

STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and Additions

Owner:

C & C Spencer

Project:

Alterations and additions to residence at:

14 Bellevue Street, Fairlight, NSW 2094

Date:

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Prepared by:



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1.0 INTRODUCTION

This statement of Environmental Effects has been prepared as part of supporting documentation in association with a Development Application **concerning Lot 2, DP 587108, no. 14 Bellevue Street, Fairlight** in the Local Government Area of Manly in the Northern Beaches Council: to assess the proposal's compliance with the relevant provisions of Northern Beaches Council's planning controls and policies and to assess the likely impacts on neighbouring properties and the locality.

2.0 SITE LOCATION AND DESCRIPTION

The site, **#14** lies on the Eastern side of Bellevue St and topographically, is located towards the higher, or southerly end of the street. The site is approximately 800m from the local shops (Condamine St & Sydney Rd) and approximately 800m from the Fairlight Beach. It comprises Land in the Local Government Area of Northern Beaches, within the Manly LEP zone.

It has a frontage of 7.11m to Bellevue St and a side boundary of 38.09m with the north boundary irregularly stepped throughout, due to a shared party wall with 16 Bellevue St. The overall site area is 254.6m². The front boundary low point is 51.43m AHD, while the rear boundary high point is approximately 53.74m AHD, representing a rise from east to west of approximately 2.3m. The lot is relatively flat throughout the front and middle, however rises sharply at the rear of the dwelling to a level rear zone where the detached studio is located. Towards the rear of the dwelling, at the side path, a bedrock outcrop cuts part way across the side setback.

The most notable features of the site are the irregular shared boundary wall with 16 Bellevue St; the Hawkesbury Sandstone Bedrock Outcrops on the SE side of the house; the two storey weatherboard and tiled roof dwelling; and one prominent tree (Wallangarra White Gum) at the rear along the Northern boundary. The existing dwelling ground floor level sits approximately 0.4m above the kerb level of Bellevue St. A paved pathway provides access to the dwelling as there is no driveway or off street car accommodation.

The existing front building line is at a 4.54m setback, while the rear building line is 13.64m from the rear boundary. The existing rear studio has a 1.2m rear setback. The side setback on the north has a nil setback due to a shared party wall with #16, while the southern setback is 1.5m. The ground level has no significant views, while Level 1 has a limited district outlook. The rear entertainment deck also has limited views towards Manly Vale and Beacon Hill.

The site is located within the R1 General Residential Zone. It is not identified as being Bushfire Prone Land however it is in a Geotechnical Area G4. It is also located within the OS3 Open Space Area zone.



Figure 1. Aerial Locality Plan, 14 Bellevue St, Fairlight. Google Maps

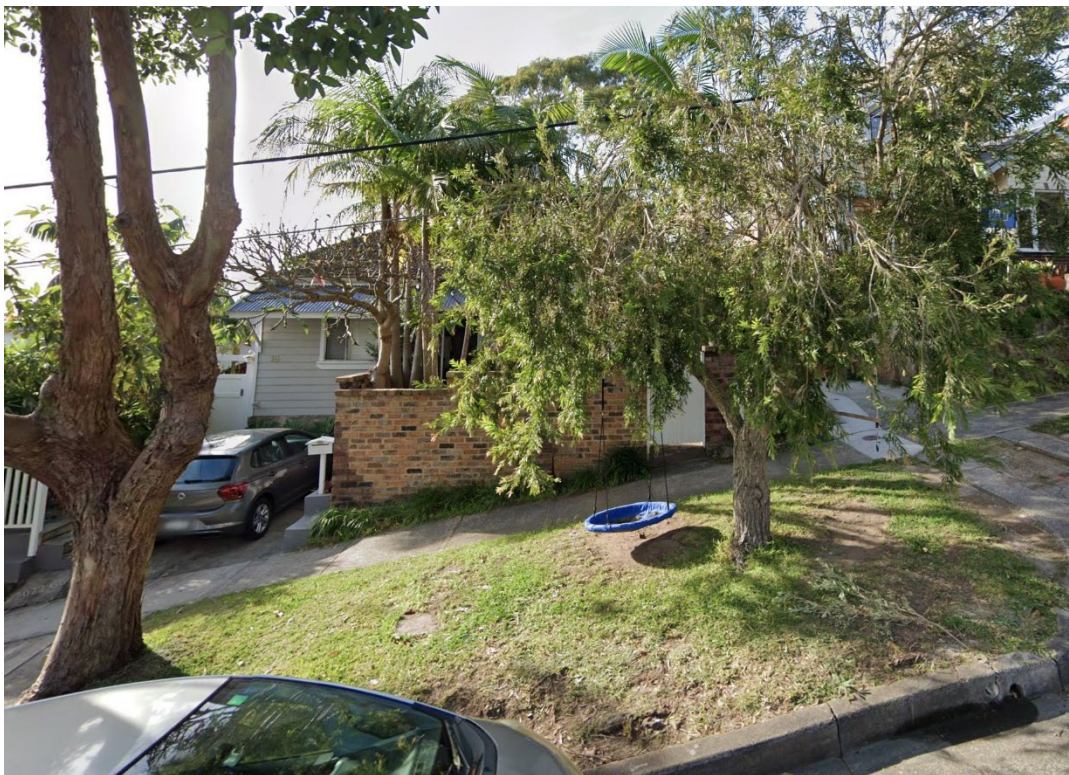


Figure 2. Street view towards existing dwelling at 14 Bellevue Street, Fairlight

3.0 DESCRIPTION OF PROPOSED DEVELOPMENT

Application is made for the following modifications:

- a) Ground floor extension at the rear, and internal layout modifications
- b) Conversion of robe to a bathroom on Level 1
- c) New rear paved area, and the rebuilding of the elevated entertaining deck
- d) Minor landscaping modifications including excavation of a rock outcrop.

The proposed development is described in Drawings DA001, DA010, DA100, DA101, DA110, DA200, DA201, DA300, DA600 by We Make Plans. A site survey plan showing existing locations and levels by Frank M Mason & Co is also provided.

4.0 ASSESSMENT OF STATUTORY REQUIREMENTS AND POLICY

4.1 MANLY LOCAL ENVIRONMENTAL PLAN 201

Clause	LEP Provision	Proposed Alterations & Additions	Compliance
Part 1	Preliminary	Noted	Yes
Part 2	Permitted or Prohibited Development		
2.2	Zoning of land to which Plan applies <i>Land zoning: R1 General Residential</i>		
2.3	Zone objectives and land use table R1 General Residential <i>Permitted with consent: Dwelling Houses</i>	The proposed development is permitted with consent within the R1 General Residential zone.	Yes
Part 4	Principal Development Standards		
4.3	Height of buildings <i>Maximum height: 8.5m</i>	The proposal remains within the 8.5m maximum height limit.	Yes
4.4	Floor space ratio <i>Maximum Floor Space Ratio: 0.60</i>	The proposed remains under 0.60 being that it is 0.50.	Yes
4.6	Exceptions to development standards <i>Variations to development standards require written request</i> <i>(1) The objectives of this clause are as follows:</i> <i>(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,</i> <i>(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.</i>	No exceptions are requested.	N/A
Part 5	Miscellaneous Provisions		
5.10	Heritage Conservation <i>(1) Objectives</i> <i>The objectives of this clause are as follows:</i> <i>(a) to conserve the environmental heritage of Manly,</i> <i>(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,</i> <i>(c) to conserve archaeological sites,</i> <i>(d) to conserve Aboriginal objects and Aboriginal places of heritage significance.</i>	The subject site does not contain a Heritage Item and is not located within close proximity to a Heritage Item. Furthermore, I note that the subject site is not located within a Heritage Conservation Area. Therefore, for these reasons, it is not considered that the proposed alterations and additions will adversely impact upon Heritage Items identified under the LEP.	N/A
5.11	Bush fire hazard reduction <i>Bush fire hazard reduction work per Rural Fires Act 1997</i>	The site is not identified by mapping as a bush fire prone area or within the	N/A

	may be carried out without development consent	10/50 vegetation clearing entitlement area under Rural Fires Act 1997(NSW)	
Part 6	Additional Local Provisions		
6.1	Acid sulfate soils Acid sulfate soils class: 5: Applies to works below 5m AHD (1) The objective of this clause is to ensure that development does not disturb, expose or drain acid sulfate soils and cause environmental damage.	No works proposed below 5m AHD.	Yes
Clause	LEP Provision	Proposed Alterations & Additions	Compliance
Part 6	Additional Local Provisions (cont.)		
6.2	Earthworks (1) The objectives of this clause are as follows: (a) to ensure that earthworks and associated groundwater dewatering for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land, (b) to allow earthworks of a minor nature without requiring a separate development consent.	Proposed earthworks for retaining elements and removal of rock outcrop are of a minor nature and can be carried out with minimal impact on sub-soil drainage patterns and soil stability on site or within the locality. The maximum depth of excavation is approx. 2m	Yes
6.4	Stormwater Management To minimise the impacts of urban stormwater on land to which this clause applies and on adjoining properties, native bushland and receiving waters.	The proposed alterations and additions result in a minor increase of 15.0m2 of roof catchment, and 8.4m2 of non-permeable paving, constituting a total of 23.4m2. The roof extension proposes to incorporate new down pipes connecting to the existing stormwater system in accordance with AS3500. I note that a Stormwater Plan accompanies this DA.	Yes
6.8	Landslide Risk (1) The objectives of this clause are to ensure that development on land susceptible to landslide— (a) matches the underlying geotechnical conditions of the land, and (b) is restricted on unsuitable land, and (c) does not endanger life or property.	I note that that the subject site is not identified as Landslide Risk under the Landslide Risk Map Sheet CL1_003 contained within the LEP. However the site is located within AREA G4 - Ridges, Crests, major spur slopes & dissected plateau areas. A Geotech Report by White Geotech accompanies this DA.	Yes

4.2 MANLY DEVELOPMENT CONTROL PLAN

Clause	DCP Provision	Proposed Alterations & Additions	Compliance
Part 1	INTRODUCTION		
1.1	Name of this Plan	Noted.	
1.2	Where this DCP applies	Noted.	
1.3	Relationship to other Plans and Policies	Noted.	
1.4	Savings Provisions		
1.5	Purpose of this DCP	Noted.	
1.6	Structure of this DCP	Noted.	
1.7	Aims and Objectives of this DCP	Noted.	
Part 3	General Principles and Developments		
3.1.1	Streetscapes (Residential Areas)		
	3.1.1.1 Complementary Designs and Visual Improvements	The proposed additions and alterations will have zero effect on Streetscape as they are single storey and located towards the rear of the site/dwelling.	Yes
	3.1.1.2 Front Fences and Gates		
	3.1.1.3 Roofs and Dormer Windows		
	3.1.1.4 Garages, Carports and Hardstand Areas		
	3.1.1.5 Garbage Areas		
3.2	Heritage Consideration		
	This section applies to: Heritage Items and Conservation Areas listed in the LEP; development in the vicinity of heritage; and other development which may have potential heritage significance. If the property has merit as a potential heritage item the heritage controls and considerations of this plan will apply.	The site is not a Heritage listed Item nor in close proximity to one. It does not reside within a Heritage Conservation Area.	N/A
3.3	Landscaping		
	Relevant DCP objectives to satisfy in relation to this part include the following: To encourage appropriate tree planting and maintenance of existing vegetation. To retain and augment important landscape features and vegetation remnant populations of native flora and fauna.	The proposed additions and alterations do not affect any existing trees and has minimal impact on existing vegetation on the site. A planter bed and planting of native flora is proposed in addition to what is existing on site. An Arborist Report accompanies this DA supporting the development in proximity to the Eucalyptus at the rear of the site.	Yes
3.4	Amenity (views, Overshadowing, Overlooking/Privacy/Noise)		
	objectives to be met in relation to these paragraphs include the following: To protect the amenity of existing and future residents and minimise the impact of new development, including	The proposal will not see a reduction in existing levels of privacy, views or any overshadowing to adjoining properties due to the building footprint effectively presented as a cut into the slope of the land. Furthermore, the additions and alterations proposed are situated at the rear of site and at the existing ground level. The new rear deck is a rebuilding of a dilapidated one. No change in use of	Yes

	alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties including noise and vibration impacts. To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade.	the dwelling zones or intensification of use is proposed.	
3.5	Sustainability - (Greenhouse Energy Efficiency, Thermal Performance, and Water Sensitive Urban Design) Council require that the principles of ecologically sustainable development be taken into consideration when determining development applications under section 79C of the Environmental Planning and Assessment Act 1979 and under this plan.	The proposed additions & alterations ensure that sustainable development is taken into consideration to minimise waste, by adapting the existing dwelling and recycling materials where possible. The proposal has followed energy efficient building design practices to reduce energy consumption and optimise energy conservation and solar access to the land. High ceilings, ventilation and skylights have been incorporated to improve sustainability.	Yes
3.6	Accessibility <i>Objectives:</i> <i>To ensure equitable access within all new developments and ensure that any refurbishments to existing buildings provide improved levels of access and facilities for people with disabilities.</i> <i>To provide a reasonable proportion of residential units that should be designed to be adaptable and easily modified to promote 'ageing in place' and for people with disabilities.</i> <i>To highlight consideration of access issues early in the development design process.</i> <i>To continue improving understanding and awareness of access issues for people with disabilities through a commitment to implementation of best practice.</i> <i>To ensure that the public domain, including public domain in new developments provides connectivity, legibility, flexibility and consistency to allow for equitable and safe access for all people.</i>	The proposed alterations and additions are in keeping with the Objectives of this clause and the accessibility requirements contained within relevant Australian Standards and BCA. The proposed development is limited to an open plan arrangement at the ground level.	Yes
3.7	Stormwater Management <i>Objectives:</i> To manage urban stormwater within its natural catchments and within the development site without degrading water quality of the catchments or cause erosion and sedimentation. To manage construction sites to prevent environmental impacts from stormwater and protect downstream properties from flooding and stormwater inundation.	The Stormwater Management Plan accompanying the Development Application provides details on the above provisions. I note that the proposed alterations and additions result in only 23.4m ² additional impervious area (roof + paving) and the proposed roof form will incorporate down pipes connecting stormwater to the existing stormwater system (gravity fed to kerb outlet).	Yes

To promote ground infiltration of stormwater where there will be no negative (environmental) impacts and to encourage on-site stormwater detention, collection and recycling.

To make adequate arrangements for the ongoing maintenance of stormwater facilities.

3.8 **Waste Management**

Relevant objectives to satisfy in relation to this paragraph include the following:

Minimise overall environmental impacts of waste in accordance with regional waste plans and Federal and State Government waste minimisation targets.
Encourage environmentally protective waste management practices on construction and demolition sites which include:

sorting of waste into appropriate receptors (source separation, reuse and recycling) and ensure appropriate storage and collection of waste and to promote quality design of waste facilities;
adoption of design standards that complement waste collection and management services offered by Council and private service providers;
building designs and demolition and construction management techniques which maximises avoidance, reuse and recycling of building materials and which will minimise disposal of waste to landfill; and
appropriately designed waste and recycling receptors are located so as to avoid impact upon surrounding and adjoining neighbours and enclosed in a screened off area.

Encourage the ongoing minimisation and management of waste handling in the future use of premises.

To ensure waste storage and collection facilities complement waste collection and management services, offered by Council and the private service providers and support on-going control for such standards and services.

To minimise risks to health and safety associated with handling and disposal of waste and recycled material, and ensure optimum hygiene.

The accompanying Waste Management Plan provides details on the proposed waste handling procedures to be implemented.

Yes

	To minimise any adverse environmental impacts associated with the storage and collection of waste. To discourage illegal dumping.		
3.9	Mechanical Plant Equipment	Existing plant and equipment will be retained (mechanical ventilation).	Yes
3.10	Safety and Security		
	Relevant DCP objectives to be met in relation to these paragraphs include the following: To ensure all development are safe and secure for all residents, occupants and visitors of various ages and abilities. To ensure that the design process for all development integrate principles of 'Safety in Design' to eliminate or minimise risk to safety and security. To contribute to the safety and security of the public domain.	The proposed alterations and additions will maintain the current passive surveillance of the street and maintain the existing safety and security of occupants of the subject site and adjoining properties. No new works are proposed at the front/entry of the dwelling	Yes

Clause	DCP Provision	Proposed Alterations & Additions	Compliance
Part 4	Development Controls and Development Types		
4.1.	Residential Development Controls		
	<i>Objectives:</i> To promote a variety of dwelling types, allotment sizes and residential environments in Manly. To limit the impact of residential development on existing vegetation, waterways, riparian land and the topography. To promote housing diversity and a variety of dwelling sizes to provide an acceptable level of internal amenity for new dwellings. To maintain the character of the locality and streetscape. To maximise the use of existing infrastructure.	The proposal seeks to endorse the above objectives, where relevant.	Yes
4.1.1	Dwelling Density and Subdivision		
	<i>4.1, the density controls in conjunction with other controls in this plan are also important means of prescribing the nature and intended future of the residential areas of Manly. Relevant DCP objectives to be satisfied in relation to this part include:</i> <i>Objective 1) To promote a variety of dwelling types and residential environments in Manly.</i> <i>Objective 2) To limit the impact of residential development on existing vegetation, waterways, riparian land and the topography.</i> <i>Objective 3) To promote a variety of allotment sizes, residential environments and housing diversity.</i> <i>Objective 4) To maintain the character of the locality and streetscape.</i> <i>Objective 5) To maximise the use of existing infrastructure.</i>	The proposal seeks to maintain and bolster the character of the locality by incorporating sensitive design, in keeping with the surrounds of the subject site.	Yes
4.1.1.1	Residential Density		
	<i>This section contains maximum permissible residential density controls which generally apply to land identified on the LEP Lot Size Map and determine the maximum number of dwellings that may be achieved on any one parcel of land.</i> <i>a) The maximum permissible residential density control at Figure 24 – Minimum Residential Density applies to land identified in Residential Density Areas on the Minimum Residential Density Map at Schedule 1 - Map A in this plan.</i> <i>Figure 24 - Minimum Residential Density determines the</i>	No changes are proposed to the existing Residential Density.	Yes

maximum number of dwellings that may be achieved on any one development site. This figure indicates the minimum site area required for every dwelling contained on a site. For example, if a density control of 300sqm per dwelling applies to a site with a site area of 600sqm the density control would allow for a maximum of 2 dwellings.

b) For the purposes of calculating the residential density control for battle-axe lots, the area of the access handle is excluded from the site area, consistent with the provisions for minimum subdivision lot size in LEP clause 4.1(3A).

4.1.2 Height of Buildings

a) LEP Zones where numeric height controls in this DCP apply Height controls under paragraph 4.1.2 of this plan apply to development in LEP Zones R1, R2, R3, E3 and E4. This part of the DCP does not apply to development of other lands subject to the LEP Height of Building standard identified on the LEP Height of Building Map. See also paragraph 4.2 of this plan in relation to height controls and considerations in the LEP Business Zones.

b) Exceptions to Height Where an existing building exceeds the maximum height controls in this plan or the height of building standards in the LEP, any alterations and/or additions to the building must not increase the overall height of the existing building.

Wall Height

a) Within the LEP Height of Buildings development standard, the maximum external wall height is calculated based on the slope of the land under the proposed wall. Figures 26, 27 and 28 provide guidelines for determining the maximum height of external walls based on the particular slope of the land along the length of these proposed walls. The maximum wall height control will also vary from one building, elevation or part elevation to another depending on the slope of land on which the wall is sited. Within the range of maximum wall heights at Figures 26 and 28, the permitted wall height increases as the slope of the land increases up to a gradient of 1 in 4, at which point the permitted maximum wall height is capped according to Figure 26.

b) For the purpose of determining maximum wall height,

The proposed alterations and additions are to be on the ground floor and not encroach the maximum wall or building height.

Yes

The proposed wall heights complies with the objectives of the clause

Yes

the slope of the land is calculated at natural ground level along the full length of the proposed wall expressed as a ratio that is applied in Figure 27 - Interpretation of Wall Height based on Slope. The slope of land on which the wall is sited will differ from one building to another and from one elevation of that building to another elevation and will be used in Figure 28 below to determine the maximum wall height in each case.

4.1.2.2 **Number of Storeys**

- a) Buildings must not exceed 2 storeys, except on land in areas 'L' and 'N1' on the LEP Height of Building Map and notwithstanding the wall and roof height controls in this plan.*
- b) Buildings on land in areas 'L' and 'N1' on the LEP Height of Building Map Buildings must not exceed 3 storeys notwithstanding the wall and roof height controls in this plan.*
- c) Variation to the maximum number of storeys may be considered:*
- i) where specific physical site constraints warrant an exception to this requirement. In these circumstances the development must still fully comply with other numeric height controls and development standards; and*
- ii) to allow an additional understorey where that storey satisfies the meaning of basements in the LEP.*

The proposal maintains 2 storeys

Yes

4.1.2.3 **Roof Height**

- a) Pitched roof structures must be no higher than 2.5m above the actual wall height *,calculated in accordance with Figure 29.*
- b) Roof parapets may extend up to 0.6m above the actual wall height where Council considers that a parapet is considered to be appropriate to the design of the development and satisfies the objectives of this DCP and the LEP. For example, a parapet roof should not result in the appearance of lift structures and the like that protrude above the roof.*
- c) Roof Pitch: The maximum roof pitch must be generally no steeper than 35 degrees. A roof with a steeper pitch will be calculated as part of the wall height. In this regard the wall height controls at paragraph 4.1.2.1 of this plan will apply*

The proposed roof form and height complies with the objectives of the clause.

Yes

	To maximise wildlife habitat and the potential for wildlife corridors.		
4.1.6	Parking, Vehicular Access and Loading <i>Objectives:</i> To provide accessible and adequate parking on site relative to the type of development and the locality for all users (residents, visitors or employees). To reduce the demand for on-street parking and identify where exceptions to onsite parking requirements may be considered in certain circumstances. To ensure that the location and design of driveways, parking spaces and other vehicular access areas are efficient, safe, convenient and are integrated into the design of the development to minimise their visual impact in the streetscape. To ensure that the layout of parking spaces limits the amount of site excavation in order to avoid site instability and the interruption to ground water flows. To ensure the width and number of footpath crossings is minimised. To integrate access, parking and landscaping; to limit the amount of impervious surfaces and to provide screening of internal accesses from public view as far as practicable through appropriate landscape treatment.	The proposed alterations and additions do not relate to Parking, Vehicular Access and Loading maintaining the existing parking and access conditions.	N/A
4.1.7	First Floor and Roof Additions First floor additions must complement the architectural style of the ground floor and where possible retain existing roof forms. Notwithstanding setback provisions, the addition may follow the existing ground floor wall setbacks providing adjoining properties are not adversely impacted by overshadowing, view loss or privacy issues. The dwelling and the form of alterations and additions must retain the existing scale and character of the street and should not degrade the amenity of surrounding residences or the aesthetic quality of Manly. In this regard, it may be preferable that the addition be confined to the rear of the premises or be contained within the roof structure.	No additions have been made to change the Architectural Style of the first floor or its existing roof form.	Yes

	Development on Sloping Sites Objectives: To ensure that Council and the community are aware of, and appropriately respond to all identified potential landslip & subsidence hazards. To provide a framework and procedure for identification, analysis, assessment, treatment and monitoring of landslip and subsidence risk and ensure that there is sufficient information to consider and determine DAs on land which may be subject to slope instability. To encourage development and construction this is compatible with the landslip hazard and to reduce the risk and costs of landslip and subsidence to existing areas.	As the proposal is for alterations and additions to the existing dwelling on the subject site, it is not possible for the proposal to “step with the topography of the site”. The proposal however does step upwards at the rear in the form of the new rear deck. This follows the topography of the site and minimises impacts by utilising the existing “footprint” as much as possible.	Yes
4.1.9	Swimming Pools, Spas and Water Features	N/A	N/A
4.1.10	Fencing Freestanding walls and fences between the front street boundary and the building are to be no more than 1m high above ground level at any point.	The proposed alterations and additions do not alter the existing fencing on the site.	N/A

4.3 EXCEPTIONS TO DEVELOPMENT STANDARDS

No exceptions to LEP development standards are requested in relation to the proposed development.

4.4 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

79C CONSIDERATIONS

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a) the provisions of:

(i) any environmental planning instrument, and

(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

(iii) any development control plan, and

(iiia) any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F, and

(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and

(v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,)

The considerations arising from the relevant planning instruments and development control plan are addressed in the foregoing statement of environmental effects.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

These considerations are addressed in the foregoing Statement of Environmental Effects. The social and economic impacts will be positive in improving the residential

accommodation and amenity of the property at 14 Bellevue Street, Fairlight, and provide employment and revenue opportunities for local businesses during the construction period. Retaining existing structures (except existing garage) are considered to have beneficial impact on the site and ensure the longevity of the dwelling.

(c) the suitability of the site for the development,

The proposed alterations and additions are consistent with the zoning of the land, conservative in scale and result in minimal adverse environmental or amenity impacts and is therefore considered suitable.

(d) any submissions made in accordance with this Act or the regulations,

The applicant is aware that submission made will be reviewed in accordance with this Act.

(e) the public interest,

The proposed development will provide for low density residential housing stock that will provide for the housing needs of the local community and will provide for employment and contribute to the local economy through the construction phase.

4.5 BASIX

A BASIX Certificate (A486856) forms part of this Development Application.

5.0 CONCLUSION

The proposed additions to 14 Bellevue Street, Fairlight are considered suitable to the site locality and will significantly enhance the living standards for the occupants. Careful attention has been given to achieving compliance with the relevant provisions of Manly Local Environmental Plan 2013, Manly Development Control Plan and Section 79C of the NSW Environmental Planning and Assessment Act. A thorough site analysis has informed the design to ensure that there will be minimal adverse impacts on the occupants of neighbouring properties, the local natural environment or to members of the public.

The design outcome shows respect for the limitations and existing planning of the site, the existing character of the streetscape, and the amenity of the adjoining properties and it is our opinion that the proposal is suitable for the site and local environment. We believe Northern Beaches Council will find the proposed alterations and additions satisfy the objectives required and find the Development Application fit for approval.

6.0 APPENDIX



Figure 3. No.14 Bellevue Street (centre) – Street elevation (#16 left).



Figure 4. View towards the rear of the dwelling from adjacent to the Studio, and location of proposed deck and ground extension below.



Figure 5. View of existing decks and rear of dwelling (existing kitchen/dining).



Figure 6. District view from existing rear deck and #16 (Below)



Figure 7. View of front courtyard which is accessed via pedestrian gate from Bellevue Street.



Figure 8. View along the side setback towards the rear, noting rock outcrop to be removed (at end of path).



Figure 9. View to rear decks and adjacent rock outcrops to be removed.