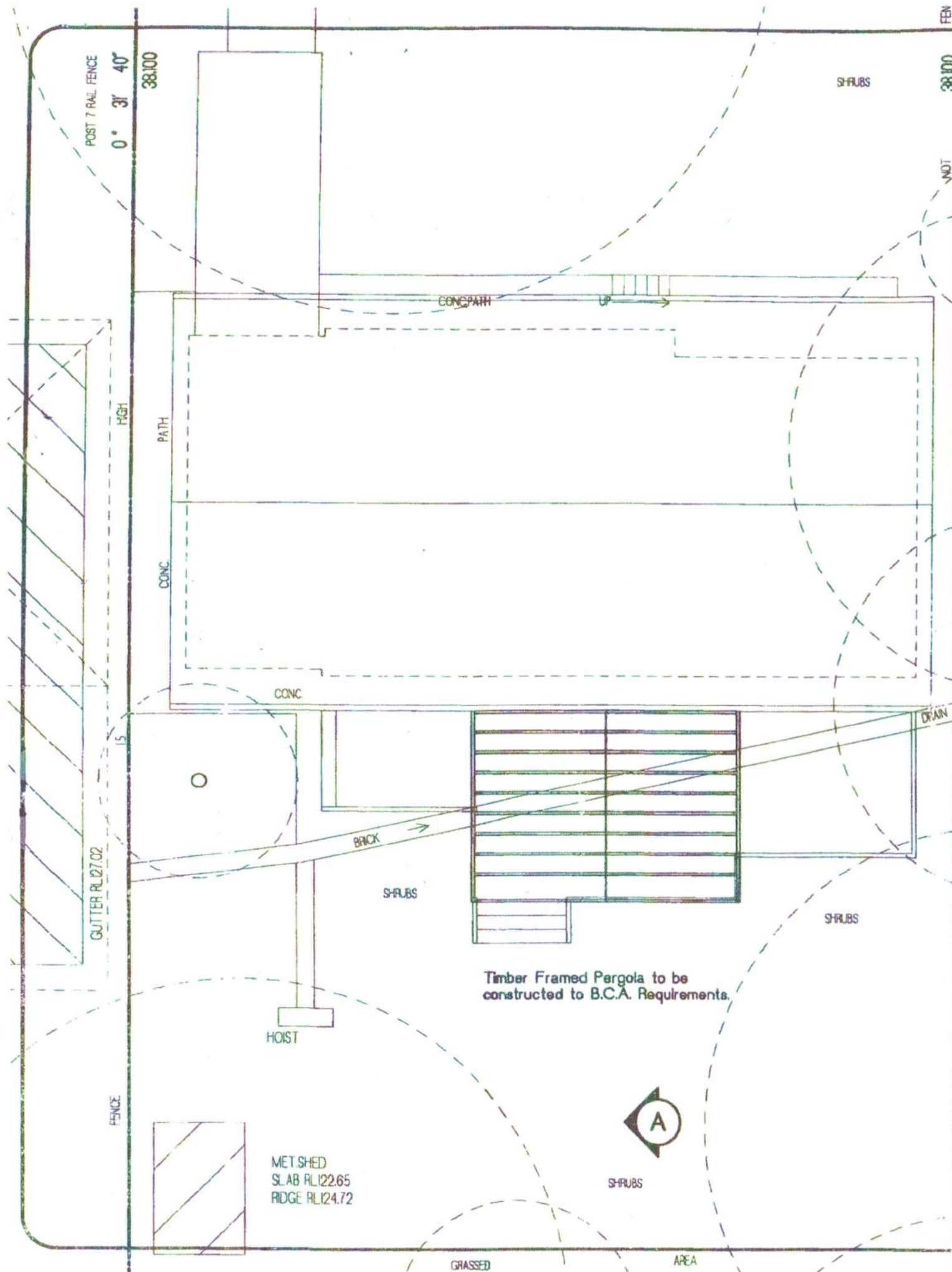
6 Sept 2005

Section 96 modifications by
Graeme Smith.

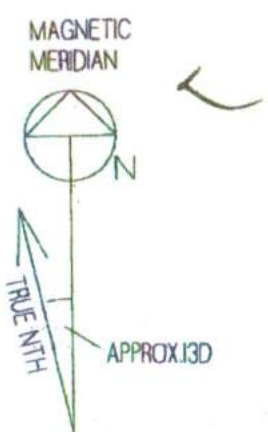
B.Arch. (NSW 4457) Builder (NSW 36632)
27 July 2016

Drawing List

A1a- Site Plan & Analysis (includes survey data)
A2 - Original DA 2005/1039 - Roof Plan
A2a - Revised Roof Plan
A3 - Original DA 2005/1039 - Floor Plan
A3a - Revised Floor Plan
A4 - Existing Footing Plan (existing and unchanged)
A5 - Original DA 2005/1039 - Elevations
A5a - Revised Elevations
A6 - Original DA 2005/1039 - Section & Notes
A6a - Revised Section & Notes

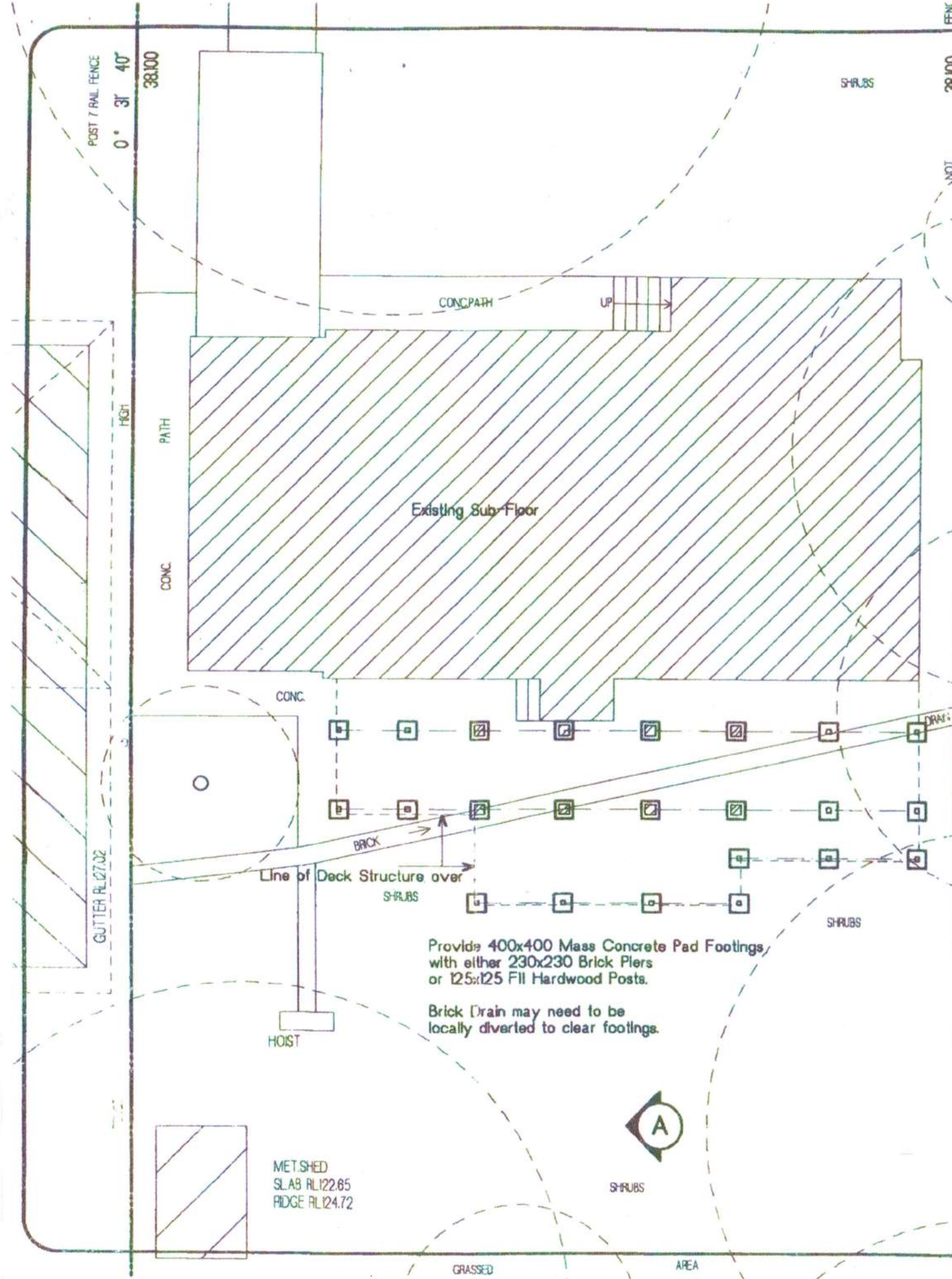


SINGLE STOREY
BRICK RESIDENCE
No.6 MOONBI CRES
RIDGE RL125.3



B W 6 0 5 9

Project PROPOSED DECK 3 ARDSLEY AVENUE, FRENCHS FOREST.	Client IAN BLAIR SALLY GARDNER DESIGN & DRAFT 47 Towradgi Street, Narraweena, NSW, 2099, Australia. ABN 33 099 834 153 Phone: 9871 2259, Fax: 9401 4338, Mobile: 0414 731 685 e-mail: sallygardner@optusnet.com.au				
Drawing Title ROOF PLAN	<table border="1"> <tr> <td data-bbox="2270 1795 2478 1848"> Scale 1: 100, 1: 50. </td><td data-bbox="2493 1795 2715 1848"> Job Number 805 </td></tr> <tr> <td data-bbox="2270 1848 2478 1890"> Date SEPTEMBER 2005 </td><td data-bbox="2493 1848 2715 1890"> Drawing Number A2 </td></tr> </table>	Scale 1: 100, 1: 50.	Job Number 805	Date SEPTEMBER 2005	Drawing Number A2
Scale 1: 100, 1: 50.	Job Number 805				
Date SEPTEMBER 2005	Drawing Number A2				



Existing Sub-Floor

Line of Deck Structure over SHRUBS

Provide 400x400 Mass Concrete Pad Footings, with either 230x230 Brick Piers or 125x125 Fill Hardwood Posts.

Brick Drain may need to be locally diverted to clear footings.

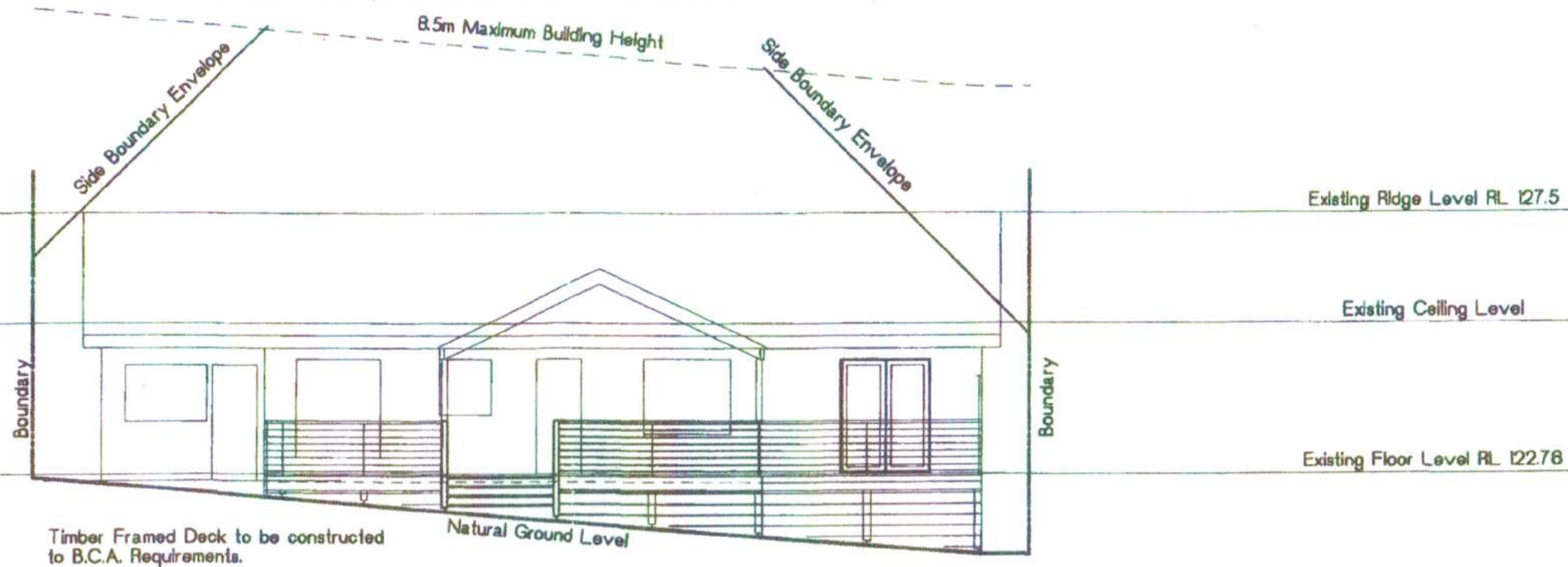
MET. SHED
SLAB RL 22.65
RIDGE RL 24.72

SINGLE STOREY
BRICK RESIDENCE
No. 6 MOONBI CRES.
RIDGE RL 25.3

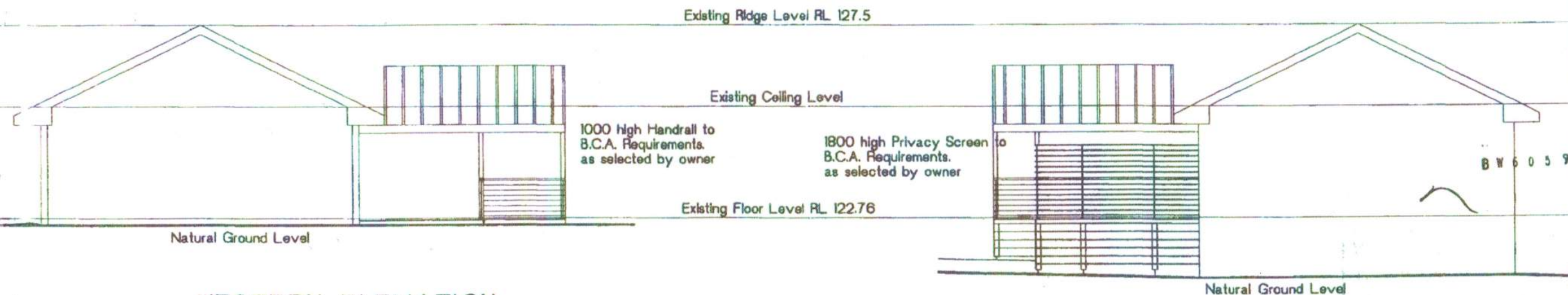


2005/1039

Project		Client	
PROPOSED DECK 3 ARDSLEY AVENUE, FRENCHS FOREST.		IAN BLAIR SALLY GARDNER DESIGN & DRAFT 47 Towradgi Street, Narrabeena, NSW, 2099, Australia. ABN 33 099 834 153 Phone: 9971 2255, Fax: 9401 4338, Mobile: 0414 731 685 e-mail: sallygardner@optusnet.com.au	
Drawing Title		Scale	Job Number
FOOTING LAYOUT		1: 100, 1: 50.	805
Date		SEPTEMBER 2005	Drawing Number
			A4
			Rev.



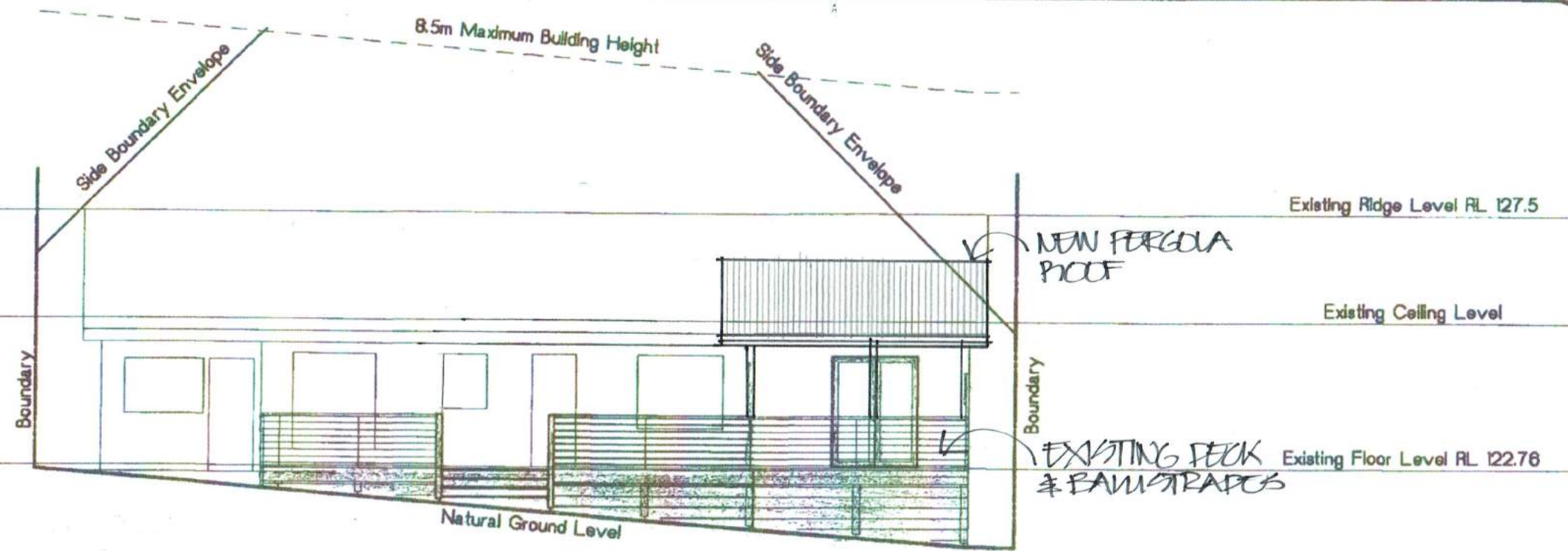
SOUTHERN ELEVATION



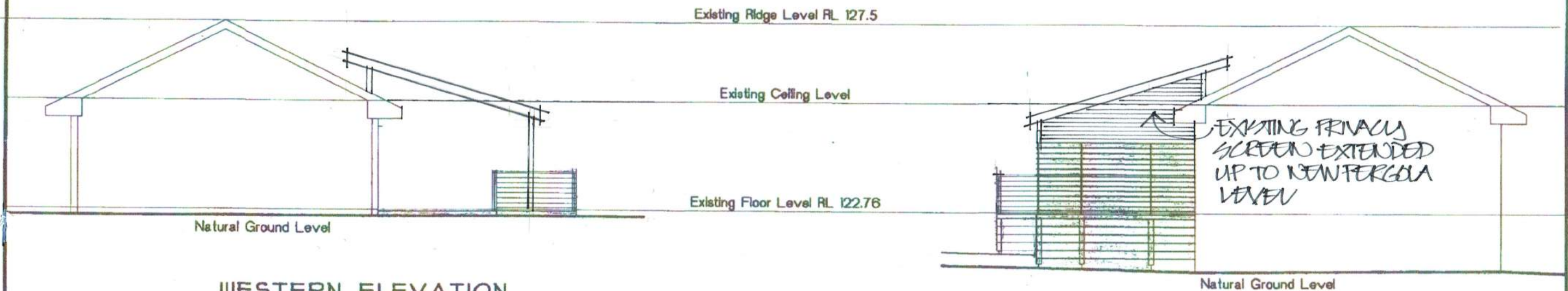
WESTERN ELEVATION

EASTERN ELEVATION

Project PROPOSED DECK 3 ARDSLEY AVENUE, FRENCHS FOREST.	Client IAN BLAIR SALLY GARDNER DESIGN & DRAFT 47 Tawradgi Street, Narrabeena, NSW, 2099, Australia. ABN 33 099 834 153 Phone: 9971 2255, Fax: 9401 4338, Mobile: 0414 731 685 e-mail: sallygardner@optusnet.com.au		
Drawing Title ELEVATIONS	Scale 1: 100, 1: 50. Date SEPTEMBER 2005	Job Number 805 Drawing Number A5 Rev.	



SOUTHERN ELEVATION



WESTERN ELEVATION

EASTERN ELEVATION

PROJECT: PROPOSED NEW / RELOCATED PERGOLA OVER DECK APPROVED IN DA 2005 / 1039 3 ARDSLEY AVENUE, FRENCHS FOREST	CLIENT: Mr. B & Mrs L Ahkin	
	ARCHITECT: Graeme Smith (NSW 4457) graeme.smith1310@bigpond.com.au	
ELEVATIONS	Original design and base drawing prepared by Sally Gardner Design & Draft - Sept 2005	
	SCALE: 1:100 @ A3	DATE: 27 July 2016
		DRAWING: A5-a

NOTE.

- Approved means by the 'The Relevant Local Authority' or 'Council'.
- The Owner will directly pay the fees associated with the following: building approval from council, footpath and kerb deposits with the local council, insurance fee to Building Services Corporation, Long Service Leave levy fee and approval fee by water and sewerage authority. All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other cause will be deducted from the payments due to the builder.
- The Builder is to provide at his/her own expense adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works Insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause.
- All work and materials to comply with the current Australian Standards at the time of commencement where applicable.
- These drawings shall be read in conjunction with all structural and other consultants drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimension are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- The Builder is to comply with all Ordinances, Local Authority regulations and the requirements of all services supply authorities having jurisdiction over the works.
- All new downpipes are to be connected to the existing Stormwater system that discharges to an existing Council Stormwater system.
- All Power and Stormwater outlet locations shall be determined on site by the Owner.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder to the Owner approval, except for any structural details or design which is supplied by the engineer.
- All timber sizes and concrete details to be confirmed by the builder prior to commencement of any work.
- Any work indicated on the plans but not specified, and any item not shown on the plan which is obviously necessary as part of proper construction and/or finish is to be considered as shown and specified, and is to be done as part of the contract.
- Variations will not be permitted without the written consent of the Owner.
- The Builder shall provide sediment and siltation control measures as required by council and maintain them throughout the duration of the works.
- A legible copy of the plans bearing approval stamps must be maintained on the job at all times. Hours of construction shall be restricted to the times as required by the Building Approval.
- The Builder is to arrange for all inspections required by the authorities and lending institutions to their requirements.
- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruptions with existing services and equipment to be to by appropriately skilled tradesmen.
- The Builder shall restore, reinstate or replace any damage caused to existing structures or landscaping by construction work or workmen. Provide protection to existing trees to remain as required by Approval Conditions.

Clear site under and adjacent to building works, remove all Roots and Stumps etc.
Level and Grade to ensure that surface and seepage water does not collect under area of new work.
The Builder shall allow for excavation on the assumption that it shall be made in other than rock or shale. Should rock be encountered the appropriate 'extra over' rate shall be applied to the actual quality of rock necessarily and reasonably excavated.

Existing Ridge Level RL 127.5

250x50 Hardwood
Rafters at 450 centres

Refer to Engineer for
Roof Beams

Existing Ceiling Level

100x100 Hardwood Posts

1000 high Handrail to
B.C.A. Requirements.
as selected by owner

Existing Floor Level RL 122.76

230x230 Brick Piers
or 125x125 F11 Hardwood Posts.

400x400 Mass Concrete Pad Footings

100 x 50 F11 Hardwood Joists
at 450 max. centres

150 x 75 F11 Hardwood Bearers

100x75 F11 Ledger Beam
fixed to brickwork with appropriate
masonry anchors at 450 centres.

Existing Residence

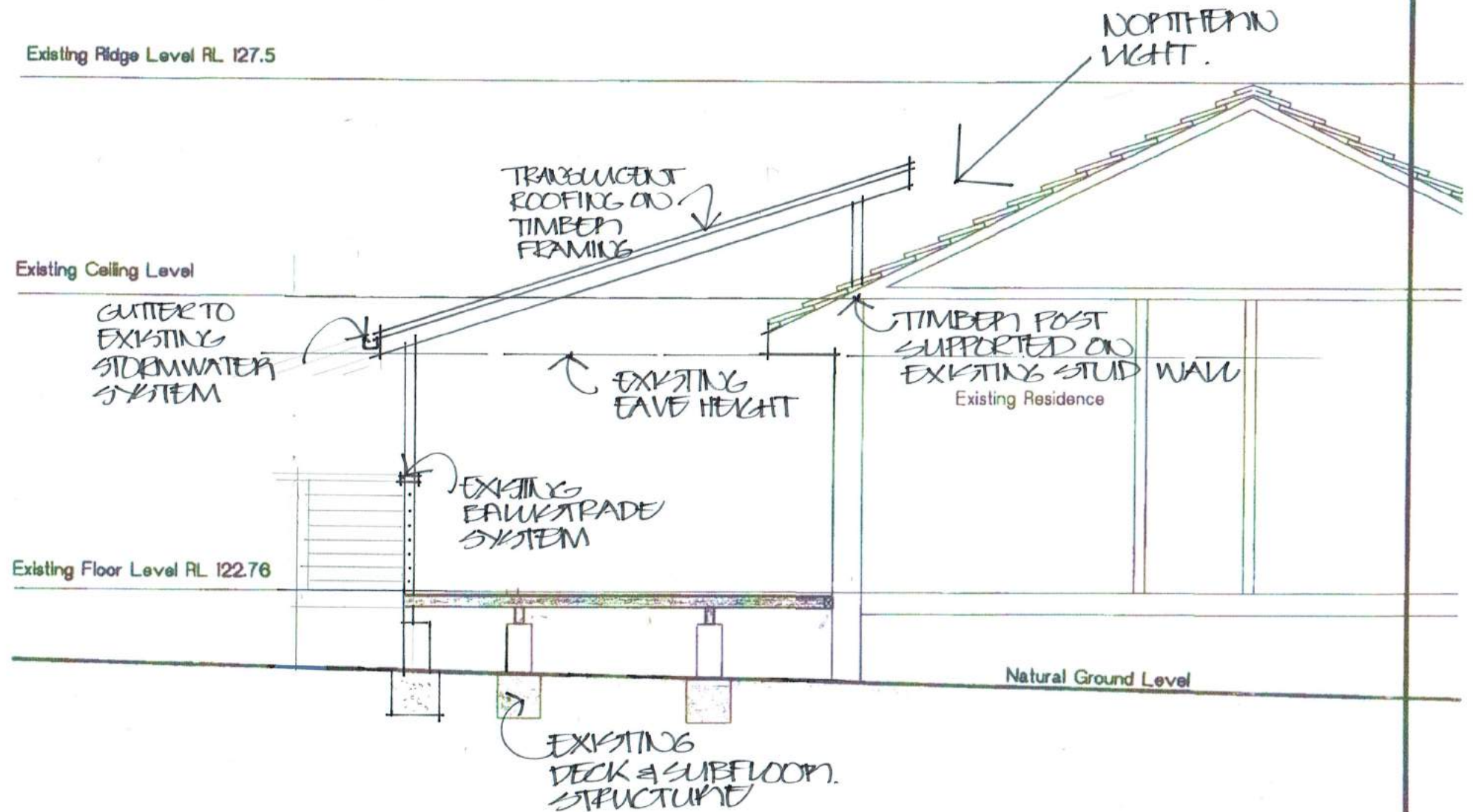
Natural Ground Level

SECTION A

Project PROPOSED DECK 3 ARDSLEY AVENUE, FRENCHS FOREST.	Client IAN BLAIR SALLY GARDNER DESIGN & DRAFT 47 Towradgi Street, Narrabeen, NSW, 2099, Australia. ABN 33 099 834 153 Phone: 9971 2255, Fax: 9401 4338, Mobile: 0414 731 685 e-mail: sallygardner@optusnet.com.au				
Drawing Title SECTION and NOTES	<table border="1"> <tr> <td data-bbox="2240 1795 2478 1858"> Scale 1:100, 1:50. </td><td data-bbox="2478 1795 2730 1858"> Job Number 805 </td></tr> <tr> <td data-bbox="2240 1858 2478 1904"> Date SEPTEMBER 2005 </td><td data-bbox="2478 1858 2730 1904"> Drawing Number A6 </td></tr> </table>	Scale 1:100, 1:50.	Job Number 805	Date SEPTEMBER 2005	Drawing Number A6
Scale 1:100, 1:50.	Job Number 805				
Date SEPTEMBER 2005	Drawing Number A6				

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SECTION A

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	ARCHITECT: Graeme Smith (NSW 4457) graeme.smith1310@bigpond.com.au	
SECTION & NOTES	Original design and base drawing prepared by Sally Gardner Design & Draft - Sept 2005	
	SCALE: 1:50 @ A3 DATE: July 2016	DRAWING: A6-a